

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that 80-90CORPS/REMAX BY BAY

Located At 80 MIDDLE ST

Job ID: 2012-10-5319-SIGN

CBL: 029- L-004-001

has permission to install one 4'x5' wall sign & one 3'x9' perpendicular sign provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

N/A
Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer 11/2/12

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5319-SIGN

Located At: 80 MIDDLE ST

CBL: 029- L-004-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This permit is being approved with the understanding that the 5 panels perpendicular to the wall above the entrance are considered artwork and are not considered signs because they do not advertise a specific business or product. If this changes in the future then a sign permit will have to be applied for.

Building

1. Signage and Awning Installation to comply with Chapters 16 (Structural Loads), 31 (Materials) & 32 (ROW Height & Encroachments) of the IBC 2009 building code.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-10-5319-SIGN	Date Applied: 10/31/2012	CBL: 029- L-004-001	
Location of Construction: 80 MIDDLE ST (rear)	Owner Name: 80-90 CORPS	Owner Address: 100 SILVER ST PORTLAND ME 04101	Phone: 207-774-1885
Business Name: ReMax By the Bay	Contractor Name: Welch Signage	Contractor Address: 7 Lincoln Ave., Scarborough ME 04074	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: SIGN - PERM - Signage - Permanent	Zone: B-3
Past Use: Real estate office for ReMax by the Bay #2012- 03-3481	Proposed Use: Same – ReMax by the Bay real estate office – install one wall sign(4' x 5') and one perpendicular sign (3' x 9')	Cost of Work:	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature:	Inspection: Use Group: Type: Sign Signature: APW
Proposed Project Description: install one wall sign & one perpendicular sign		Pedestrian Activities District (P.A.D.) 11/2/12	
Permit Taken By: Brad		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>Ok w/ conditions</i> 11/2/12 <i>APW</i>	Date:	Date:
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

B-3



Signage / Awning Permit Application

Entered 10/31/12
(35)

If you or the property owner owes real estate or personal property taxes or any other charges on any property within the City, payment arrangement MUST be made before permits are accepted.

2012-10-5319-S+EN

Location/Address: 80-90 middle st		Telephone: 774-1885
Tax Assessor's Chart/Block/Lot (CBL) Chart: 29 Block: L Lot: 4	OWNER Name/Address: 80-90 Corp 100 Silver Street Portland ME 04101	
LEASEE/BUYER Name (if Applicable) Retail Buy the Bay	CONTRACTOR name, address/phone Welch Signage 7 Lincoln Ave Scarborough, ME 04074	Total S.F. signage \$40,00 SF= x \$2.00 SF + \$30 Fee: \$30 Historic (\$75): \$ Awning Fee: \$
Awning Fee = Cost of Work: \$ (30/first \$1000; \$10 every other \$1000)		TOTAL FEE: \$ 70-

Who should we contact when the permit is ready: Name: Catherine Culley Phone: 776-0904
Address: PO Box 8816 Portland ME 04104

Tenant/allocated building space frontage (in feet): Length: 121 Height: 40'
Lot frontage (in feet): Sign Tenant or Multi-Tenant Lot:

Current Specific Use: RECEIVED OCT 31 2012
If vacant, what was prior use:
Proposed Use:

Information on proposed sign(s)
Freestanding (e.g. pole) sign? YES NO Dimensions proposed: (sf); Height from grade: sf
BLDG Wall Sign (attached to bldg.)? YES X NO Dimensions proposed: 70 sf = 47' 94+30=124.00

Proposed Awning:
Height of awning Length of awning Depth of awning
Is there any communication, message, trademark or symbol on it? YES NO
If yes, total square footage of panels with communication, message, trademark or symbol on it: sf

Information on existing and previously permitted signage:
Freestanding (e.g. pole) sign? YES NO Dimensions proposed: ft X ft; Height from grade: ft
BLDG Wall Sign (attached to bldg.)? YES NO Dimensions proposed: ft X ft
Awning? YES NO total sq ft of panels with communication on it: sf

A site sketch and building sketch showing exactly where existing and proposed signage is located MUST be provided. Sketches and/or pictures of proposed signage and existing building are also required.

Please submit all information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information, visit us on-line at WWW.PORTLANDMAINE.GOV, stop by the Building Inspections Office, room 315 City Hall, or call 207-874-8703.

I hereby certify I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of Applicant: [Signature] Date: 10/31/2012

Revised 06/2012 This is NOT a permit; you may not commence ANY work until the permit is issued

121x2 = 242 ft
64x2 = 128 ft
4x5 wall sign - 20 ft ok
3x1 - blade sign - 37 ft (OK)

Ann Machado - REMAX SIGNS

From: "Catherine Culley" <catherine@redfernproperties.com>
To: <amachado@portlandmaine.gov>
Date: 11/1/2012 1:25 PM
Subject: REMAX SIGNS
CC: "Teddy Piper" <epiper@homesinmaine.com>
Attachments: Remax Signs_v1.1.pdf

Hi Ann –

Thank you for the voicemail this morning regarding the sign permit for ReMax By the Bay at 88 Middle Street. Attached is the .pdf version of the information provided by Welch Signs. The dimensions for the sign is a 5x4 sign even though the drawing does not look proportionally correct.

If you would like us to change this to reflect the 5x4 sign in the drawing please let me know. We would be happy to do so.

Jonathan is out of the office on Jobsites but when he gets back I will be sure to email you the electronic version of the interior fit out for the space.

With Regards to the Existing Signs, I will work on getting you a digital image of the artwork on the existing signs. They do not have any reference to any of the businesses currently in the building.

Regards,

Catherine Culley

Catherine Culley
Principal
Redfern Homes | Redfern Properties
c: 207-776-0904
w: 207-221-5746

www.redfernhomes.com
www.redfernproperties.com

RECEIVED

NOV - 1 2012

Dept. of Building Inspections
City of Portland Maine

My Map



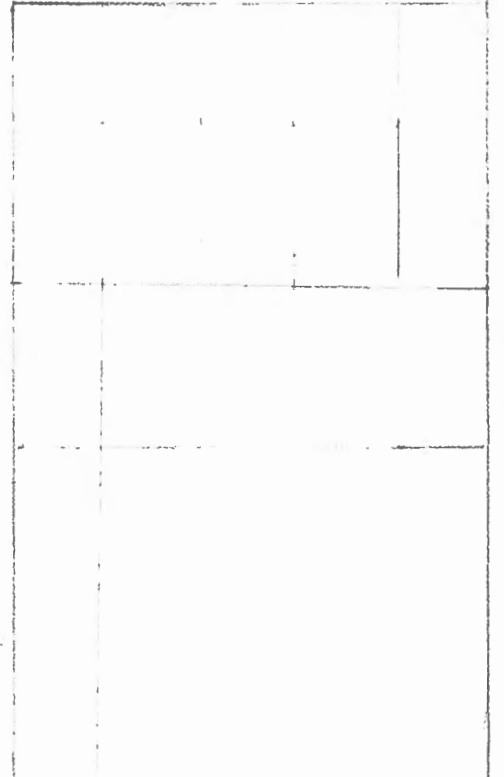
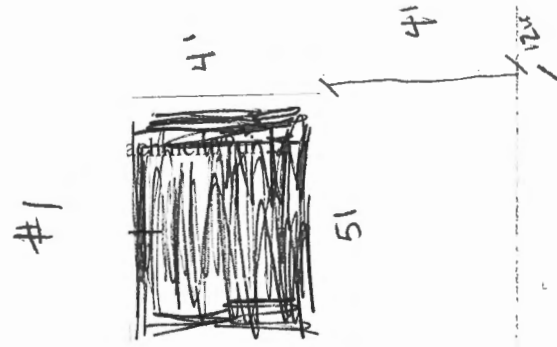
#1

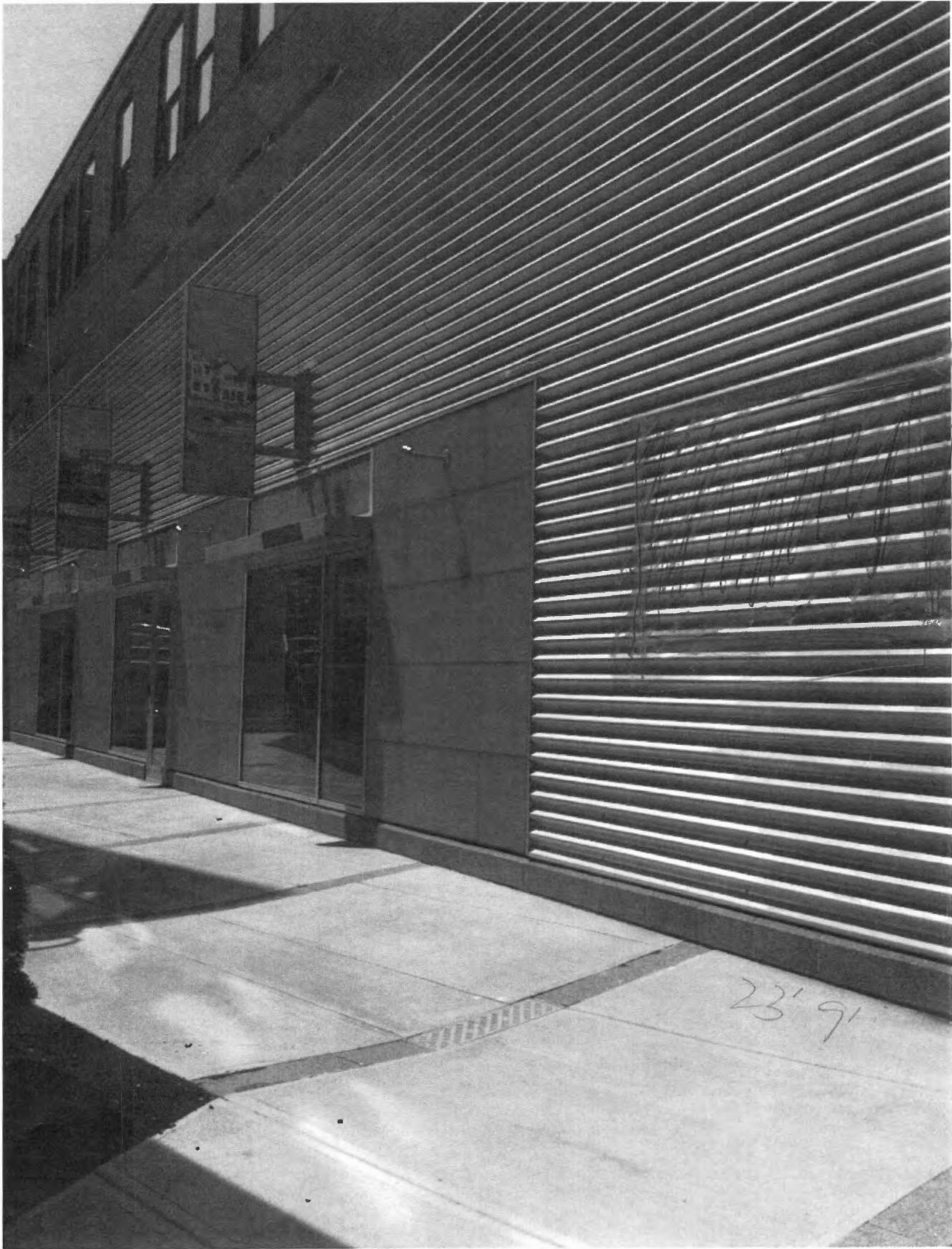
- Proposed 5'x4' Sign
- Attached to Building

#2 3'x9' black sign

1/4" Scale

Existing Bracket/Sign
See Attached photo





MARK

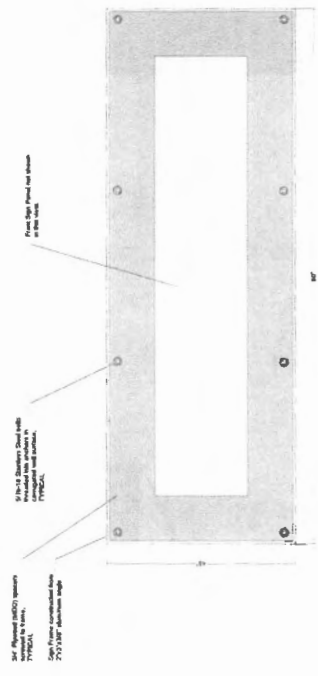
201-622-9561

8/2/12 1:47 PM

Project Name Redfern Properties REMAX	Project Location Portland, Maine	Description of Drawing Exterior Projecting Sign	WELCH SIGNAGE Digital Graphics 7 Leighton Ave. - Scarborough, ME 04107 Tel: 207.882.1100 Fax: 207.882.1102 www.welchsign.com	Notes 1. All Metal Connections to be stainless steel. 2. All hardware to be stainless steel. 3. All Signage to be stainless steel.	Revision / Version : L1 Date : October 26, 2012	Drawing Sheet S2.0
--	--	--	---	--	--	-------------------------------------



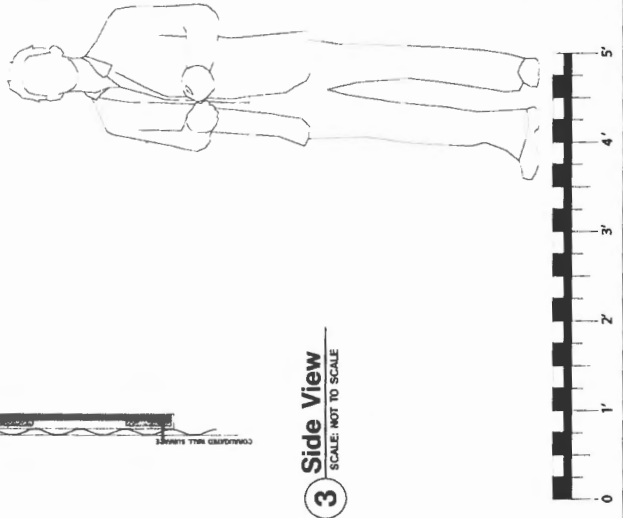
1 Plan View
SCALE: NOT TO SCALE



2 Elevation
SCALE: NOT TO SCALE



3 Side View
SCALE: NOT TO SCALE



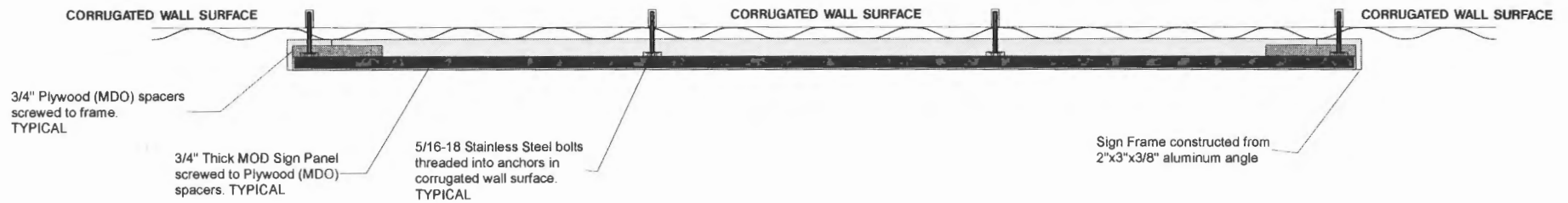
#1

Partial S2.0

RECEIVED

NOV - 1 2012

Dept. of Building Inspections
City of Portland Maine



1 **Plan View**
SCALE: NOT TO SCALE

#1

RECEIVED

NOV - 1 2012

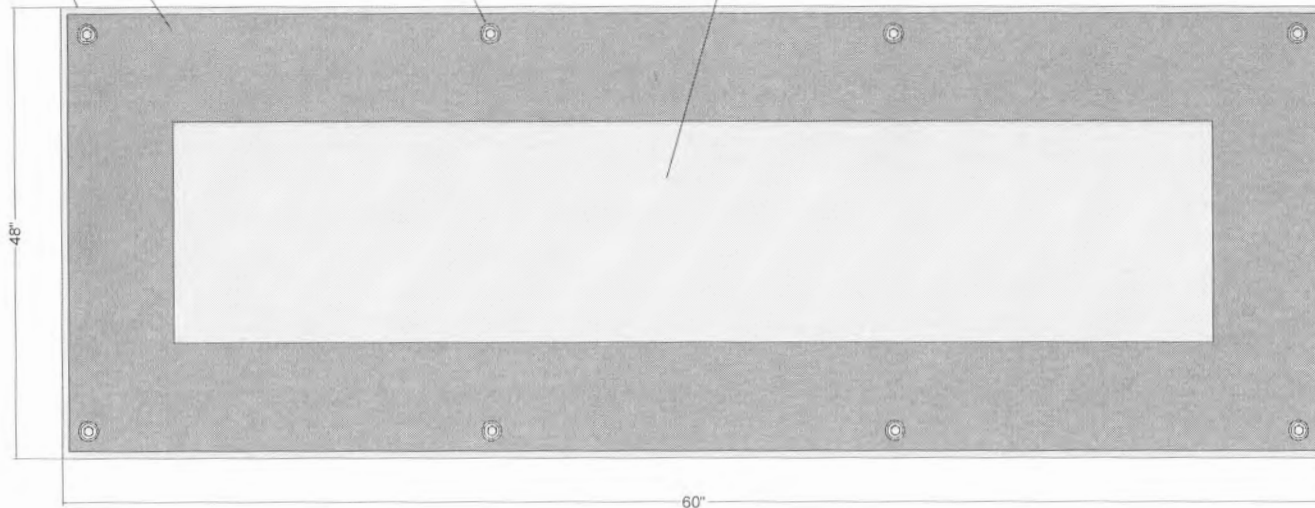
Dept. of Building Inspections
City of Portland Maine

3/4" Plywood (MDO) spacers
screwed to frame.
TYPICAL

Sign Frame constructed from
2"x3"x3/8" aluminum angle

5/16-18 Stainless Steel bolts
threaded into anchors in
corrugated wall surface.
TYPICAL

Front Sign Panel not shown
in this view.



Elevation

#1

Partial of S2.0

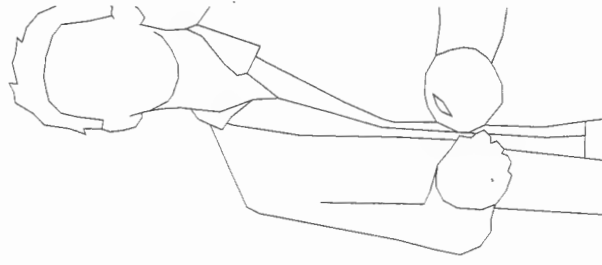
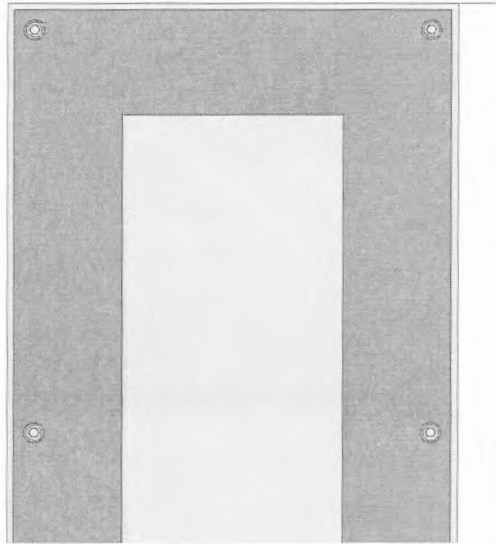
RECEIVED

NOV - 1 2012

Dept. of Building Inspections
City of Portland Maine



Front Sign Panel not shown
in this view.



SIDE VIEW

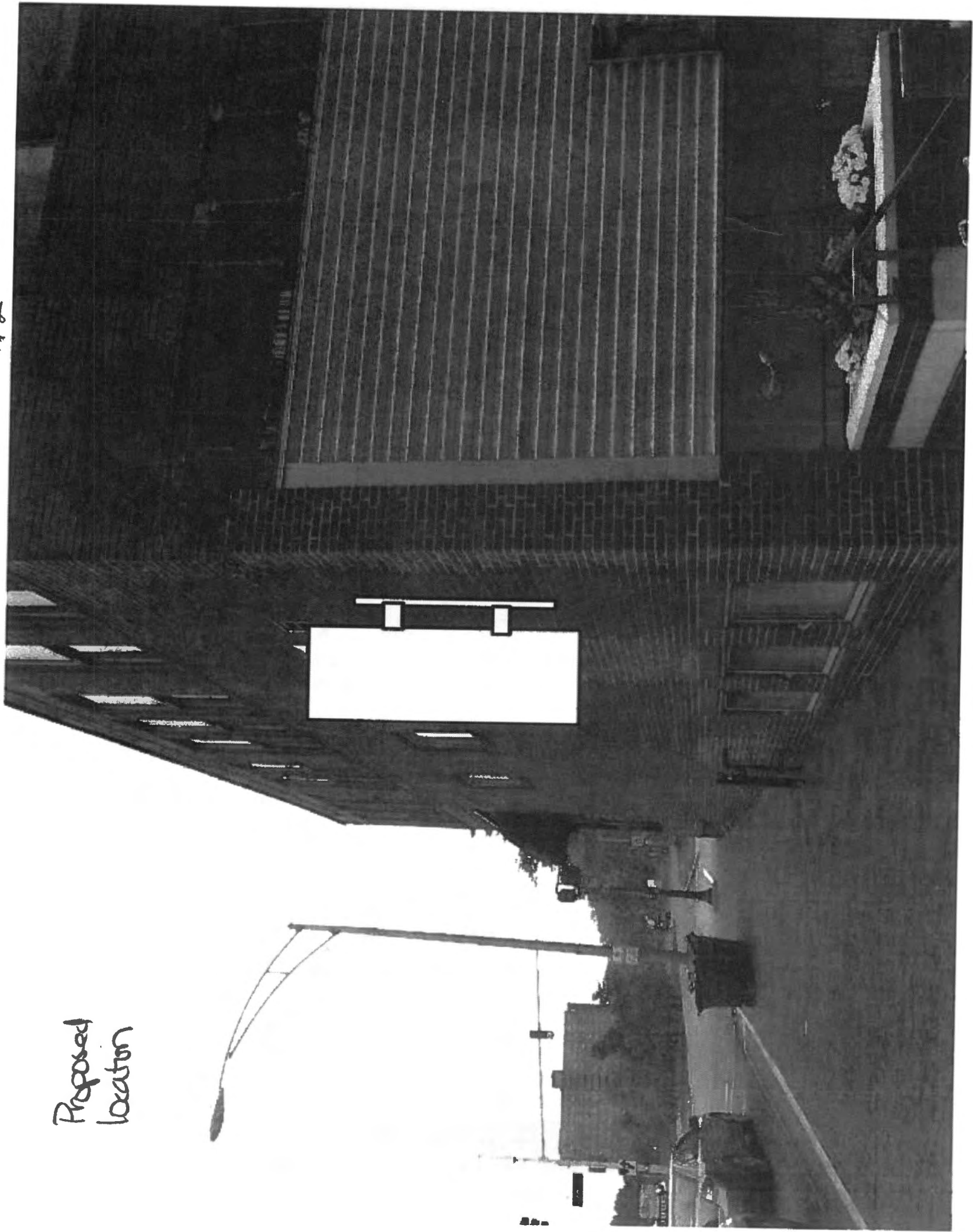
#1 Partial of S2.0

REFLEX

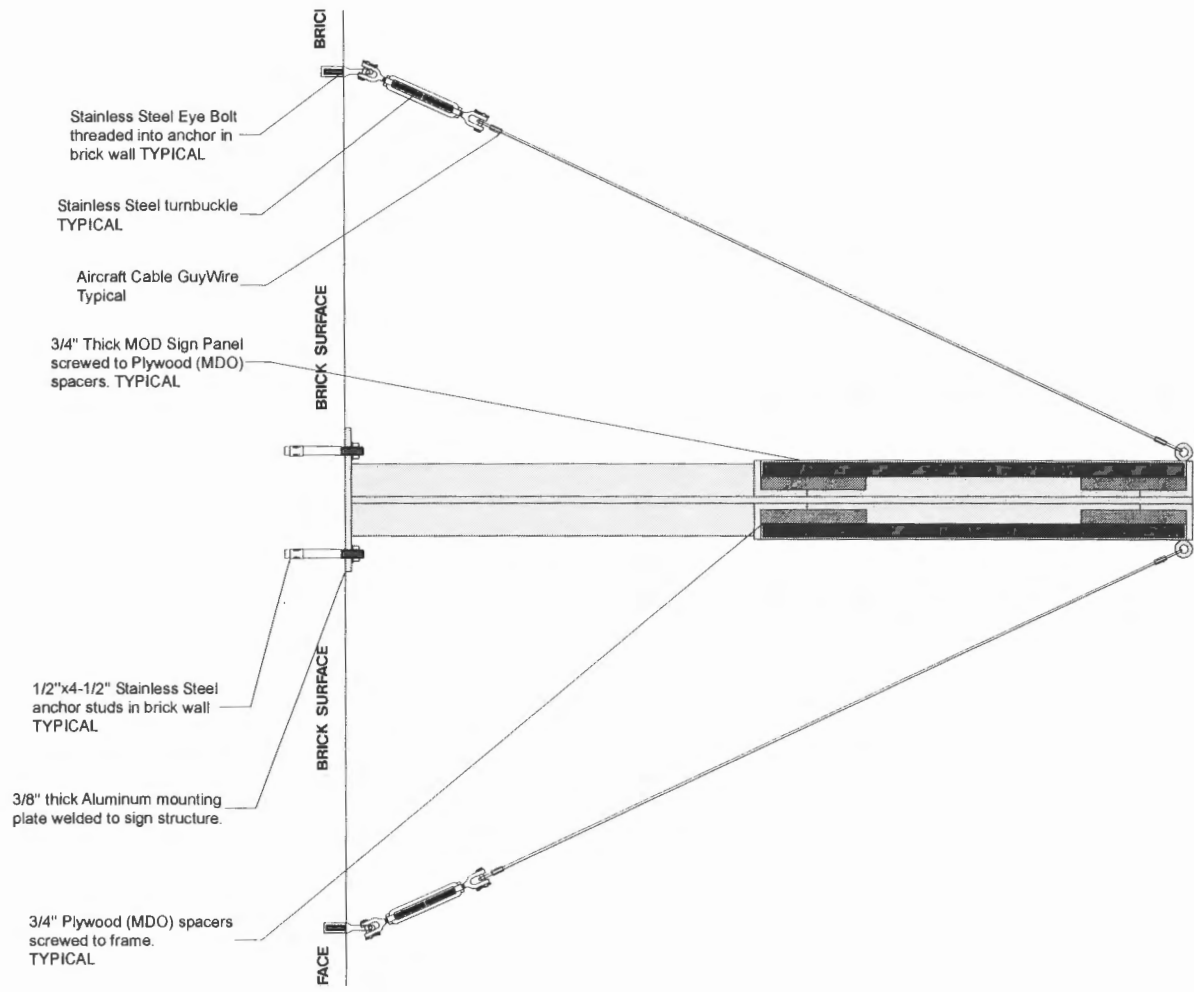
BY THE BAY

88 MIDDLE ST

#2

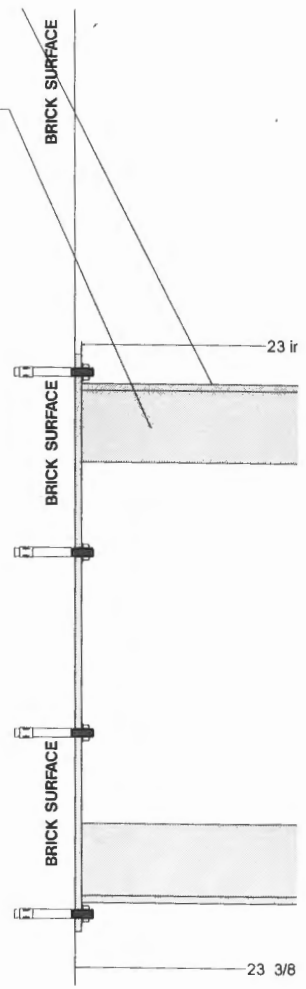


Proposed
location



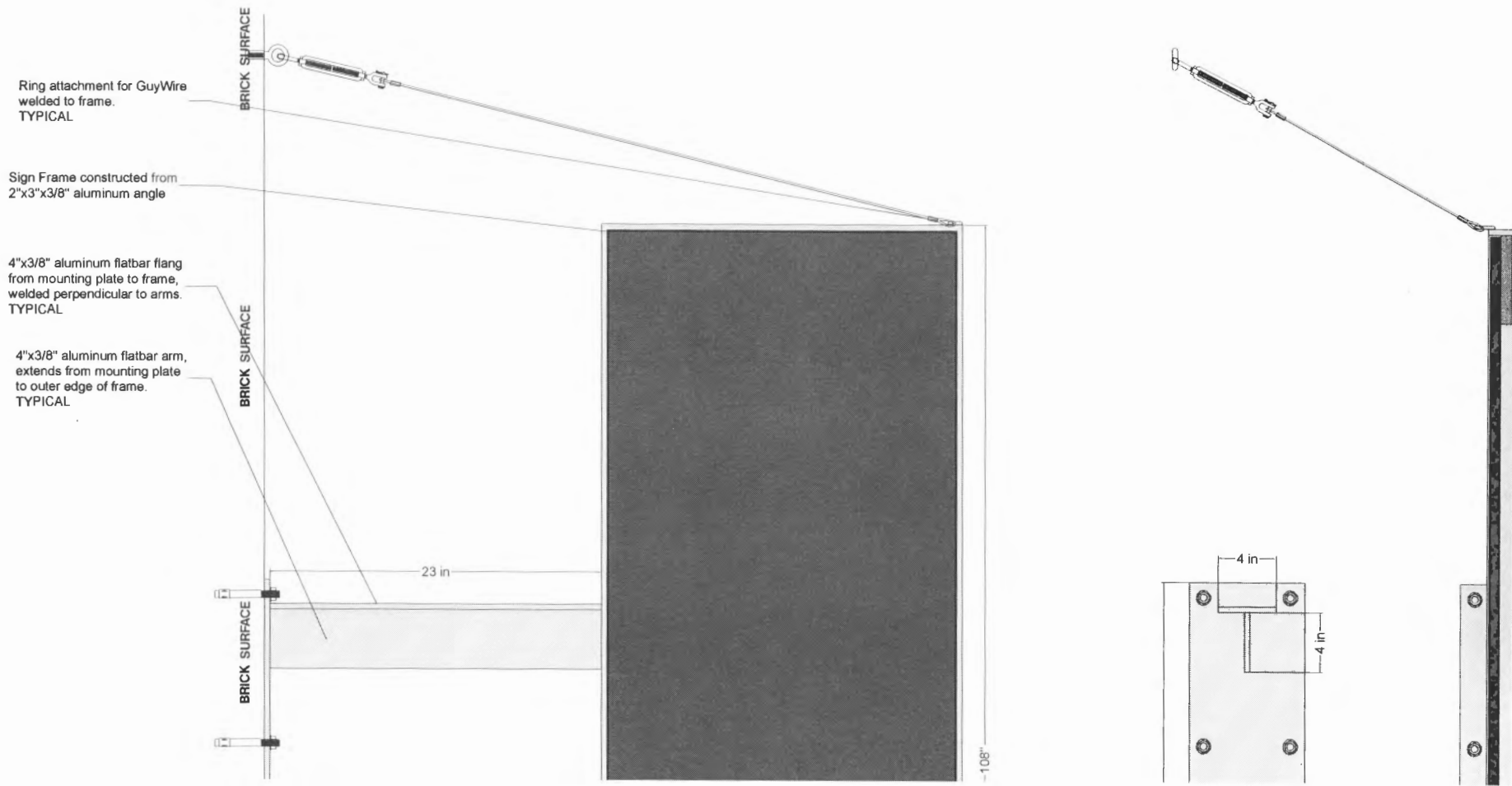
welded perpendicular to arms. TYPICAL

4"x3/8" aluminum flatbar arm, extends from mounting plate to outer edge of frame. TYPICAL



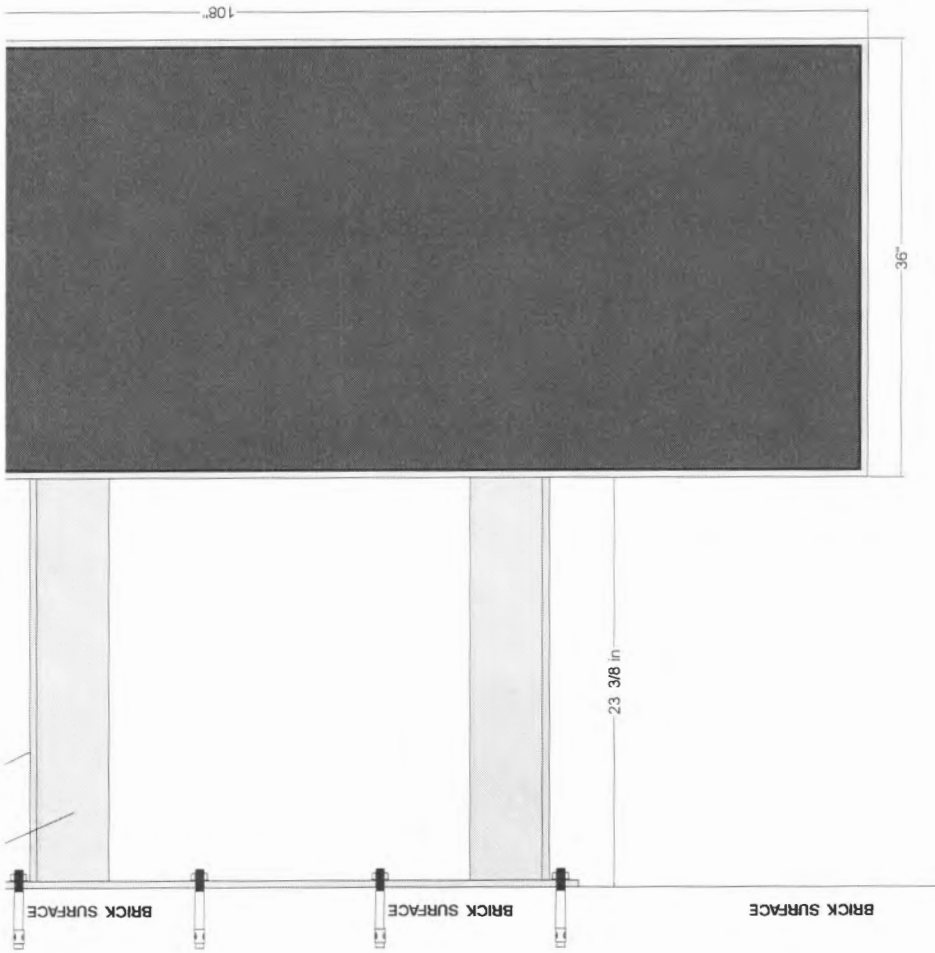
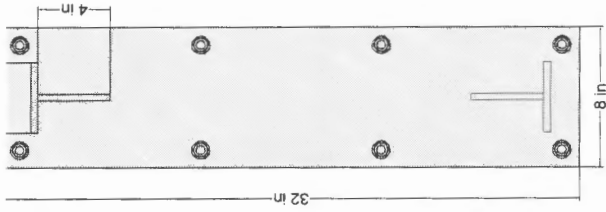
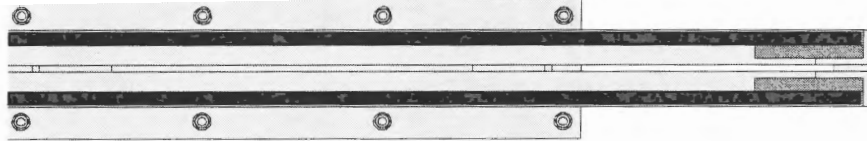
#2

Plan View - Part of S1.0



#2


(top) Side View Part of S1.0

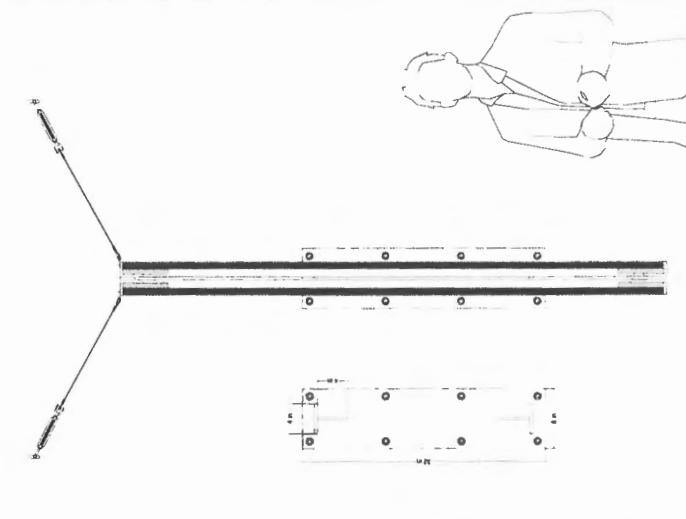


#2

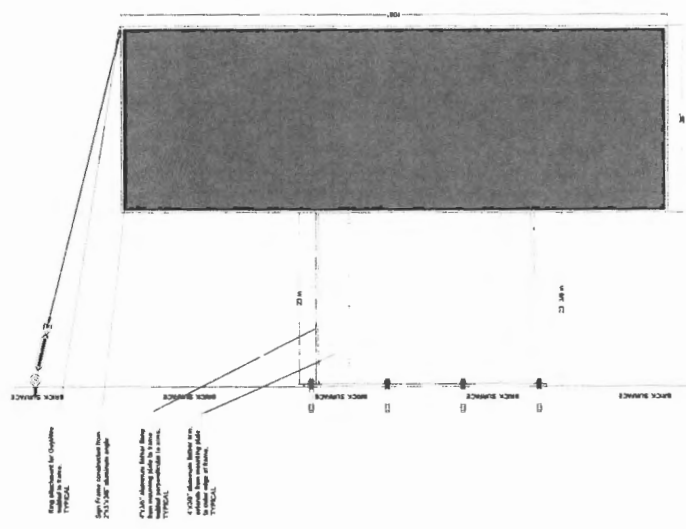
(bottom) side view part of S10.

#2

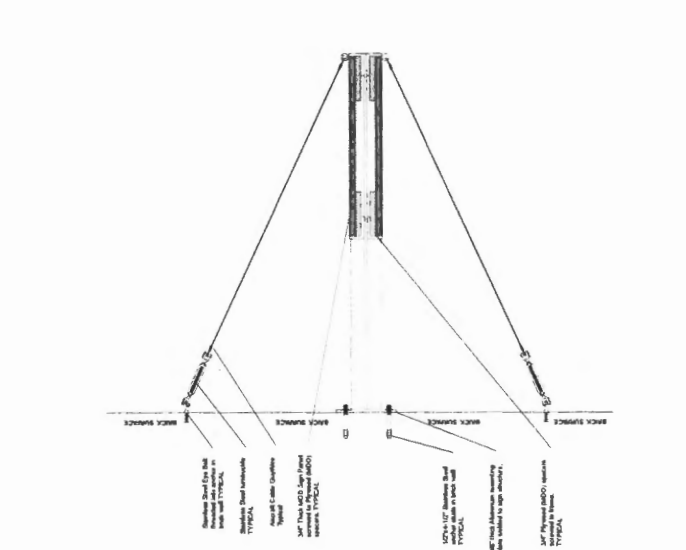
Project Name: Redfern Properties REMAX	Project Location: Portland, Maine	Description of Drawing: Exterior Flush Mount Sign	 <p>1. Use the following materials unless otherwise noted: 1.1. 304 STAINLESS STEEL 1.2. 304 STAINLESS STEEL SIGN 1.3. 304 STAINLESS STEEL SIGN</p>	<p>Note:</p> <ol style="list-style-type: none"> All Metal Connections to be aluminum. All mounting hardware to be Stainless Steel. Projection dimension is not fixed. 	Revision / Version: 1.1 Date: October 26, 2012	<p>Drawing Sheet:</p> <p>S1.0</p>
--	---	---	--	--	---	--



3 Elevation
SCALE: NOT TO SCALE



2 Side View
SCALE: NOT TO SCALE



1 Plan View
SCALE: NOT TO SCALE



REFLEX

BY THE BAY

88 MIDDLE ST

#2

Sign copy

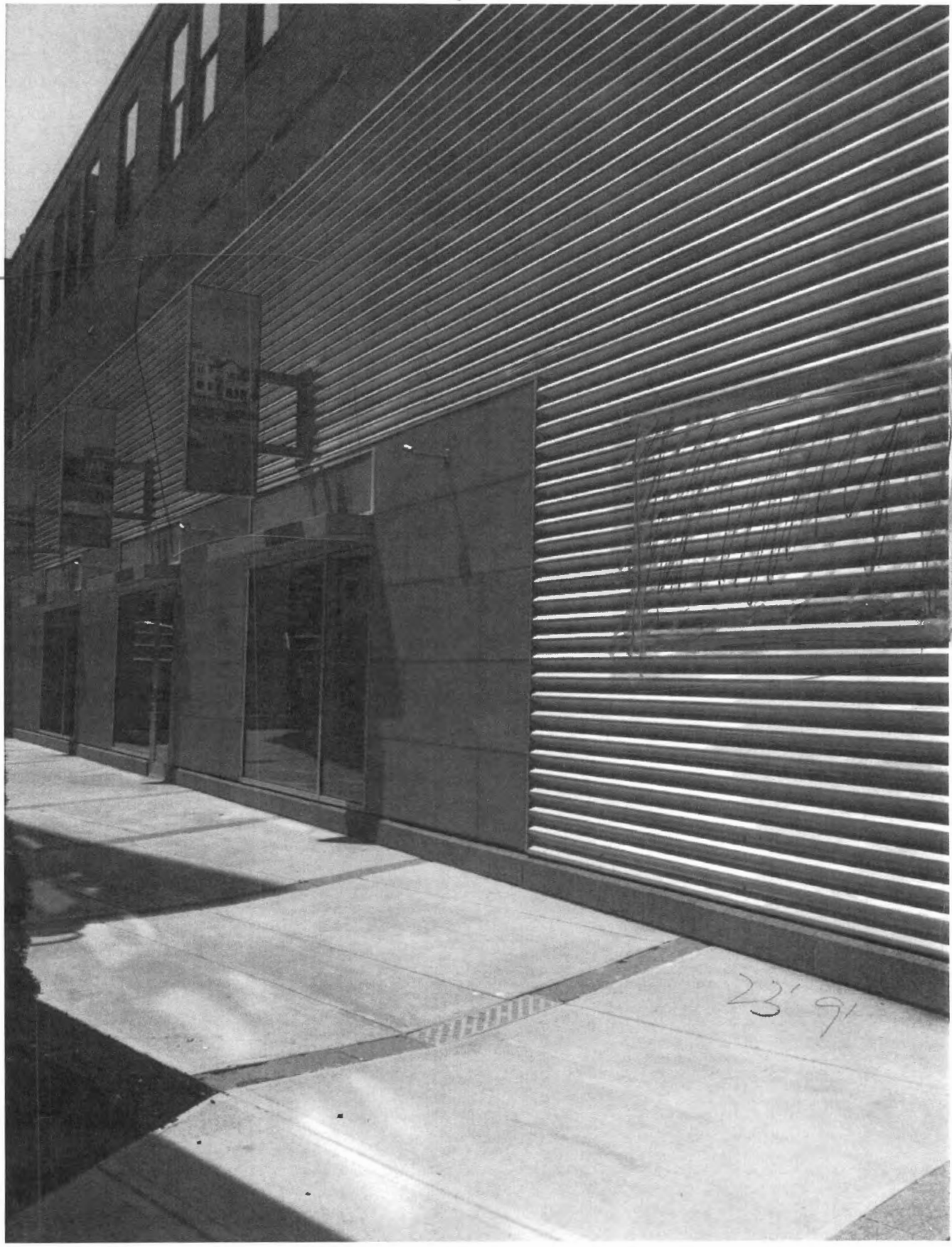
3'x9'

Franklin

Existing

#2

Proposed
3x4 Sign
A
larger
scale
version
of
Existing
Signs
On
Bldg



10'

23' 9"



View Down Franklin
Proposed Sign Similar to Hampton Inn Sign Existing



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 1302
Tender Amount: 124.00

Receipt Header:

Cashier Id: bsaucier
Receipt Date: 10/31/2012
Receipt Number: 49856

Receipt Details:

Referance ID:	8613	Fee Type:	BP-Signs
Receipt Number:	0	Payment Date:	
Transaction Amount:	124.00	Charge Amount:	124.00
Job ID: Job ID: 2012-10-5319-SIGN - 2 Signs, same tenant; total 47'			
Additional Comments: 80 Middle			

Thank You for your Payment!

panel









