

List of Drawings

- a0 floor plan
- a1 exterior elevations
- a3 building cross sections
- a4 building cross sections, glazing elevations
- a5 barrier free toilet room elevations, wall types, details

LS1 life safety devices

Date of these drawings:  
October 11, 2011

Proposed Coffee Shop at  
9 Commercial Street  
Portland, Maine

not for permit  
or construction

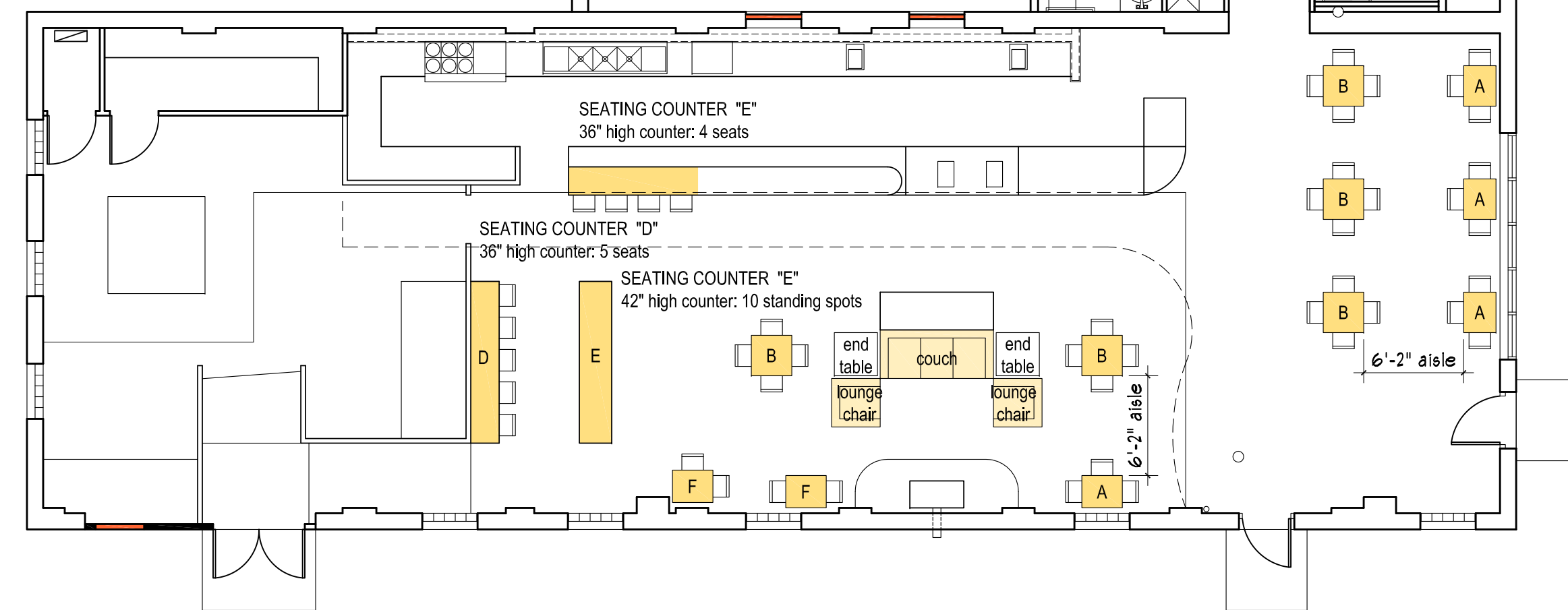
code information,  
seating diagram

a0

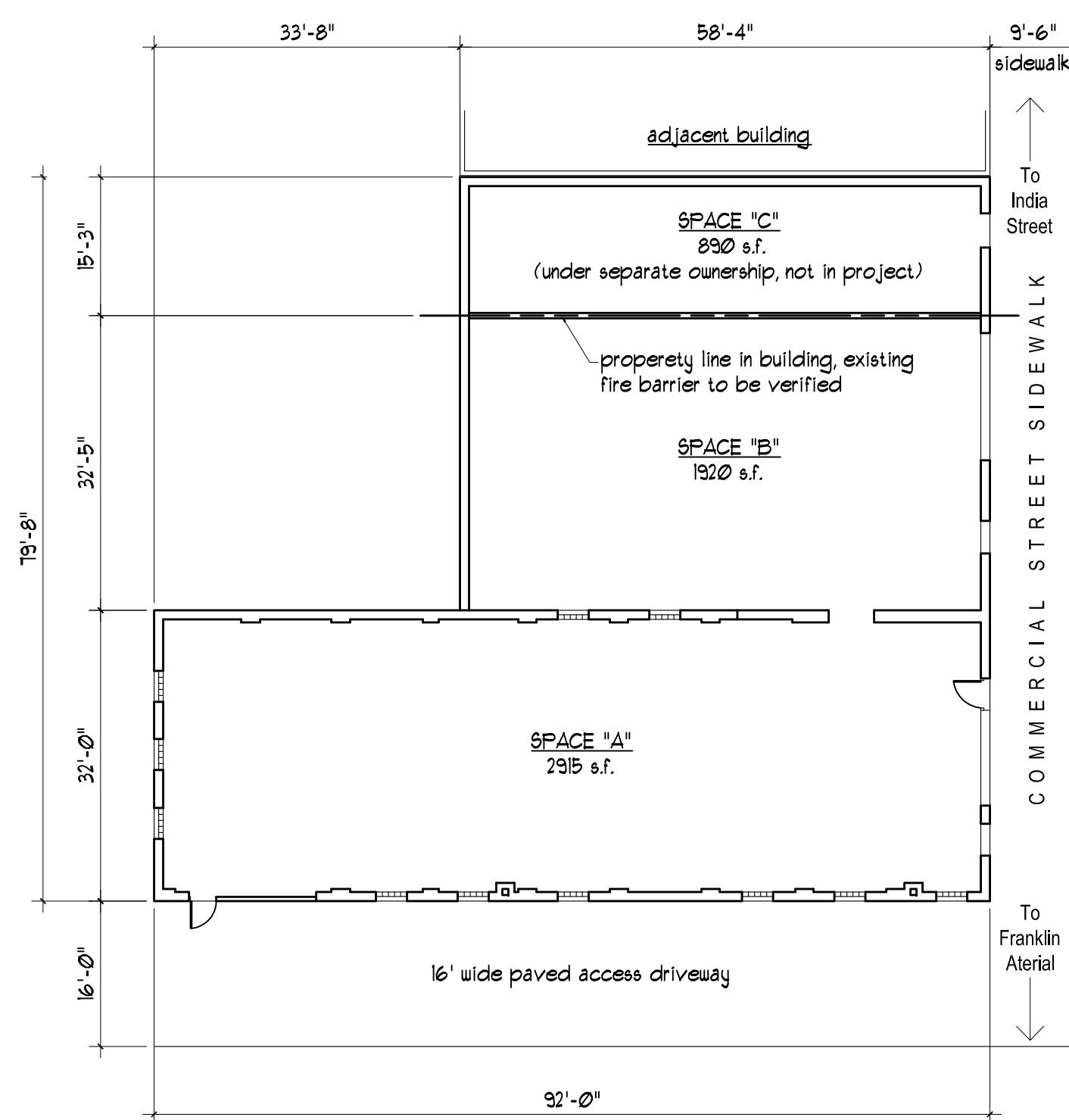
GENERAL NOTES:

1. The contractor is responsible for obtaining all permits and inspections for the project.
2. These drawings have been prepared in an effort to comply with the applicable provisions of the International Residential Code, 2009 edition.
3. The architect is not responsible for the means, methods, sequence, procedures, techniques, scheduling of construction, or safety of the work required by this project. The Contractor shall verify existing conditions where noted on the drawings and report to the architect any existing conditions that are not as shown on the drawings.
4. These drawings were developed expressly for the Crema Coffee Shop Project at 9 Commercial Street in Portland Maine. The design and details may not be used in any other circumstance without the permission of Josef Chalata, Architect.
5. The contractor shall report to the architect any problem, error or omission discovered in these drawings as soon as possible.
6. The contractor is responsible for the shoring and temporary support of existing structural members that the work requires.
7. These drawings do not include electrical, plumbing, or mechanical information. Those portions of the project will be done on a design/build basis, and separate drawings will be submitted for permits for that work.
8. The drawings and any written specification are intended to be used in their entirety by a single building contractor to coordinate the construction of this project. It cannot be assumed that any single sheet or several sheets from the set completely describe the work of any single trade or materials supplier.
9. The Contractor shall provide the code enforcement officer with a letter or drawing from a registered structural engineer verifying that the existing roof framing is adequate to support new HVAC equipment and an increased snow load due to insulation of the roof framing.
- 10.

SEATING				
A	24x30 table	3 seats	4	12
B	30x30 table	4 seats	5	20
C	10'x2' counter	10 standing	1	10
D	10'x2' counter	5 seats	1	05
E	8'x18' counter	4 seats	1	04
F	24x30 table	2 seats	2	04
	couch	3 seats	1	03
	lounge chair	1 seat	2	02
Total				60

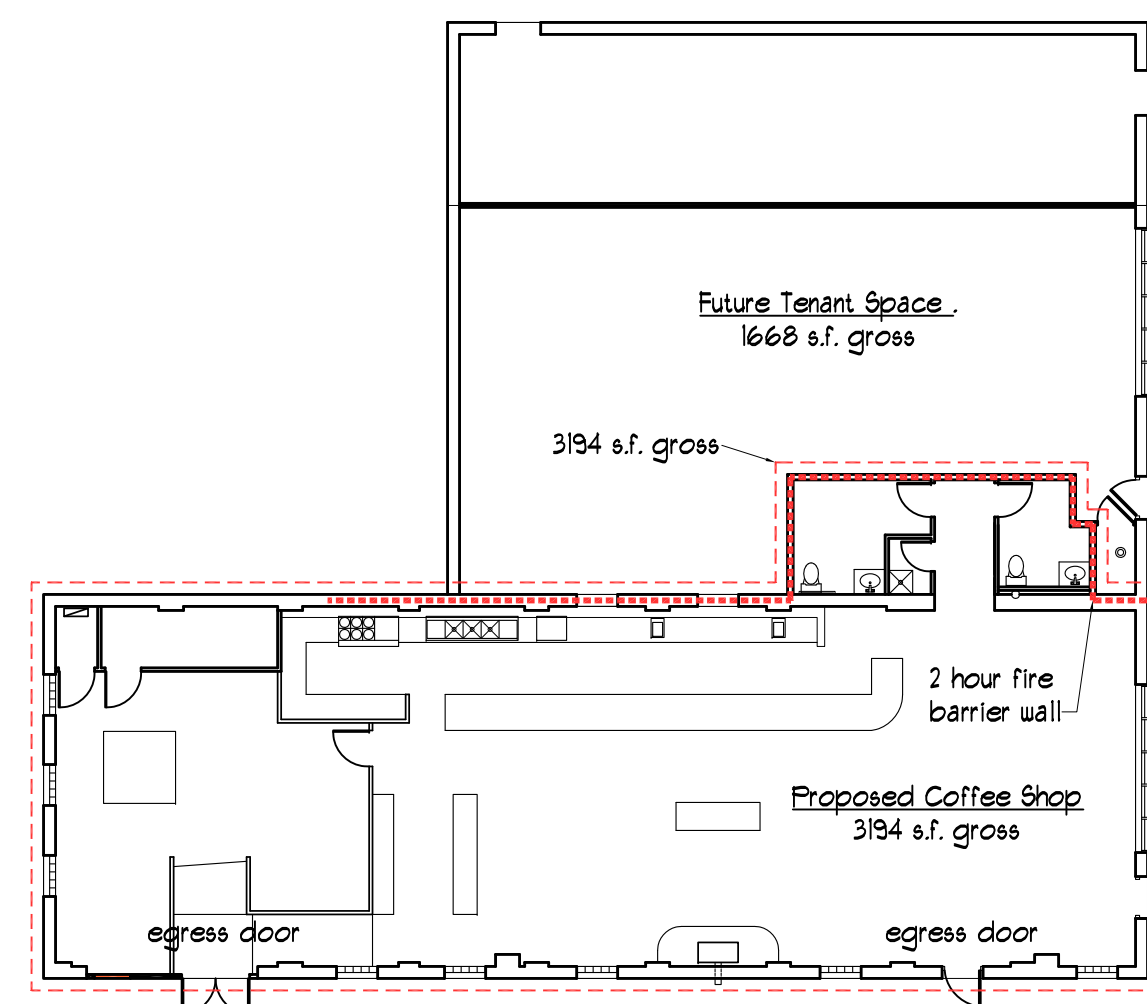


4 Seating Diagram  
1/8" = 1'-0"



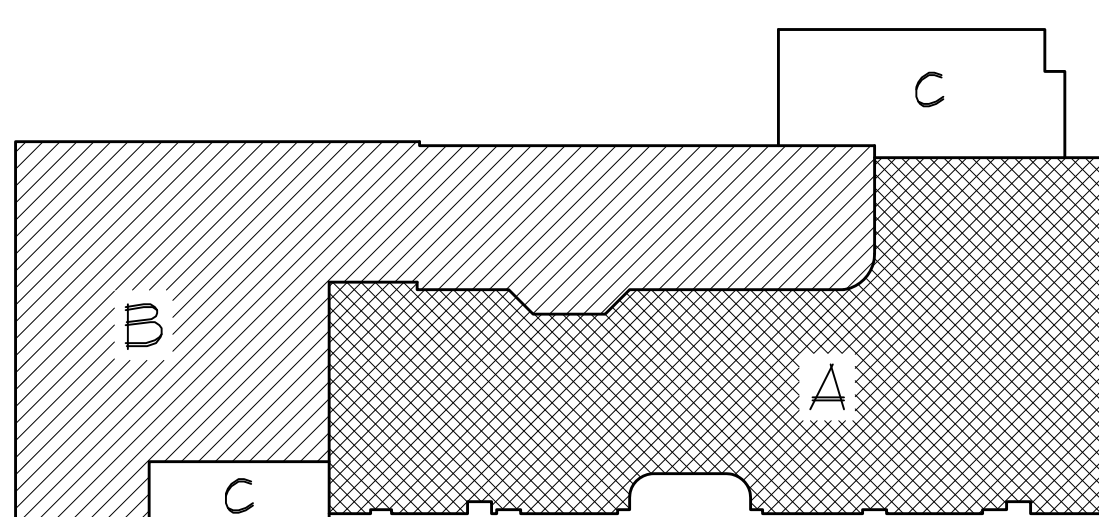
1 Existing Building Floor Plan and Description  
1/16" = 1'-0"

**Existing Building:**  
Gross Area of Building 5125 s.f.  
The existing building is composed of three spaces:  
**Space A: 2915 sf**  
This is the original portion of the building. The construction consists of brick bearing walls and wood bearing walls, wood roof framing, and a concrete floor slab. There are no interior bearing elements.  
**Space B and C: 2810 sf**  
This portion of the building is an addition to the original building. The construction consists of brick and concrete block bearing walls, steel joist and steel deck roof framing, and a concrete floor slab. There are no interior bearing elements.  
**Space B and C are under separate ownership.** The property line for the lot is at the centerline of the wall separating space B and C. The wall appears to be built as a fire barrier under IBC section 707



2 Portion of Building to be used for proposed coffee shop  
1/16" = 1'-0"

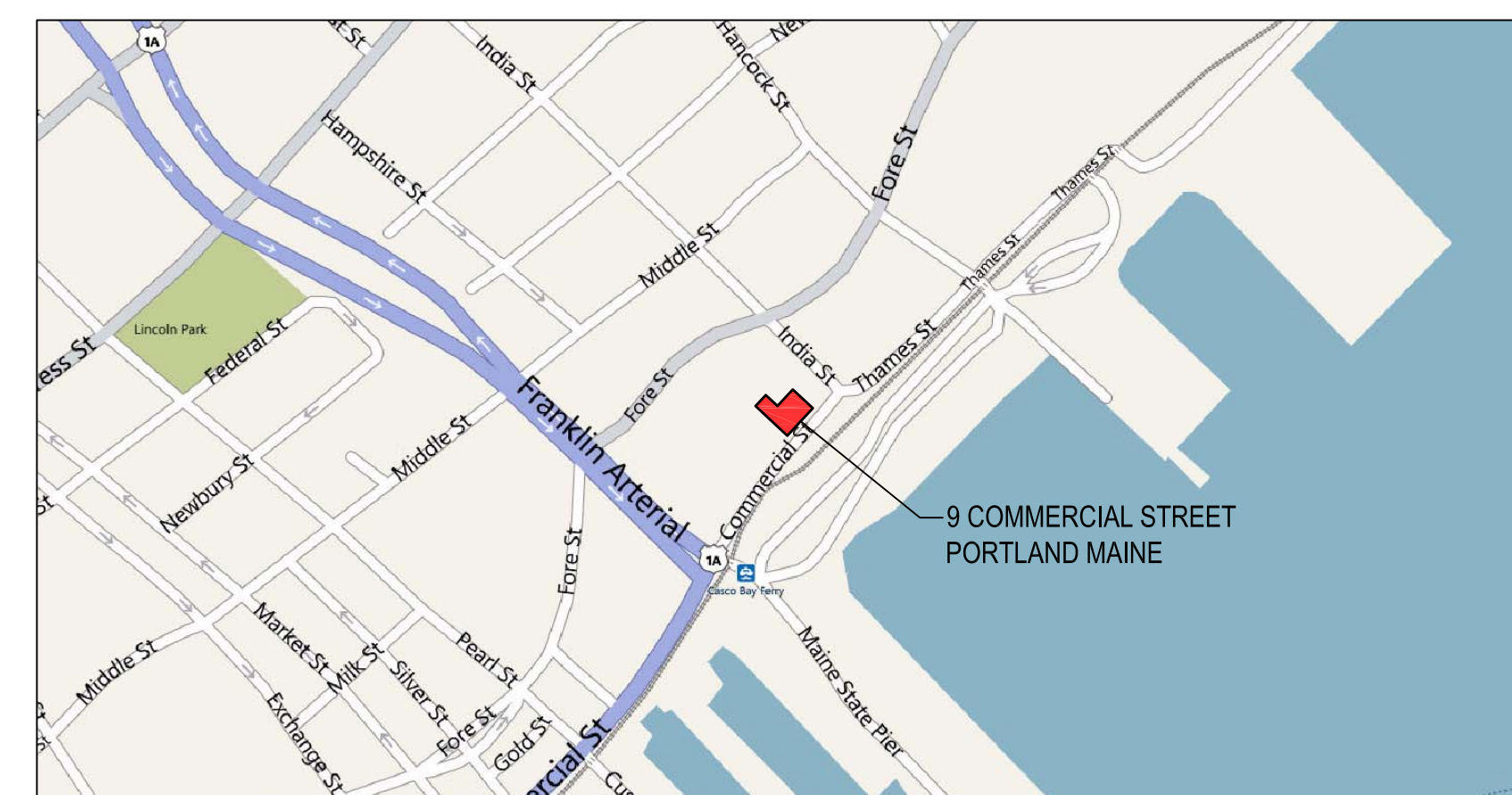
**Project Description:**  
Space "A" to be used as a coffee shop. A small portion of space "B" to be used for toilet rooms and Janitor Sink. The remaining portion of space "B" to be leased to a tenant at a future date.  
The coffee shop includes non-fixed seating for approximately 65 customers, a service counter, a kitchen for producing baked goods, a coffee roaster and toilet rooms.  
**IBC 2009 Relevant Codes:**  
use and occupancy: A-2  
Building Type 5b  
Building Heights and Areas:  
Occupancy A-2 Type 5 B: 1 story and 6,000 sf allowed existing 5125sf  
Sprinkler 903.2.12 : Based on occupant load of 99 sprinkler not required if fire area defined by fire barriers is provided  
Occupant Load: 99 (see calculation below)  
Egress: 2 means of egress provided with outside doors and panic bars  
Cooking Equipment: Installed in accordance with NFPA 96: Standard for Ventilation Control and Fire Protection of Commercial Cooking Operations, 2008 Edition



3 Occupant Load Calculation  
1/16" = 1'-0"

Proposed Coffee Shop Occupant Load per Table 1004.1.1

A	Non-fixed seating area: 1994 sf @ 1 per 15 =	93
B	Food Preparation: 1299 sf @ 1 per 200 =	06
C	Corridor, Toilets	no contribution
Total Occupant Load:		99 people



5 Location Map  
NTS



DOOR SCHEDULE									
MARK	LOCATION	SIZE	TYPE	MAT'L	FRAME	RATING	CLOSER	PANIC BAR	NOTES
1	EGRESS, REAR	(2) 3-0 X 7-0	FLUSH	STEEL	STEEL	NONE	YES	YES	
2	EGRESS, FRONT	3-0 X 7-0	CUSTOM	WOOD, GLASS	WOOD	NONE	YES	YES	
3	SIDEWALK ENTRY	3-0 X 7-0	CUSTOM	WOOD, GLASS	WOOD	NONE	YES	YES	
4	JANITORS CLOSET	2-6 X 7-0	FLUSH	WOOD SOLID CORE	WOOD	NONE	NO	NO	
5	TOILET 1	3-0 X 7-0	FLUSH	WOOD SOLID CORE	WOOD	NONE	NO	NO	
6	TOILET 2	3-0 X 7-0	FLUSH	WOOD SOLID CORE	WOOD	NONE	NO	NO	
7	STORAGE	3-0 X 7-0	FLUSH	WOOD SOLID CORE	WOOD	NONE	NO	NO	
8	ELECTRICAL	3-0 X 7-0	FLUSH	WOOD SOLID CORE	WOOD	NONE	NO	NO	
9	FOOD PREP	3-0 X 3-0	CUSTOM						HALF HEIGHT

Provide all doors with ADA compliant lever operators.  
verify hardware functions and keying with owner

**AZIMUTH LLC**

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cell 207 318 3234  
e: azimuth@maine.rr.com

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- wall types, details

LS1 life safety devices

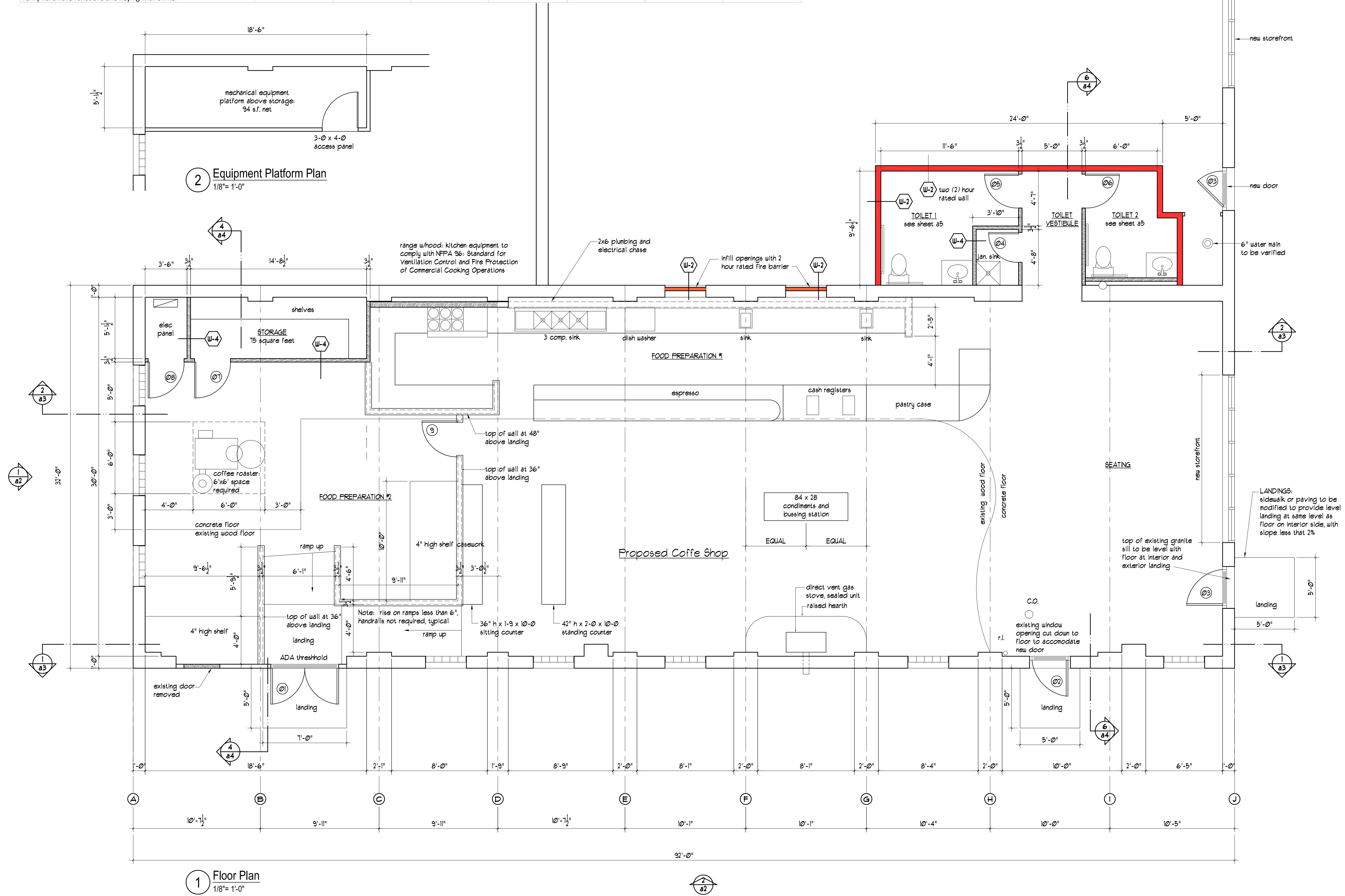
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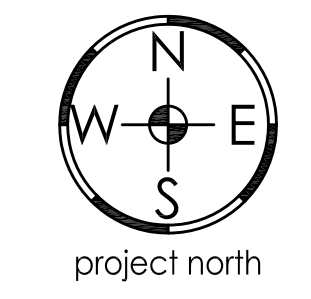
floor plan

a1  
2 of 7



**2 Equipment Platform Plan**  
1/8" = 1'-0"

**1 Floor Plan**  
1/8" = 1'-0"

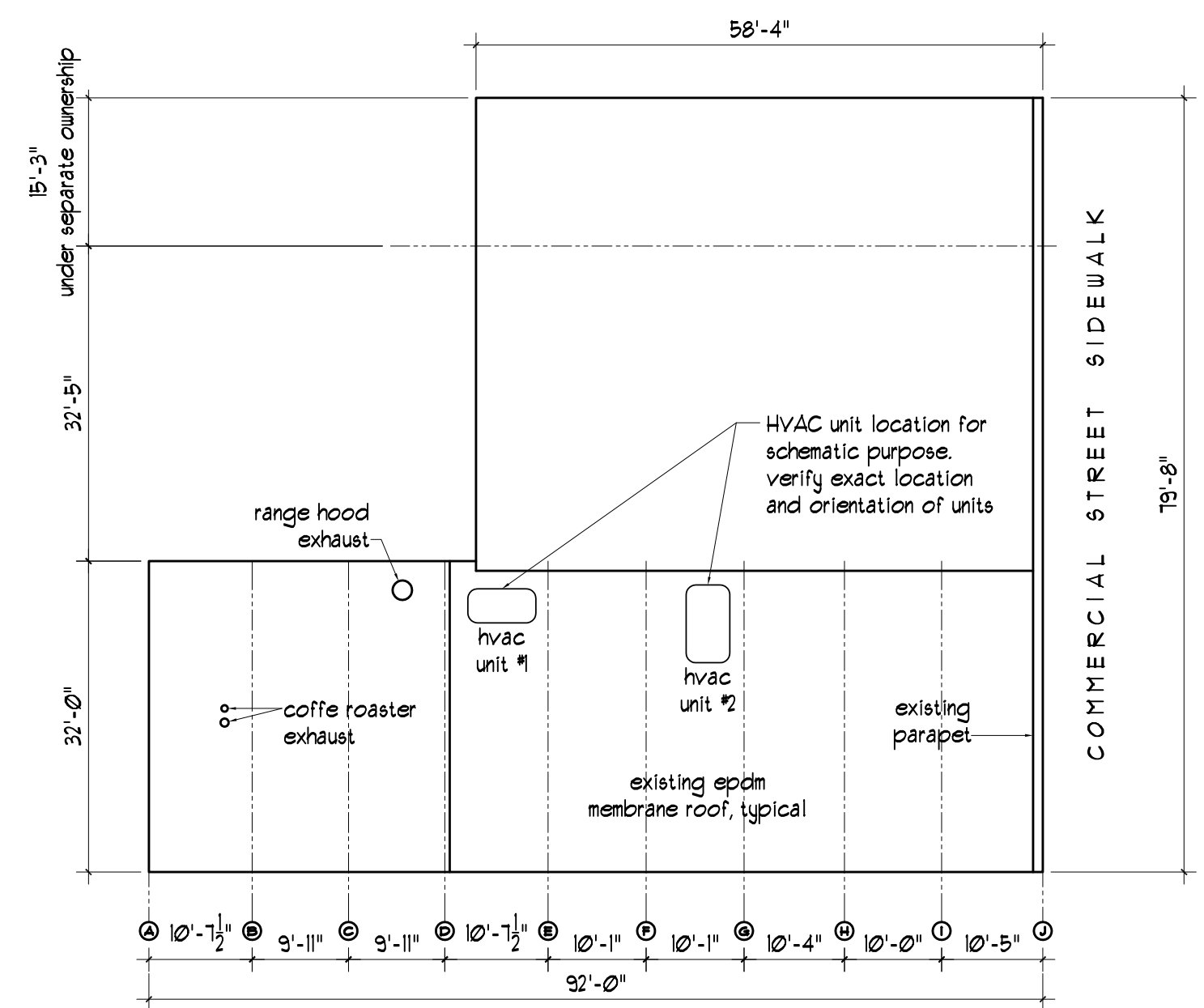


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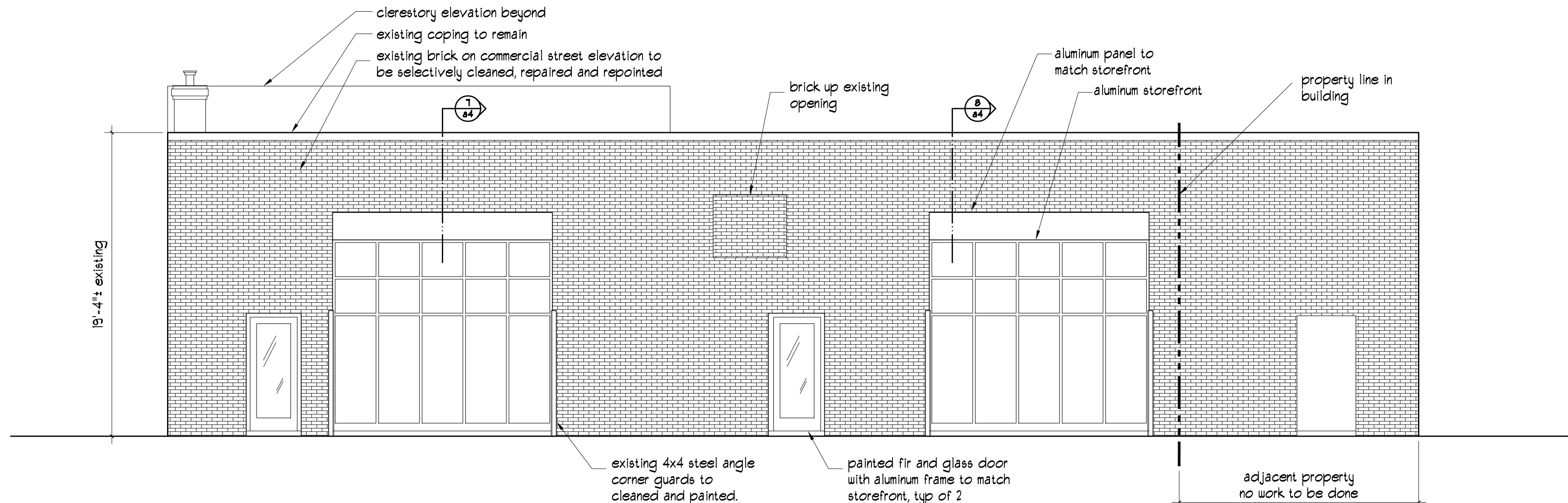
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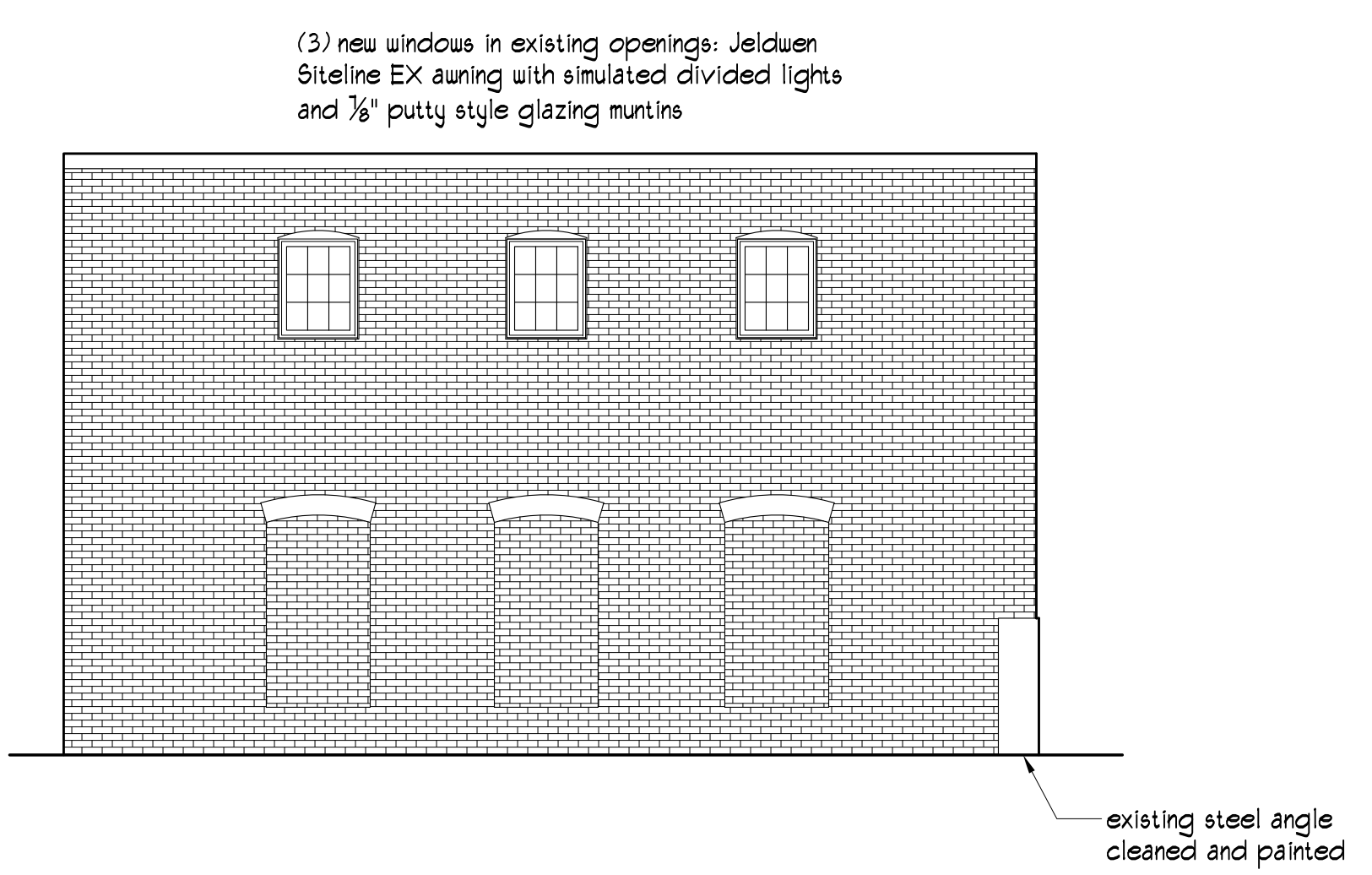
exterior elevations



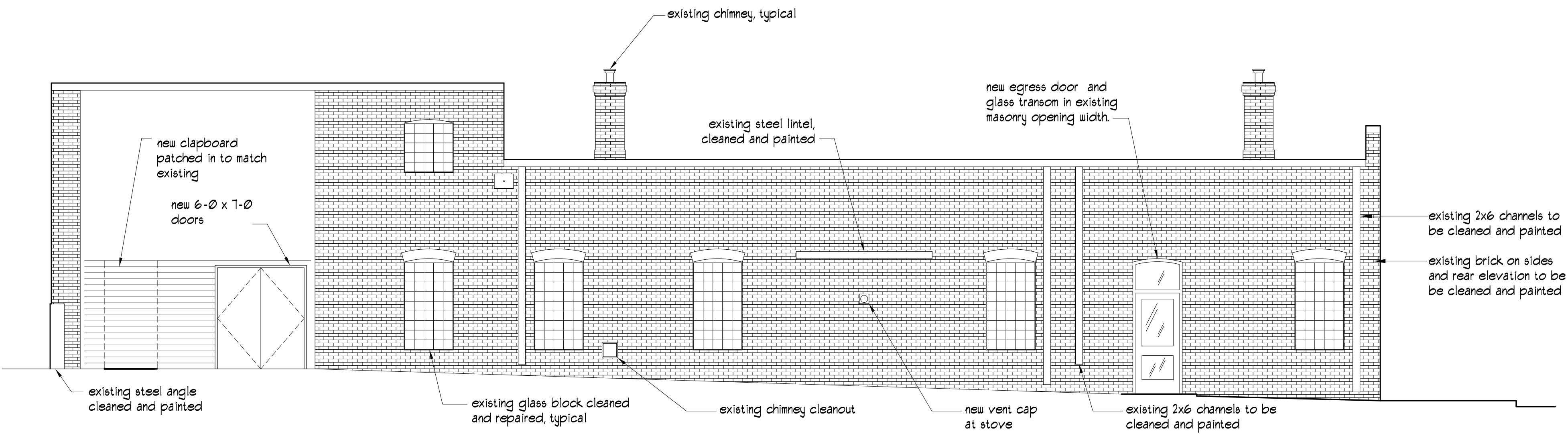
**4** Roof Plan  
 1/16" = 1'-0"



**3** Commercial Street (east) Elevation  
 3/16" = 1'-0"



**1** West Elevation  
 3/16" = 1'-0"



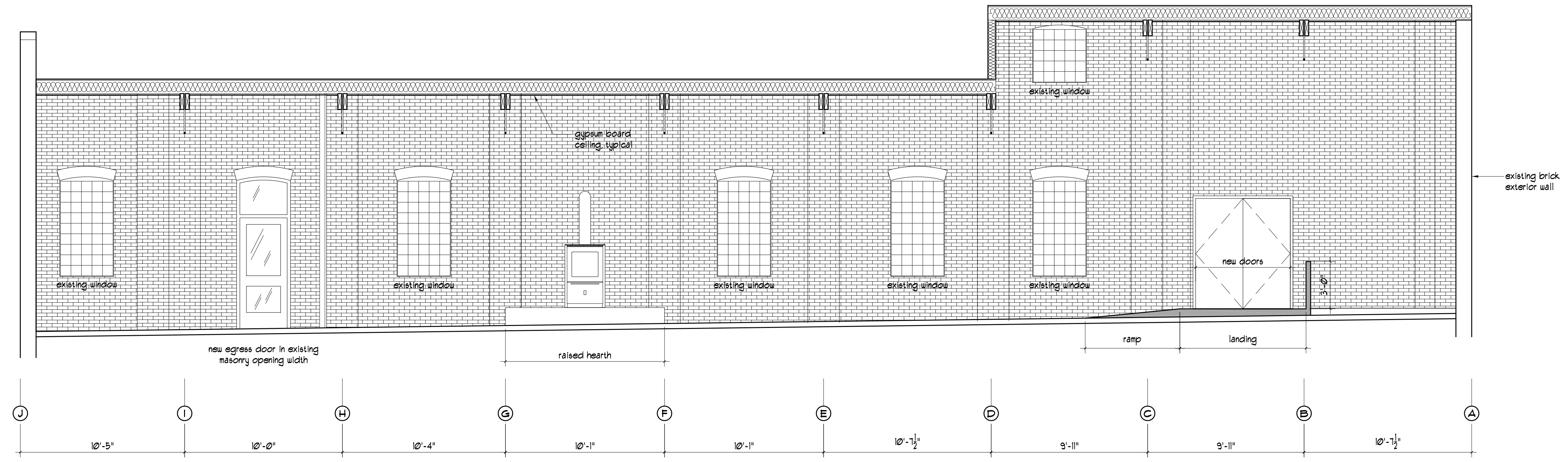
**2** South Elevation  
 3/16" = 1'-0"

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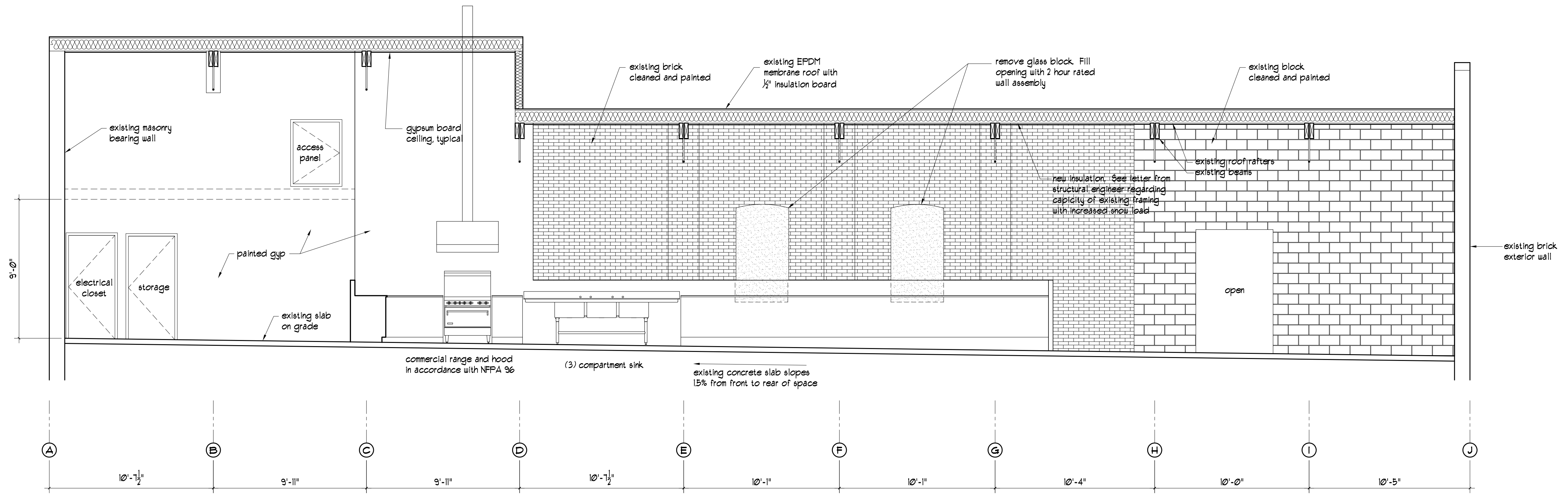
**Proposed Coffe Shop at  
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building cross sections



**2** building cross section and interior elevation  
 1/4" = 1'-0"



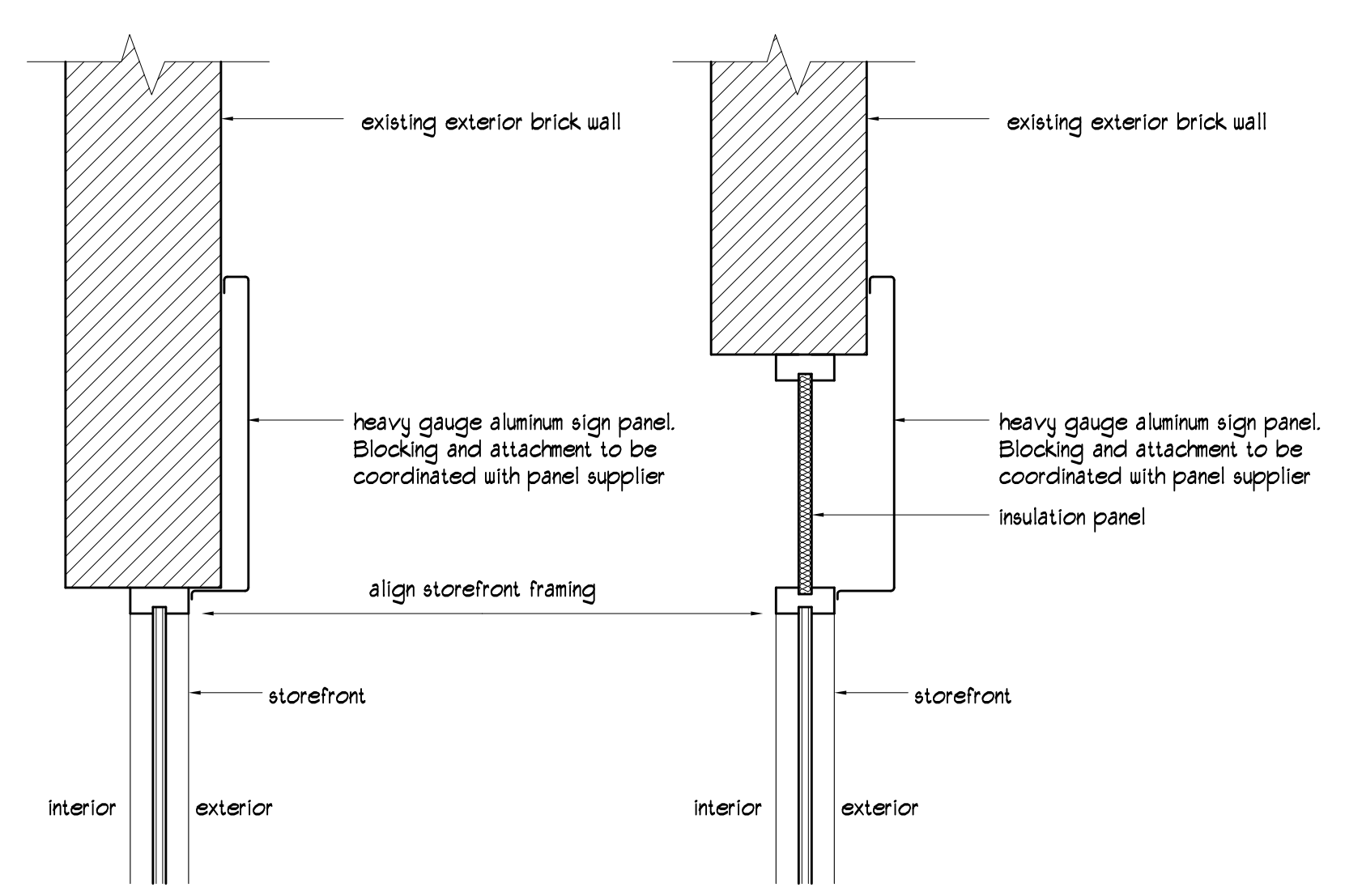
**1** building cross section and interior elevation  
 1/4" = 1'-0"

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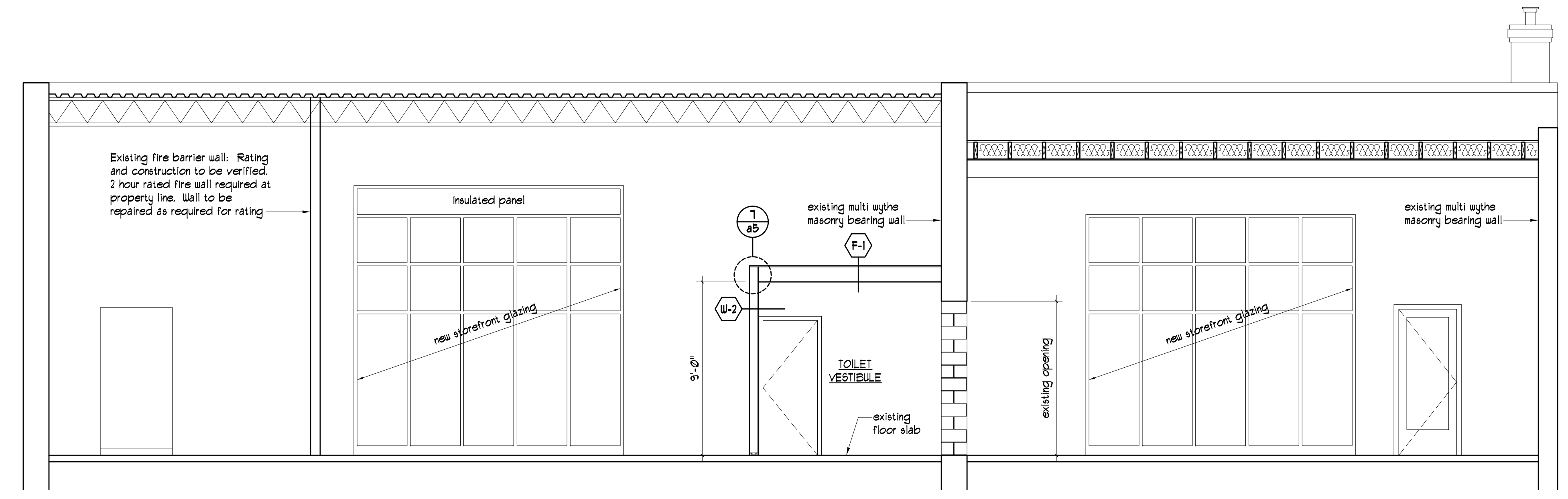
not for permit  
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building cross sections  
 glazing elevations

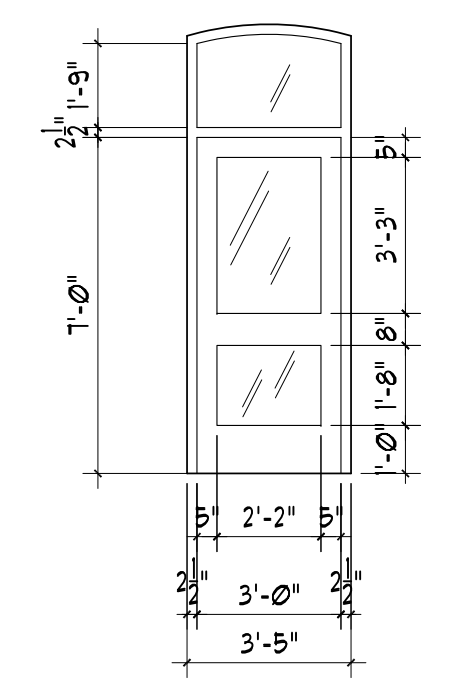


**7** sign panel detail  
 1"= 1'-0"

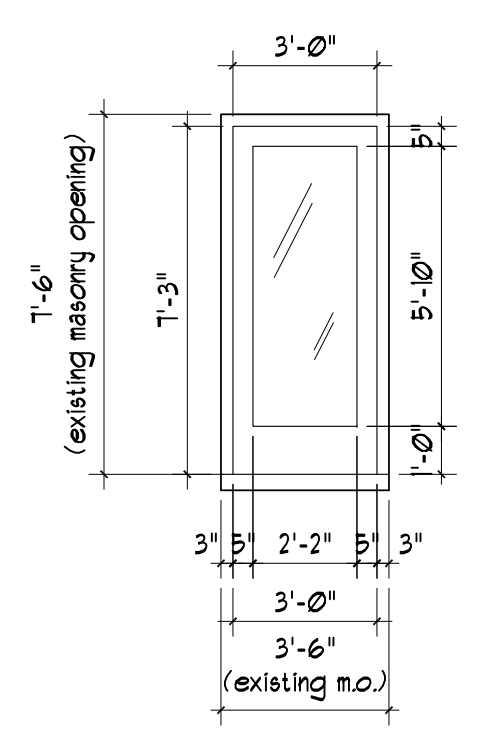
**8** sign panel detail  
 1"= 1'-0"



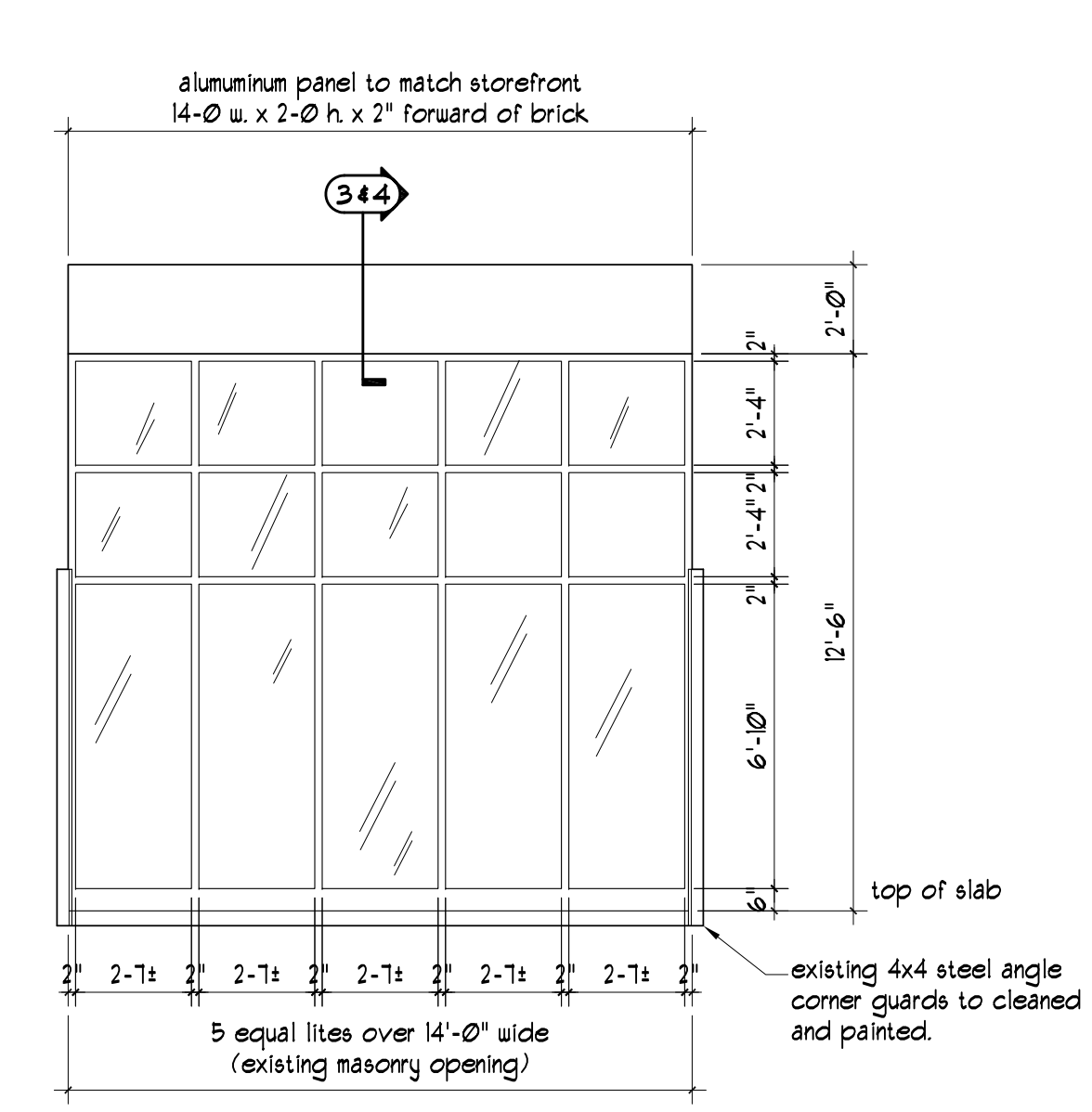
**6** building cross section at front of building  
 1/4"= 1'-0"



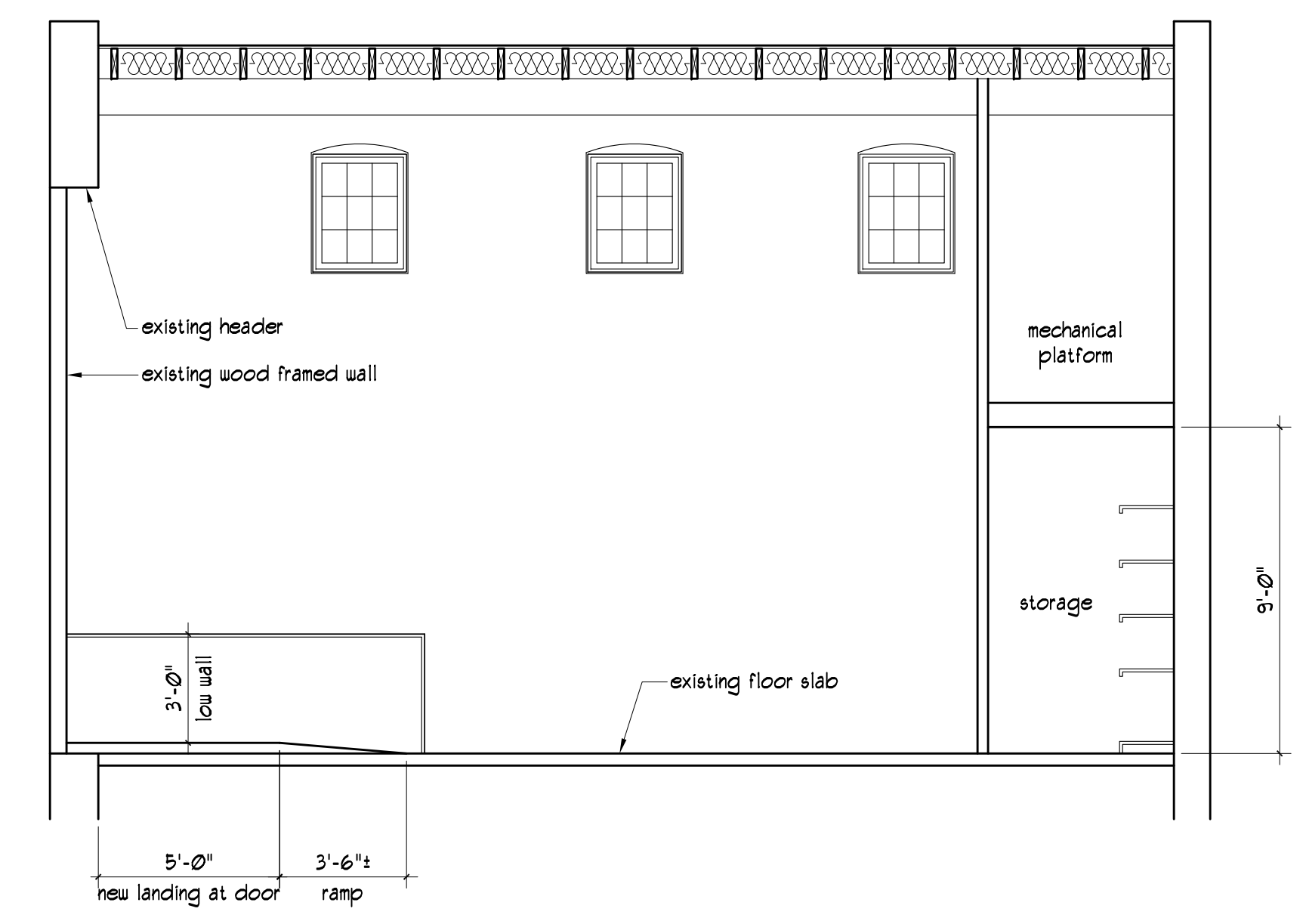
**5** egress door elevations  
 1/4"= 1'-0"



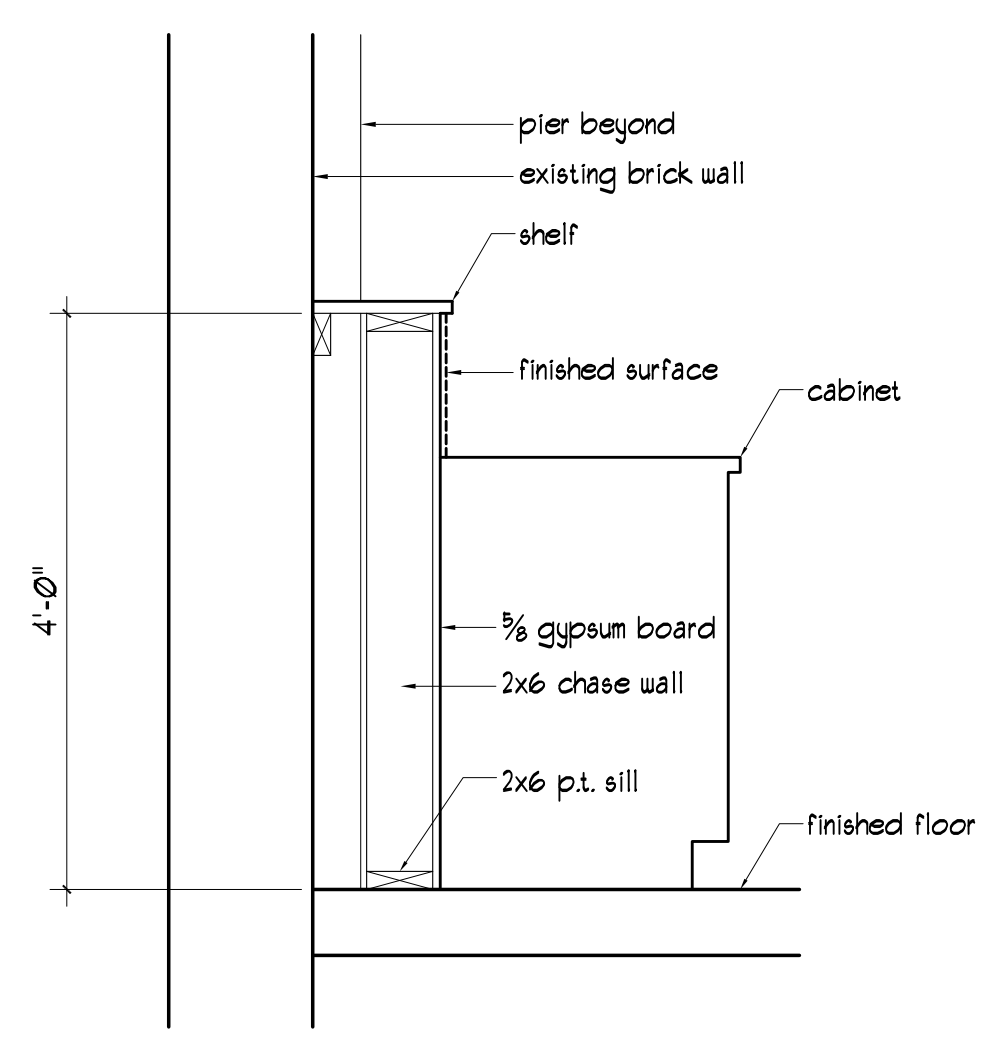
**2** entry door elevation  
 1/4"= 1'-0"



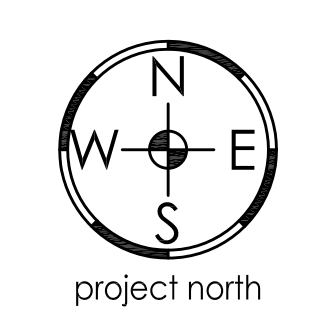
**3** storefront elevation  
 1/4"= 1'-0"



**4** building cross section at rear of building  
 1/4"= 1'-0"



**1** section at counter  
 3/4"= 1'-0"



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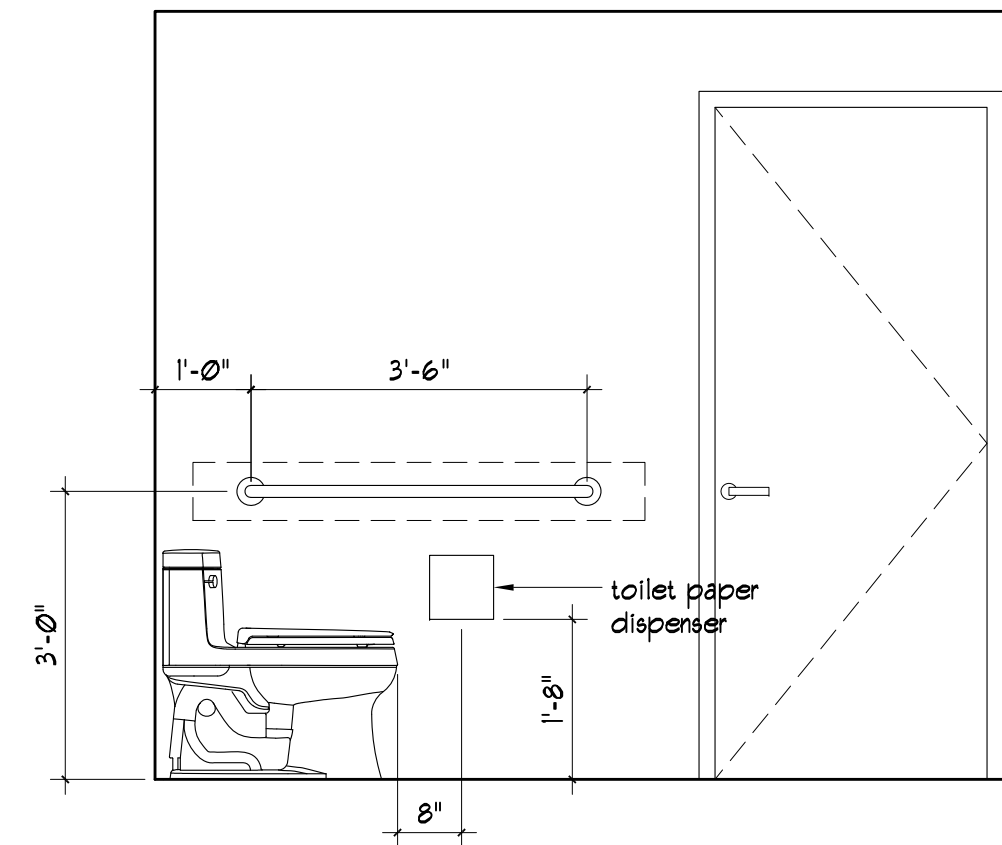
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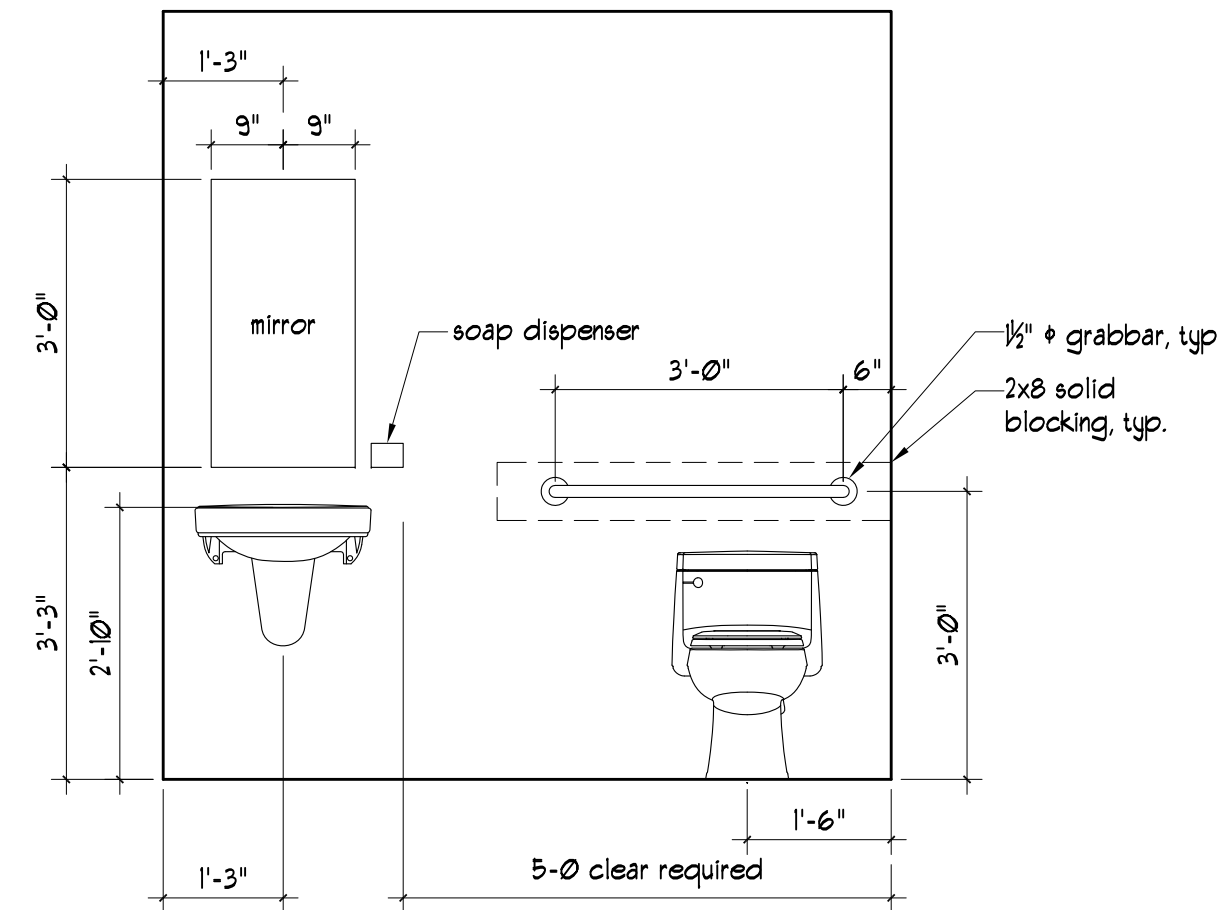
not for permit  
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toilet room elevations  
wall types, details

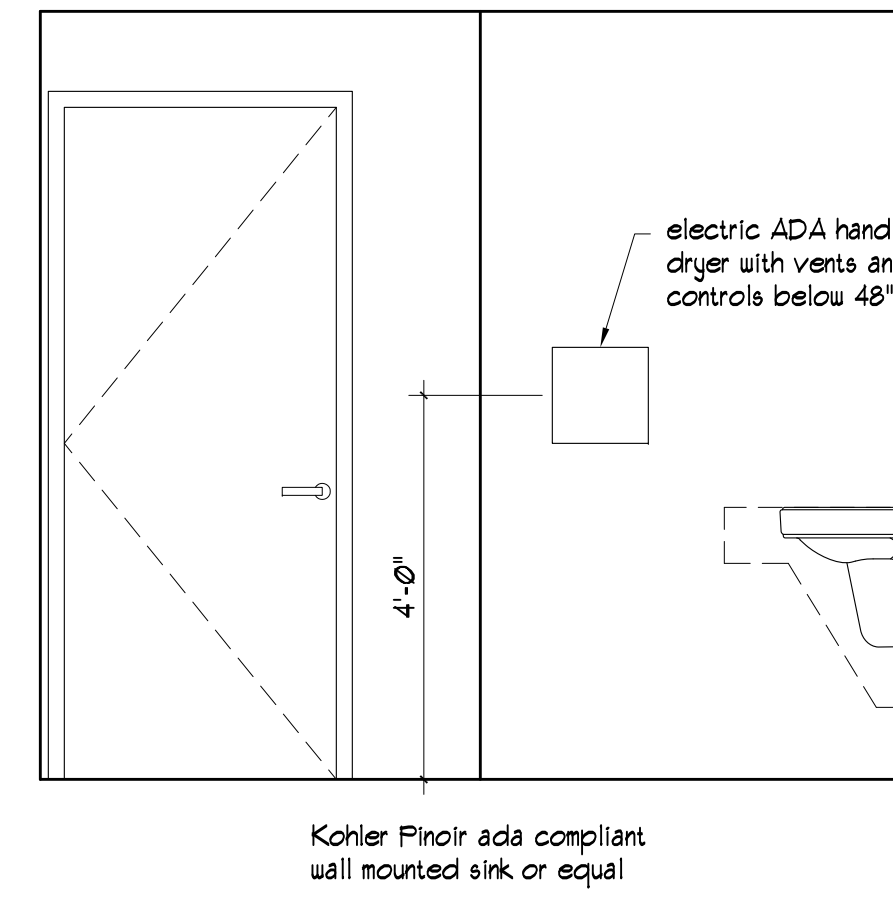
a5



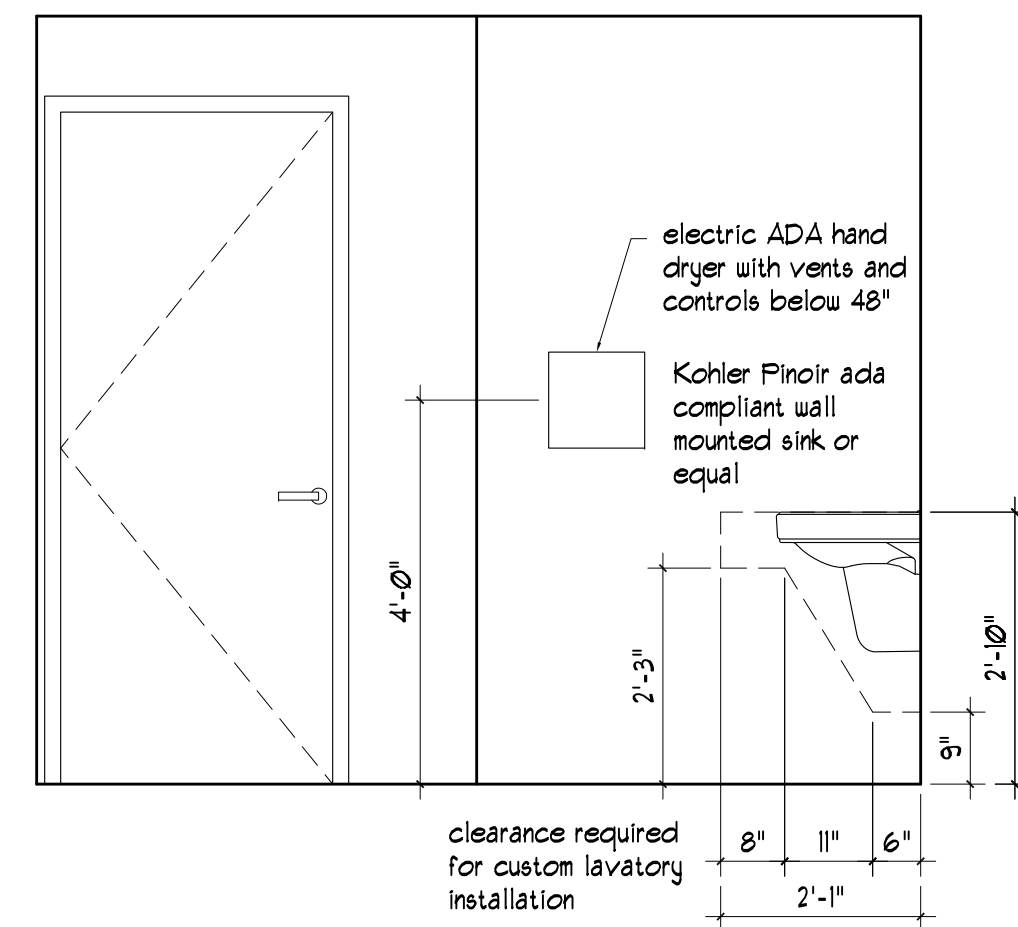
4 Toilet Room Elevation  
1/2" = 1'-0"



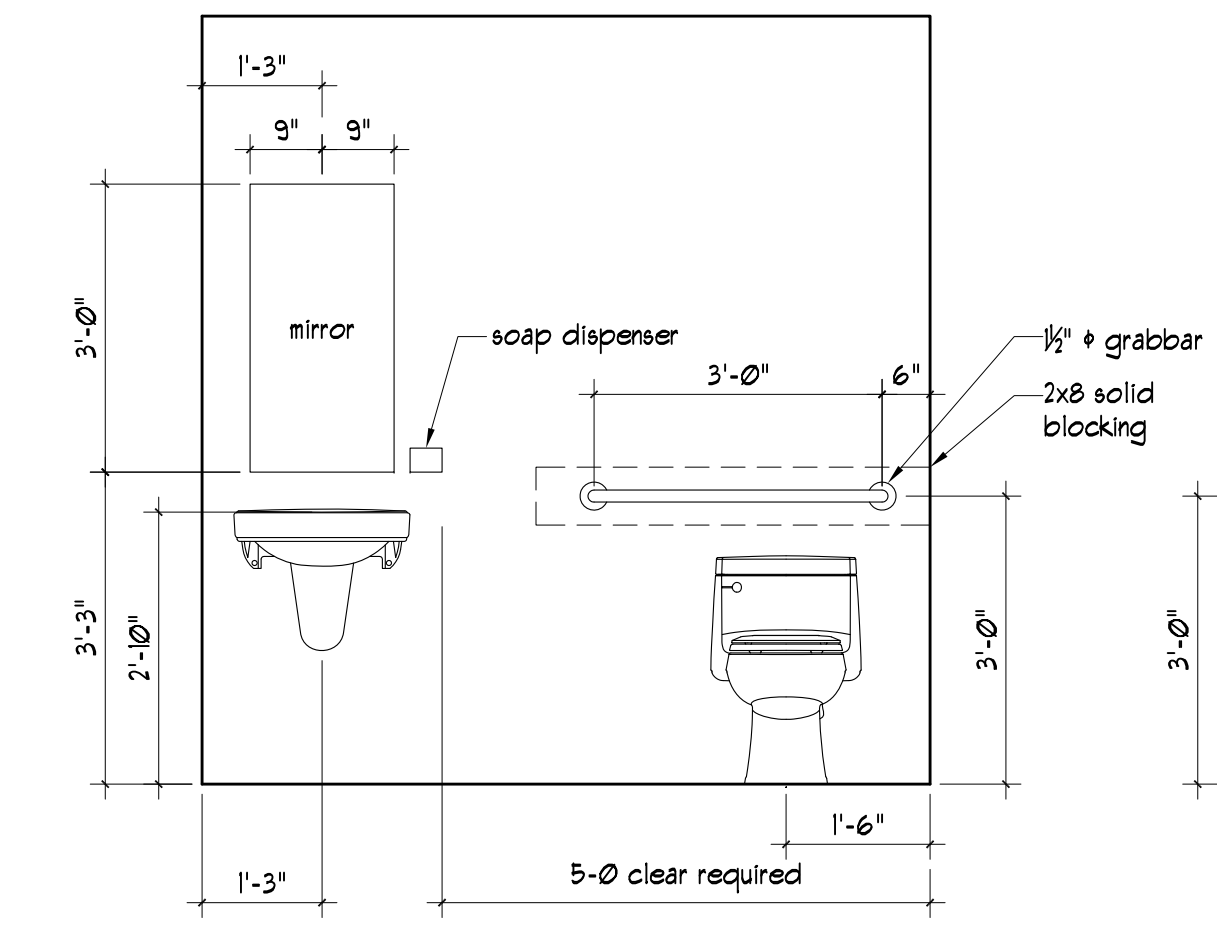
5 Toilet Room Elevation  
1/4" = 1'-0"



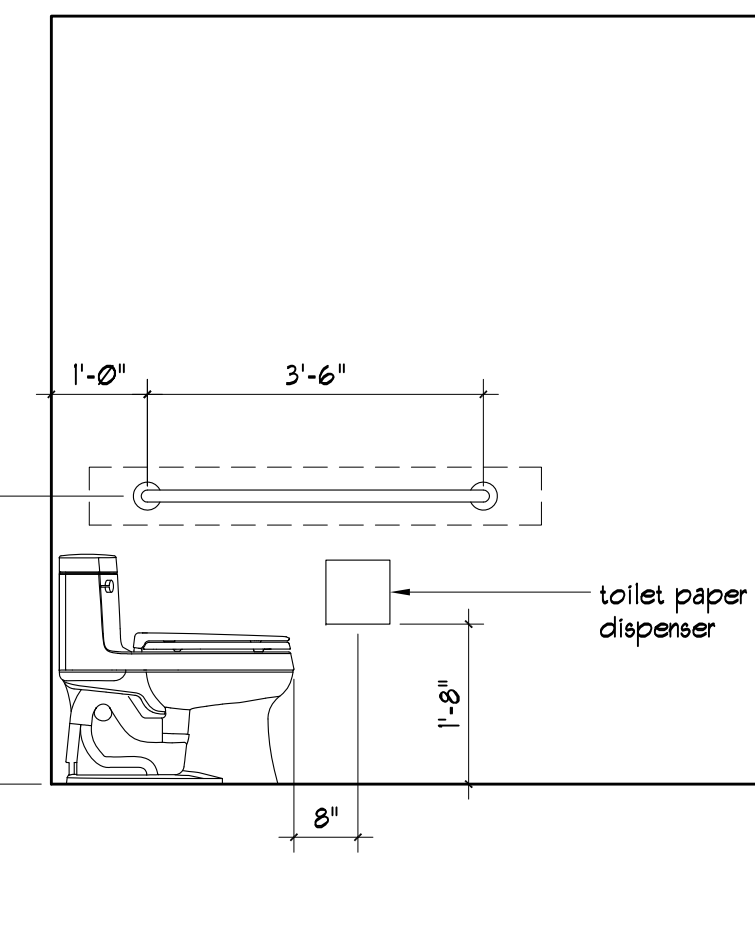
6 Toilet Room Elevation  
1/4" = 1'-0"



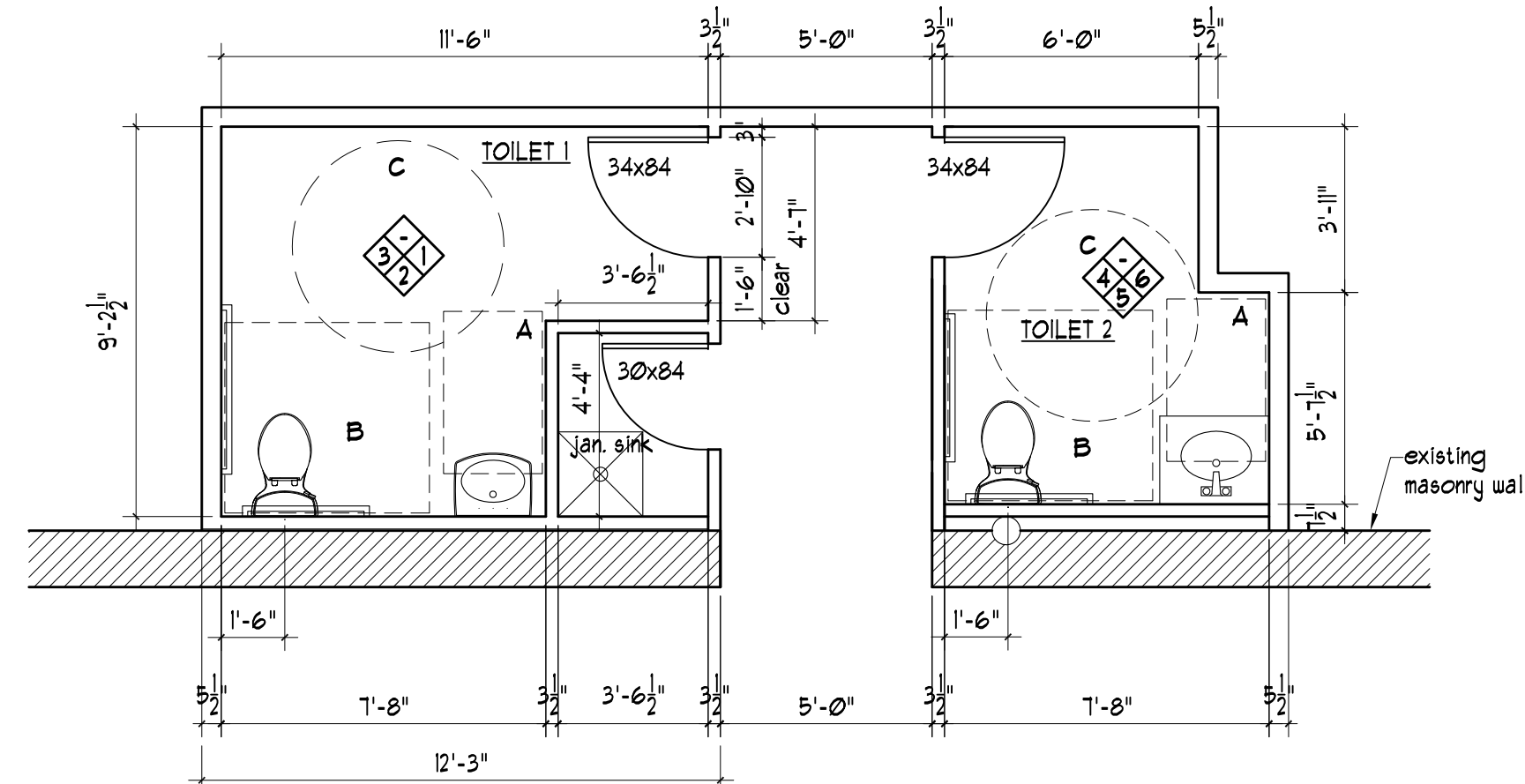
1 Toilet Room Elevation  
1/2" = 1'-0"



2 Toilet Room Elevation  
1/4" = 1'-0"

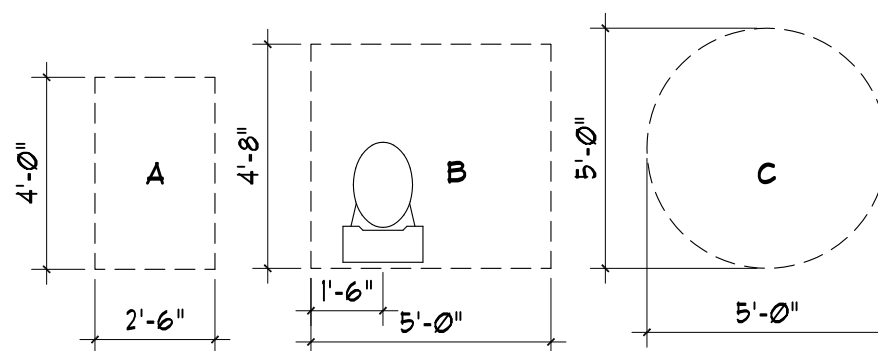


3 Toilet Room Elevation  
1/4" = 1'-0"



Note:  
Dimensions are to face of framing  
except for clear dimensions which shall  
be clear finished dimensions

Toilet Room Floor Plans  
1/4" = 1'-0"



clear floor area dimensions  
1/4" = 1'-0"

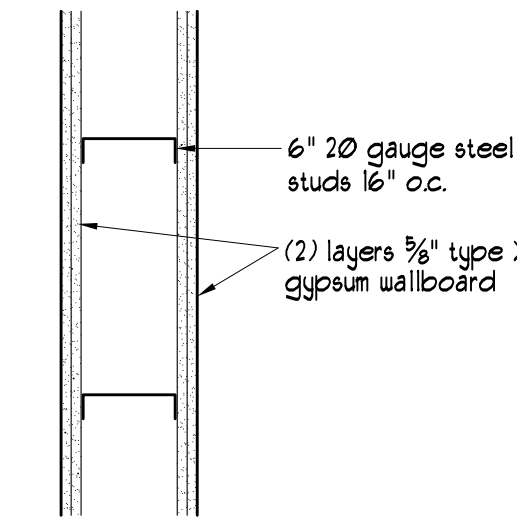
W-2 TWO (2) HOUR RATED WALL WITH STEEL STUDS  
(OPTION 1)

GA FILE NO. WF 1522: GENERIC  
GYPSUM WALLBOARD, STEEL STUDS

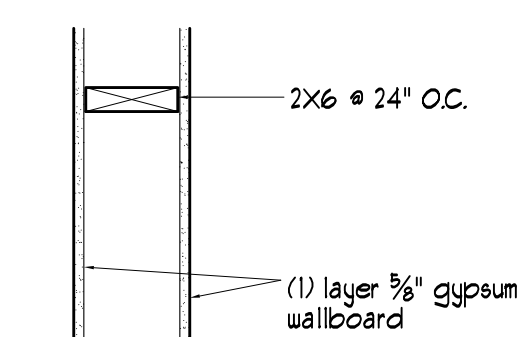
Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 6" 20 gauge steel studs 16" o.c. with 1" Type 5 drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side with 15/8" Type 5 drywall screws 12" o.c. Joints staggered 24" each layer and side. Sound tested with 31/2" glass fiber friction fit in stud space. (NLB)

(25 gauge 3/8 stud is minimum)

Fire Test: See WF 1548  
(ULH-495-0236, 1-30-00)  
Sound Test: NRCC 018-NV, 2-3-81



W-4 NON-RATED WALL WITH WOOD STUDS

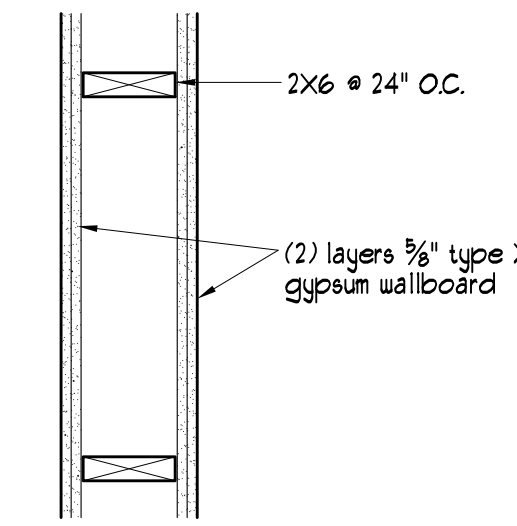


W-2 TWO (2) HOUR RATED WALL WITH WOOD STUDS  
(OPTION 2)

GA FILE NO. WF 4135: GENERIC  
GYPSUM WALLBOARD, WOOD STUDS

Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 6d coated nails, 11/8" long, 0.025" shank, 1/4" heads, 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 8d coated nails, 23/8" long, 0.020" shank, 1/4" heads, 8" o.c. Joints staggered 24" each layer and side. Sound tested with studs 16" o.c. and with nails for base layer spaced 6" o.c. (LOAD-BEARING)

Fire Test: FM WF 360, 9-21-74  
Sound Test: NSC 2363, 4-1-70



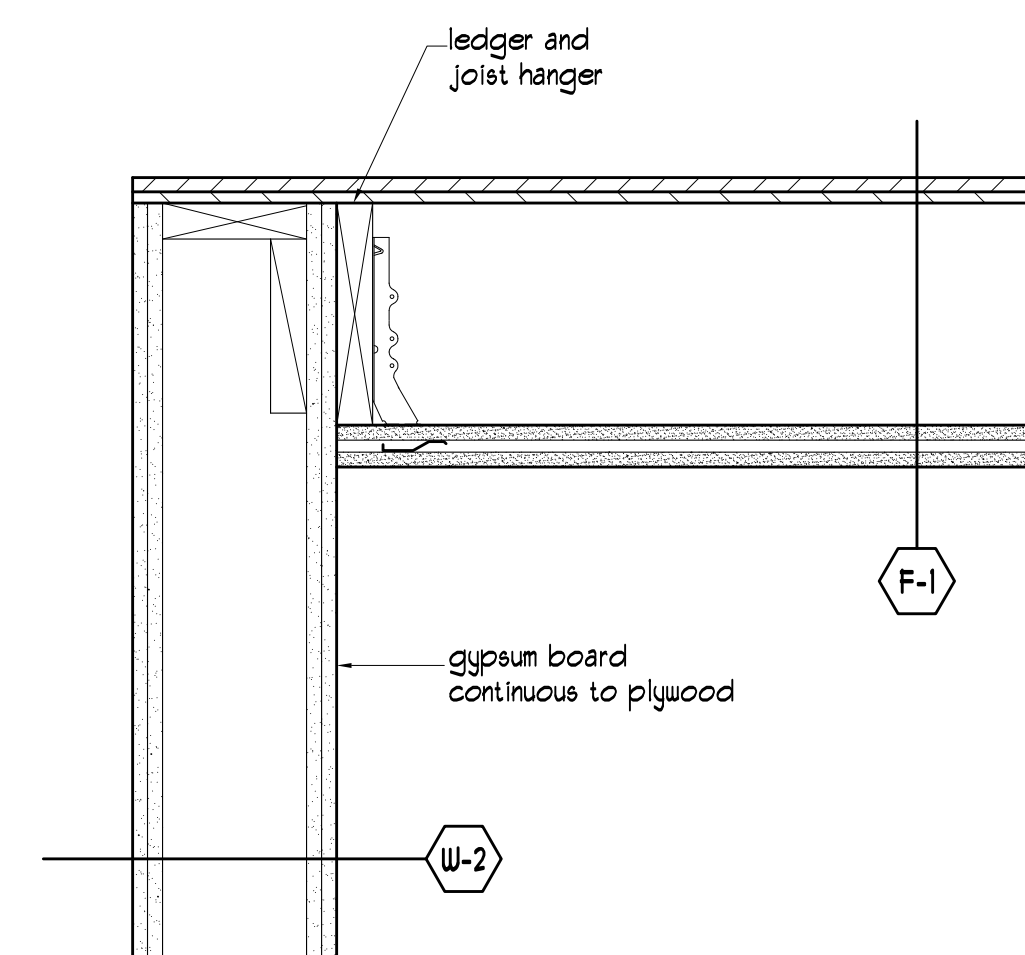
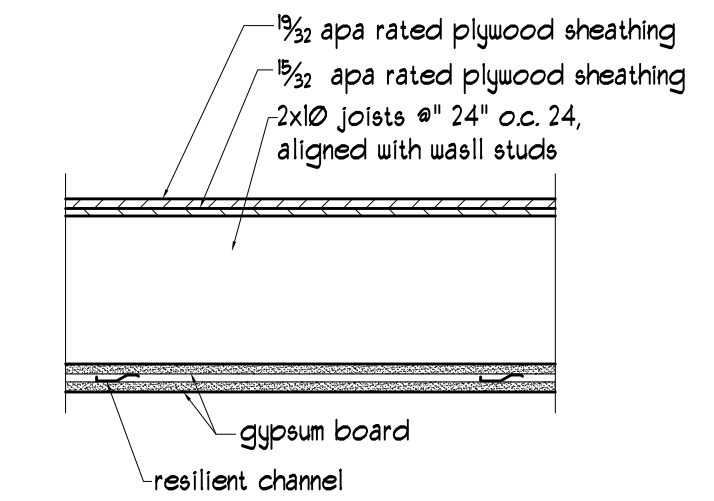
F-1 TWO (2) HOUR RATED FLOOR WITH WOOD JOISTS  
GA FILE NO. FC 5110  
WOOD FLOOR, WOOD JOISTS, GYPSUM WALLBOARD,  
RESILIENT CHANNELS

Base layer 5/8" proprietary type X gypsum wallboard applied at right angles to 2 x 10 wood joists 16" o.c. with 8d cement coated nails, 2 1/2" long, 0.013 shank, 19/64" heads, 1" o.c. Resilient channel 24" o.c. applied at right angles to wood framing through base layer with 11/8" long screws. Double channel installed at face layer end joints. Face layer 5/8" proprietary type X gypsum wallboard applied at right angles to resilient furring channels with 1" Type 5 screws 12" o.c. Wood joists supporting 15/32" plywood subfloor and 19/32" plywood finish floor applied at right angles to joists with joints staggered. Consult gypsum board manufacturer for other flooring options.

PROPRIETARY GYPSUM BOARD

- American Gypsum Company LLC 5/8" FireBloc Type C
- CertainTeed Gypsum Inc. 5/8" ProRoc Type C Gypsum Panels
- Georgia-Pacific Gypsum LLC 5/8" ToughRock Fireguard CTM
- LaFarge North America Inc. 5/8" Firecheck Type C
- National Gypsum Company 5/8" Gold Bond Brand FIRE-SHIELD C Gypsum Board
- FABCO Gypsum 5/8" FLAME CURE Super C
- Temple-Inland 5/8" TG-C
- United States Gypsum Company 5/8" SHEETROCK Brand FIRECODE C Core Gypsum Panels

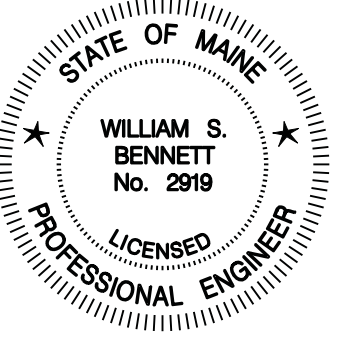
Fire Test: UL R1318-114, 1-21-67,  
UL Design L511



7 wall floor junction detail  
1-1/2" = 1'-0"



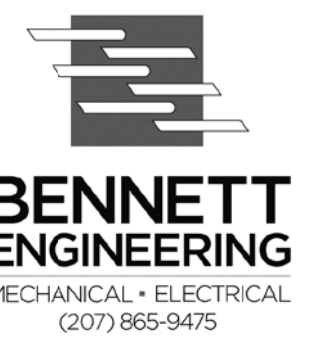
project north



**AZIMUTH LLC**

**josef chatlat architect**  
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Cape Elizabeth, Maine

office 207 799 0404  
cell 207 318 3234  
e: azimuth@maine.rr.com



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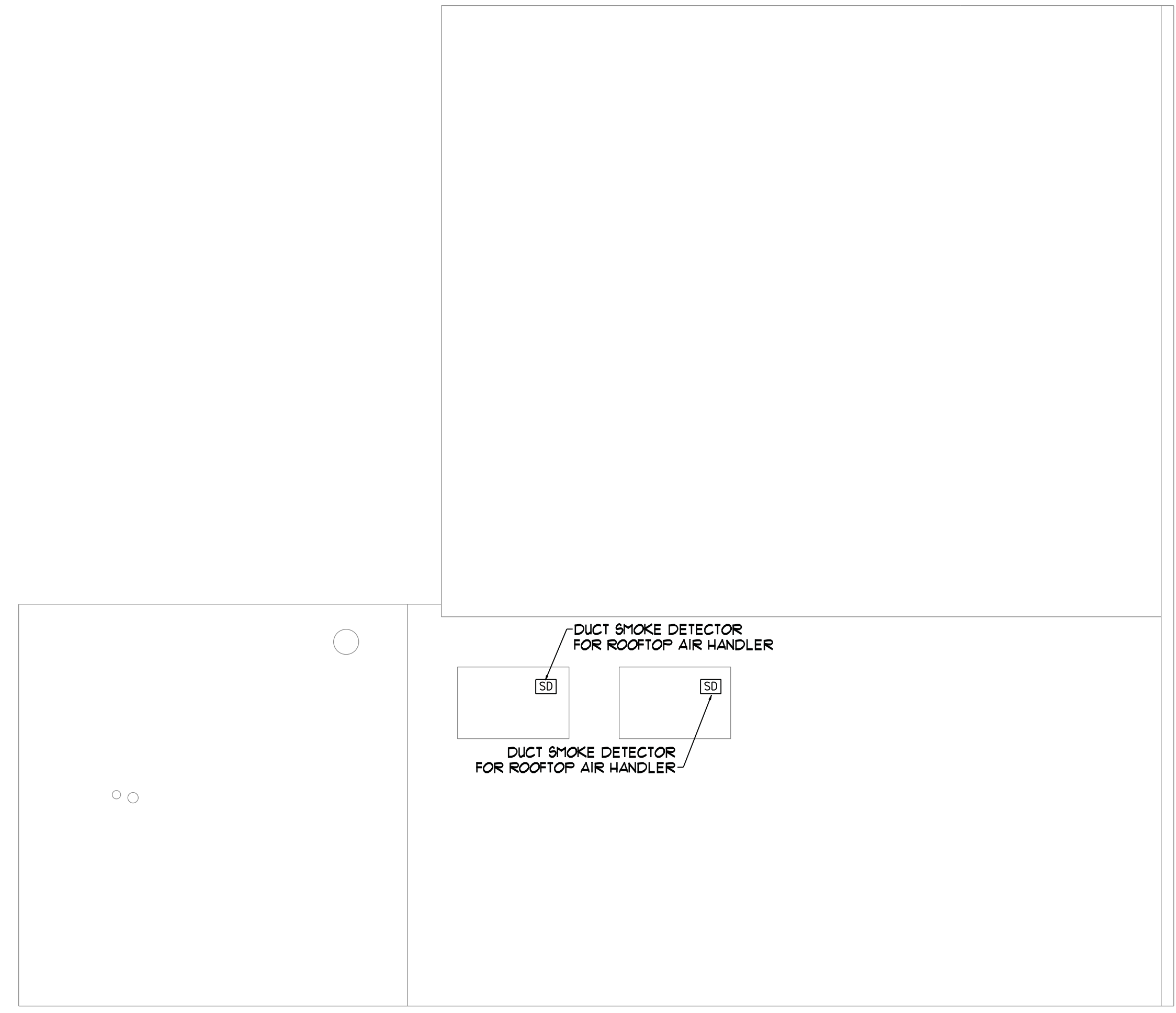
**Arabica Coffe Shop Renovation**  
**9 Commercial Street**  
**Portland, Maine**

**LIFE SAFETY PLAN**

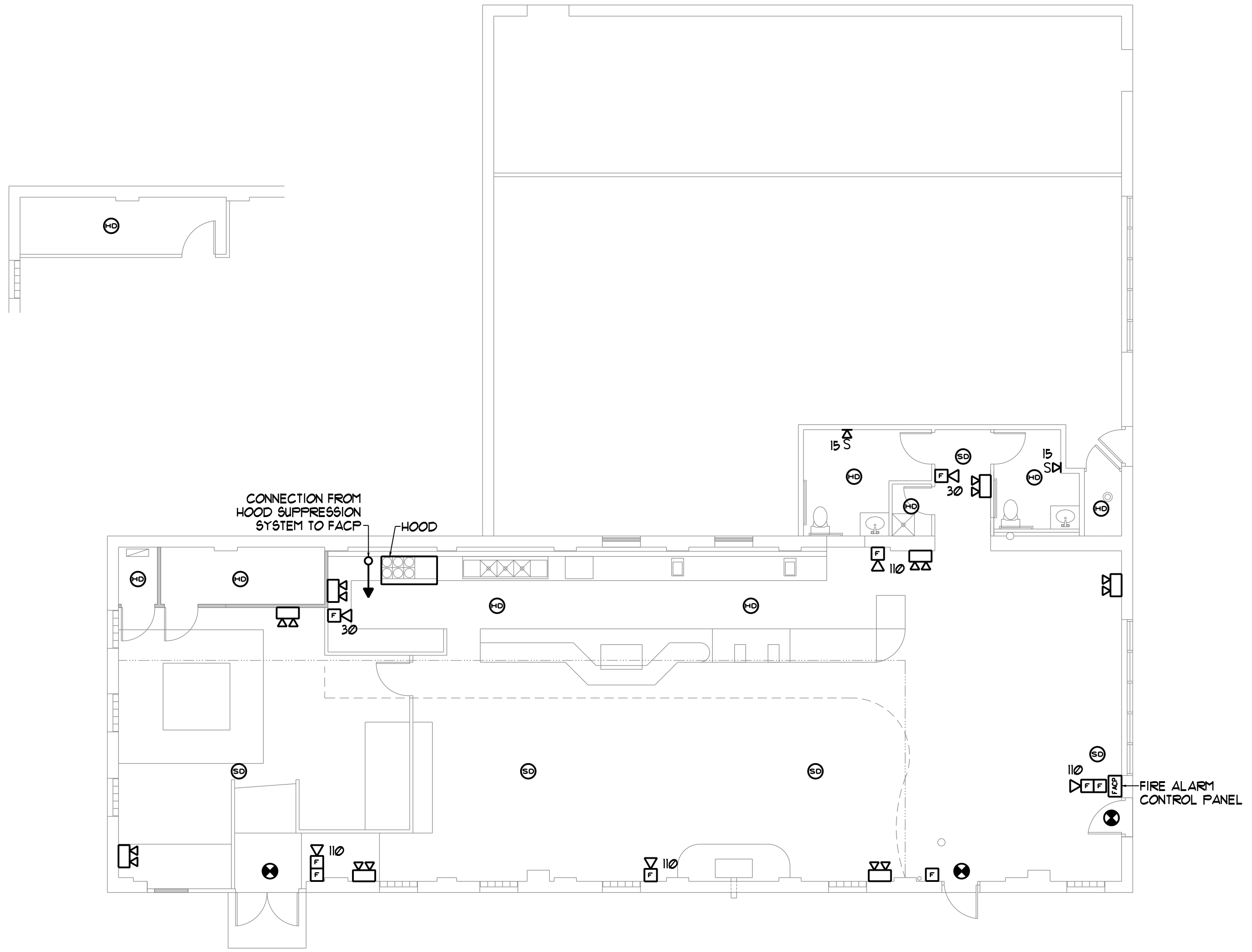
**LS-1**

**LEGEND**

- EXIT SIGN
- EMERGENCY LIGHT
- FULL STATION
- HORN/STROBE
- FIRE ALARM CONTROL PANEL
- SD DUCT SMOKE DETECTOR
- ⚡ STROBE ONLY
- ⊕ SMOKE DETECTOR
- ⊖ HEAT DETECTOR



**Life Safety Device Plan, duct smoke detectors**  
**1/8" = 1'-0"**



**Life Safety Device Floor Plan**  
**1/8" = 1'-0"**