

29-N-4

1997-0079

13 Franklin St.
warehouse
M + A Partners

on Spreadsheet

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970079

I. D. Number

M & A Partners

Applicant

120 Exchange St, Portland, ME 04101

Applicant's Mailing Address

Lou Wood

Consultant/Agent

874-6959 874-6988

Applicant or Agent Daytime Telephone, Fax

10/6/97

Application Date

Franklin St

Project Name/Description

13 Franklin St

Address of Proposed Site

029-N-004

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 25,003 Sq Ft Acreage of Site _____ Zoning B-3

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$300.00 Subdivisio _____ Engineer Review _____ Date 10/6/97

Planning Approval Status:

Reviewer Kandi Talbot

Approved Approved w/Conditions See Attached Denied

Approval Date 11/25/97 Approval Expiration 11/25/98 Extension to _____ Additional Sheets Attached

OK to Issue Building Permi Kandice Talbot 11/26/97
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
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Franklin St

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Proposed Building square Feet or # of Units 25,003 Sq Ft Acreage of Site _____ Zoning B-3

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date: 10/6/97

DRC Approval Status:

Reviewer Jim Wendel

- Approved Approved w/Conditions see attache Denied

Approval Date 11/25/97 Approval Expiration 11/25/98 Extension to _____ Additional Sheets Attached

Condition Compliance Jim Wendel 11/26/97
signature date

Performance Guarantee Required* Not Required

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| | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate Of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19970079

I. D. Number

M & A Partners

Applicant

120 Exchange St, Portland, ME 04101

Applicant's Mailing Address

Lou Wood

Consultant/Agent

874-6959

874-6988

Applicant or Agent Daytime Telephone, Fax

10/6/97

Application Date

Franklin St

Project Name/Description

13 Franklin St

Address of Proposed Site

029-N-004

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

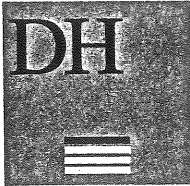
Planning Conditions of Approval

- that the applicant cut the roof drain away from the underdrain.
- that the applicant revise the island at Bradbury Court to a flush cobblestone island.

Inspections Conditions of Approval

1. All previous approval conditions still apply

Fire Conditions of Approval



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Mark Jennings, Economic Development
Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: November 20, 1997

RE: Grant Funded Sidewalk Construction
W. L. Blake Building Renovation
Franklin Street

All sidewalk associated with the project is completed and appears satisfactory. I did not observe the actual construction of the sidewalk; it was completed in a couple of days. However, it appears to conform to the site plan and City of Portland standards.

Should you have any questions, please call.

JN1350.10/disk3/amfrkln



Jenn

CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Duane Kline, Finance Department

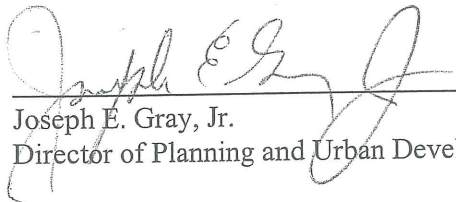
FROM: Joseph E. Gray, Jr., Director of Planning and Urban Development

DATE: March 11, 1999

SUBJECT: Release of Performance Guarantee
Franklin Street

Please release the Letter of Credit No: 57511-516 from People's Heritage Bank in the amount of \$17,592.00. If you have any questions, please contact Kandi Talbot. ✓

Approved:



Joseph E. Gray, Jr.
Director of Planning and Urban Development

Finance Department



Duane G. Kline
Director

CITY OF PORTLAND

March 22, 1999

Karl H. Suchecki, Vice President
Peoples Heritage Bank
One Portland Square
P.O. Box 9540
Portland, ME 04112-9540

Re: Michael K. Scarks & Arthur P. Girard, Site Improvements @ 13 Franklin Street
Irrevocable Letter of Credit No. 57511-516 dated October 6, 1997

Dear Mr. Suchecki:

This is to inform you that I am authorizing the release of the above-named letter of credit, in the amount of \$17,592.00.

If you require any further information, please let me know.

Sincerely,

Duane G. Kline
Finance Director

DGK,jlb

pc: Joseph E. Gray, Jr., Director of Planning & Urban Development
Kandice Talbot, Planner

Department of Planning and Urban Development
 SUBDIVISION SITE DEVELOPMENT

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date 9/10/97

Name of Project FORMER W.L. BLAKE WAREHOUSE (13 FRANKLIN ST.)

Address Location 13 FRANKLIN ST.

Developer NEPTUNE PROPERTIES

Form of Performance Guarantee _____

Type of Development: _____ Subdivision Site Plan (Major/Minor)

TO BE FILLED OUT BY APPLICANT:

| Item | PUBLIC | | | PRIVATE | | |
|--|----------|-----------|----------|----------|-----------|----------|
| | Quantity | Unit Cost | Subtotal | Quantity | Unit Cost | Subtotal |
| 1. STREET SIDEWALK | | | | | | |
| Road | 90 | 18 | 1620 | | | |
| Granite Curbing | 75 LF | 15 LF | 1125 | | | |
| Sidewalks | 150 LF | 30 LF | 4500 | | | |
| Esplanades | 220 | 40 | 8800 | | | |
| Monuments | | | | | | |
| Street Lighting | | | | | | |
| Other | | | | | | |
| 2. SANITARY SEWER | | | | | | |
| Manholes | | | | | | |
| Piping | | | | | | |
| Connections | | | | | | |
| Other | | | | | | |
| 3. STORM DRAINAGE | | | | | | |
| Manholes | | | | | | |
| Catchbasins (TYPE "F") | 1 | 750 LS | 750 | | | |
| Piping | | | | | | |
| Detention Basin | | | | | | |
| Other | | | | | | |
| 4. SITE LIGHTING | | | | | | |
| 5. EROSION CONTROL | | | | | | |
| 6. RECREATION AND OPEN SPACE AMENITIES | | | | | | |

| | PUBLIC | | | PRIVATE | | |
|---|-----------------------|-----------|-------------------|----------|-----------|----------|
| | Quantity | Unit Cost | Subtotal | Quantity | Unit Cost | Subtotal |
| LANDSCAPING (attach breakdown of plant materials, quantities, and unit costs) | SEE ATTACHED ESTIMATE | | 5422 | | | |
| MISCELLANEOUS | LS | LS | 1,000 | | | |
| TOTAL: | 12,797.00 | | 16,842 | | | |
| GRAND TOTAL: | 12,797.00 | | 16,842 | | | |

17,592

INSPECTION FEE (to be filled out by City)

| | PUBLIC | PRIVATE | TOTAL |
|----------------------------|--------------|--------------|-------|
| A: 1.7% of totals: | _____ | _____ | _____ |
| OR | | | |
| B: Alternative Assessment: | _____ | _____ | _____ |
| Assessed by: | _____ (name) | _____ (name) | _____ |

To: Mike Scarks

Fax: 874-6988

From: Kandice Talbot

Date: September 16, 1997

Pages: 3, including cover sheet.

fax

From the desk of...

City of Portland Planning Department
389 Congress Street, 4th Floor
Portland, Maine 04101

207-874-8721 or 207-874-8719
Fax: 207-756-8258



CITY OF PORTLAND

September 16, 1997

Mr. Michael Scarks
A & M Partners
120 Exchange Street
Ste. 101
Portland, ME 04101

Re: 13 Franklin Street, W.L. Blake Building

Dear Mr. Scarks:

After review of your most recently submitted plans, the following issues need to be addressed:

- A pedestrian easement shall be required since the sidewalk will be on the applicant's property.
- It still appears that there may be a ponding problem that will be created at the westerly corner of the building. The plan should show specific flow arrows and spot grades that show that drainage will get around the westerly corner of the building and down to the catch basin on Franklin Arterial.
- A note was added to the plan that the existing concrete walk at the westerly corner would be removed and/or covered as required. The existing walkway should be removed.

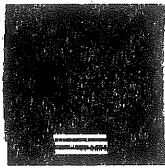
Attached, please find comments from Jim Wendel regarding the cost estimate form. Please update the form and the amount accordingly. If you have any questions, please do not hesitate to contact me at 874-8721 or Jim Wendel at 775-1121.

Sincerely,

A handwritten signature in purple ink that reads 'Kandice Talbot'.

Kandice Talbot
Planner

O:\PLAN\DEVREV\W\FRANKL13\LETTERS\SCRK9-16.WPD



DELUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
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- ROADWAY DESIGN
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- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: September 12, 1997

RE: W. L. Blake Warehouse
Performance Bond Cost Estimate

I believe the estimate is incomplete. I have the following comments:

1. My sketch of the new curb layout has approximately 90' of new curb. The estimate has only 75'. In addition his unit price is only \$15.00/LF. This is low if it is intended to include pavement repair. Also if he is being required to construct a handicap ramp at Fore Street than this curb work is missing.
2. The estimate notes only 150' of sidewalk. My measurement is approximately 220'. This includes the sidewalk along the radius at Fore Street. Also the unit price is low when compared to MDOT unit prices.
3. The estimate has no quantity for pavement repair associated with the curb installation and the repair where the sidewalk is removed from the parking area.
4. The estimate has no quantity for installation of used curb removed from the sidewalk that is in the parking area.
5. The landscape estimate seems fine, however there are some plants listed that are not on the sketch.

City of Portland, Maine Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
Fax Number: 756-8258

FAX TRANSMISSION COVER SHEET

TO: Jim Wendell

COMPANY: Deluca-Hoffman

FROM: Kandi Talbot

FAX #: 879-0896

OF PAGES: 6

DATE: September 12, 1997

RE: _____

Please review cost estimate
form for 13 Franklin Street-
Blake Bldg

Department of Planning and Urban Development
 SUBDIVISION/SITE DEVELOPMENT

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date 9/10/97

Name of Project FORMER W.L. BLAKE WAREHOUSE (13 FRANKLIN ST.)

Address Location 13 FRANKLIN ST.

Developer NEPTUNE PROPERTIES

Form of Performance Guarantee _____

Type of Development: _____ Subdivision Site Plan (Major/Minor)

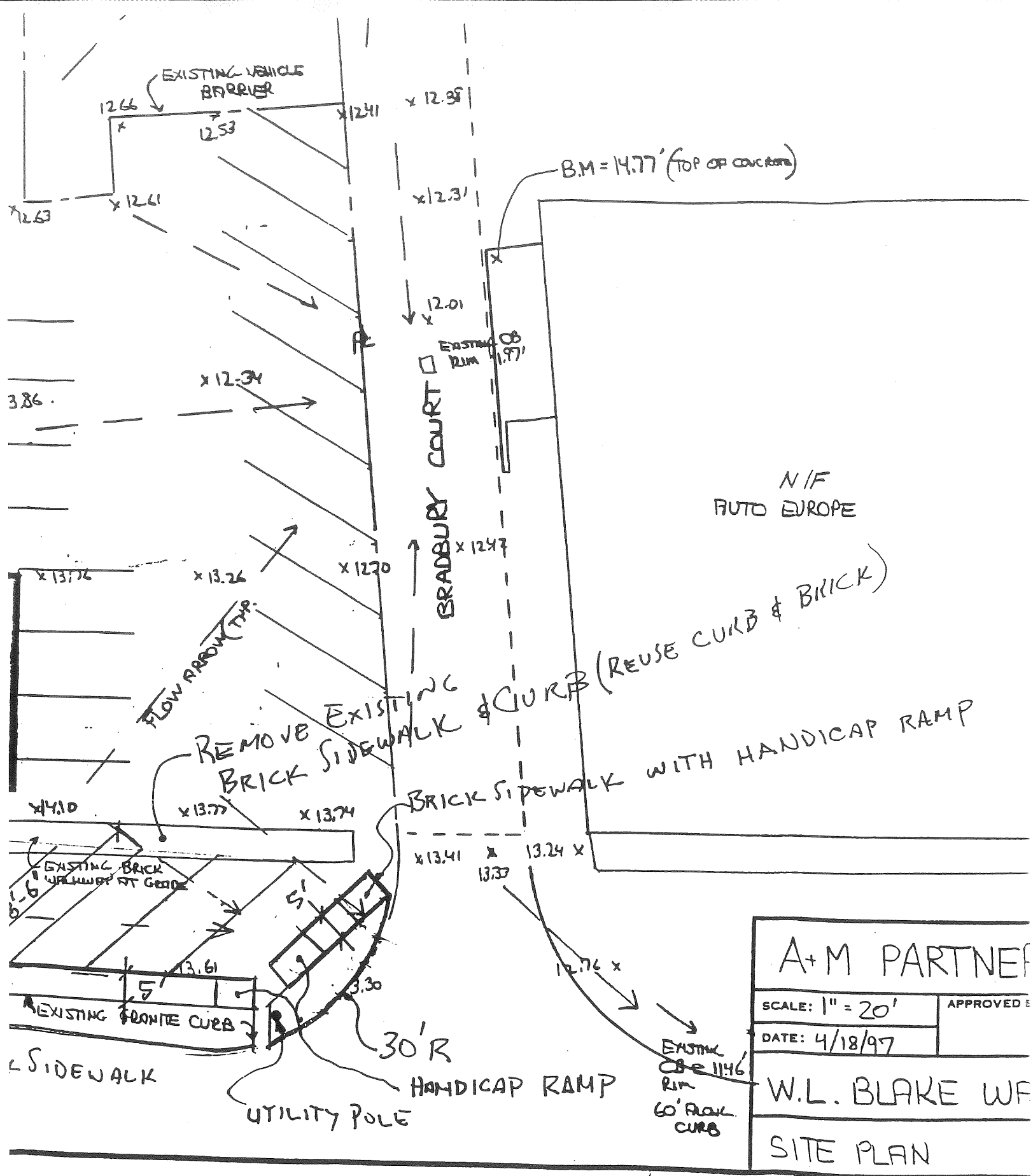
TO BE FILLED OUT BY APPLICANT:

| Item | PUBLIC | | | PRIVATE | | |
|--|--------------|--------------|-------------|----------|-----------|----------|
| | Quantity | Unit Cost | Subtotal | Quantity | Unit Cost | Subtotal |
| 1. STREET SIDEWALK | | | | | | |
| Road | | | | | | |
| Granite Curbing | <u>75LF</u> | <u>15LF</u> | <u>1125</u> | | | |
| Sidewalks | <u>150LF</u> | <u>30LF</u> | <u>4500</u> | | | |
| Esplanades | | | | | | |
| Monuments | | | | | | |
| Street Lighting | | | | | | |
| Other | | | | | | |
| 2. SANITARY SEWER | | | | | | |
| Manholes | | | | | | |
| Piping | | | | | | |
| Connections | | | | | | |
| Other | | | | | | |
| 3. STORM DRAINAGE | | | | | | |
| Manholes | | | | | | |
| Catchbasins (TYPE "F") | <u>1</u> | <u>750LS</u> | <u>750</u> | | | |
| Piping | | | | | | |
| Detention Basin | | | | | | |
| Other | | | | | | |
| 4. SITE LIGHTING | | | | | | |
| 5. EROSION CONTROL | | | | | | |
| 6. RECREATION AND OPEN SPACE AMENITIES | | | | | | |

| Item | PUBLIC | | | PRIVATE | | |
|---|-----------------------|-----------|-------------|----------|-----------|----------|
| | Quantity | Unit Cost | Subtotal | Quantity | Unit Cost | Subtotal |
| 7 LANDSCAPING (attach breakdown of plant materials, quantities, and unit costs) | SEE ATTACHED ESTIMATE | | 5422 | | | |
| 8 MISCELLANEOUS | LS | LS | 1,000 | | | |
| TOTAL: | | | \$12,797.00 | | | |
| GRAND TOTAL: | | | \$12,797.00 | | | |

INSPECTION FEE (to be filled out by City)

| | PUBLIC | PRIVATE | TOTAL |
|----------------------------|--------------|--------------|-------|
| A: 1.7% of totals: | _____ | _____ | _____ |
| or | | | |
| B: Alternative Assessment: | _____ | _____ | _____ |
| Assessed by: | (name) _____ | (name) _____ | _____ |



DATE: 7/7/97

City of Portland Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
FAX NUMBER: 756-8258

FAX TRANSMISSION COVER SHEET

To: Mike Scarks

From: Kandi Talbot

Fax #: 874-6988

of Pages: 3

Date: July 17, 1997

RE: example of Pedestrian
easement

If you do not receive all of the pages, please call 874-8721.

QUITCLAIM DEED
(Without Covenant)
STATUTORY SHORT FORM

We, _____ and _____, both of _____, County of _____, State of Maine, for consideration paid, grant to the City of Portland, County of Cumberland, State of Maine an easement located at said Portland, County of Cumberland, State of Maine, as more fully described on the attached EXHIBIT A, LEGAL DESCRIPTION, incorporated by reference herein.

WITNESS our hands and seals this _____ day of _____, 1997.

Owner

Owner

STATE OF MAINE
Cumberland, ss.

_____, 1997

Then personally appeared the above named _____ and _____ and acknowledged the foregoing instrument to be their free act and deed

Before me, _____

Notary Public
Attorney at Law

Printed name: _____

EXHIBIT "A"

Description of property for sidewalk easement.

Meaning and intending to convey an easement for a sidewalk for pedestrian use across part and only a part of the premises acquired by the Grantors in a deed from _____, dated _____, which is recorded in the Cumberland County Registry of Deeds in Book _____ Page _____.

City of Portland Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
FAX NUMBER: 756-8258

FAX TRANSMISSION COVER SHEET

To: Mike Scorks

From: Kandi Talbot

Fax #: 874-6988

of Pages: 3

Date: June 30, 1997

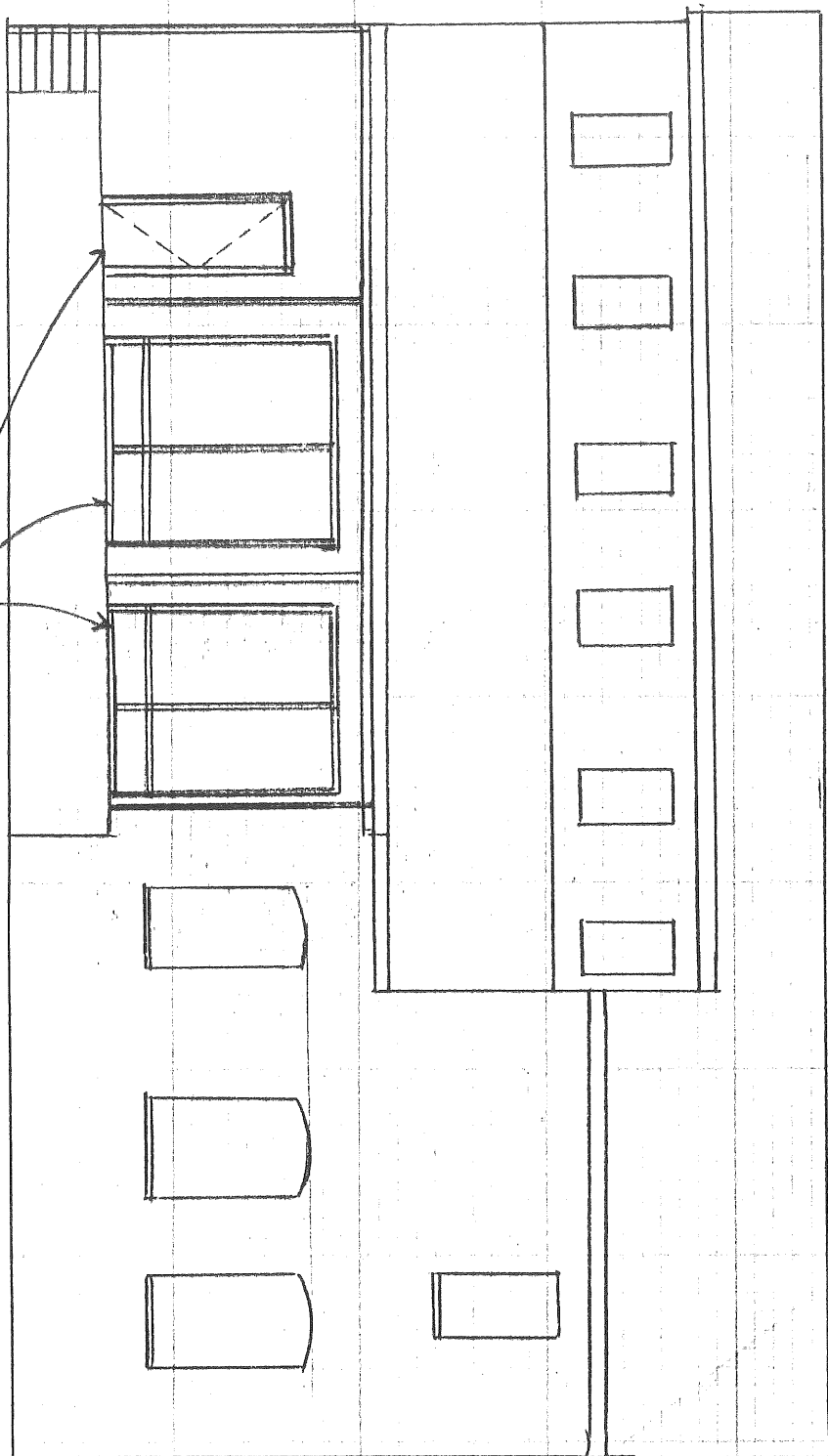
RE: Here is a memo concerning
issues that are unresolved

If you do not receive all of the pages, please call 874-8721.

FORMER W.L. BLAIR WAREHOUSE

EAST ELEVATION

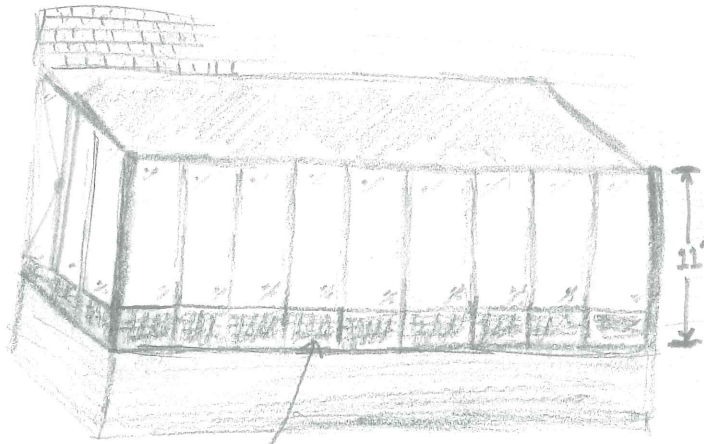
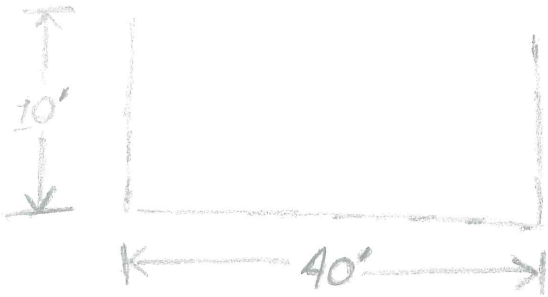
SCALE: 1" = 10'-0"



INSTALL NEW STOREFRONT
IN EXISTING OPENINGS

NOTE: ANY ENCLOSURES OF LOADING DOCK
SHALL BE REVIEWED WITH PLANNING
STAFF BASED ON TENANT REQUIREMENTS.

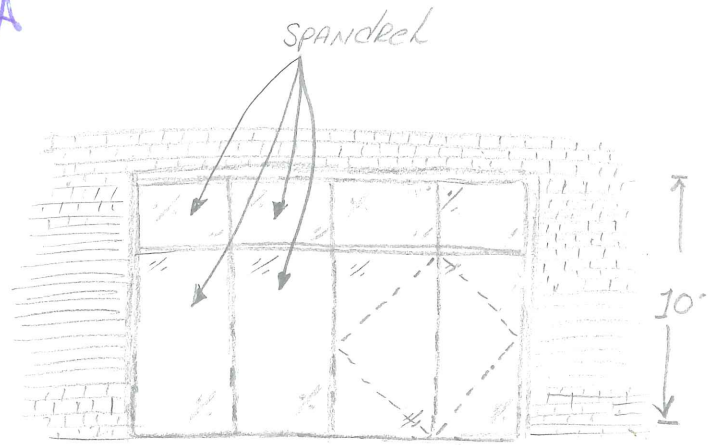
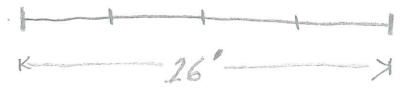
NEW ENTRY OVERHANG



Main Loading Dock

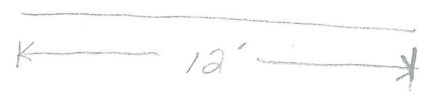
DETAIL "A"

Insulated Panel 24"



Side Entrance

DETAIL "B"



Rear Entrance

DETAIL "C"

Not To Scale

ICR GLASS & WINDOW
 120 Exchange Street
 PORTLAND, MAINE 04101
 (207) 871-0750

SALES • SERVICE • SALES • SERVICE

JOHN L. MURPHY, P.E.

Civil Engineer
Traffic Engineer

RR1, BOX 6300
WEST BALDWIN, MAINE 04091-9745
207-625-8222

May 22, 1997

Mike Scarcks
Neptune Properties
120 Exchange Street
Portland, Maine 04101

Re: Former W.L. Blake warehouse, 13 Franklin Street, Portland.

Dear Mike:

As requested, I have checked the Institute of Transportation Engineers' publication "Trip Generation" as revised to date. This resulted in the following estimated trip generation rates for the peak one hour between 4 PM and 6 PM (based upon the variable square footage):

1. Existing 28,000 square foot warehouse = 21 trips/hour.
2. Proposed Phase 1 10,000 square foot office = 34 trips/hour.

I used average rates, as the equations and plotted regression curves were all for larger projects. Thus the intended Phase 1 of 10,000 square feet of office space will only generate a net of $34 - 21 = 13$ additional PM peak hour trips over the existing warehouse usage.

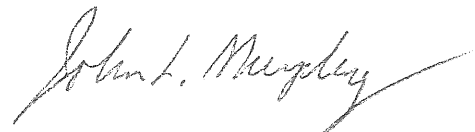
The City of Portland has local DEP review authority and, based upon DEP regulations, the number of trips added (13 net) is too low to require a traffic study. In fact, the 34 total trips for 10,000 square feet of office is also below the DEP threshold requiring a traffic study.

Conclusions

1. Neither the total number of peak hour trips from 10,000 square feet of office nor the net number of trips added considering the existing usage is great enough to require a traffic study.

2. The actual impact of this very minor increase in traffic will not cause measurable change in traffic flow or level of service on the public road.

Sincerely,

A handwritten signature in cursive script that reads "John L. Murphy". The signature is written in dark ink and has a long, sweeping tail that extends to the right.

John L. Murphy, P.E.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION PERMIT

PERMIT ISSUED

970134

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

This is to certify that A & M Partners Inc
 has permission to make exterior renovations
 at 13 Franklin Street Arterial

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is tenanted or otherwise used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

[Signature]
 Director, Building Department

PENALTY FOR PERCUSSION CARD



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

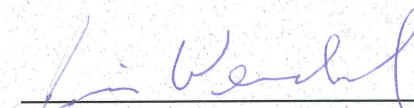
FROM: Jim Wendel, Development Review Coordinator

DATE: May 6, 1997

RE: A & M Partners
Building Renovation Site Plan
13 Franklin Street(029-N-004)

An initial review of the sketch submitted has been completed. The plan is very incomplete. The plan does not conform in any way to the site plan requirements of Sec 14-525. A visit to the site has indicated some concerns about drainage behind the building, near Bradbury Court and along Franklin Street Arterial; however detailed comments cannot be made until a properly prepared design by a capable professional is submitted. In addition, no written statements have been prepared outlining the proposed work.

Should you have any questions please call.



James T. Wendel, P.E



CITY OF PORTLAND

May 13, 1997

Mr. Lou Wood
A & M Partners
120 Exchange Street
Ste. 101
Portland, ME 04101

Re: 13 Franklin Street, W.L. Blake Building

Dear Mr. Wood:

After review of the submitted site plan for 13 Franklin Street, the following items should be addressed:

- A standard boundary survey prepared by a registered land surveyor shall be submitted. This plan shall include topography, showing existing and proposed contours, to properly evaluate existing and proposed drainage patterns and systems.
- Elevations of the building shall be submitted. These elevations shall show any changes that are being proposed to the building.
- A landscaping plan shall be submitted.
- A traffic study should be prepared that evaluates the parking layout and access conditions expected following build-out of the project. The traffic study should also document the parking supply/demand expected at the site. In addition, traffic generation levels should be estimated for determination on the need for a traffic impact study, which if required, would evaluate the impact the project has on the City's roadway system in the vicinity of the project.

At this time an Engineering Review Fee is being assessed and as soon as this is completed I will mail it out to you.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Kandice Talbot

Kandice Talbot
Planner

cc: Alex Jaegerman, Chief Planner

O:\PLANDEVRE\PROJECTS\13FRANKL\LETTERS\WOOD5-13.WPD



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
FROM: Kandice Talbot, Planner
DATE: June 27, 1997
RE: W. L. Blake Warehouse Renovations and Site Plan, 13 Franklin Street

Below are a list of issues that are still unresolved regarding the W.L. Blake Warehouse site plan at 13 Franklin Street:

Drainage Issues

It is recommended that the existing catch basin behind the building be replaced or significantly repaired.

replace structure

The applicant is proposing to expand the parking against the north wing of the building. To achieve the drainage scheme the plan implies, it appears they will have to fill against the exterior brick face of the building. If this idea is not appropriate, due to the structural integrity, then there will likely be a drainage problem in that area if no additional drainage measures are proposed.

→ would rebuild area

A minor ponding problem exists at the easterly side of the parking area adjacent to Bradbury Court. It is the opinion of the Development Review Coordinator that a pavement overlay will not eliminate this problem. It is recommended that they provide additional survey that will demonstrate that the proposed drainage scheme will work and eliminate the ponding problem.

Jim will look at today ponding

The review indicates a ponding problem will be created at the westerly corner of the building. This area is where the sidewalks come together at the corner of the building at Fore Street and Franklin Street Arterial. The proposed grading against the building will create the problem. A note on the plan does discuss possible regrading to permit proper drainage. However a more thoroughly thought out design would need a note and provide the assurance to the City prior to construction that there will not be a problem that will not require a large effort to correct.

Jim will look at today ponding

added new spot grades to assure drainage goes to CB

The level of detail of the proposed grading is very light in the area of the curb extension at the intersection of Bradbury Court and the Franklin Arterial. It is unclear with the level of detail grading that there will not be a ponding problem within the parking area beside the curb and parking spaces. The area is fairly flat and curb extensions such as this can often create a ponding condition if there is not enough detail design.

drawn to street or put inlet

two planters instead of curb talk to TDM

curved granite curbs w/ the driveway edge

Landscaping Issues:

- *ok* The landscaping plan is fine. The only comment is that note should be added to the plan stating that all trees must be at least 2" caliper in size.

Other Issues:

It is recommended that a structural evaluation stamped by a structural engineer discussing the appropriateness of backfilling soil against the exterior brick facade be submitted. This proposal raises the question as to whether this idea maintains the structural integrity of the brick work for the long term.

The deed for the property needs to be submitted. It was not submitted along with the written statement.

A pedestrian easement will be required since the sidewalk will be on the applicant's property.

*Statement documentation
from
Submitted*

*get Mike
sample of
ped. Easement*

*Have
Mike Claus
take a look
at it*

**CITY OF PORTLAND - TRAFFIC SECTION
MEMORANDUM**

Date: 05/07/97
To: Richard Knowland, Senior Planner
From: Thomas A, Errico, P.E., City Traffic Engineer
Subject: 13 Franklin Street - Minor Site Review

A review was performed relative to the site plan for the W.L. Blake Warehouse prepared by M&A Partners, Inc. dated April 18, 1997. A traffic study should be prepared that evaluates the parking layout and access conditions expected following build-out of the project. The parking lot is constrained, and as a result I am concerned about aisle widths and the accessibility of some parking spaces. Currently, the parking lot is fully utilized, with vehicles parking in an unmanaged fashion. The traffic study should also document the parking supply/demand expected at the site. In addition, traffic generation levels should be estimated for determination on the need for a traffic impact study, which if required, would evaluate the impact the project has on the City's roadway system in the vicinity of the project.

cc: Bruce Bell, Operations Manager of Public Works
Bill Bray, Deputy Director of Public Works

From: JEFF TARLING
To: SAP
Date: 6/27/97 3:28pm
Subject: W. L. Blake - 13 Franklin Street -Reply

Sherry,

The tree sizes must be at least 2" caliper in size.

Jeff

City of Portland Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
FAX NUMBER: 756-8258

FAX TRANSMISSION COVER SHEET

To: Jim Wendell

From: Kandi Talbot

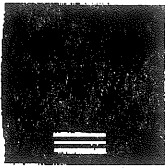
Fax #: 879-0896

of Pages: 3

Date: May 9, 1997

RE: ATM Partners - Did you
get the following written
Statement? If you did and
want more info let me know.
Thanks.

If you do not receive all of the pages, please call 874-8721.



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, Development Review Coordinator

DATE: June 26, 1997

RE: A & M Partner's, Inc.
W. L. Blake Warehouse Renovations and Site Plan
13 Franklin Street

As requested, below are my comments on the site plan submitted for the renovation project.

1. Recommend that the applicant submit a structural evaluation stamped by a structural engineer discussing the appropriateness of backfilling soil against the exterior brick facade. It appears to me to be at the least an unorthodox design feature and raises the question as to whether this idea maintains the structural integrity of the brick work for the long term. With the evaluation, we could have Mike Clause, a city structural engineer, review the report. I do intend to discuss the idea with him.
2. Recommend that the applicant provide proof that they own the future landscape area. This documentation is worth having in the file.
3. From a drainage point of view I have several issues:
 - a. Recommend that the existing catch basin behind the building be replaced or significantly repaired.
 - b. The applicant is proposing to expand the parking against the north wing of the building. To achieve the drainage scheme the plan implies, it appears they will have to fill against the exterior brick face of the building. If this idea is not appropriate, see item 1 above, then there will likely be a drainage problem in that area if no additional drainage measures are proposed.
 - c. During my initial site visit a few weeks ago I observed a minor ponding problem in the easterly side of the parking area adjacent to Bradbury Court. It is my

DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

understanding that the applicant proposes to overlay the parking field. It is my opinion that just a pavement overlay will not eliminate the problem. Recommend that they provide additional survey that will demonstrate that the proposed drainage scheme will work and eliminate the ponding problem.

- d. A review of the current site plan grading indicate a ponding problem will be created at the westerly corner of the building. This area is where the sidewalks come together at the corner of the building at Fore Street and Franklin Street Arterial. The proposed grading against the building will create the problem. A note on the plan does discuss possible regrading to permit proper drainage. However a more thoroughly thought out design would not need a note and provide the assurance to the City prior to construction that there will not be a problem that will not require a large effort to correct.
 - e. The level of detail of the proposed grading is very light in the area of the curb extension at the intersection of Bradbury Court and the Franklin Arterial. It is unclear with the level of detailed grading that there will not be a ponding problem within the parking area beside the curb and parking spaces. The area is fairly flat and curb extensions such as this can often create a ponding condition if there is not enough detail design.
4. It appears the site plan proposes to allow pedestrian use of an existing brick sidewalk through a proposed parking field from the southerly corner of the building towards Bradbury Court. It is my opinion that this is not a safe route for pedestrians. Recommend that the brick work be removed and that pedestrian traffic be directed diagonally, with pavement striping, across Bradbury Court towards the Arterial and provide a new sidewalk at the raised island at the end of the diagonal parking and along the arterial where the sidewalk could be connected with the proposed sidewalk. Additionally, I would suggest that you discuss this issue with the City's traffic consultant; he may have some other thoughts.
 5. The site plan should be clear on the dimensional layout of the parking field; traffic circulation aisle width and parking space length and width are missing.
 6. The site plan shows private angled parking within the right of way. Section 14-339 of Division 20, Off-Street Parking, indicates that parking spaces must be totally within the lot and not less than 5' from the street line or have a continuous bumper guard at least 20" high to keep vehicles outside of the required 5' offset. You may want to

DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

confirm the applicability of this section on the parking layout. Also this requirement may need a review with respect to the angled parking on Bradbury Court.

7. The proposal suggests that public pedestrian traffic along the arterial will be allowed to traverse this private property instead of requiring a sidewalk within the street line of the arterial in addition to the private sidewalk? Is this an issue?



James T. Wendel, P.E.

c: Kandi Talbot, Planning Department

JN1350.10M&A2.doc

FACSIMILE COVER SHEET

TO: KANDI TALBOT

COMPANY: PORTLAND

PHONE: _____

FAX: 756-8258

FROM: Jim W.

COMPANY: DeLUCA-HOFFMAN ASSOCIATES, INC.

PHONE: 2071775-1121

FAX: 2071879-0896

DATE: 6/27/97

PAGES INCLUDING THIS COVER SHEET: 2

COMMENTS: _____

Natalie -
Release Review -
Thanks -



ONE PORTLAND SQUARE
P.O. BOX 6540
PORTLAND, ME 04112-0540
207-761-8500

September 24, 1997

Irrevocable Letter of Credit No: 57511-516

Kandi

Joseph E. Gray Jr., Director of Planning
and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

DRAFT

RE: Michael K. Scarks and Arthur P. Girard/Site Development Cost Estimates of
Improvements to be Covered by Performance Guarantee for Former WL
Blake Property at 13 Franklin Street, Portland, Maine

Dear Mr. Gray

For value received, and for the account of Michael K. Scarks and Arthur P. Girard we
hereby authorize you to draw on us at sight up to an aggregate amount of Sixteen
Thousand Eight Hundred Forty Two and 00/100 (16,842.00) U.S. Dollars.

\$17,592.00

This Letter of Credit is irrevocable and unconditional.

Drafts drawn under this Letter of Credit must specify the number of this Letter of Credit,
must be accompanied by the original Letter of Credit, must be presented at this office no
later than September 24, 1998. Any number of partial draws are permitted hereunder, up
to the full amount of this Letter of Credit, in accordance with the requirements

has no-
same to be
expiration
date

of 514-
These funds represent the estimated cost of installing site improvements as depicted on
the City of Portland, Maine Subdivision/Site Development Cost Estimate attached hereto
and made a part hereof.

The City of Portland may draw against this Letter of Credit by presentation of a draft in
the event that Michael K. Scarks and Arthur P. Girard fails to complete within twelve
(12) months of the date the work stipulated on the Cost Estimate. Said draft shall be
accompanied by a written statement from the Director of Planning and Urban
Development that Michael K. Scarks and Arthur P. Girard has failed to complete such
work, with a listing of improvements still to be completed, and the estimated cost of
completing said improvements still to be completed as determined by the Development
Review Coordinator.

Michael K. Searks and Arthur P. Girard
September 24, 1998
Page 2

After all work in the public right of way has been completed and inspected to the satisfaction of the Department of Public Works, including but not limited to the installation of sanitary sewer, piping connections, storm drainage, catch basins and piping, detention basin, erosion control and landscaping, Peoples Heritage Bank shall be eligible to receive a reduction in its obligation hereunder equal to the estimated cost of Improvements. In no case, however, shall the obligations of Peoples Heritage Bank hereunder be reduced to an amount which is less than the estimated cost of completing all prescribed improvements as determined by the Department of Public Works, as described above.

DPW ok
on Planning?

Michael K. Searks and Arthur P. Girard will notify the City of Portland for inspections.

This Letter of Credit will automatically expire on ~~September 24, 1998~~ ¹⁹⁹⁹ April 15, 2000 but may expire prior to this date when the City of Portland acknowledges in writing to Peoples Heritage Bank and Michael K. Searks and Arthur P. Girard that said work as outlined has been completed in accordance with the City of Portland specifications.

We engage with you that drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored. However, other than the payment of monies as authorized hereunder, Peoples Heritage Bank shall not guarantee the performance of Michael K. Searks and Arthur P. Girard to the City of Portland.

This Letter of Credit sets forth in full the terms of our obligations to you, and such undertaking shall not in any way be modified or amplified by any agreement referring to this Letter of Credit, to or to which this Letter of Credit relates, and any such reference shall not be deemed to incorporate herein by reference any agreement.

This Letter of Credit shall be interpreted and construed in accordance with, and shall be governed by, the Uniform Customs and Practice for Documentary Credit (1993 Revision), International Chamber of Commerce Publication No. 500, and to the extent not inconsistent therewith, by the Uniform Commercial Code as in effect from time to time in the State of Maine.

Very truly yours,

Peoples Heritage Bank

BY: _____
Karl H. Staschecki
Vice President

Michael K. Scarks and Arthur P. Girard
September 24, 1998

Page 2

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Very truly yours,

Peoples Heritage Bank

BY: _____
Karl H. Staschecki
Vice President



**Peoples
Heritage
Bank**

ONE PORTLAND SQUARE
P.O. BOX 9540
PORTLAND, ME 04112-9540
207-781-8500

September 24, 1997

Irrevocable Letter of Credit No: 57511-516

Joseph E. Gray Jr., Director of Planning
and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

DRAFT

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Improvements to be Covered by Performance Guarantee for Former WL
Blake property at 13 Franklin Street, Portland, Maine

Dear Mr. Gray

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Thousand Eight Hundred Forty Two and 00/100 (16,842.00) U.S. Dollars.

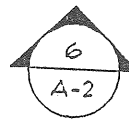
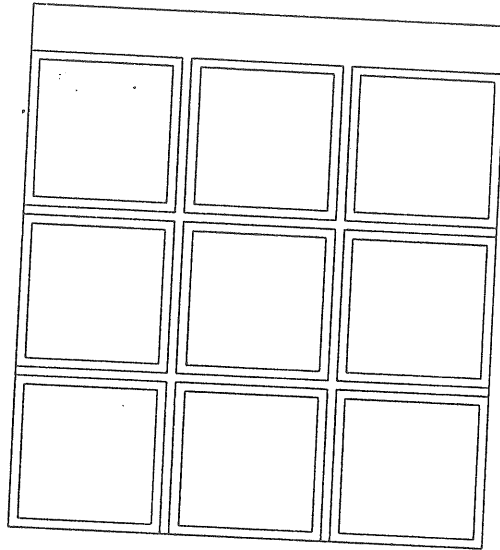
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Review Coordinator.



ELEVATION OF EXISTING GARAGE DOORS
TO BE GLASSED IN EQUAL SIZE SQUARES

**CITY OF PORTLAND, MAINE
ENGINEERING REVIEW FORM**

Address of Proposed Site 13 Franklin Street Date 5-7-97

Project Description Renovation of Warehouse to Office Job # 970425

Applicant A & M Partners

Applicant's Mailing Address 120 Exchange Street, Ste. 101, Portland ME 04101

Site Review
(Planning Department)

Review Engineer: DHAI

Number of Estimated Hours: 8

Cost Per Hour: \$48.00

Total Amount: \$384.00

Right-of-Way Review
(Public Works Department)

Review Engineer: Tony Lombardo

Number of Estimated Hours: 2

Cost Per Hour: \$25.00

Total Amount: \$50.00

An engineering fee has been assessed in the amount of \$434.00 for the review of your project located at _____.

Please make check payable to the City of Portland. The check should be submitted along with this form to the Portland Planning Department, City of Portland, 4th Floor, 389 Congress Street, Portland, ME 04101. Attn: _____

Office Use Only

Invoice Date: 5/7/97

Received: 10/17/97
date

Planning Revenue Code: 10136 6011.9

Public Works Revenue Code: 10131 6011.9

- cc: Applicant - white
Planner - blue
Engineer - green
Public Works - yellow
Financial Officer - pink
Review/Inspection Fee File - golden



NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

June 18, 1997

Alex Jagearman
Chief Planner
City Hall
Portland, Maine 04101

Dear Alex:

Yesterday afternoon Lou Wood hand delivered several copies of plans and submissions for the minor site review pending for the forum W.L. Blake warehouse at 13 Franklin Street.

As per our last site visit with Candy and our meeting of 06-03-97 with Deb Andrews, Candy, Brad Rader, Lou and me, we are revising the previous submissions to include more detail on this treatments to the Franklin Street entrance, the loading dock area, and the building entrance at the rear parking lot. As you will note the Franklin Street entrance has been maintained as is, except for the replacement of this existing door with a new storefront entry system. We have after careful consideration, along with input from Jeff Tarling, decided to construct a grade level entry walk to serve this entrance as well as a continuous brick sidewalk to provide for pedestrian traffic between the Auto Europe property and the Northeast corner of Fore Street and Franklin Street Arterial. The landscaping plan has conceptually agreed to by Jeff Tarling and our landscape designer on site(however he has not reviewed this final plan) The site plan has been modified to include these changes as well as an extension of the radius granite curb on the Franklin Arterial access point to further define and channel the vehicle traffic.

We have several tenants ready to commit to the building and would request that, as per your offer at our previous meeting, that you expedite the review to complete the approval process. If there is any additional information or comments we would appreciate specific feed back at the earliest possibility. We appreciated your input at our last meeting and have made several significant changes based on your suggestions, however, in other areas such as the regrading of the Franklin Street frontage we feel strongly that the proposed design is a very viable option and certainly with in the design parameters of this ordinance.

I am directing this letter to you as Candy has been out or unavailable for several days and time is of the essence.

Sincerely,

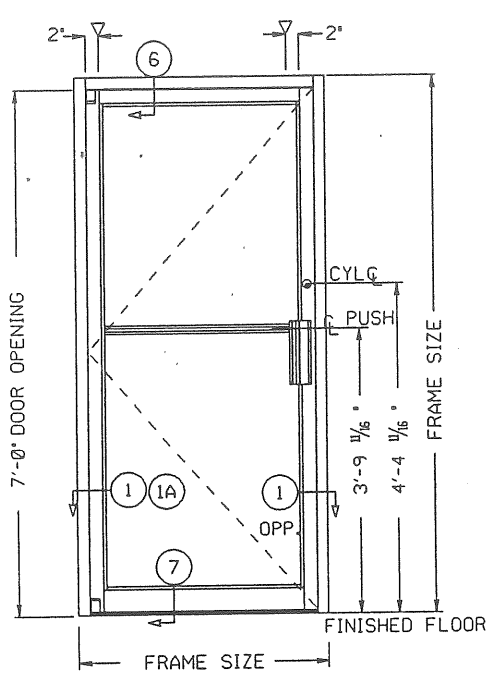


Michael Scarks

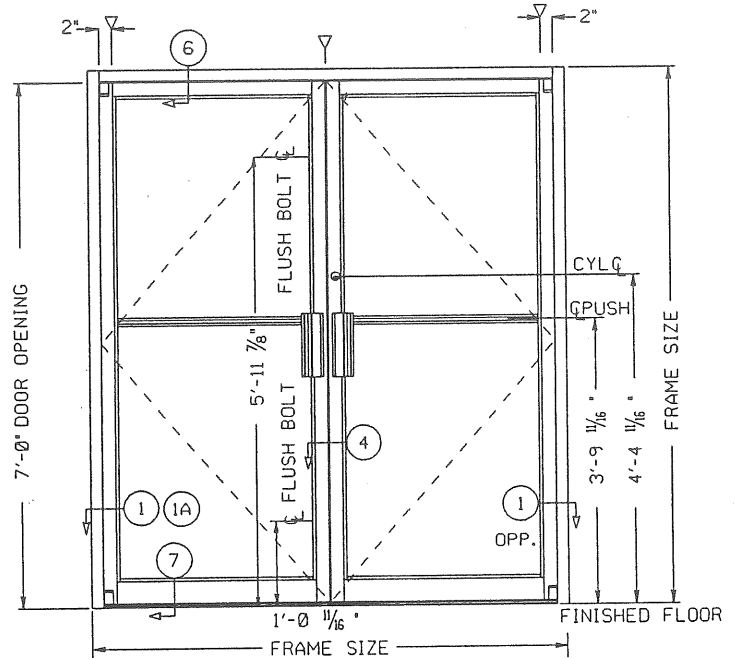
P.S. I HAVE ENCLOSED A FULL SET OF SUBMISSIONS INCLUDING SPECIFICATIONS ON THE STOREFRONT ENTRY SYSTEM AS WELL AS A COLOR SAMPLE (HARTFORD GREEN) TO MATCH THE EXISTING WINDOWS AND TRIM. THESE LAST 2 ITEMS WERE NOT PROVIDED PREVIOUSLY.

Elevation

Standard Offset Pivot Doors and Frames



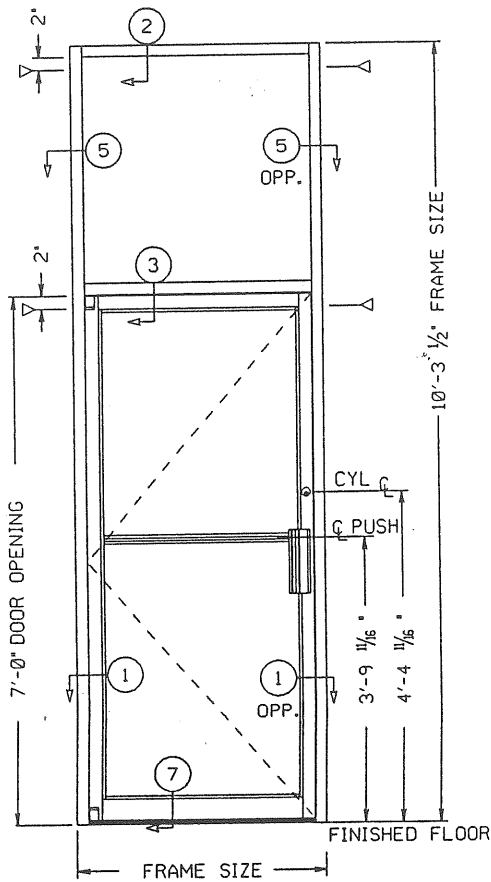
**Single Narrow Stile
With Standard Frame**



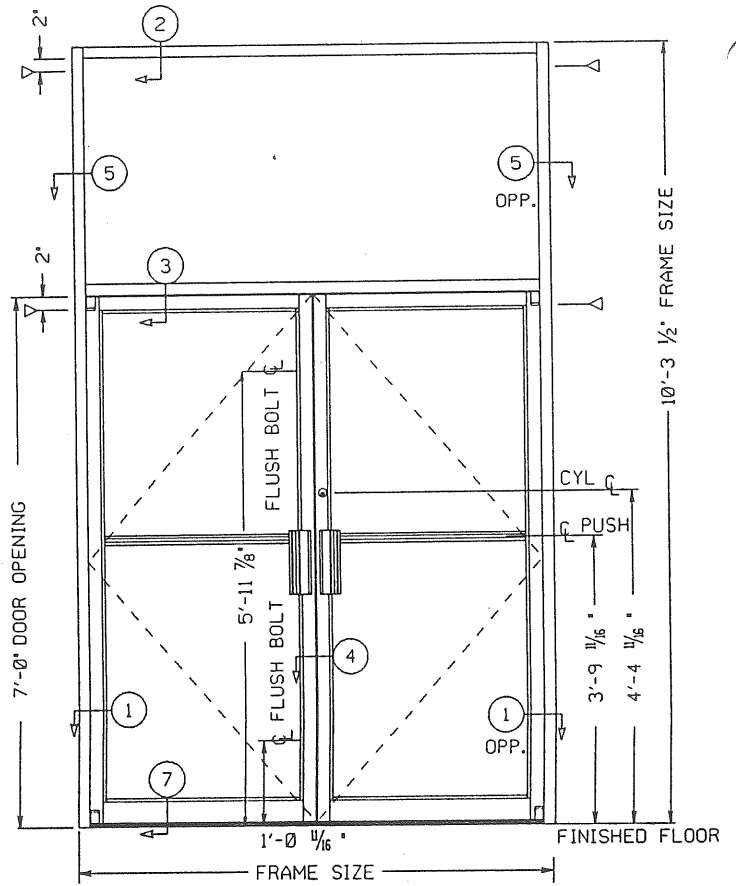
**Pair Narrow Stile
with Standard Frame**

NOTE: DENOTES RECOMMENDED ANCHOR LOCATIONS

1A FOR TMS 114 ONLY



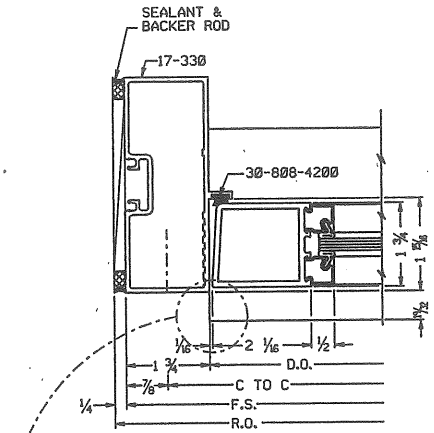
**Single Narrow Stile
with Standard Transom Frame**



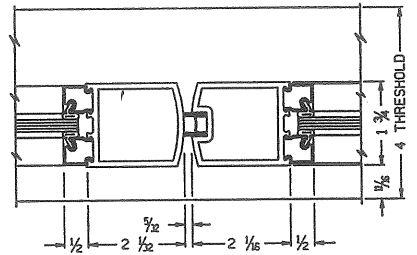
**Pair Narrow Stile
with Standard Transom Frame**

1/4 Size Details

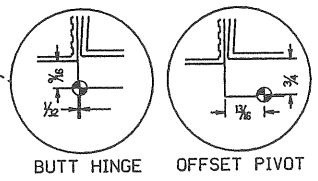
Standard Offset Hung Doors and Frames—EMS 114



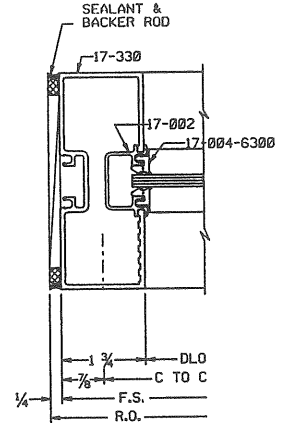
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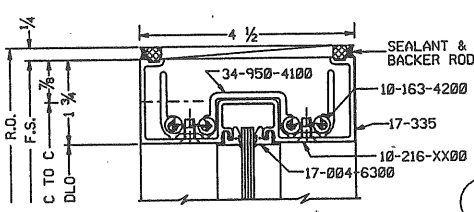
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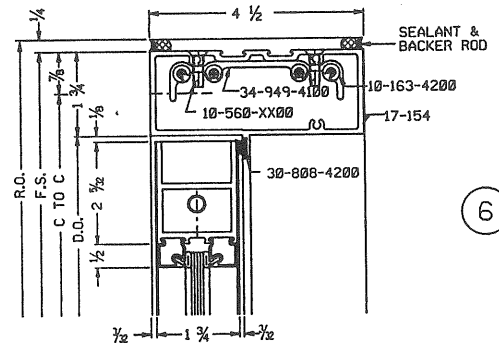
LOCATIONS



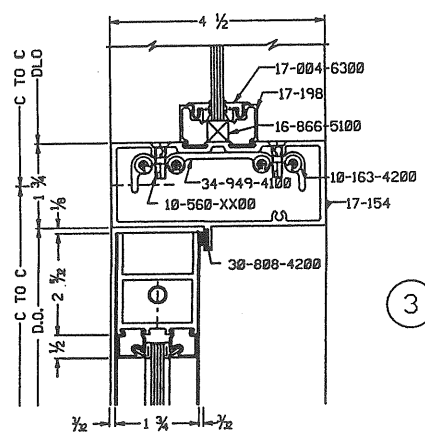
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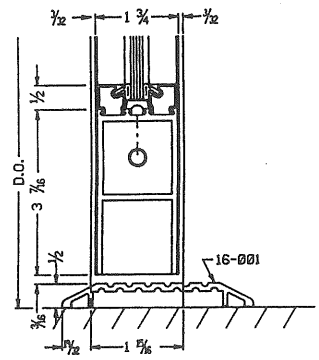
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6



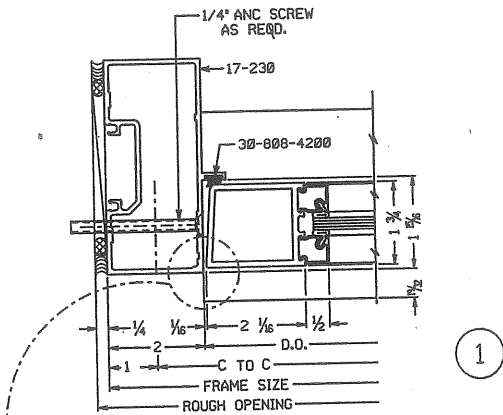
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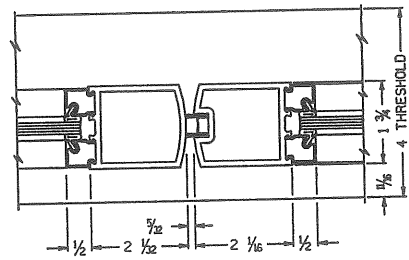
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1/4 Size Details

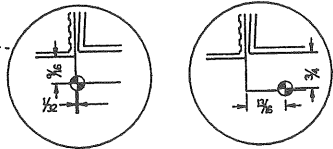
Standard Offset Hung Doors and Frames—TMS 114w/Transom



1

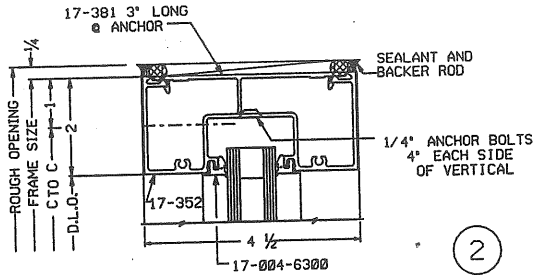


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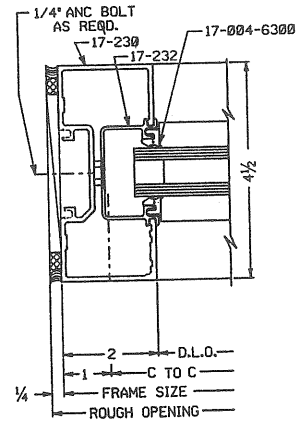


BUTT HINGE OFFSET PIVOT

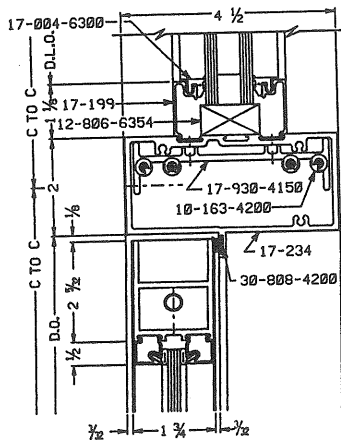
LOCATIONS



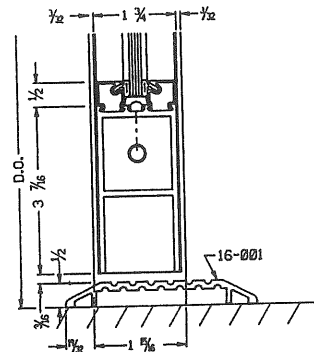
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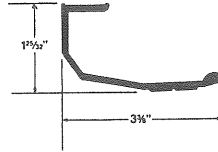
7

STANDARD PUSH PULL HARDWARE

Each Standard Offset Pivot and Butt Hung Door is furnished with a Type 10 Pull Handle and Push Bar as part of the door package while the Center Pivoted Doors are furnished with the Push Bar for each side of the door. Type 11 Hardware. The Standard Panic Doors require an open type Pull Handle because of the special cylinder locations and are furnished with Pull Handle Type 12.

All Standard Push/Pull Hardware is dual anodized. Handles furnished on Aluminum colored doors will have a Bronze accent stripe, while handles furnished on Bronze colored doors will be accented with an Aluminum colored stripe. All Standard Hardware is ruggedly built, beautifully finished, securely fastened to the door, and will give years of trouble-free service.

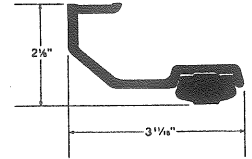
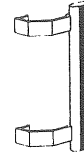
TYPE 10



STANDARD PULL PACKAGE

Alum. Door: Fin. Code #70.
Dk. Bronze Door: Fin. Code #71.
Black Door: Fin. Code #72.*

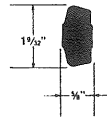
TYPE 12



OPEN TYPE PULL
STD. ON PANIC DOORS

Alum. Door: Fin. Code #70.
Dk. Bronze Door: Fin. Code #71.
Black Door: Fin. Code #72.*

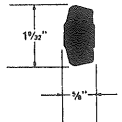
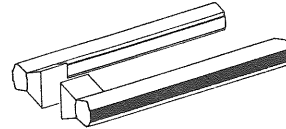
TYPE 10



STANDARD PUSH BAR
FOR OFFSET PIVOT
OR BUTT HINGE DOOR

Alum. Door: Fin. Code #70.
Dk. Bronze Door: Fin. Code #71.
Black Door: Fin. Code #72.*

TYPE 11



STANDARD PUSH BAR SET
FOR CENTER PIVOT DOOR

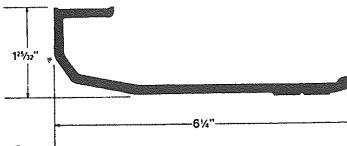
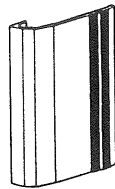
Alum. Dr: Fin. Code #70.
Dk. Bronze Dr: Fin. Code #71.
Black Dr: Fin. Code Bar #72.*

CUSTOM PUSH/PULL HARDWARE

All of the Custom Hardware shown here is available from inventory at Kokomo. The hardware can be shipped loose for field application or installed by the PPG Fabrication Center in lieu of Standard Hardware.

Type 21, 23 and 24 are finished after fabrication which means the ends will be the same color as the other surfaces, while Types 13, 15, 17 and 19, as well as all Standard Push/Pull Hardware, are prefinished in long lengths before being fabricated. Type 24 Pull Handles are designed for use on Panic Doors and offer a Guarded Cylinder feature. Type 23 Pulls offer a large flat surface for custom engraving and work well when mounted on both sides of a door.

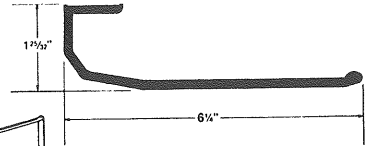
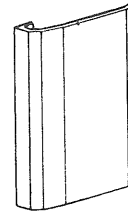
TYPE 13



ALUMINUM PULL
12" H x 6" W STRIPED

Alum. Door: Fin. Code #70.
Dk. Bronze Door: Fin. Code #71.
Black Door: Fin. Code #72.*

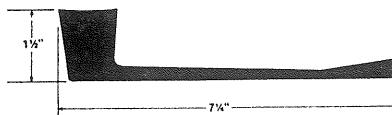
TYPE 15



ALUMINUM PULL
12" H x 6" W NO
STRIPE ACCENT

Alum. Door: Fin. Code #42.
Dk. Bronze Door: Fin. Code #62.
Black Door: Fin. Code #63.*

TYPE 23

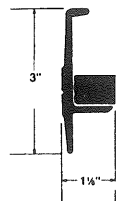
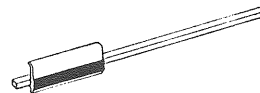


AVAILABLE IN CLEAR FINISH
ON SPECIAL ORDER

Alum. Door: Fin. Code #63.
Dk. Bronze Door: Fin. Code #61.
Black Door: Fin. Code #61.*

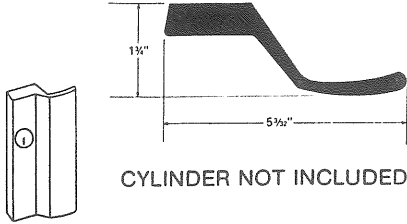
TYPE 17

(use with Type 10 Pull)



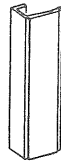
Alum. Dr: Fin. Code Bar #42, Plate #70.
Dk. Bronze Dr: Fin. Code Bar #62, Plate #71.
Black Dr: Fin. Code Bar #63, Plate #72.*

TYPE 24



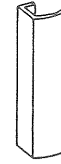
Alum. Door: Fin. Code #63.
Dk. Bronze Door: Fin. Code #61.
Black Door: Fin. Code #61.*

TYPE 19



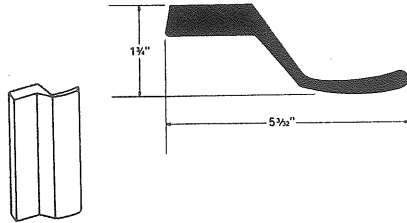
Alum. Door: Fin. Code #42.
Dk. Bronze Door: Fin. Code #75.
Black Door: Fin. Code #75.*

TYPE 21



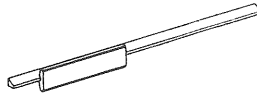
Alum. Door: Fin. Code #63.
Dk. Bronze Door: Fin. Code #61.
Black Door: Fin. Code #61.*

TYPE 24



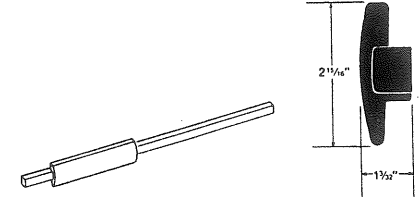
Alum. Door: Fin. Code #63.
Dk. Bronze Door: Fin. Code #61.
Black Door: Fin. Code #61.*

TYPE 19

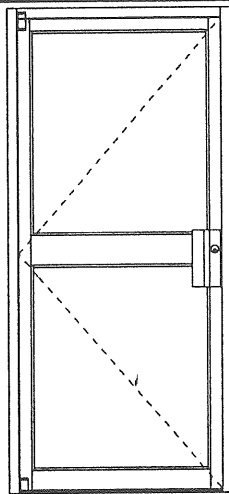


Alum. Dr: Fin. Code Bar #42, Plate #42.
Dk. Bronze Dr: Fin. Code Bar #62, Plate #75.
Black Dr: Fin. Code Bar #62, Plate #75.*

TYPE 21



Alum. Dr: Fin. Code Bar #42, Plate #63.
Dk. Bronze Dr: Fin. Code Bar #62, Plate #61.
Black Dr: Fin. Code Bar #63, Plate #61.*



MID-PANEL PANIC ENTRANCES

Where conditions require a more modern look, PPG can custom build the Mid-Panel Panic door. This system houses the activating panel in a 6-1/8" mid rail. The panel projects just 7/8" from the surface of the door. This door is matched with the security and beauty of the Type #24 pull handle. The push panel is engraved with the word "PUSH" on the lock end of the panel which can be activated at any point the full width of the panel.

MEDIUM AND WIDE STILE DOORS

Medium and Wide Stile Doors are custom built at the PPG Fabrication Centers to exact job requirements. They can be supplied in any standard PPG finish in sizes up to 4'0" x 8'0". They can be supplied with PPG Standard Hardware the same as Narrow Stile Doors, PPG Custom Hardware, or custom hardware furnished by others.

CUSTOM APPLICATIONS

Most typical storefront and entrance applications can be accomplished with the use of standard PPG products, however, there are times when special sizing or specified hardware applications are necessary or desirable. The PPG Metal Fabrication Centers are completely capable of custom building products that address these needs. Their production includes engineering, complete fabrication and assembly of all components possible prior to shipping, application of all hardware to doors and checking hardware for proper operation--including any product from store front to large curtain wall.



NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

September 26, 1997

To: Candy Talbot
From: Mike Scarks
Re: W.L. Blake Warehouse site review.

Dear Candy,

As per our site visit several weeks ago, please find revised plans that reflect the agreement reached at that meeting. These include:

1. Revised walkway alignment to Bradbury Ct.
2. Revised island detail between our parking lot and Bradbury Ct. at Franklin Arterial.
3. Painted cross/walk across Bradbury Ct. and painted lines between our lot and Bradbury Ct.
4. Connection of existing sidewalk at the corner of Franklin and Fore St. with our new brick sidewalk along Franklin.
5. The replacement of our existing catch basin with a new MDOT Type "F" basin.
6. The treatment of window openings to be bricked up.

At that meeting we also discussed the filling along Franklin St. frontage that would raise the grade along the existing building a maximum of 30" (at the entry) tapering to approximately 12" at either end of the building. As the existing structure is a built up granite foundation approximately 18" thick and the brick wall portion is a solid cross-section of approximately 14", I see no problem structurally with this change. It is common practice in retaining wall design to add 24" surcharge to the high side of the wall if parking is allowed. Conversely, we are eliminating all vehicular loading from the former Franklin St. which essentially negates the effect of the added fill. We will also make the first 24" of fill material adjacent to the building free draining (either sand or gravel) with the underdrain to eliminate any hydrostatic pressure and minimize any moisture effects.

We believe these modifications are the final changes agreed upon. If you need any additional information, please contact us at your earliest convenience as we propose to start sitework the wee of 9/15/97.

Sincerely,

A handwritten signature in cursive script, appearing to read "Michael Smith". The signature is written in dark ink and is positioned below the word "Sincerely,".



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Address: 13 Franklin St

Applicant XB M & A Partners
120 Exchange St Portland, ME 04101
Ste 101

Application Date 25 April 1997
W.L. Biske

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent Lou Wood 874-6939

13 Franklin St
Address of Proposed Site 029-W-004

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 Office Retail Manufacturing Warehouse/Distribution New Building Building Addition Change of Use Residential Other (specify) _____

Proposed Building Square Feet or # of Units 25,003 Sq Ft Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 300.00 subdivision \$434.00 inspection fee paid 10/9/97

Approval Status:

Reviewer Kandice Jallot

- Approved Approved w/Conditions listed below Denied

- please see attached Approval letter
- _____
- _____
- _____

Approval Date 7/3/97 Approval Expiration 7/3/98 Extension to _____ Additional Sheets Attached

Condition Compliance Kandice Jallot 10/9/97 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted 10/9/97 \$17,592.00 10/6/98
date amount expiration date

Inspection Fee Paid 10/9/97 \$300.00
date amount

Performance Guarantee Reduced _____ date remaining balance signature

Performance Guarantee Released _____ date signature

Defect Guarantee Submitted _____ submitted date amount expiration date

Defect Guarantee Released _____ date signature



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

Blue Copy
I. D. Number

23 M & A Partners
Applicant 120 Exchange St Portland, ME 04101
Suite 101

25 April 1997
Application Date
B.L. Blake

Applicant's Mailing Address

Project Name/Description

Consultant/Agent Lou Wood 874-6959

13 Franklin St
Address of Proposed Site
019-W-004

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

Proposed Building Square Feet or # of Units 25,003 sq ft Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Single-Family Minor
- Other _____

Fees paid: site plan 300.00 subdivision \$434.00 inspection fee paid 10/9/97

Approval Status: Reviewer Kandice Blot

- Approved
- Approved w/Conditions listed below
- Denied

1. please see attached approval letter
2. _____
3. _____
4. _____

Approval Date 7/3/97 Approval Expiration 7/3/98 Extension to _____ date _____
 Additional Sheets Attached

Condition Compliance Kandice Blot 10/9/97
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted 10/9/97 \$17,592.00 10/6/98
date amount expiration date

Inspection Fee Paid 10/9/97 \$300.00
date amount

Performance Guarantee Reduced _____
date remaining balance signature

Performance Guarantee Released _____
date signature

Defect Guarantee Submitted _____
submitted date amount expiration date

Defect Guarantee Released _____
date signature

Address: 13 Franklin St

CITY OF PORTLAND

July 3, 1997

Mr. Michael Scarks
A & M Partners
120 Exchange Street
Ste. 101
Portland, ME 04101

Re: 13 Franklin Street, W.L. Blake Building

Dear Mr. Scarks:

On July 3, 1997 the Portland Planning Authority granted minor site plan approval for the change of use of the building at 13 Franklin Street with the following conditions:

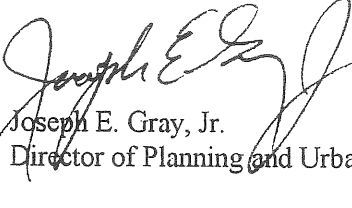
- That the existing catch basin behind the building be replaced with a MDOT Type "F" catch basin, 4 foot length or equiv.
- That the ponding problem which will be created at the westerly corner of the building be resolved. This area is where the sidewalks come together at the corner of the building at Fore Street and Franklin Street Arterial. The proposed grading against the building will create the problem by blocking the existing drainage flows. A suggestion would be to tie into the street storm sewer. Your proposed solution shall be submitted for approval by the Planning Authority.
- The existing brick sidewalk which runs through the parking lot shall be relocated to abut along the existing esplanade and where the proposed planters are located. A 3' opening could be located where the existing granite curb ends to allow drainage to flow to the catch basin. The sidewalk shall be built in accordance with City of Portland Technical Standards. A sketch of the detail is attached.
- A crosswalk shall be painted across Bradbury Court to connect the sidewalks, as well as striping of parking areas, including a line delineating the edge of Bradbury Court.

O:\PLAN\DEVRE\VW\FRANKL13\APPR\VLTR.WPD

6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

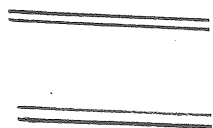
If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
Deb Andrews, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckal, Zoning Administrator
Kathi Staples PE, City Engineer
Development Review Coordinator
William Bray, Deputy Director/City Traffic Engineer
Jeff Tarling, City Arborist
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File



C

| # | DESCRIP |
|------|----------|
| 1-2 | 7' TIP D |
| 3-4 | 7' TIP |
| 4-5 | 7' VER |
| 5-6 | 7' TIP |
| 7-8 | 7' TIP |
| 8-9 | 7' VER |
| 9-10 | 7' TIP D |

CURB LAYOUT

1" = 10'

WAREHOUSE

EXIS
BUILD B.M. = 14.77' (TOP OF CONCRETE)
(25)

NORTH

N/F
AUTO EUROPE

EXISTING
(3 1/2)

CB (REUSE CURB & BRICK)

WALK WITH HANDICAP RAMP

EXISTING
SIDEWALK

CONST
WALK

x 15.31

"B"

GRASS

LANDS
ARE
"A"

.24 x

x 15.7

x 14.81

x 12.76

EXISTING
CB @ 1146
60' ROAD
CURB

NEW BRICK SIDEWALK

FRANKLIN RAMP

A+M PARTNER

SCALE: 1" = 20'

APPROVED BY:

DATE: 4/18/97

W.L. BLAKE WARR

SITE PLAN

UNSCRAPED

SOIL ALONG

W/ THIS FORMER

BE DIRECTLY

DATE: 7/7/97

JOHN L. MURPHY, P.E.

Civil Engineer
Traffic Engineer

RR1, BOX 6300
WEST BALDWIN, MAINE 04091-9745
207-625-8222

May 22, 1997

Mike Scarks
Neptune Properties
120 Exchange Street
Portland, Maine 04101

Re: Former W.L. Blake warehouse, 13 Franklin Street, Portland.

Dear Mike:

As requested, I have checked the Institute of Transportation Engineers' publication "Trip Generation" as revised to date. This resulted in the following estimated trip generation rates for the peak one hour between 4 PM and 6 PM (based upon the variable square footage):

1. Existing 28,000 square foot warehouse = 21 trips/hour.
2. Proposed Phase 1 10,000 square foot office = 34 trips/hour.

I used average rates, as the equations and plotted regression curves were all for larger projects. Thus the intended Phase 1 of 10,000 square feet of office space will only generate a net of $34 - 21 = 13$ additional PM peak hour trips over the existing warehouse usage.

The City of Portland has local DEP review authority and, based upon DEP regulations, the number of trips added (13 net) is too low to require a traffic study. In fact, the 34 total trips for 10,000 square feet of office is also below the DEP threshold requiring a traffic study.

Conclusions

1. Neither the total number of peak hour trips from 10,000 square feet of office nor the net number of trips added considering the existing usage is great enough to require a traffic study.

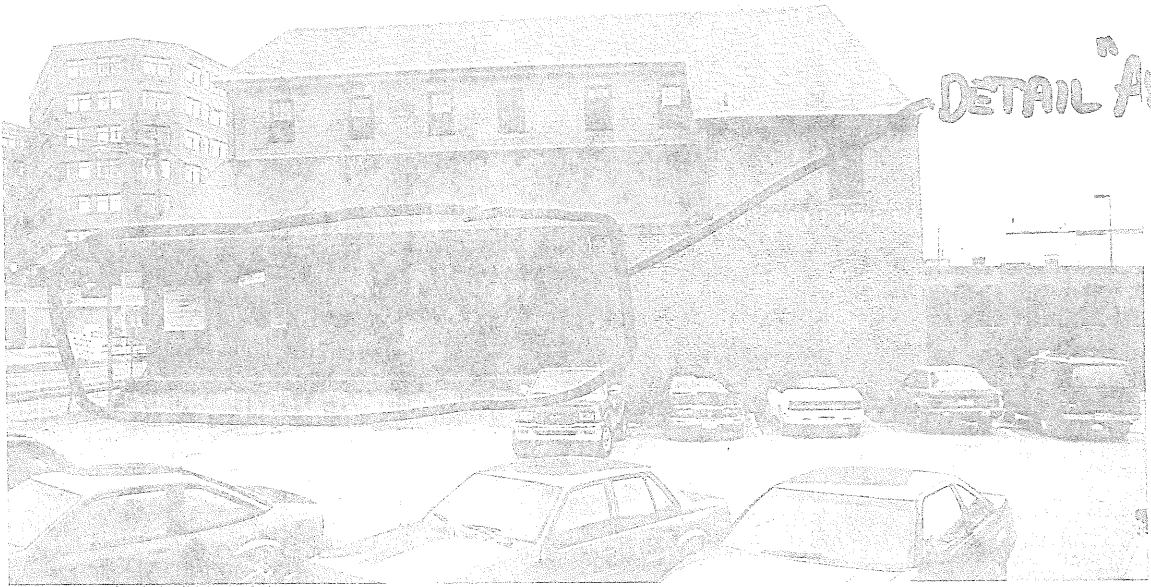
2. The actual impact of this very minor increase in traffic will not cause measurable change in traffic flow or level of service on the public road.

Sincerely,

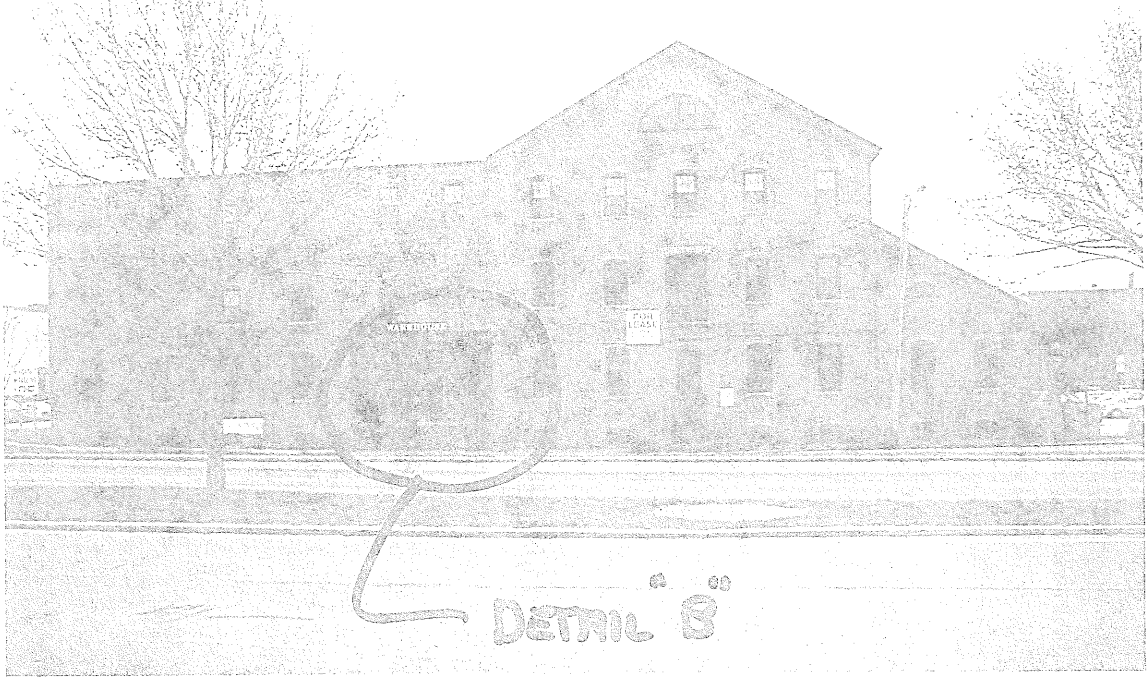
A handwritten signature in cursive script, reading "John L. Murphy". The signature is written in dark ink and is positioned above the typed name.

John L. Murphy, P.E.

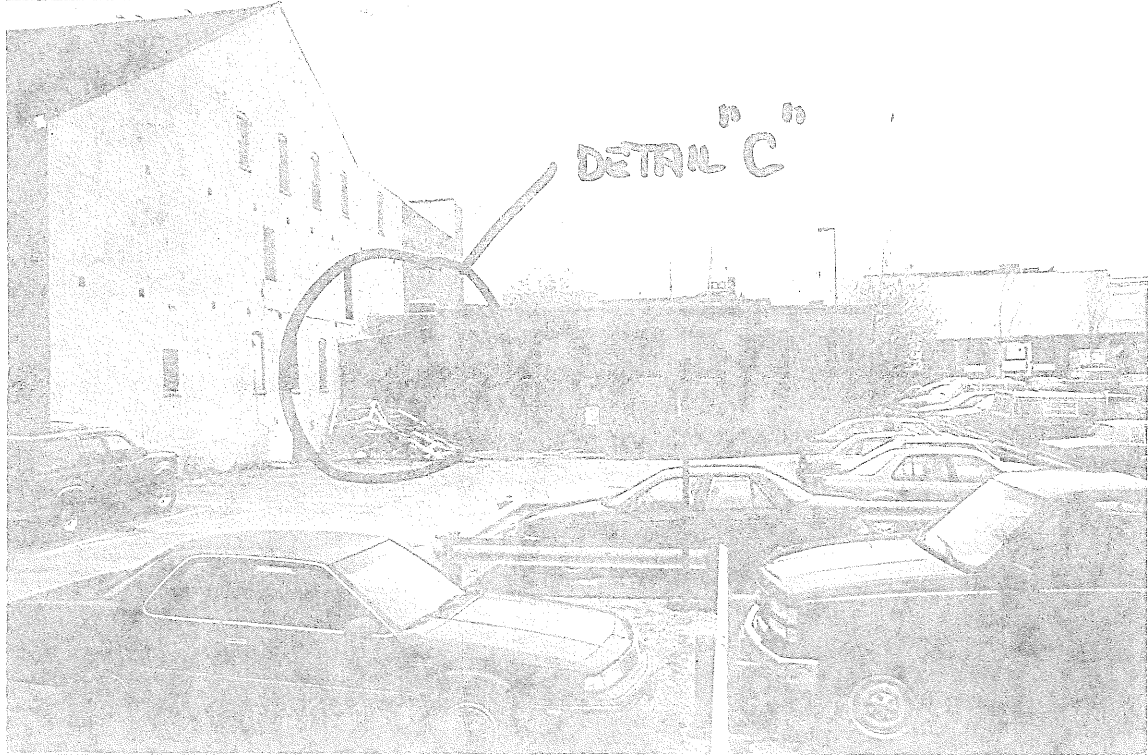
Main Loading Dock

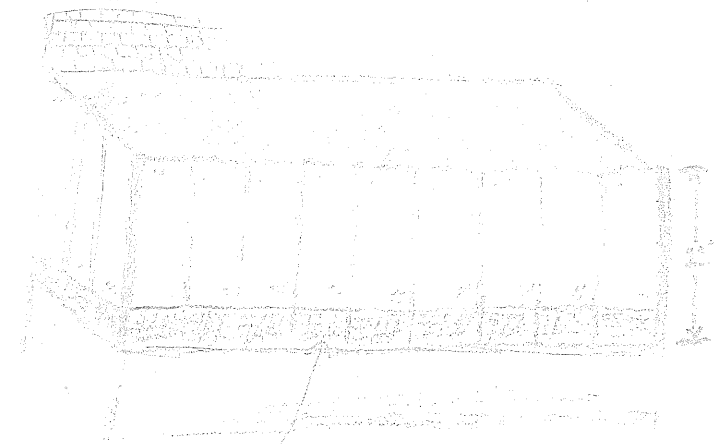
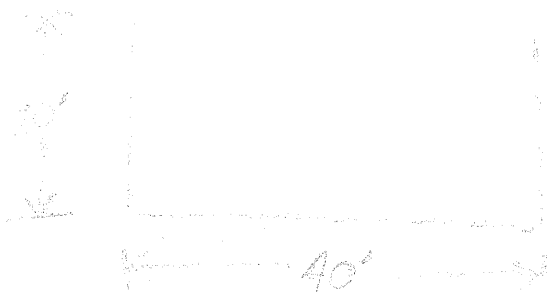


Side Entrance



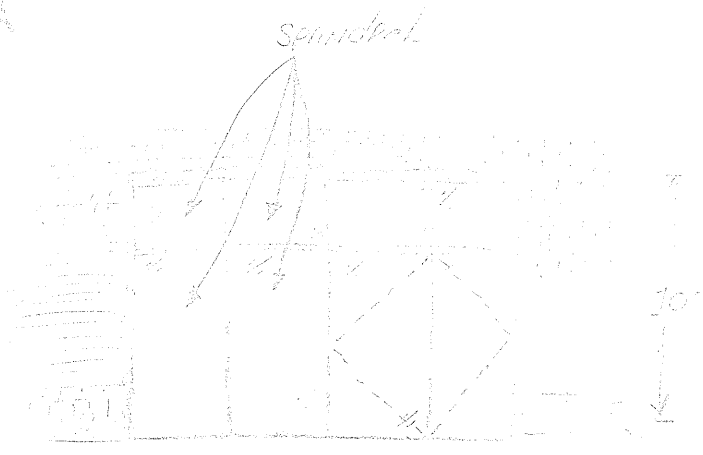
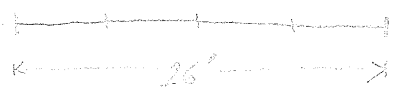
Rear Entrance





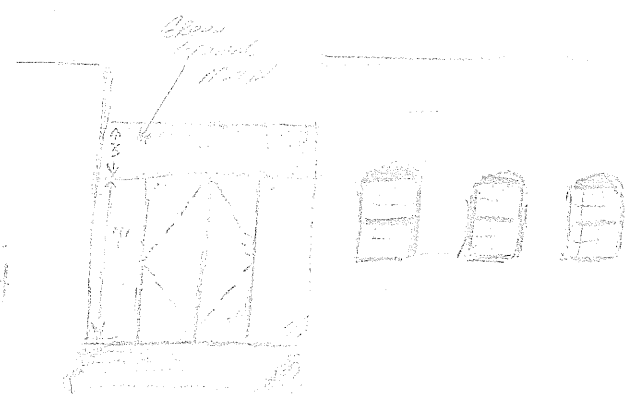
Front Landing Door
DETAIL "A"

Inclined Panel 24"



Side Entrance

DETAIL "B"



Rear Entrance

DETAIL "C"

Not To Scale

ICR GLASS & WINDOW
 120 Exchange Street
 PORTLAND, MAINE 04101
 (207) 871-0750

SALES • SERVICE • SALES • SERVICE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

FEB 27 1987

CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

This is to certify that A & M Partners Inc
has permission to make exterior renovations
AT 13 Franklin Street Arterial 970154

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

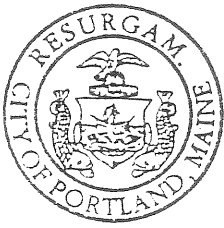
OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
FROM: Kandice Talbot, Planner
DATE: June 27, 1997
RE: W. L. Blake Warehouse Renovations and Site Plan, 13 Franklin Street

Below are a list of issues that are still unresolved regarding the W.L. Blake Warehouse site plan at 13 Franklin Street:

Drainage Issues

- It is recommended that the existing catch basin behind the building be replaced or significantly repaired.
- The applicant is proposing to expand the parking against the north wing of the building. To achieve the drainage scheme the plan implies, it appears they will have to fill against the exterior brick face of the building. If this idea is not appropriate, due to the structural integrity, then there will likely be a drainage problem in that area if no additional drainage measures are proposed.
- A minor ponding problem exists at the easterly side of the parking area adjacent to Bradbury Court. It is the opinion of the Development Review Coordinator that a pavement overlay will not eliminate this problem. It is recommended that they provide additional survey that will demonstrate that the proposed drainage scheme will work and eliminate the ponding problem.
- The review indicates a ponding problem will be created at the westerly corner of the building. This area is where the sidewalks come together at the corner of the building at Fore Street and Franklin Street Arterial. The proposed grading against the building will create the problem. A note on the plan does discuss possible regrading to permit proper drainage. However a more thoroughly thought out design would need a note and provide the assurance to the City prior to construction that there will not be a problem that will not require a large effort to correct.
- The level of detail of the proposed grading is very light in the area of the curb extension at the intersection of Bradbury Court and the Franklin Arterial. It is unclear with the level of detail grading that there will not be a ponding problem within the parking area beside the curb and parking spaces. The area is fairly flat and curb extensions such as this can often create a ponding condition if there is not enough detail design.

Landscaping Issues:

- The landscaping plan is fine. The only comment is that note should be added to the plan stating that all trees must be at least 2" caliper in size.

Other Issues:

- It is recommended that a structural evaluation stamped by a structural engineer discussing the appropriateness of backfilling soil against the exterior brick facade be submitted. This proposal raises the question as to whether this idea maintains the structural integrity of the brick work for the long term.
- The deed for the property needs to be submitted. It was not submitted along with the written statement.
- A pedestrian easement will be required since the sidewalk will be on the applicant's property.

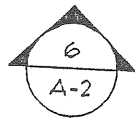
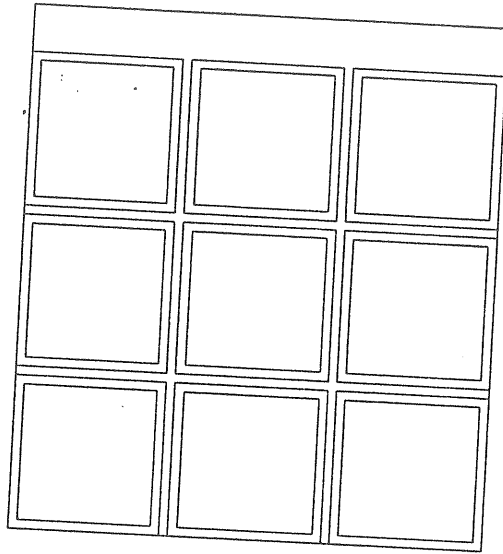
Cape Port Landscaping
 9 Glenwood Drive
 Kennebunk, Maine 04043
 Tel- 207-985-8542

ESTIMATE

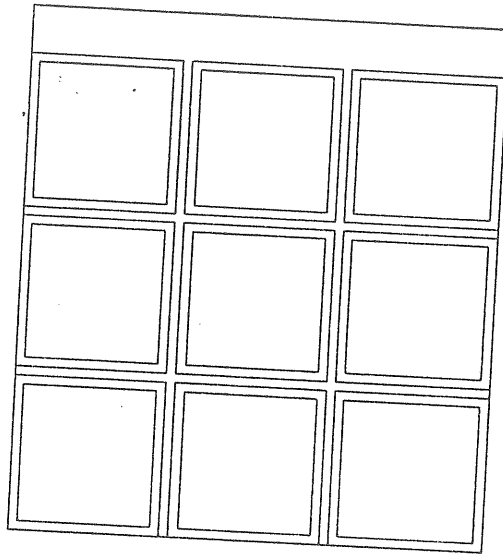
| DATE | ESTIMATE NO. |
|----------|--------------|
| 06/03/97 | 22 |

| NAME / ADDRESS |
|--|
| NEPTUNE PROPERTIES MIKE SCARKS 120 EXCHANGE STREET PORTLAND, ME 04101 |

| P.O. NO. | TERMS | DUE DATE | Job Location | PROJECT | CUST NO. | |
|--|-----------------|----------|--------------|-------------------|----------|-----------------|
| W. L. BLAKE | NET 7- 18%PER A | 06/03/97 | Franklin st | 40205-W.L. Bla... | 402 | |
| DESCRIPTION | | | | | QTY | TOTAL |
| W. L. BLAKE BUILDING | | | | | | |
| Syringa Patula 18-24" Miss kim lilac | | | | | 4 | 132.00 |
| EMERALD GAIETY EUONYMUS #3 | | | | | 5 | 126.75 |
| Juniperus chinensis"sea green" 30"-36" | | | | | 12 | 538.20 |
| Denisforma Taxus x media-24-30" | | | | | 11 | 451.00 |
| Spirea Nipponica "Snowmound" 30-36" | | | | | 5 | 149.50 |
| SARGENT CRABAPPLE 1.5" | | | | | 1 | 152.60 |
| RHODODENDRON PJM 2-2.5' | | | | | 3 | 156.00 |
| 6-7' THUJA OCCIDENTALIS NIGRA DARK AMERICAN ARBORVITAE | | | | | 6 | 528.00 |
| PYRUS CALLERYANA "CLEVELAND SELECT" 2.0-2.5" CAL | | | | | 2 | 402.00 |
| Pine Bark Mulch | | | | | 5 | 120.00 |
| LOAM tons | | | | | 10 | 138.75 |
| LABOR HOURS FOR PLANTING | | | | | 49.5 | 1,188.00 |
| SUB TOTAL OF PLANTING WORK | | | | | | 4,082.80 |
| lawn area | | | | | | |
| KENTUCKY BLUEGRASS SOD-PU | | | | | 1,000 | 250.20 |
| LABOR USED IN INSTALLATION OR REPAIR OF LAWNS | | | | | 33 | 792.00 |
| LOAM IN TONS | | | | | 23.375 | 297.35 |
| SUB TOTAL OF LAWN WORK | | | | | | 1,339.55 |
| | | | | | | <u>1,542.35</u> |
| WALKWAYS | | | | | | |
| Total | | | | | | |



ELEVATION OF EXISTING GARAGE DOORS
TO BE GLASSED IN EQUAL SIZE SQUARES



6
A-2 ELEVATION OF EXISTING GARAGE DOORS
TO BE GLASSED IN EQUAL SIZE SQUARES

JOHN L. MURPHY, P.E.

Civil Engineer
Traffic Engineer

RR1, BOX 6300
WEST BALDWIN, MAINE 04091-9745
207-625-8222

November 25, 1997

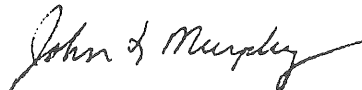
Mike Scarks
A & M Partners
120 Exchange Street
Portland, Maine 04101

Re: W.L. Blake project, 15 Franklin Street.

Dear Mike:

I have reviewed the as built plan of the Franklin Street entrance to the project. I agree that the added curbed island unnecessarily restricts traffic desiring to enter or exit the site and bypass the parked vehicles of Auto Europe employees. Franklin Street access is confined to right in and right out only and thus should be a simple maneuver for driveway traffic. Thus removal of this unnecessary constriction will insure safer flow both for driveway and for Franklin Street traffic.

Sincerely,



John L. Murphy, P.E.

auto @ europe®

Worldwide Car, Air & Hotel Reservation Services

39 Commercial Street, P.O. Box 7006, Portland, ME 04112

Reservations: 800-223-5555 Fax: 800-235-6321

November 25, 1997

Mr. Hagge, Chairman
City of Portland Planning Board
389 Congress Street
Portland, ME 04101

Dear Mr. Hagge:

I write you on behalf of Auto Europe in regards to an issue which requires the assistance of you and the planning board. As you know the building behind ours, at 13 Franklin Street, has been purchased by A&M Partners, Inc. and is currently in the process of being rehabilitated for occupation. We are very pleased with all the external changes which have greatly enhanced its appearance. There is one item though which needs some attention. The curbing that was installed on the entrance/exit from/to Franklin Street has a problem which although is not readily noticeable has become an issue. This has come to my attention in a number ways.

To begin with, one of our employees came to me complaining that he had hit this new curbing, claiming that the visual layout made him think he had cleared it when in fact he had not. I thanked the individual for letting us know, but blew it off as bad driving. Then the individual who plows for us indicated that the layout was deceptive and would probably be an issue during a big storm when it can not be seen. Again I really did not feel there was an issue. But then I changed my mind when upon departure from work last week I hit the curb with my new Jeep. Although I did not blow a tire, I felt that I had hit the curbing hard enough that an alignment was in order.

Accordingly, I contacted Mr. Lou Woods, one of A&M's principals, regarding this matter. I suggested that now would be a good time to correct the problem while the area was still in construction. Although Mr. Woods understood the problem and was empathic to our position he indicated that he too had some issues with this curbing which could not be changed with out the permission of you and the board. Therefore, I am requesting that you consider an alternative layout of this entrance/exit which would be better suited to the users of this area.

Cordially,



Robert M. Verhoeven
Assistant Controller

**CHANGE OF USE IN THE VICINITY OF
13 FRANKLIN STREET
M & A PARTNERS , APPLICANT**

Submitted to:
Portland Planning Board
Portland, Maine

November 25, 1997

Development Review Coordinator is concerned with moisture building up in the soil that has been placed against the brick face of the building and has asked the applicant to remove the roof drain from the underdrain. A potential condition of approval is:

- that the applicant cut the roof drain away from the underdrain.

6. Lighting

No lighting has been proposed.

7. Fire Safety

The site plan has been reviewed and approved by the Fire Department.

8. Financial Capability

The site work has been completed and a performance guarantee is in place to cover the site work.

9. Applicant's Title, Right or Interest

A deed is included as Attachment 4.

10. Natural Resources

It does not appear that this proposal will have any adverse impact on the natural resources of the area.

V. **MOTIONS FOR THE BOARD TO CONSIDER**

On the basis of plans and materials submitted by the applicant and on the basis of information provided in Planning Board Report #48-97, the Planning Board finds:

- i. That the site plan is not in conformance with the Land Use Code.

Potential Condition of Approval:

- that the applicant cut the roof drain away from the underdrain.

Attachments:

1. Letter from Applicant
2. July 3rd Approval Letter
3. Landscape Plan
4. Deed
5. Sidewalk Easement
6. Performance Guarantee
7. Site Plan
8. Elevations

- that the applicant revise island at Bradbury Court to a flush cobblestone island
6-0 Cole, absent

I. INTRODUCTION

M & A Partners are requesting a change of use from warehouse to retail and office space for the former W.L. Blake Building. The building is approximately 28,000 sq. ft. and the site is approximately .57 acres. The site is zoned B-3.

In the Spring the applicant applied for minor site plan for a change of use from warehouse to retail and office space for approximately 9,900 sq. ft. It was approved in July with a number of conditions. Those conditions have been met and the site work has recently been completed.

A legal ad appeared in the November 17th and 18th issues of the *Portland Press Herald*. 260 notices were sent to area property owners in the vicinity of the project.

II. FINDINGS

Zoning: B-3
Land Area: .57 acres
Floor Area: 28,000 sq. ft.
Proposed use: Office and retail space
Parking:
Required: 0
Proposed: 30 parking spaces

III. STAFF REVIEW

The proposed development has been reviewed for compliance with the standards of the Site Plan Ordinance of the land Use Code. Review of the proposal has been completed by Planning, Building Inspections, Public Works, Parks and Recreation and Fire Prevention staff.

IV. SITE PLAN REVIEW

1. Traffic/Circulation/Parking

Access to the site is from Franklin Arterial onto Bradbury Court and then into the site. Thirty (30) parking spaces are proposed.

A brick sidewalk, which was in poor condition, existed in the middle of the proposed parking lot. Because of pedestrian safety issues, a condition of approval was that the brick sidewalk be relocated to abut along the esplanade which runs along Franklin Arterial. Another condition of approval was that a crosswalk would be painted across Bradbury Court to connect the sidewalks at Auto Europe with the sidewalks at the W.L. Blake building. These improvements have been installed in accordance with the prior approved plan.

To address ADA concerns for the entrance along Franklin Arterial, the applicant backfilled the area from Franklin Arterial to the front of the building and installed sidewalks sloped for handicap accessibility.

The applicant was also required to install an island at the entrance of Bradbury Court. This was required for traffic and pedestrian safety, to define the parking in a distinct location and to define the shared access driveway. Since the installation of this island, the applicant feels that it creates more of a problem rather than a solution and is requesting that he be able to remove this island. The Traffic Engineer has not been able to review this request. An answer to this request will be available at the Public Hearing.

2. Bulk, Location, Height of Building and Uses Thereof

The building is approximately 28,000 sq. ft. Exterior changes to the building included two new storefront entries to the Franklin Street elevation. The basement windows have also been bricked-in using matching brick and set-back 1" from the existing face of the wall.

On the north wing - east elevation, the parking lot entry is a new storefront entry and vertical corrugated metal overhang to replace the existing connector ramp. The existing garage doors at the loading dock will be glassed in equal sized squares.

It should be noted that the permits for the minor site plan were applied for and issued before the W.L. Blake building was included in the Waterfront Historic District.

3. Utilities/Easements/Solid Wastes

The site is currently served by water, sewer, electrical and phone service. Because the sidewalk is on the applicant's property a pedestrian easement was required. The applicant has submitted that to the City.

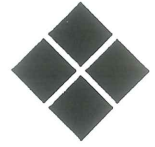
4. Landscaping

The applicant has removed pavement along the old Franklin Street and backfilled this area to the building. This area has been loamed and seeded and landscaped. The applicant has a triangular shaped sidewalk to connect from the sidewalk along the street to the main entrance. The triangle shaped area will be landscaped with rhododendron, lilacs, euonymus gaiety, spirea, sargent crabs, and junipers. The outer area of this triangle will be landscaped with junipers, arbor vitae and spreading yews. The landscape plan is attached.

5. Drainage

There is a catchbasin located in the parking area, a catch basin located in Bradbury Court, and a catchbasin in Franklin Arterial. The site is graded so that drainage will sheet flow to one of these catchbasins. A large portion of the landscaped area has been graded to drain easterly through the parking area, through a break in the sidewalk, and to the catch basin located in Franklin Arterial.

The southwesterly portion of the property is draining toward the corner of Fore Street and Franklin Arterial. The applicant has tied the roof drain that comes down the southwest corner of the building, into an underdrain which drains underground into the filled landscaped area. The



A & M PARTNERS, INC.
REAL ESTATE DEVELOPMENT/MANAGEMENT

120 EXCHANGE STREET PORTLAND, MAINE 04101

(207) 879-1358

April 25, 1997

To: Planning Department
City of Portland

RE: Minor Site Review 13 Franklin St. (Former W.L. Blake warehouse building).

Applicant: M&A Partners, Inc.
120 Exchange Street
Portland, Maine. 04101

Please accept the following as our written statement to accompany of site plan for 13 Franklin Street.

- Owner as above
- Estimated site work cost \$25,000.00
- The existing brick building (28,259sf total floor area) will be partially converted from the existing warehouse distribution use to 9900sf of retail and or office use. There are no residential used anticipated at this time.
- The total land area of the site is 25003sf and ground coverage of the existing structure is 11,000sf.
- Solid waste generated by the building would be normal office waste. Curb side pick-up will be used.
- The site is already currently served by water, sewer, electric and phone service. Natural gas might be added later as heating source.
- The existing site is already paved with run-off in the rear parking area (north) collected in an existing catch basin and runoff from the middle lot and the former Franklin Street running to existing catch basins on Franklin Arterial. Some pavement will be removed for landscaping on the old Franklin Street. (3000sf +/-) This will reduce the current imperious surface area and thereby reducing existing run-off.
- The only site construction will be the landscaping of the former Franklin St. Hay bales will be placed along the downstream edge (east) of the area to contain any erosion prior to completion of the plantings. The project should take 4-8 weeks to complete.
- No State or Federal approvals are being sought for the project.
- We plan to construct the project using our own funds it will not require financing.

- Attached is a deed to the property.
- There will be no impact to unusual natural wildlife or fisheries habitats, or archeological site.

Sincerely,



Louis C. Wood

M&A Partners, Inc.

CITY OF PORTLAND

July 3, 1997

Mr. Michael Scarks
A & M Partners
120 Exchange Street
Ste. 101
Portland, ME 04101

Re: 13 Franklin Street, W.L. Blake Building

Dear Mr. Scarks:

On July 3, 1997 the Portland Planning Authority granted minor site plan approval for the change of use of the building at 13 Franklin Street with the following conditions:

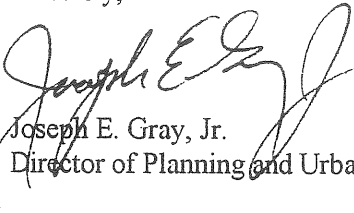
- That the existing catch basin behind the building be replaced with a MDOT Type "F" catch basin, 4 foot length or equiv.
- That the ponding problem which will be created at the westerly corner of the building be resolved. This area is where the sidewalks come together at the corner of the building at Fore Street and Franklin Street Arterial. The proposed grading against the building will create the problem by blocking the existing drainage flows. A suggestion would be to tie into the street storm sewer. Your proposed solution shall be submitted for approval by the Planning Authority.
- The existing brick sidewalk which runs through the parking lot shall be relocated to abut along the existing esplanade and where the proposed planters are located. A 3' opening could be located where the existing granite curb ends to allow drainage to flow to the catch basin. The sidewalk shall be built in accordance with City of Portland Technical Standards. A sketch of the detail is attached.
- A crosswalk shall be painted across Bradbury Court to connect the sidewalks, as well as striping of parking areas, including a line delineating the edge of Bradbury Court.

C:\PLANNING\DEV\REV\W\FRANKL13\APPR\LTR.WPD

6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
Deb Andrews, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckal, Zoning Administrator
Kathi Staples PE, City Engineer
Development Review Coordinator
William Bray, Deputy Director/City Traffic Engineer
Jeff Tarling, City Arborist
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File

Area 2- CENTER PLANTING

(5) EUONYMUS GAIETY 18-24"

(4) Miss Kim lilacs 2.5-3'

(4) Spirea 18"-24"

(3) Junipers 2'

(1) Sargent Crab 1.5" cal.

(3) PJM rhododendron 2.0-2.5'

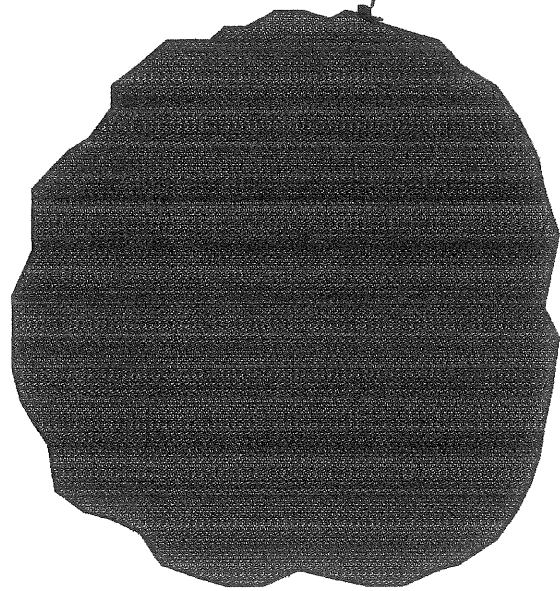
(5) spreading yews 2.5-3'

| | |
|---|------------------------|
| CAPE PORT LANDSCAPE 9 GLENWOOD DRIVE KENNEBUNK, MAINE FAX 207-985-9740 | |
| 6/4/96 | SCALE 1/4" = 1 FOOT |
| W.L BLAKE WAREHOUSE | |

| | |
|---|------------------------|
| CAPE PORT LANDSCAPE 9 GLENWOOD DRIVE KENNEBUNK, MAINE FAX 207-985-9740 | |
| W.L BLAKE WAREHOUSE | |
| 6/4/96 | SCALE 1/4" = 1 FOOT |

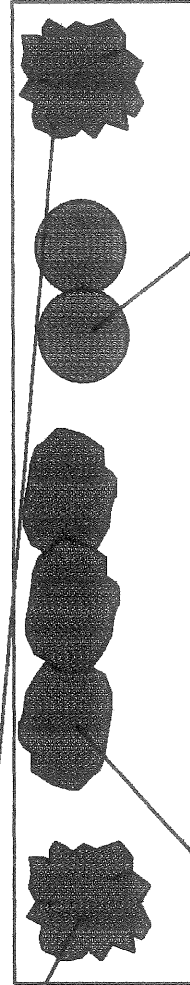
(2) PRYUS CALLERYANA "CLEVELAND" CAL 2.0-2.5"

(CLEVELANDS TO BE PLANTED IN LAWN AREAS OUTSIDE MAIN ENTRANCE WALKS.)



Typical foundation planting to left and right of entry

(2) Arbor Vitae 6-8'



(3) Junipers 2-5-3.0'

(2) Spreading yew 3-3.5'

Attachment 4

Bk. 12952
Pg. 208

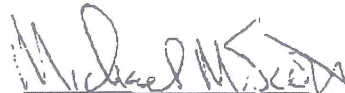
WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS, That **MICHAEL M. SCOTT**, of Portland, County of Cumberland and State of Maine, for consideration paid, grants to **M & A PARTNERS, INC.**, a Florida corporation with a place of business at 13899 Biscayne Boulevard, Miami, County of Dade, State of Florida, with **WARRANTY COVENANTS**, the land in Portland, County of Cumberland, State of Maine, described as follows:

See Exhibit "A".

IN WITNESS WHEREOF, the said Michael M. Scott has caused this instrument to be signed and sealed this 17th day of February, 1997.

WITNESS:


Michael M. Scott

STATE OF MAINE
CUMBERLAND, SS.

February 17, 1997

Personally appeared the above named Michael M. Scott and acknowledged the above instrument to be his free act and deed.

Before me,


Notary Public

MARGARET J. CARMICHAEL
NOTARY PUBLIC, MAINE
COMMISSION EXPIRES FEBRUARY 16, 1998

Exhibit "A"

A certain lot or parcel of land with the buildings thereon situated in said Portland on the northeasterly side of Franklin Street and bounded and described as follows:

Beginning at the intersection of Franklin Street and the northerly sideline of a passageway running easterly from said Street at a point 110 feet westerly from Commercial Street and running thence by said Passageway 116 $\frac{1}{4}$ feet to a stake; thence northwesterly at right angles with said line 37 $\frac{1}{2}$ feet to a stake; thence southwesterly on a line parallel with said passageway to Franklin Street; thence southeasterly by said street 37 $\frac{1}{2}$ feet to first bound.

Also the right to use and occupy a lane 20 feet wide running out of Franklin Street toward India Street, which lane is always to be kept open and adjoins the southeasterly side of the lot described.

The above described premises were conveyed to W.L. Blake & Co. by S. Richard Mack by deed dated September 2, 1966 and recorded in Cumberland County Registry of Deeds in Book 2972, Page 607.

ALSO all right, title and interest in and to another certain lot or parcel of land situated in Portland, County of Cumberland and State of Maine, and formally being a portion of Franklin Street being more particularly bounded and described as follows:

Beginning at an iron pin found on the northeasterly sideline of Franklin Street and the westerly corner of Bradbury Court, so-called, at the southerly corner of land now or formerly of W.L. Blake & Co. as recorded in Cumberland County Registry of Deeds in Book 2972, Page 607. Thence by the following courses and distances:

- 1) S 33°23'20" W on a prolongation of the northwesterly sideline of said Bradbury Court a distance of three and 49/100 (3.49) feet to a point of curvature.
- 2) Thence by a curve to the right having a radius of thirty and 00/100 (30.00) feet and an arc length of twenty-seven and 275/100 (27.275) feet to a point.

- 3) N 46°19'42" W a distance of sixty-one and 27/100 (61.27) feet to a point.
- 4) N 49°47'05" W a distance of forty and 07/100 (40.07) feet to a point.
- 5) N 52°24'21" W a distance of eighty-five and 81/100 (85.81) feet to a point.
- 6) N 38°51'02" E a distance of twenty-four and 23/100 (24.23) feet to a point on the northeasterly sideline of Franklin Street, said point being at the northwesterly corner of land of said W.L. Blake & Co. and the southerly corner of land now or formerly of Jordan's Ready to Eat Meats as recorded in said Registry in Book 3992, Page 18.
- 7) S 51°03'28" E along the northeasterly sideline of said Franklin Street and the southwesterly sideline of land of W.L. Blake a distance of one hundred ninety-five and 84/100 (195.84) feet to the point of beginning.

The above-described portion of Franklin Street contains 4,664 square feet. Bearings are based on grid north.

The above-described premises were conveyed to W.L. Blake & Co. by the City of Portland by deed dated January 5, 1989 and recorded in Cumberland County Registry of Deeds in Book 8629, Page 16.

ALSO another certain other lot or parcel of land, with the buildings thereon, situated on the northeasterly side of Franklin Street in said Portland, and bounded and described as follows:

Beginning on the northeasterly side line of said Franklin Street at the southerly corner of land which was conveyed to George Burnham, Jr., by deed of Robert I. Robinson, dated June 15, 1877, and recorded in said Registry of Deeds in Book 438, Page 224;

Thence running northeastwardly at right angles with Franklin Street and by said Burnham, Jr., land about eighty-two (82) feet to land conveyed by John W. Musgrave to George Burnham, Jr., by deed dated May 13, 1893, recorded in said Registry in Book 601, Page 358;

Thence southeastwardly by said last mentioned land seventy-five and forty-six one hundredths (75.46) feet, more or less, to the most southerly corner thereof;

Thence northeastwardly by said last mentioned land twenty-six (26) feet;

Thence southeastwardly sixteen (16) feet, more or less, to land conveyed by George Burnham, Jr., and another to David F. Murdock and another by deed dated May 19, 1899 and recorded in said Registry in Book 676, Page 405;

Thence southwestwardly by said Murdock land eleven (11) feet, more or less, to the westerly corner thereof, said corner being in a right angle line to a point on the northerly side of a passageway leading from Franklin Street towards India Street (known as Bradbury Court) distant one hundred and four and fifty-five one hundredths (104.55) feet easterly from Franklin Street;

Thence southeastwardly by said Murdock land fourteen and eighty-four one hundredths (14.84) feet, more or less, to the most northerly corner of the wooden building belonging to the Murdock & Freeman Company located at the corner of Franklin Street and Bradbury Court;

Thence southwestwardly by the northwesterly side of said building one hundred (100) feet to the northeasterly sideline of said Franklin Street;

Thence northwestwardly by said Franklin Street one hundred and seventeen and thirty-five one hundredths (117.35) feet, more or less, to the point of beginning.

Subject to such rights and easements and exceptions as are set forth in a deed dated March 7, 1917 and recorded in said Registry of Deeds in Book 989, Page 82.

ALSO a certain small strip of land adjoining the last mentioned lot on the northeasterly side and bounded and described as follows:

Beginning at a point on the southeasterly sideline of a lot of land conveyed by John W. Musgrave to George Burnham, Jr., by deed dated May 13, 1893 and recorded in said Registry in Book 601, Page 358, which point is distant twenty-six (26) feet northeasterly from the most southerly corner of said lot;

Thence running northeastwardly by said George Burnham, Jr., land, twenty-nine and two tenths (29.2) feet to the most easterly corner thereof;

Thence southeastwardly seventeen (17) feet to land conveyed by George Burnham, Jr., and another to David F. Murdock and another by deed recorded in said Registry in Book 676, Page 405;

Thence southwestwardly by said last mentioned land twenty-nine (29) feet, more or less, to a corner of the immediately preceding premises hereinabove conveyed.

Thence northwestwardly sixteen (16) feet, more or less, to the point of beginning.

The last two parcels above described are conveyed with all rights in common with others which this Grantor has in said Bradbury Court, and in and to a passageway sixteen (16) feet wide extending from the northerly side of said Bradbury Court to land hereby conveyed.

These two parcels are a portion of the premises conveyed to the Grantor herein by deed dated March 7, 1917 and recorded in said Registry of Deeds in Book 989, Page 82.

ALSO another certain lot or parcel of land with the buildings thereon situated in said Portland on the northeasterly side of Franklin Street, and bounded and described as follows:

Beginning on the northeasterly sideline of said Franklin Street at a point distant fifty (50) feet southeasterly from the southerly corner of a lot of land formerly of Joshua Weeks;

Thence southeasterly by said Franklin Street thirty-nine and eight tenths (39.8) feet to land formerly of Rumery and Burnham, and formerly of the Rumery-Burnham Realty Company; and from these two points extending back northeasterly at right angles from Franklin street keeping said width of thirty-nine and eights tenths (39.8) feet and adjoining said land of Rumery-Burnham Realty Company, a distance of about eighty-two (82) feet to land formerly of Pennell;

Subject, however, to the reservation of a passageway twelve (12) feet wide from the rear or northeasterly end of said premises.

ALSO another certain lot or parcel of land with the buildings thereon situated in said Portland, the same being a certain rear part of the lot of land fronting on Fore Street and sold to Margaret A. Musgrave by Margaret C. Fernald et als. October 27, 1868 as per deed recorded in said Cumberland Registry of Deeds, Book 362, Page 406; said part herein conveyed being bounded and described as follows:

Beginning at the northeast corner of the lot S.E. Spring et als. sold to said George Burnham, Jr., as per deed dated May 18, 1859 and recorded in said Registry, Book 295, Page 33;

Thence easterly by the line of the northerly face of the brick wall of the block on the lot sold by Spring et als. to George Burnham, Jr., fifty and three tenths (50.3) feet to the line of an old fence dividing the property under description from that next easterly thereof, formerly belonging to the Estate of J. Tewksbury and the Portland Steam Packet Company;

Thence southeasterly by said land of Tewksbury and the Portland Steam Packet Company seventy-six and fifty-three hundredths (76.53) feet to land of Rumery-Burnham Realty Company;

Thence southwesterly by said Rumery-Burnham Realty Company land fifty-five and two tenths (55.2) feet to a point within twelve (12) feet of the rear brick wall of the said brick block on land of said Rumery-Burnham Realty Company;

Thence northwesterly twelve (12) feet from and parallel with the said wall of said brick block seventy-five and forty-six hundredths (75.46) feet to the point of beginning.

The last two parcels described above are the same premises conveyed to the Grantor herein by deed dated March 8, 1917 and recorded in said Registry of Deeds in Book 989, Page 85, and by deed dated March 10, 1917 recorded in Book 989, Page 87.

Being the same premises conveyed to Michael M. Scott by W. L. Blake & Co. by deed dated December 13, 1996, and recorded in the Cumberland County Registry of Deeds in Book 12863, Page 349.



October 6, 1997

Irrevocable Letter of Credit No: 57511-516

ONE PORTLAND SQUARE
P.O. BOX 9540
PORTLAND, ME 04112-9540
207-761-8500

Joseph E. Gray, Jr., Director of Planning
and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

RE: Michael K. Scarks and Arthur P. Girard/Site Development Cost Estimates of Improvements to be Covered by Performance Guarantee for Former WL Blake property at 13 Franklin Street, Portland, Maine

Dear Mr. Gray:

For value received, and for the account of **Michael K. Scarks and Arthur P. Girard** we hereby authorize you to draw on us at sight up to an aggregate amount of **Seventeen Thousand Five Hundred Ninety Two and 00/100 (17,592.00) U.S. Dollars.**

This Letter of Credit is irrevocable and unconditional.

Drafts drawn under this Letter of Credit must specify the number of this Letter of Credit, must be accompanied by the original Letter of Credit, must be presented at this office no later than **October 6, 1998**. Any number of partial draws are permitted hereunder, up to the full amount of this Letter of Credit.

These funds represent the estimated cost of installing site improvements as depicted on the City of Portland, Maine Subdivision/Site Development Cost Estimate attached hereto and made a part hereof.

The City of Portland may draw against this Letter of Credit by presentation of a draft in the event that **Michael K. Scarks and Arthur P. Girard** fails to complete within twelve (12) months of the date the work stipulated on the Cost Estimate. Said draft shall be accompanied by a written statement from the Director of Planning and Urban Development that **Michael K. Scarks and Arthur P. Girard** has failed to complete such work, with a listing of improvements still to be completed, and the estimated cost of completing said improvements still to be completed as determined by the Development Review Coordinator.

Michael K. Scarks and Arthur P. Girard

October 6, 1997

Page 2

After all work in the public right of way has been completed and inspected to the satisfaction of the Department of Public Works, including but not limited to the installation of sanitary sewer, piping connections, storm drainage, catch basins and piping, detention basin, erosion control and landscaping, Peoples Heritage Bank shall be eligible to receive a reduction in its obligation hereunder equal to the estimated cost of Improvements. In no case, however, shall the obligations of Peoples Heritage Bank hereunder be reduced to an amount which is less than the estimated cost of completing all prescribed improvements as determined by the Department of Public Works, as described above.

Michael K. Scarks and Arthur P. Girard will notify the City of Portland for inspections.

This Letter of Credit will automatically expire on **October 6, 1998** but may expire prior to this date when the City of Portland acknowledges in writing to Peoples Heritage Bank and **Michael K. Scarks and Arthur P. Girard** that said work as outlined has been completed in accordance with the City of Portland specifications.

We engage with you that drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored. However, other than the payment of monies as authorized hereunder, Peoples Heritage Bank shall not guarantee the performance of **Michael K. Scarks and Arthur P. Girard** to the City of Portland.

This Letter of Credit sets forth in full the terms of our obligations to you, and such undertaking shall not in any way be modified or amplified by any agreement referring to this Letter of Credit, to or to which this Letter of Credit relates, and any such reference shall not be deemed to incorporate herein by reference any agreement.

This Letter of Credit shall be interpreted and construed in accordance with, and shall be governed by, the Uniform Customs and Practice for Documentary Credit (1993 Revision), International Chamber of Commerce Publication No. 500, and to the extent not inconsistent therewith, by the Uniform Commercial Code as in effect from time to time in the State of Maine.



Very truly yours,

Peoples Heritage Bank

BY: 

Karl H. Suchecki
Vice President

Approved pursuant to §14-525(j) of the Portland City Code
Natalie L. Burne 10/9/97
Assoc. Corp. Counsel

 10/9/97
 & Urban Development

QUITCLAIM DEED

(Without Covenant)

STATUTORY SHORT FORM

M&A Partners, Inc, A Florida Corporation for consideration paid, grant to the City fo Portland, County of Cumberland, State of Maine an easement located at said Portland, County of Cumberland, State of Maine, as more fully described on the attached EXHIBIT A, LEGAL DESCRIPTION, incorporated by reference herein.

WITNESS our hands and seals this 22nd day of September, 1997.

OWNER Michael Scovel *AKA*
OWNER _____

STATE OF MAINE
Cumberland, ss.

September 22nd 1997

Then personally appeared the above named Michael Scovel and _____ and acknowledged the foregoing instrument to be their free act and deed

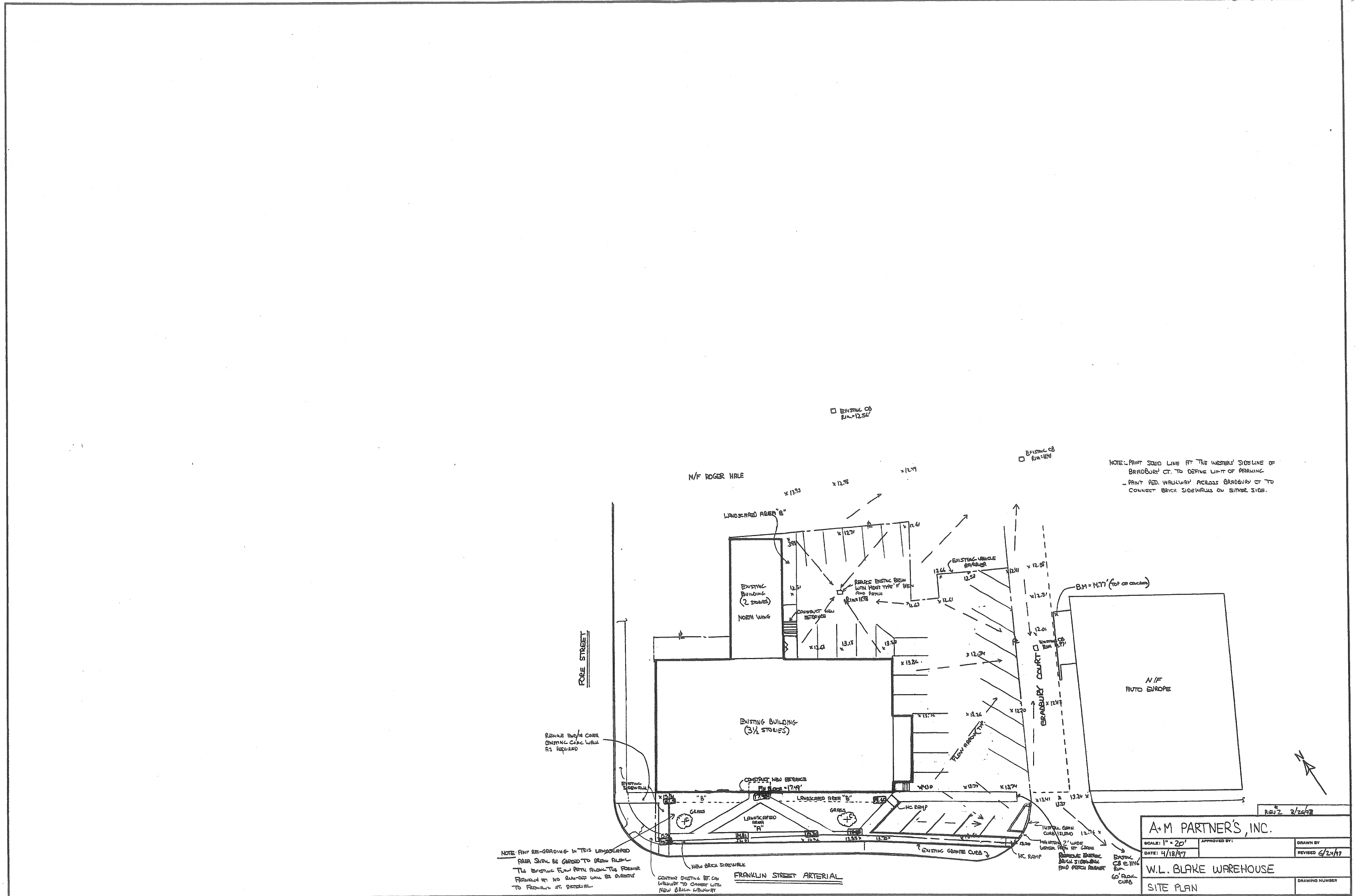
Before me, Bradford A. Rader
Notary Public
Attorney at Law

Printed name: Bradford A. Rader
BRADFORD A. RADER
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES AUGUST 14, 2000

EXHIBIT "A"

Meaning and intending to convey an easement for a side-walk for pedestrian use across part and only part of the premises acquired by the Grantor in a deed from Michael M. Scott dated 2/17/97 which is recorded in the Cumberland County Registry of Deeds in Book 12952 Page 208 and described as follows:

A strip of land 5' wide northeasterly of and parallel to the southwesterly sideline of said parcel owned by M&A Partners, Inc. and running it's full length along Franklin Arteria fo a distance of 188'+/-.



NOTE: PAINT SOLID LINE AT THE WESTERN SIDELINE OF BRADBURY CT. TO DEFINE LIMIT OF PARKING.
 - PAINT RED WALKWAY ACCESS BRADBURY CT TO CONNECT BRICK SIDEWALKS ON EITHER SIDES.

REMOVE RAMP COVER EXISTING CONC WALL AS REQUIRED

NOTE: ANY RE-GRADING IN THIS LANDSCAPED AREA SHALL BE GRADDED TO MATCH ALONG THE EXISTING FLOW PATH ALONG THE FOREWALL. FRANKLIN ST. NO SWAY-OFF SHALL BE GRADDED TO FRANKLIN ST. DETENTION.

CONTINUE EXISTING BIT. CAN WALKWAY TO CHANGE WITH NEW BRICK WALKWAY

| | | | |
|----------------------|---------------|----------------|-----------------|
| A+M PARTNER'S, INC. | | APPROVED BY: | DRAWN BY: |
| SCALE: 1" = 20' | DATE: 4/18/97 | | REVISED 6/24/97 |
| W.L. BLAKE WAREHOUSE | | DRAWING NUMBER | |
| SITE PLAN | | | |

REVISED: 6/24/97



FINISHED GRADE
EXISTING GRADE

NEW STOREFRONT ENTRY
IN EXISTING OPENING

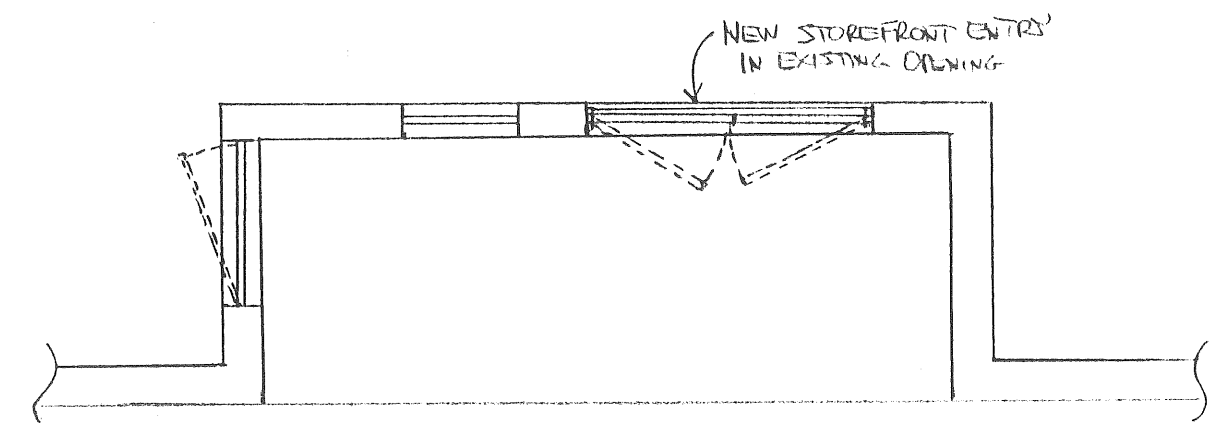
BRICK UP AS REQ'D

BRICK-IN CELLAR WINDOWS
(USE MATCHING BRICK, SET-BACK 1 1/2\"/>

SEE DETAIL "A"

FORMER W.L. BLAKE WAREHOUSE
SOUTH ELEVATION

SCALE: 1" = 10' +/-

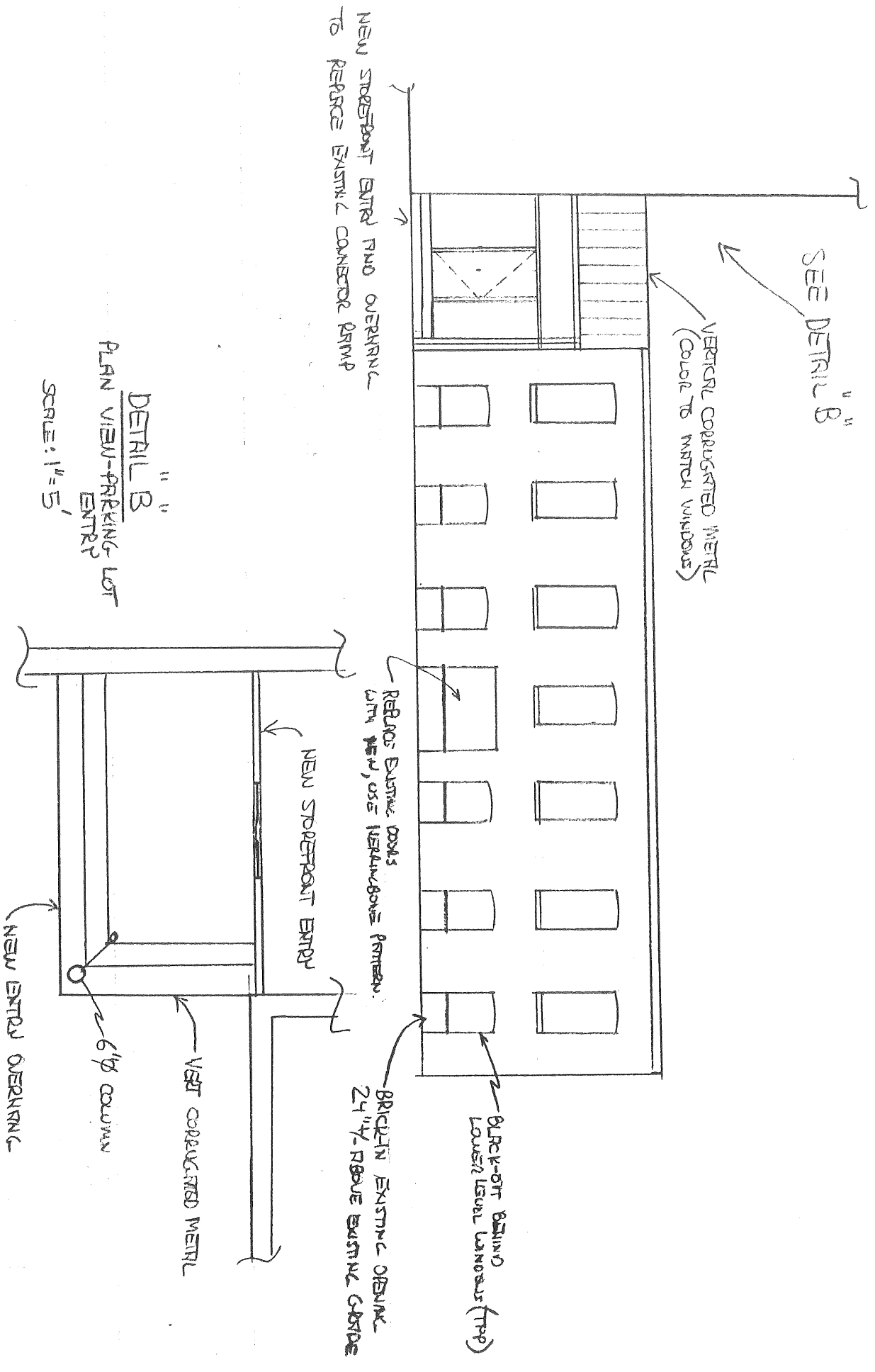


DETAIL "A"
PLAN VIEW - FRANKLIN ST. ENTRY
SCALE: 1" = 5'

FORMER WIL BLAIR WAREHOUSE
NORTH WING - EAST ELEVATION

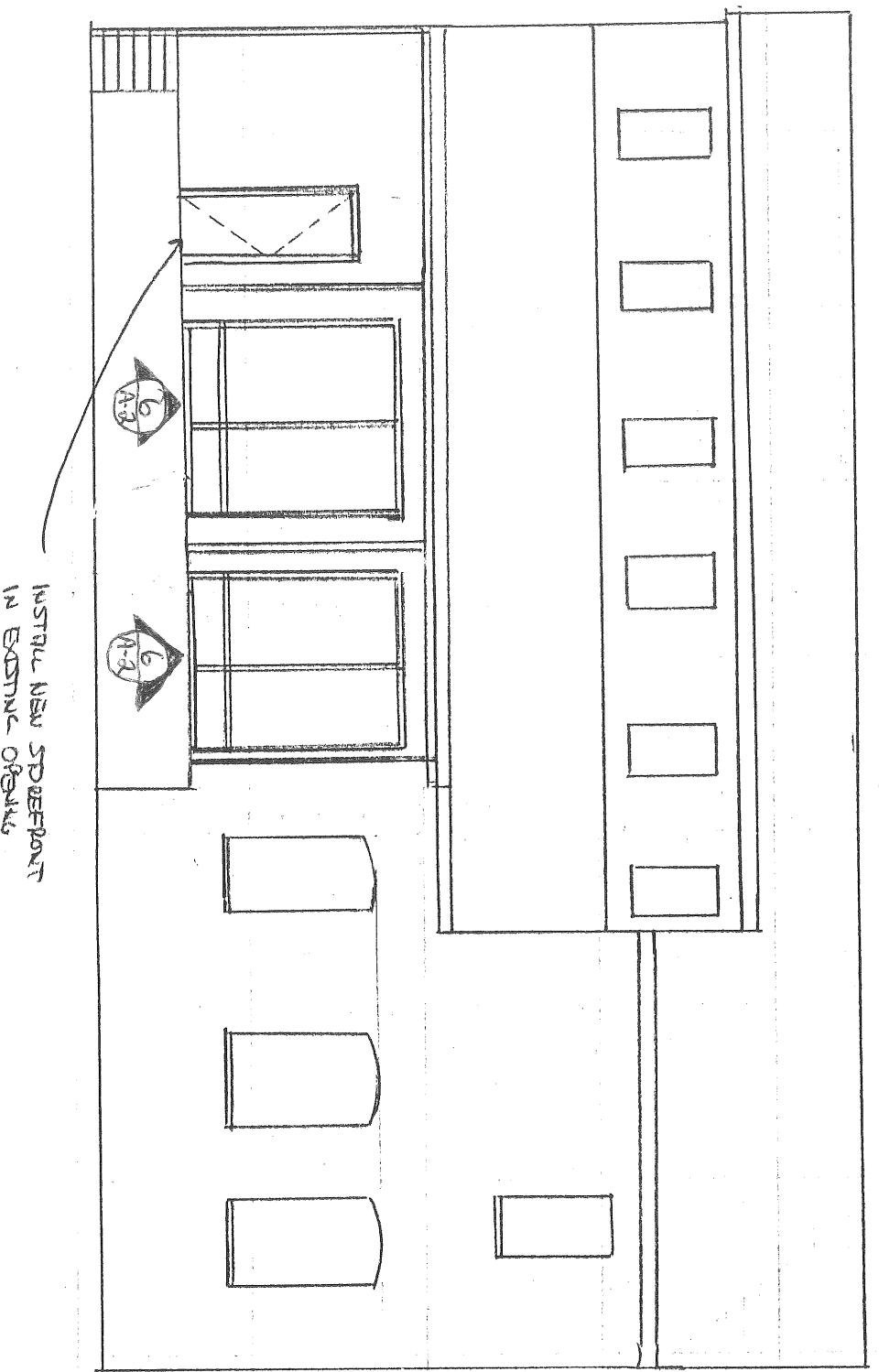
SCALE: 1" = 10' 1/2"

REVISION: 6/24/17

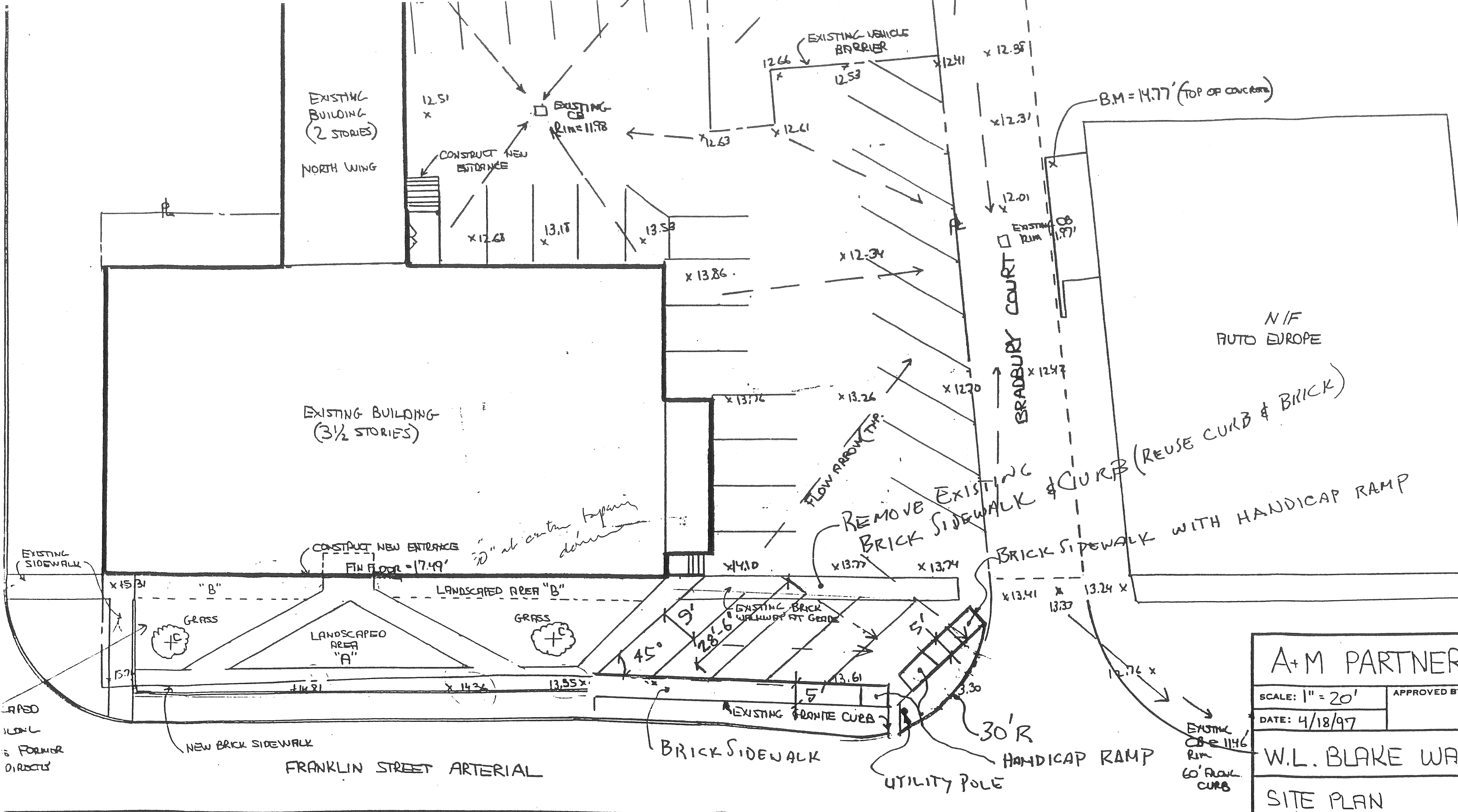


FORMER WIL BLAIR WAREHOUSE
EAST ELEVATION

SCALE: 1" = 10' 1/2"

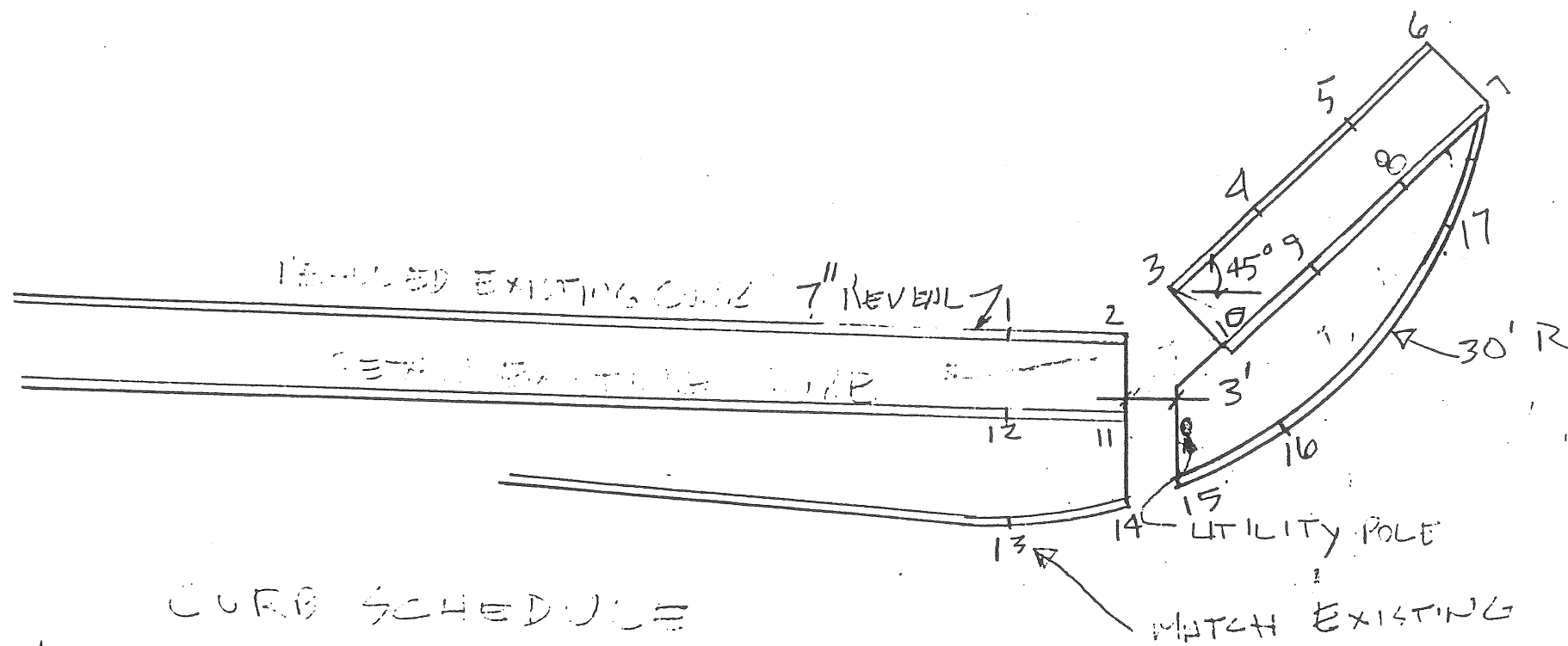


NOTE: ANY ENCLOSURES OF LOADING DOCK SHALL BE REVIEWED WITH PLANNING STAFF BASED ON TENANT REQUIREMENTS.



| | |
|-----------------|--------------|
| A+M PARTNER'S | |
| SCALE: 1" = 20' | APPROVED BY: |
| DATE: 4/18/97 | |
| W.L. BLAKE WARE | |
| SITE PLAN | |

DATE: 7/7/97



CURB SCHEDULE

| # | DESCRIPTION |
|------|-------------|
| 1-2 | 7' TIP DOWN |
| 3-4 | 7' TIP DOWN |
| 4-5 | 7' VERT. |
| 5-6 | 7' TIP DOWN |
| 7-8 | 7' TIP DOWN |
| 8-9 | 7' VERT. |
| 9-10 | 7' TIP DOWN |

| # | DESCRIPTION |
|-------|--------------------|
| 11-12 | 7' TIP DOWN |
| 13-14 | 7' TIP DOWN, 30' R |
| 15-16 | 7' TIP DOWN, 30' R |
| 16-17 | 16' VERT, 30' R |
| 17-7 | 7' TIP DOWN, 30' R |

VERTICAL GRANITE CURB LAYOUT

1" = 10'

W. BLAKE WASHINGTON

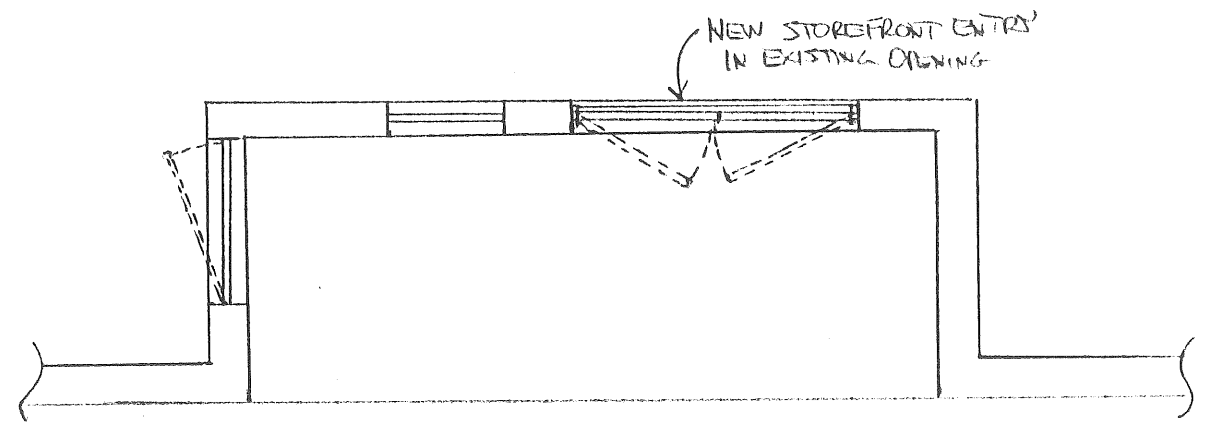
REVISED: 6/24/97



SEE DETAIL "A"

FORMER W.L. BLAKE WAREHOUSE
SOUTH ELEVATION

SCALE: 1" = 10' +/-

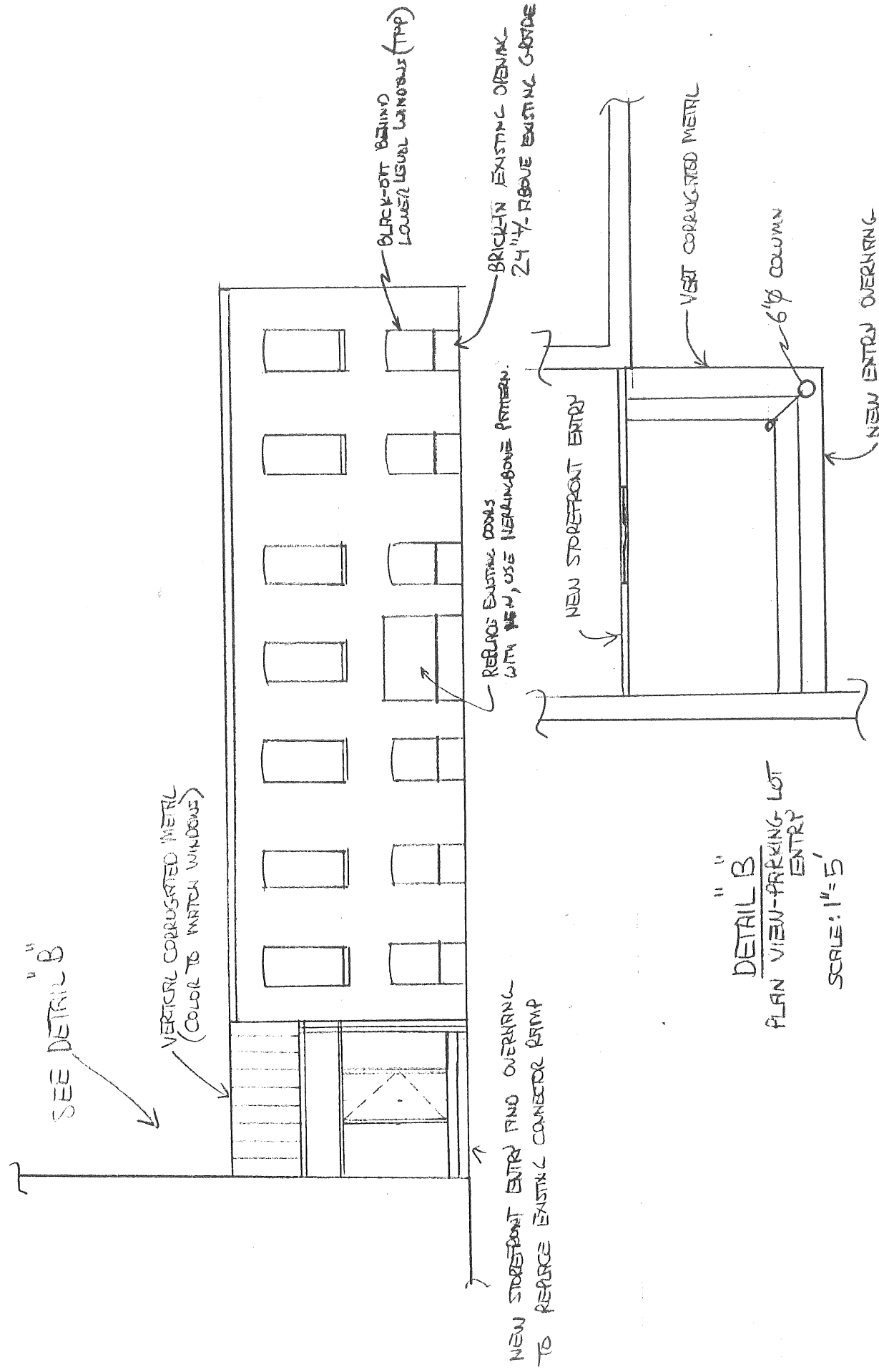


DETAIL "A"
PLAN VIEW - FRANKLIN ST. ENTRY
SCALE: 1" = 5'

FORMER WIL BLAKE WAREHOUSE
NORTH WING - EAST ELEVATION

SCALE: 1" = 10' 1/4"

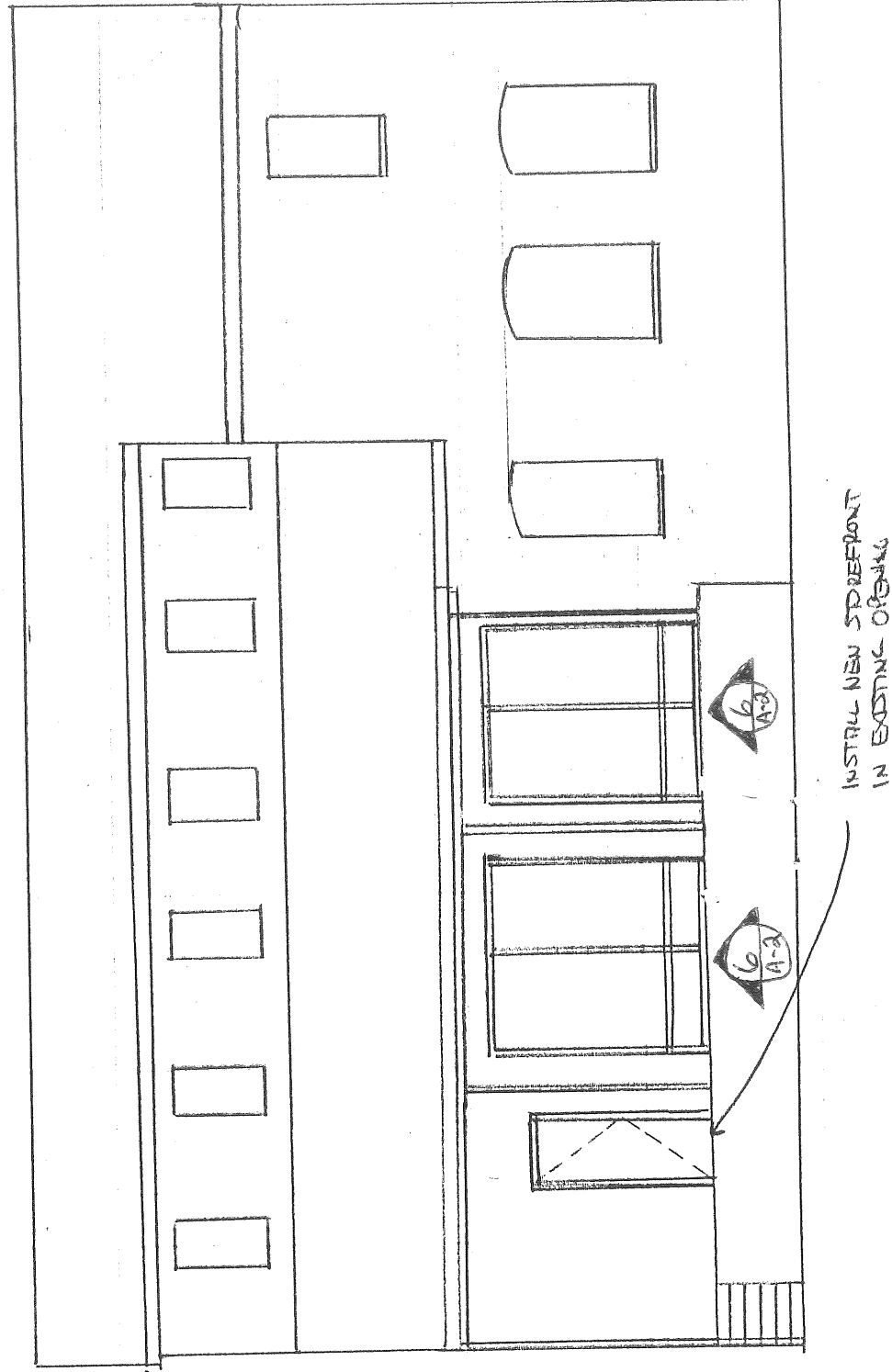
REVISED: 6/24/17



11"
DETAIL B
PLAN VIEW - PARKING LOT
ENTRY
SCALE: 1" = 5'

FORMER WIL BLAKE WAREHOUSE
EAST ELEVATION

SCALE: 1" = 10' 1/4"

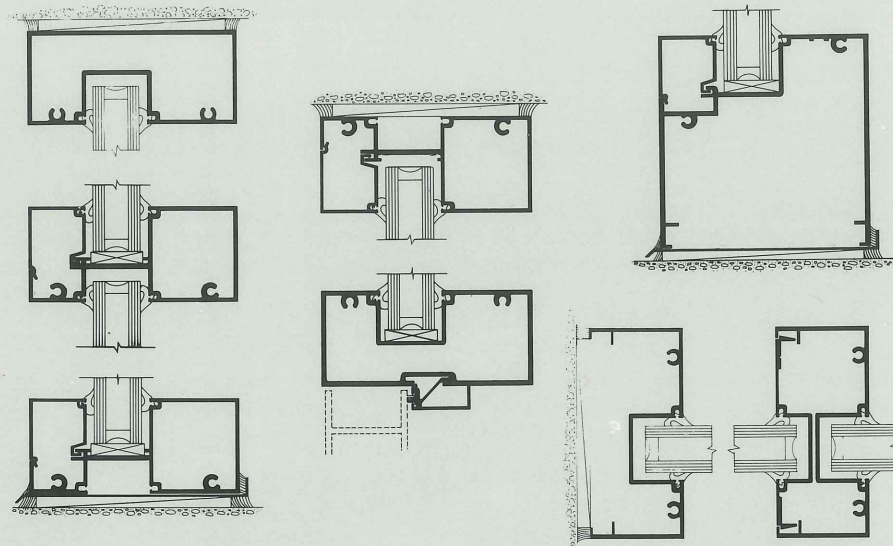


NOTE: ANY ENCLOSURES OF LOADING DOCK SHALL BE REVIEWED WITH PLANNING STAFF BASED ON TENANT REQUIREMENTS.

1050/2500 SERIES

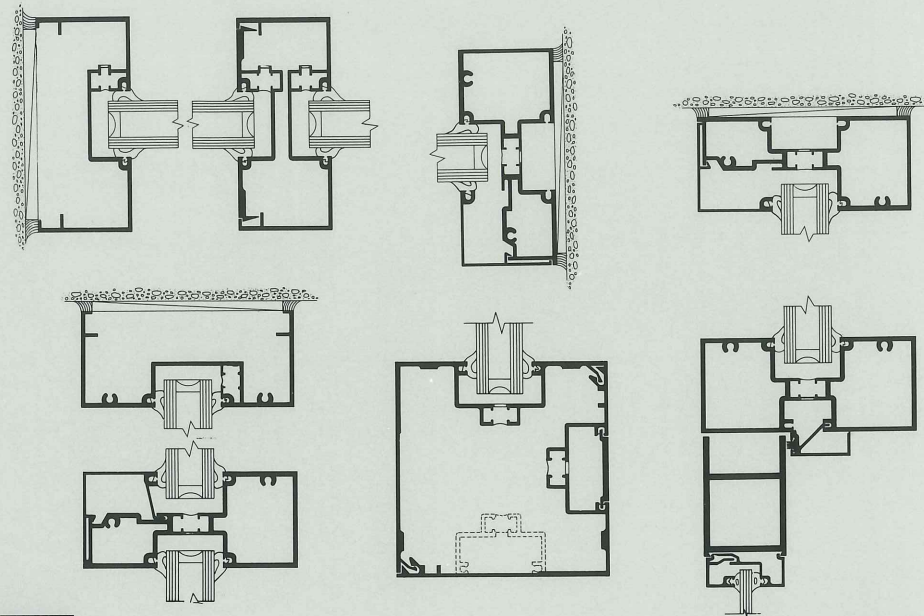
1050 SERIES

- Custom fabrication
- 2 x 4-1/2, 1" flush glazing with offset pockets that is compatible with all Portal Metal entrance packages
- Complete screw spline system throughout
- .093" 6063 T5 extruded aluminum
- Clear and bronze anodized finish in stock
- Tested in accordance to ASTM E 283 air infiltration and ASTM E 331 water infiltration
- All structural performances are based on maximum deflection of 1/175 of span
- Neoprene gaskets set inside & out



2500 SERIES

- Custom fabrication
- 2 x 4-1/2, 1" thermally improved flush glazed system with center pockets that is completely compatible with all Portal Metal Entrance Packages
- Complete screw spline system
- .093" 6063 T5 extruded aluminum
- Clear and bronze anodized finish in stock
- Tested in accordance to ASTM E 283 air infiltration and ASTM E 331 water infiltration
- All structural performances are based on maximum deflection of 1/175 of span
- Neoprene gaskets set inside & out

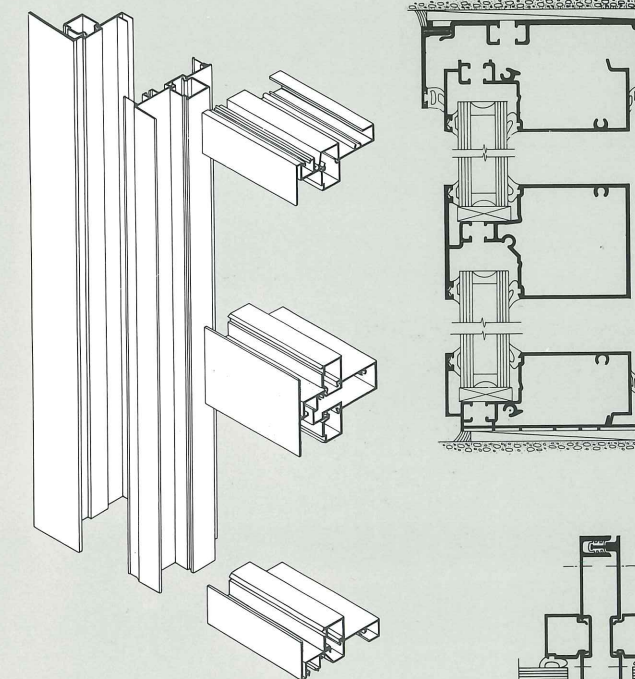
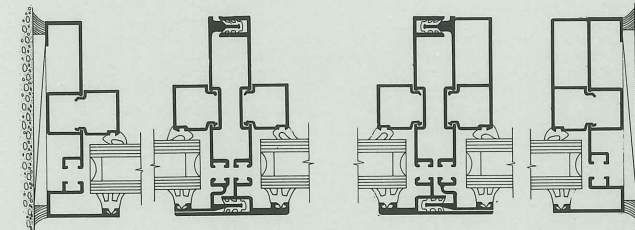


1400/2400 NO-SEAM MULLION

08400-POR
BUYLINE 0018

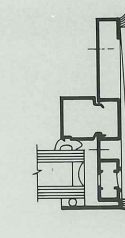
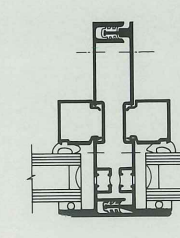
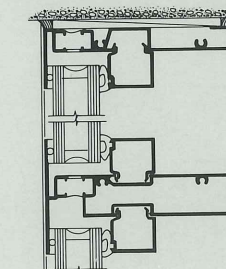
1400 SERIES

- 4" dry set no-seam mullion system
- Extruded 6063 T5 thermally improved aluminum
- Bronze and clear anodized finishes
- Horizontal and vertical site lines at 2-3/8"
- Perimeter site lines at 1-1/2"
- Usages include strip glazing, modular units & punch openings
- Receives Portal Metals 250 TB venting system
- Exterior weeping system
- Accepts 1/4", 5/8" and 1" glazing systems



2400 SERIES

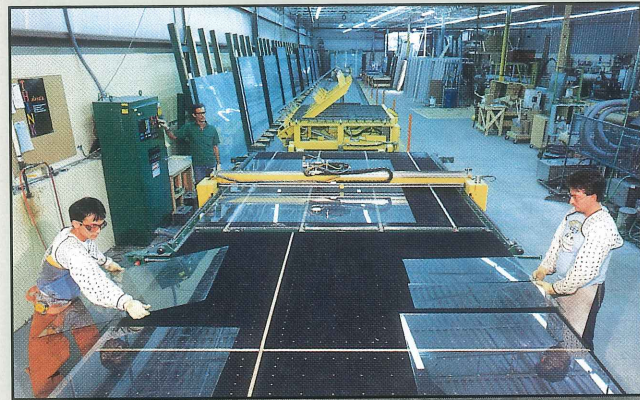
- 4" wet set, no seam mullion system
- Extruded 6063 T5 thermally improved aluminum
- Bronze & clear anodized finishes
- Horizontal & vertical site lines at 2-3/8"
- Perimeter site lines at 1-1/4"
- Utilization for strip glazing, modular units and punched openings
- Receives Portal Metals 250 TB venting system
- Accepts 1/4", 5/8", and 1" glazing systems



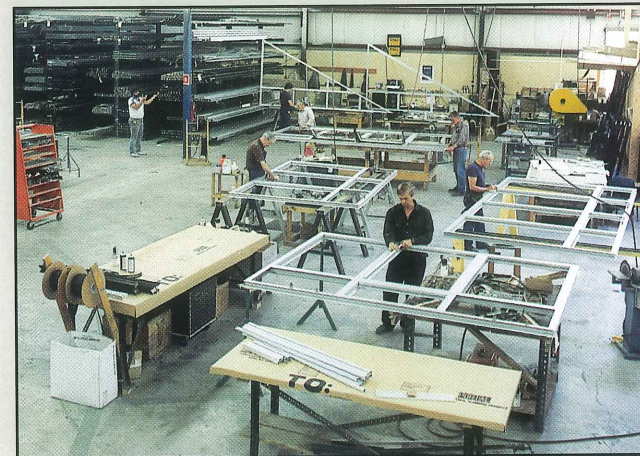
CUSTOM FABRICATION

Your order begins with our friendly customer service representatives or sales engineers. It is then quickly passed on to our engineering department. Drawings from simple to complex are handled by our experienced draftsmen. Your order then moves into our plant where skilled craftsmen carefully create the necessary parts to complete the job. Portal's concerned management team is involved in your project from its inception, assuring you of Excellent Delivery and Quality Products.

At the heart of the Portal Metal Products organization is our custom engineering and fabrication center. It is here that customer specifications are matched and exacting tolerances are checked. Portal is well equipped to fabricate custom systems in house. We invite you to visit our modern facility.



THERMAL GLAZING UNITS • We manufacture our own thermal glazing units to meet the exacting needs of our customers.



ALUMINUM FABRICATION • Portal is equipped to handle brake metal and sheet aluminum fabrication for custom orders and also provides many standard shapes and trims (in heavy aluminum extrusion form) to adapt to any field condition.

SERVICE • We are proud of the service we offer our customers. We do the shop drawings and, if we can be of help, we visit your job site. We are not afraid to quote prices over the phone. Furthermore, we'll answer your questions, solve unusual problems, and even make up custom orders for overnight shipment!



BENDING CAPABILITY • Portal has equipment to create custom curves which give your project desired aesthetic qualities.



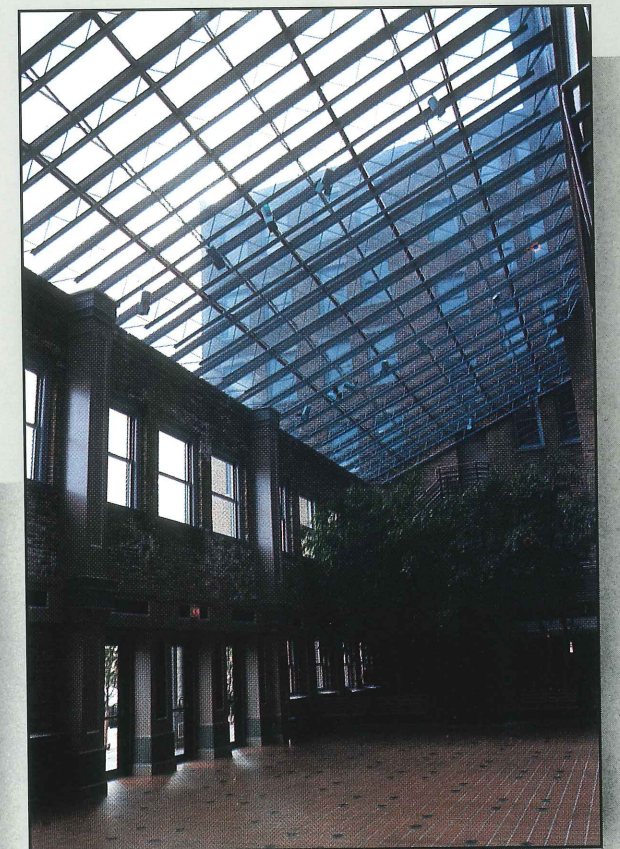
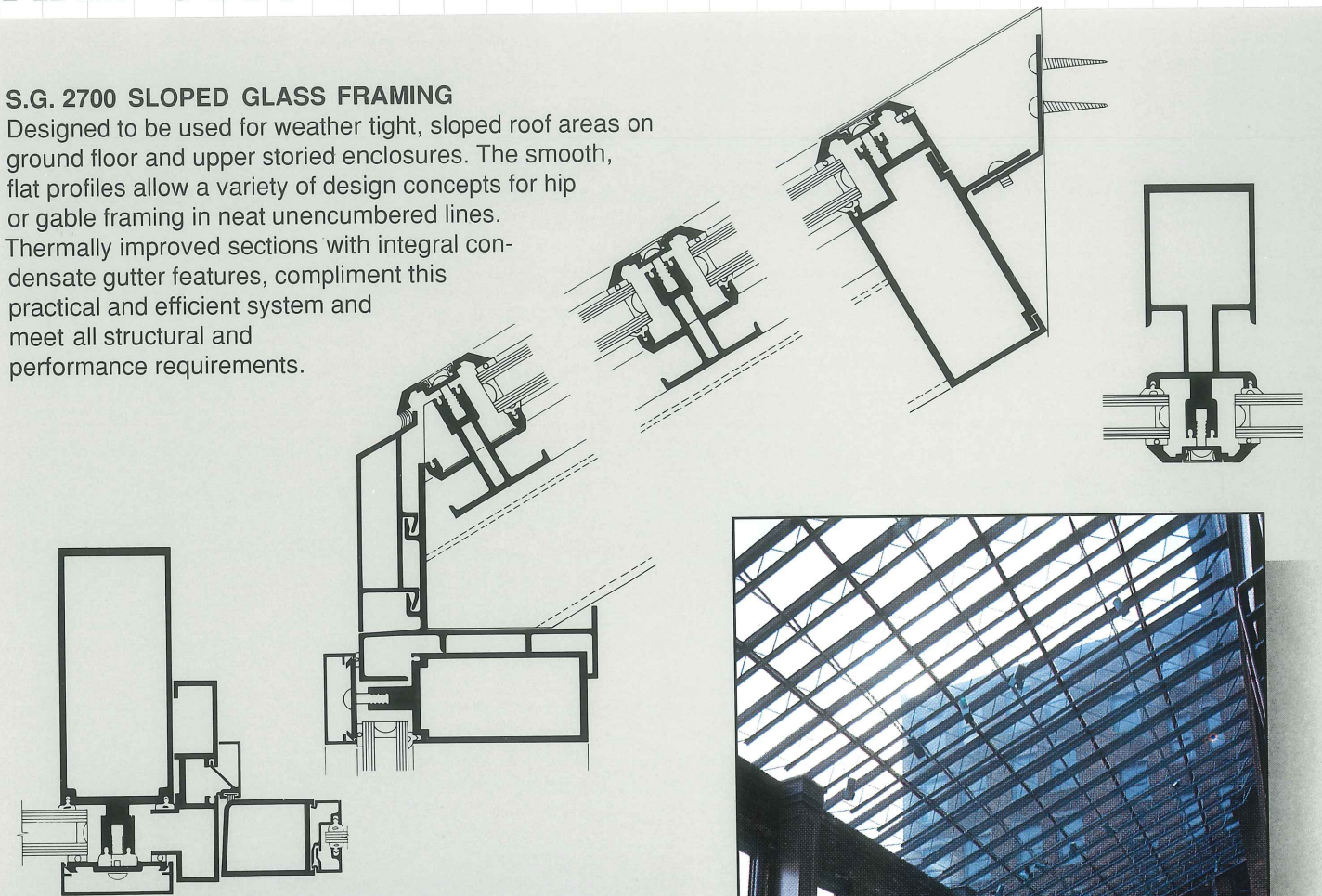
Portal's founders have over 70 years of experience in the manufacture of metal products. That's hands-on knowledge that will make your project a success! (pictured left to right) V.P. and Treasurer, Harry Naisuler, and President, Richard Naisuler.

S.G. 2700 SLOPED GLASS FRAMING AND 5000 SERIES

08400-POR
BUYLINE 0018

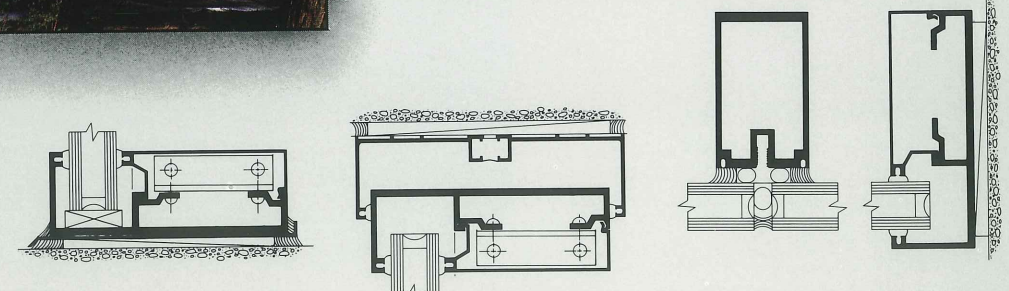
S.G. 2700 SLOPED GLASS FRAMING

Designed to be used for weather tight, sloped roof areas on ground floor and upper storied enclosures. The smooth, flat profiles allow a variety of design concepts for hip or gable framing in neat unencumbered lines. Thermally improved sections with integral condensate gutter features, compliment this practical and efficient system and meet all structural and performance requirements.



5000 SERIES

- Monumental Butt Glazing for Ribbon Window Application
- For use with 1" insulated glass
- Clip installation



REVISED: 6/24/97



FINISHED GRADE

EXISTING GRADE

NEW STOREFRONT ENTRY
IN EXISTING OPENING

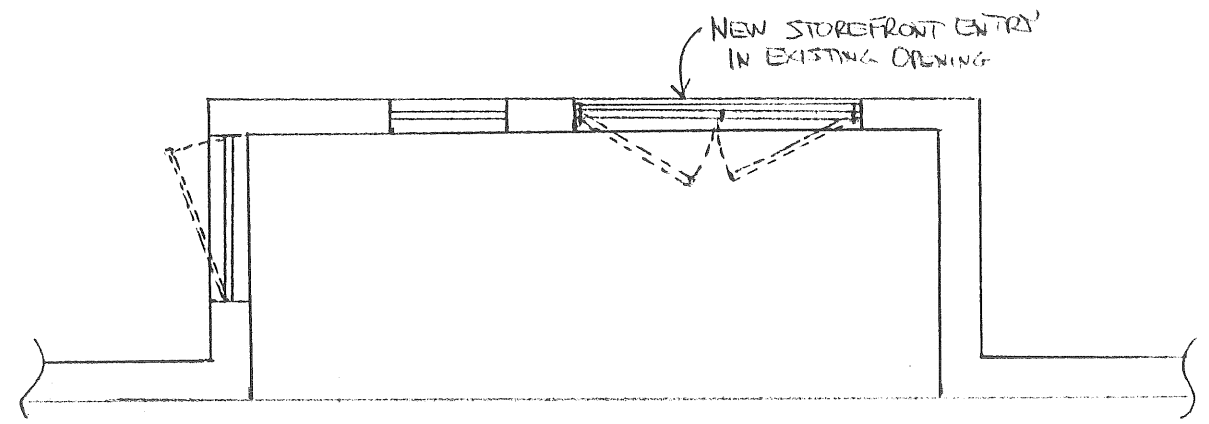
BRICK UP AS REQ'D

BRICK-IN CELLAR WINDOWS
(USE MATCHING BRICK, SET-BACK 1 1/2\"/>

SEE DETAIL "A"

FORMER W.L. BLAKE WAREHOUSE
SOUTH ELEVATION

SCALE: 1" = 10' +/-



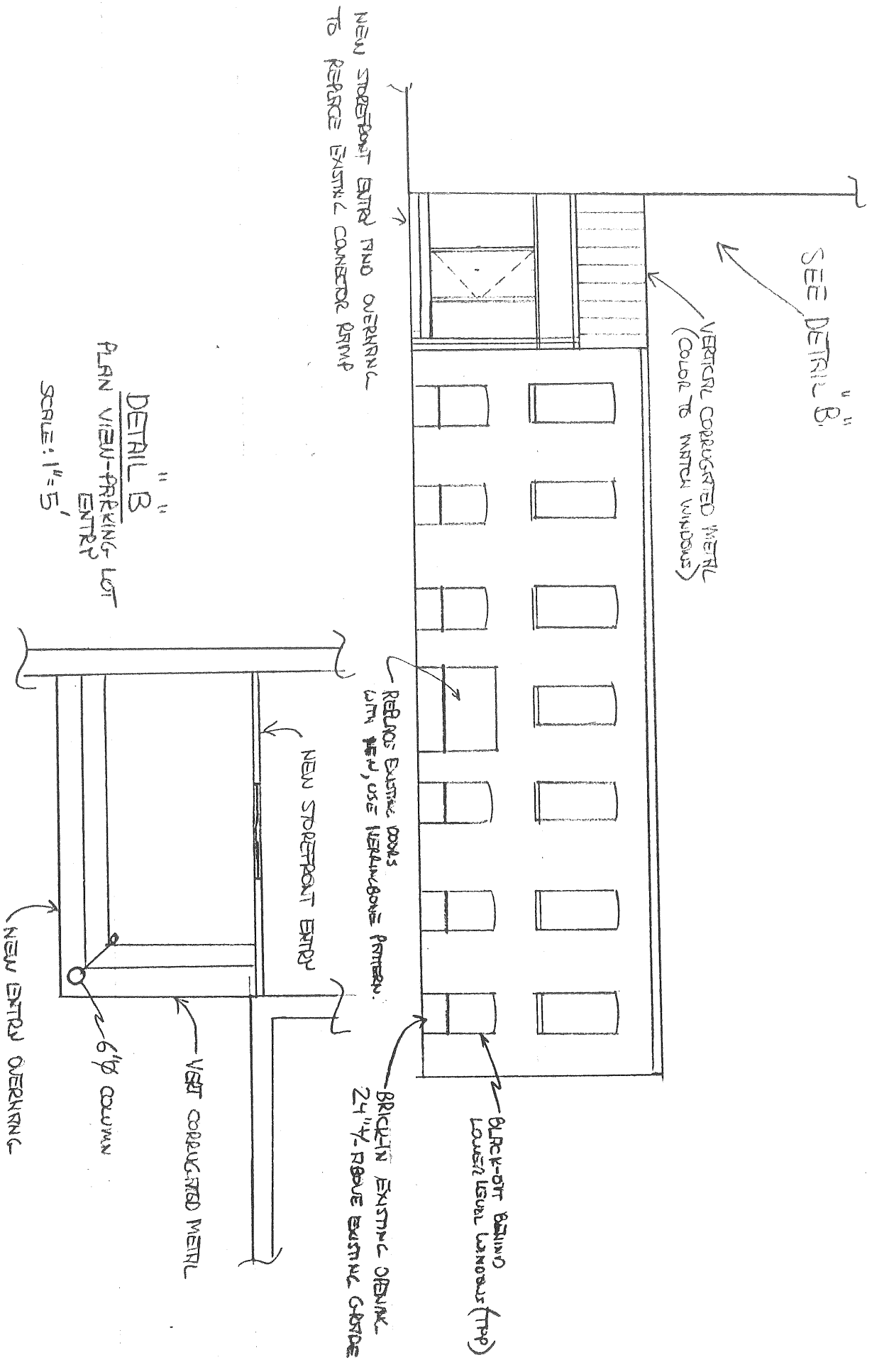
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SCALE: 1" = 5'

FORMER WIL BLAIR WAREHOUSE

NORTH WING - EAST ELEVATION

SCALE: 1" = 10' 1/2"

REVISED: 6/24/17



FORMER WIL BLAIR WAREHOUSE

EAST ELEVATION

SCALE: 1" = 10' 1/2"

