

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2005-0089
Application I. D. Number
4/22/2005
Application Date

Thomas Niles, PME I Limited Partnership
Applicant
1140 Reservoir Avenue, Cranston, RI 02920
Applicant's Mailing Address

Jordans Mixed Use Development
Project Name/Description

Consultant/Agent
Applicant Ph: (401) 946-4600 Applicant Fax: (401) 943-6320
Applicant or Agent Daytime Telephone, Fax

38 - 38 India Street, Portland, Maine
Address of Proposed Site
029 L001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

38,000 s.f. _____ _____
Proposed Building square Feet or # of Units Acreage of Site Zoning **B3**

Check Review Required:

- | | | | |
|--|--|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input checked="" type="checkbox"/> Subdivision
of lots 84 | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$3,000.00** Subdivision _____ Engineer Review _____ Date **4/22/2005**

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

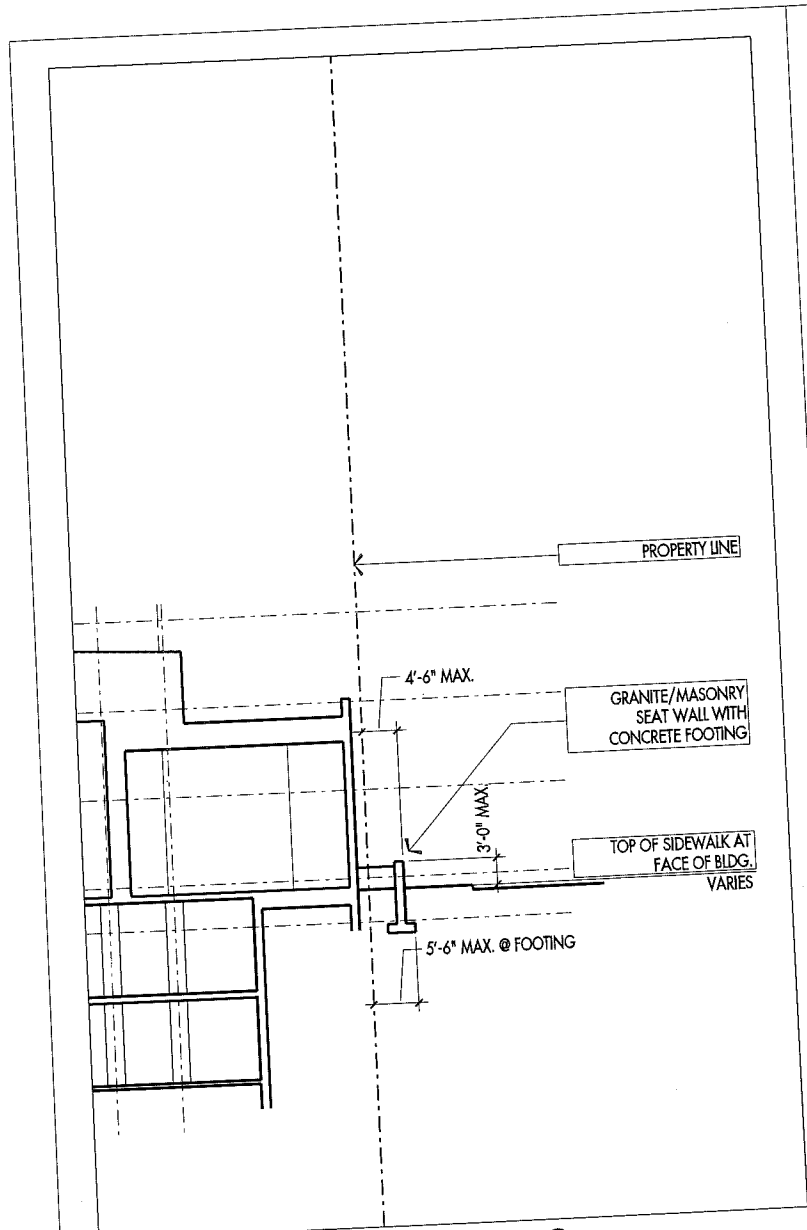
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

OK to Issue Building Permit _____ _____
signature date

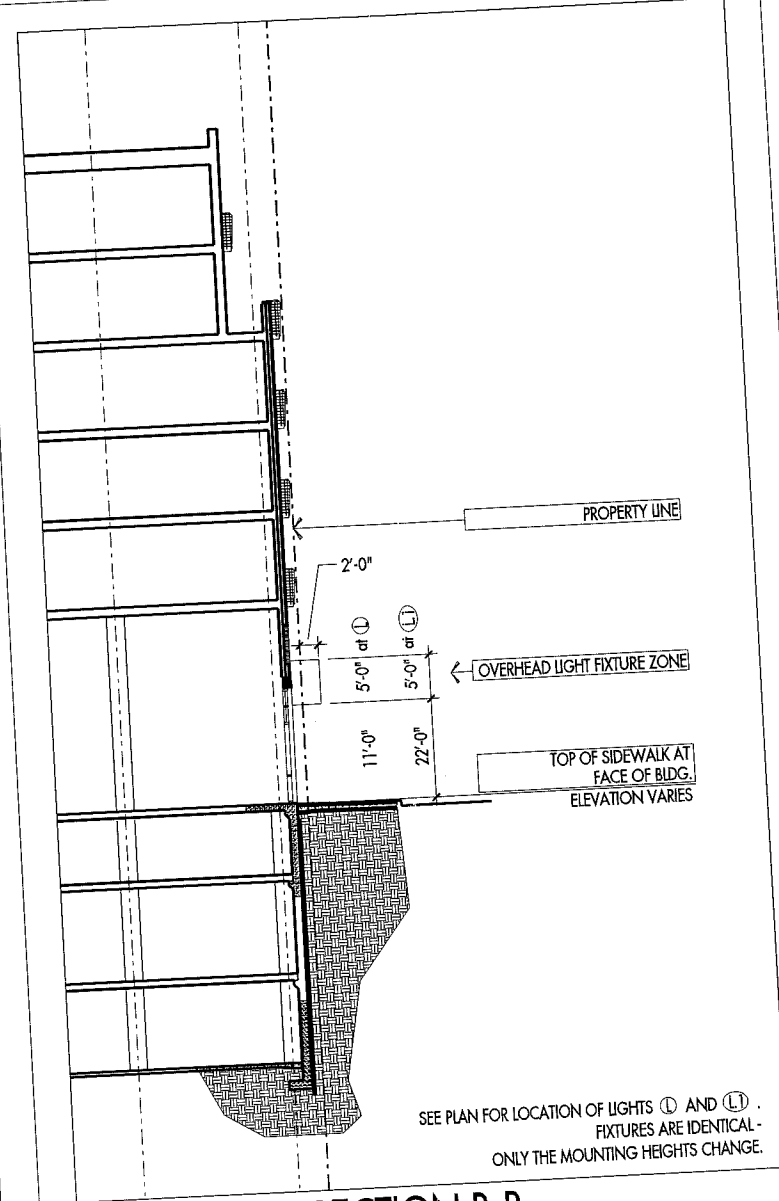
Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

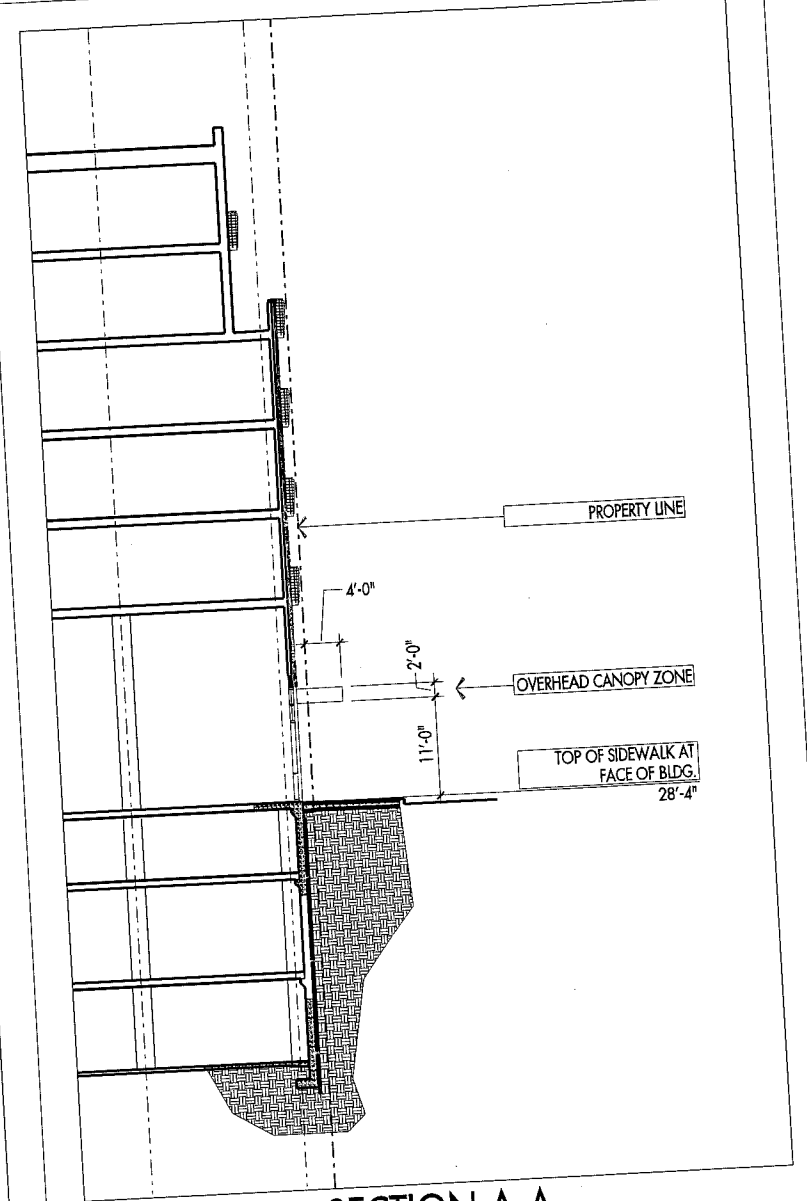
- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



SECTION C-C
SITE WALL

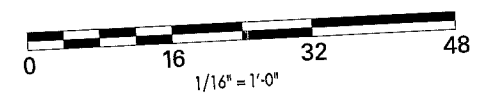


SECTION B-B
TYPICAL WALL-MOUNTED LIGHT



SECTION A-A
OVERHEAD CANOPY

EXHIBIT A - SHEET 2 of 2
BUILDING OVERHANGS
SECTIONS
MAY 5, 2006



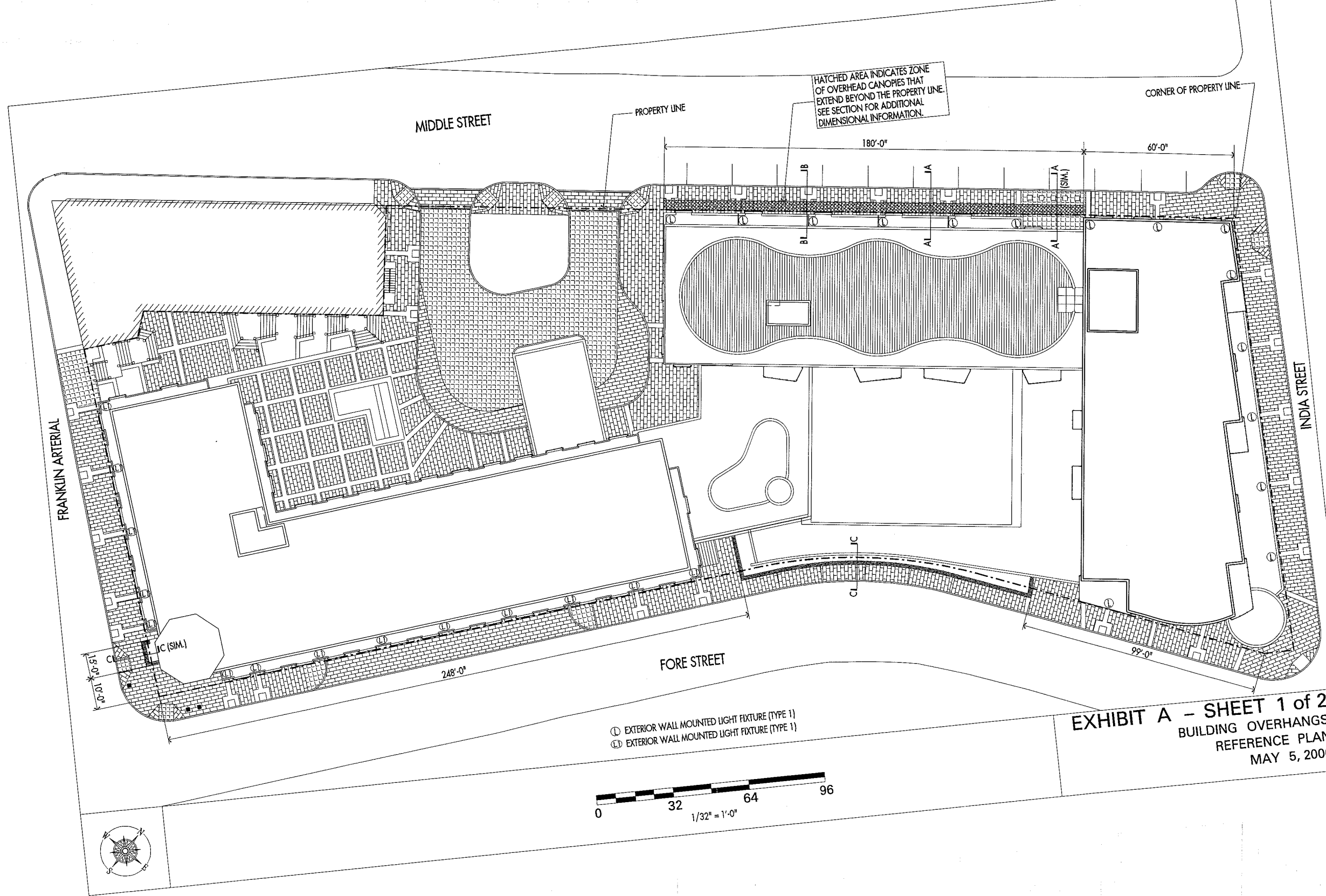
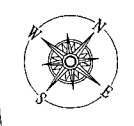
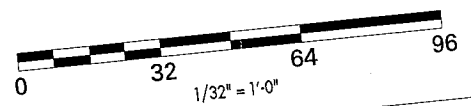
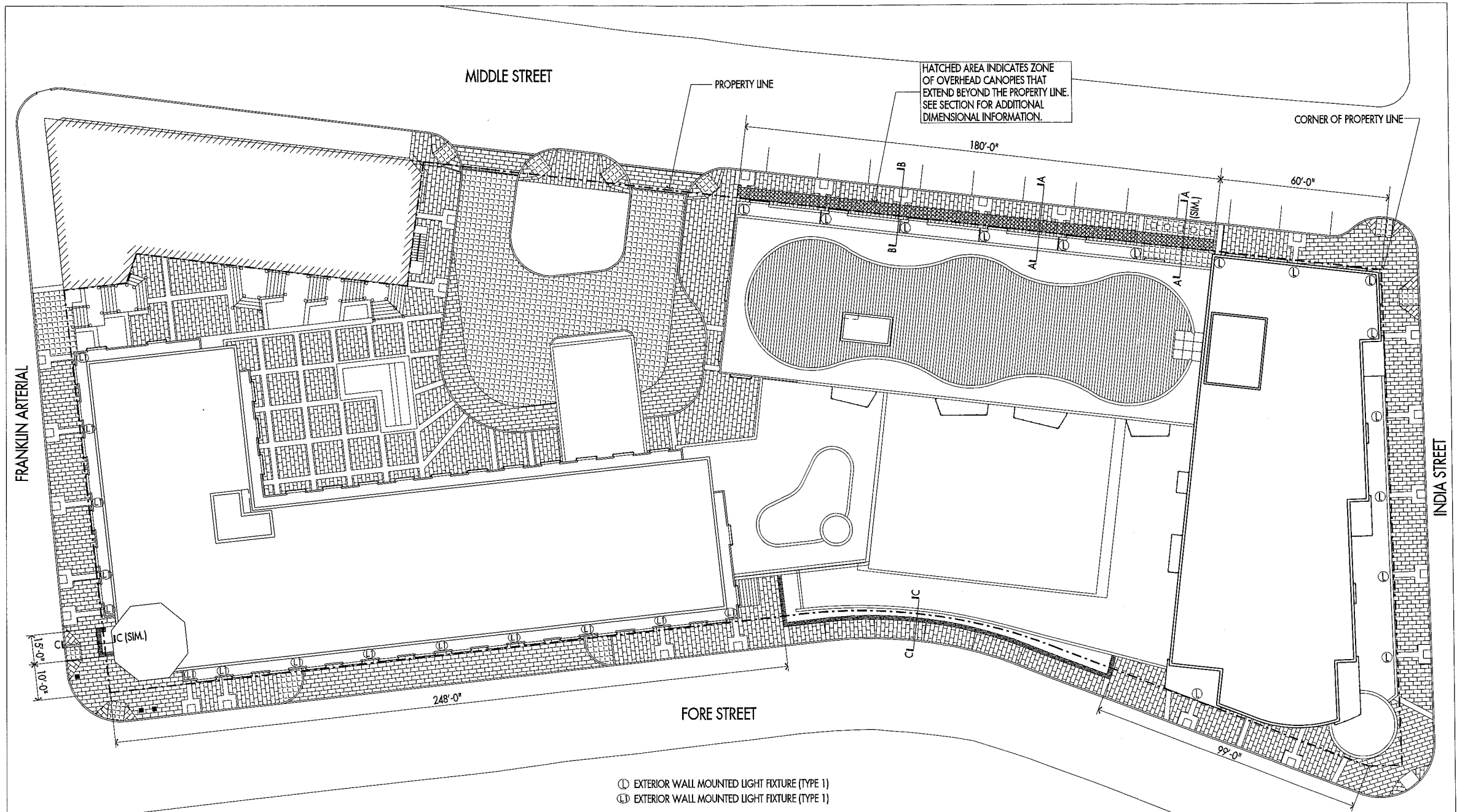


EXHIBIT A - SHEET 1 of 2
BUILDING OVERHANGS
REFERENCE PLAN
MAY 5, 2006





- ⊙ EXTERIOR WALL MOUNTED LIGHT FIXTURE (TYPE 1)
- ⊙ EXTERIOR WALL MOUNTED LIGHT FIXTURE (TYPE 1)

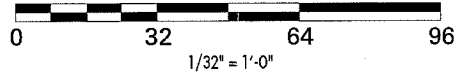
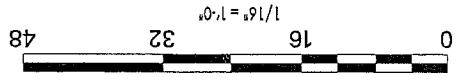
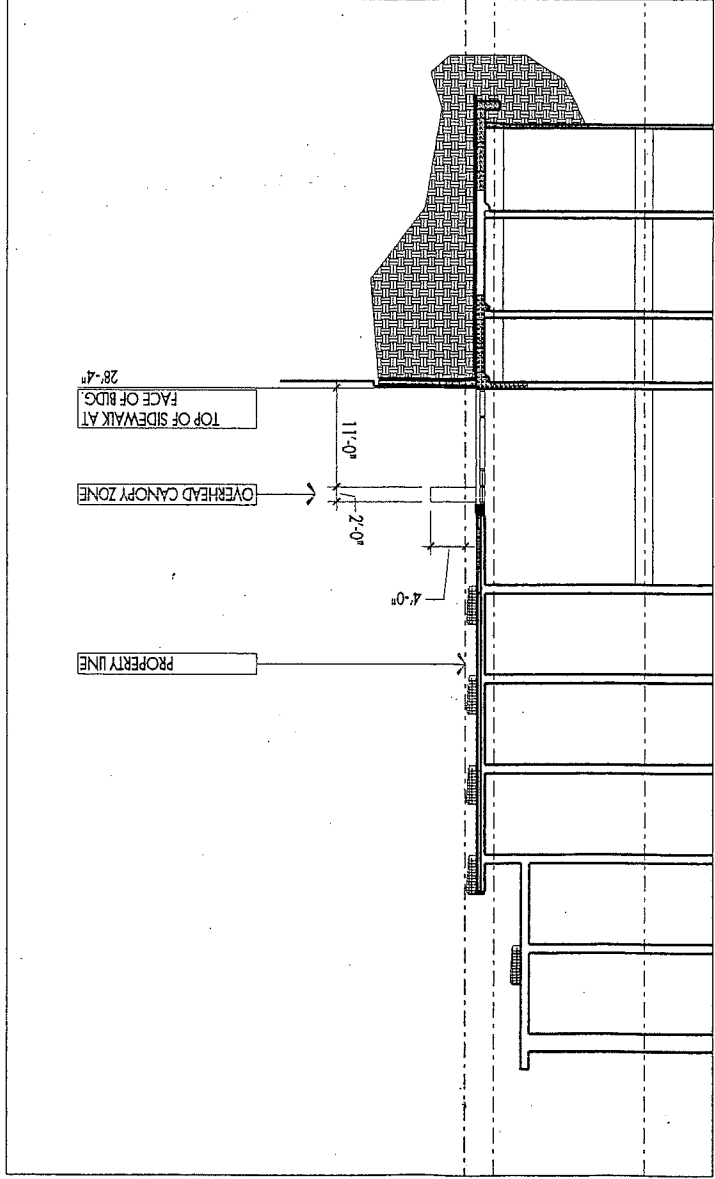


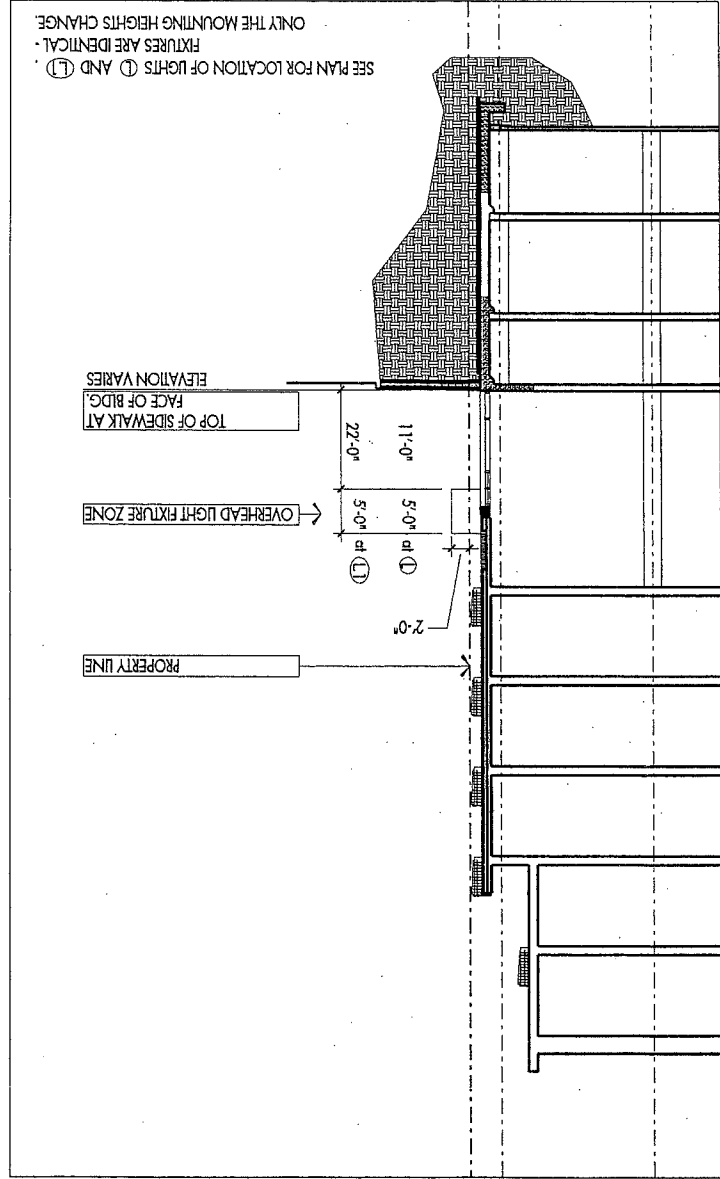
EXHIBIT A – SHEET 1 of 2
 BUILDING OVERHANGS
 REFERENCE PLAN
 MAY 5, 2006



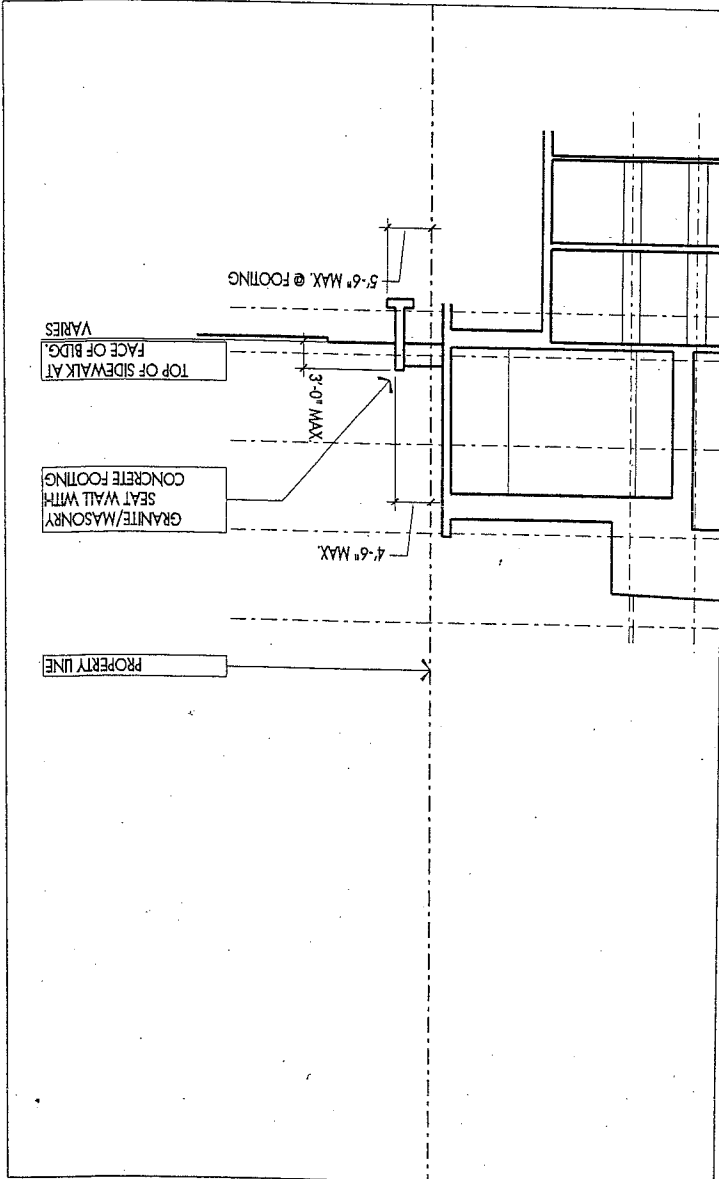
SECTION A-A
 OVERHEAD CANOPY



SECTION B-B
 TYPICAL WALL-MOUNTED LIGHT



SECTION C-C
 SITE WALL





WINTON SCOTT
ARCHITECTS

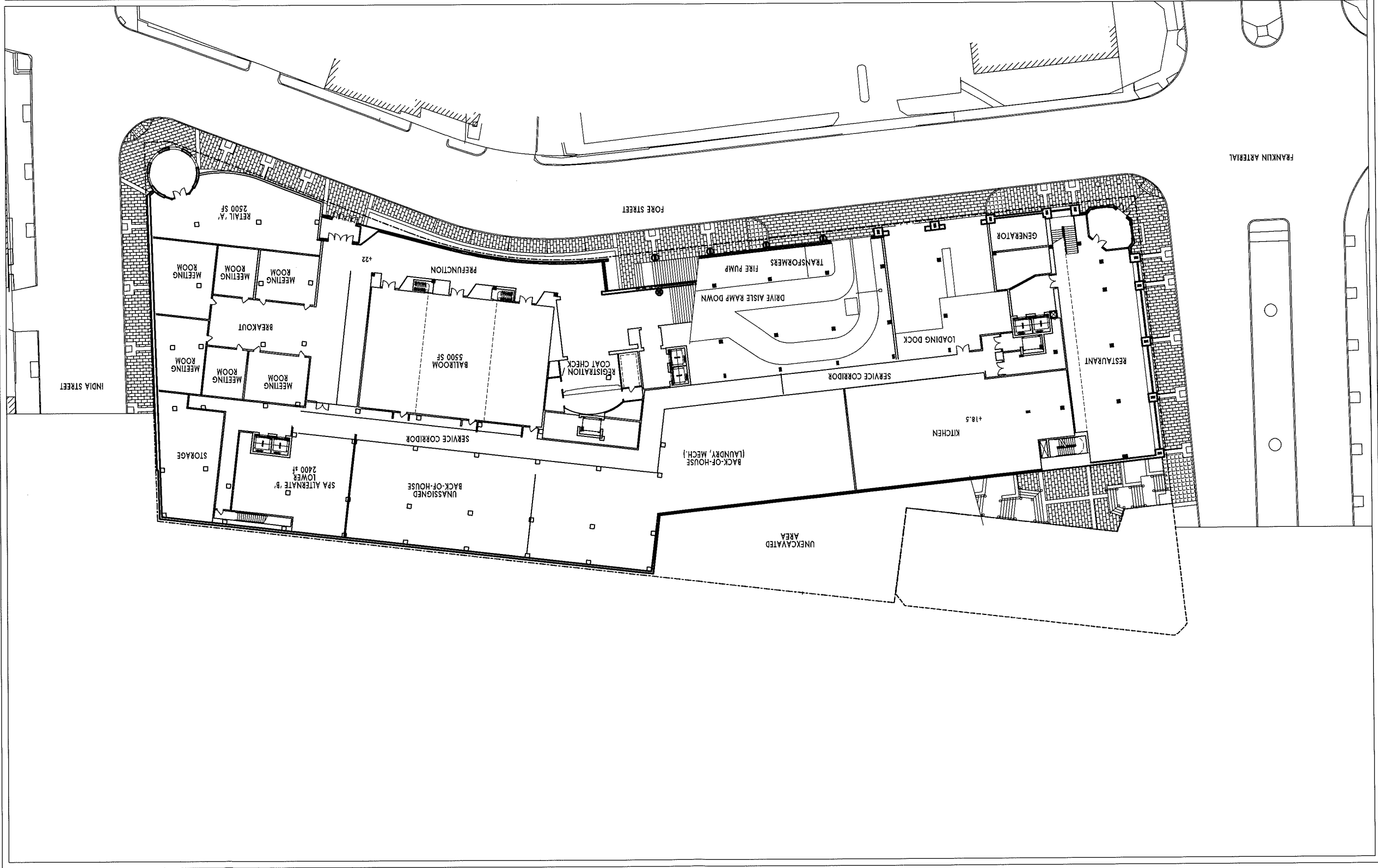
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

RESTAURANT ENTRY LEVEL

1" = 50'-0"

11.30.2005





WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

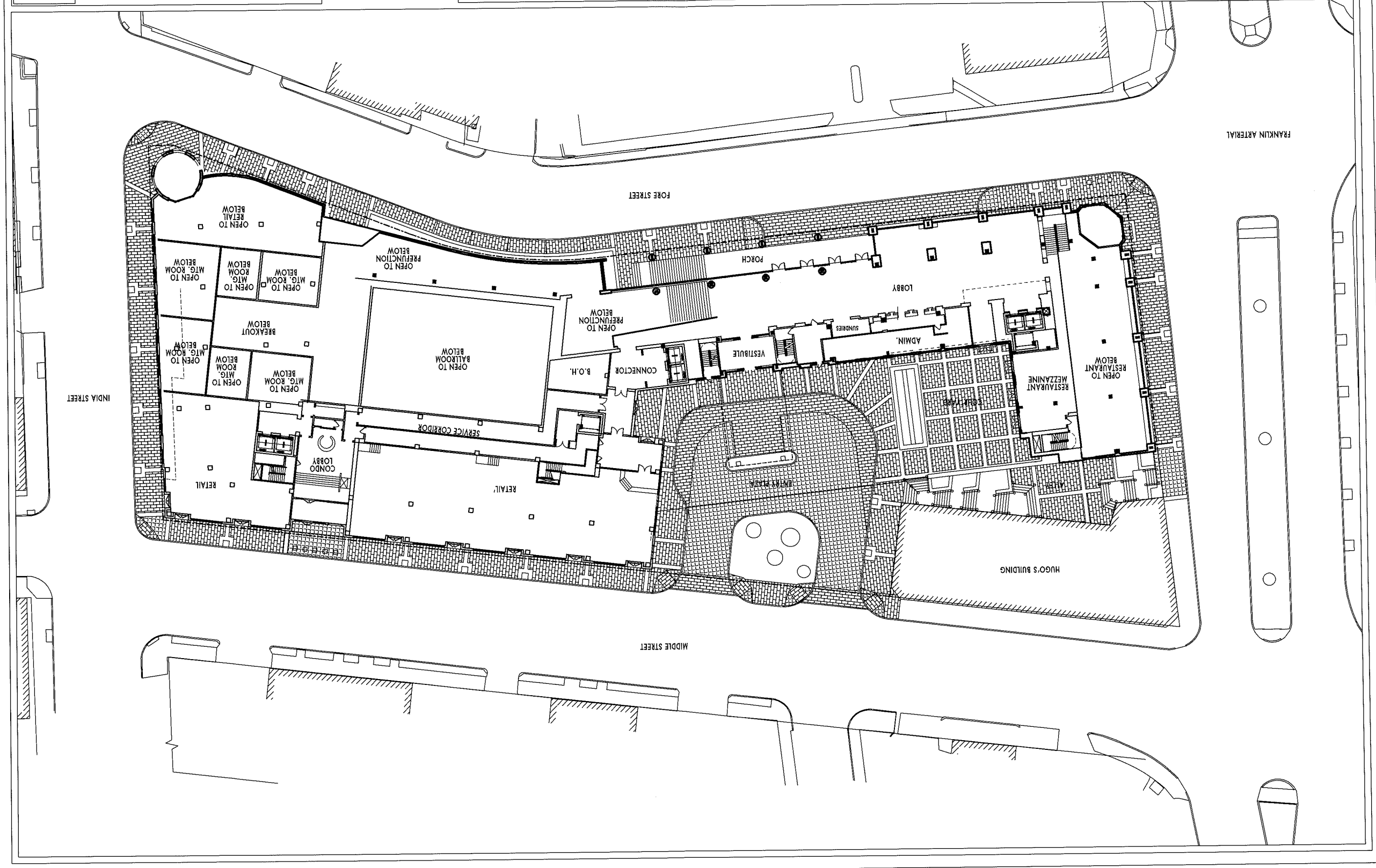
Portland, Maine

HOTEL LOBBY LEVEL

1" = 50'-0"

11.30.2005

2





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WESTIN HOTEL and RESIDENCES PORTLAND

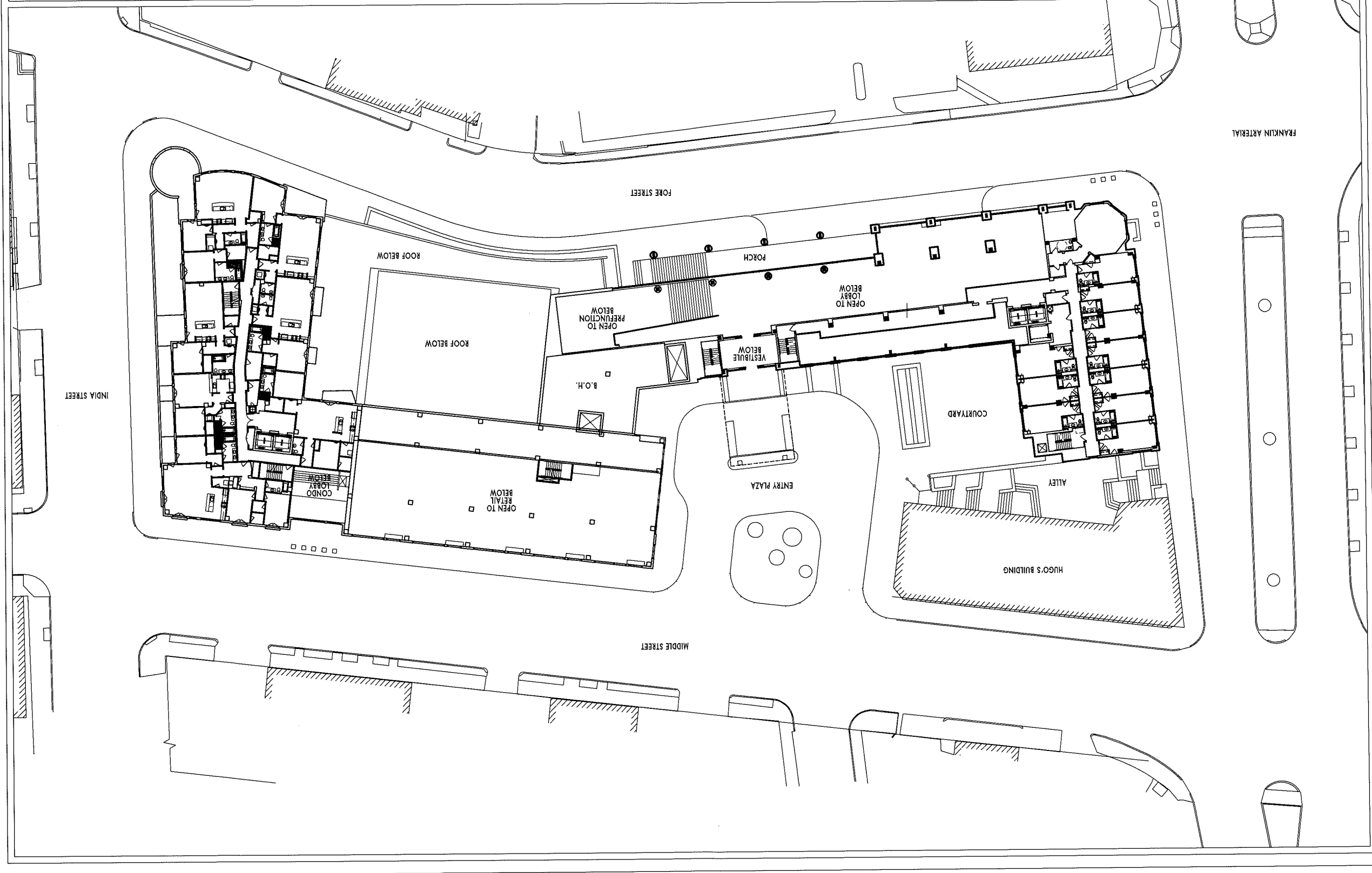
Portland, Maine

1ST FLOOR OF CONDOS

1" = 50'-0"

11.30.2005

3





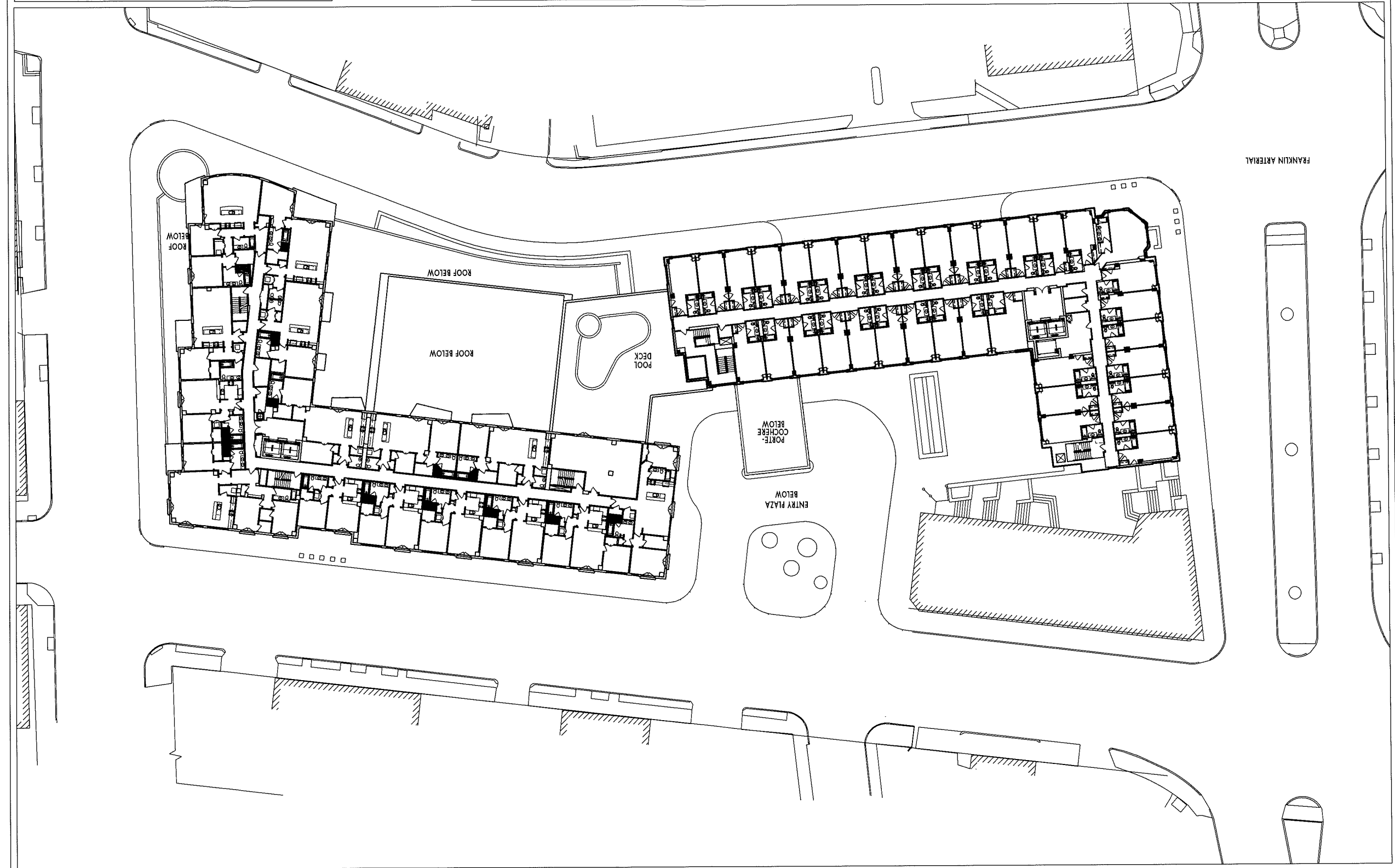
WINTON SCOTT
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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

1" = 50'-0"
FIRST GUESTROOM LEVEL /
POOL TERRACE

11.30.2005
4





COOPER CARRY

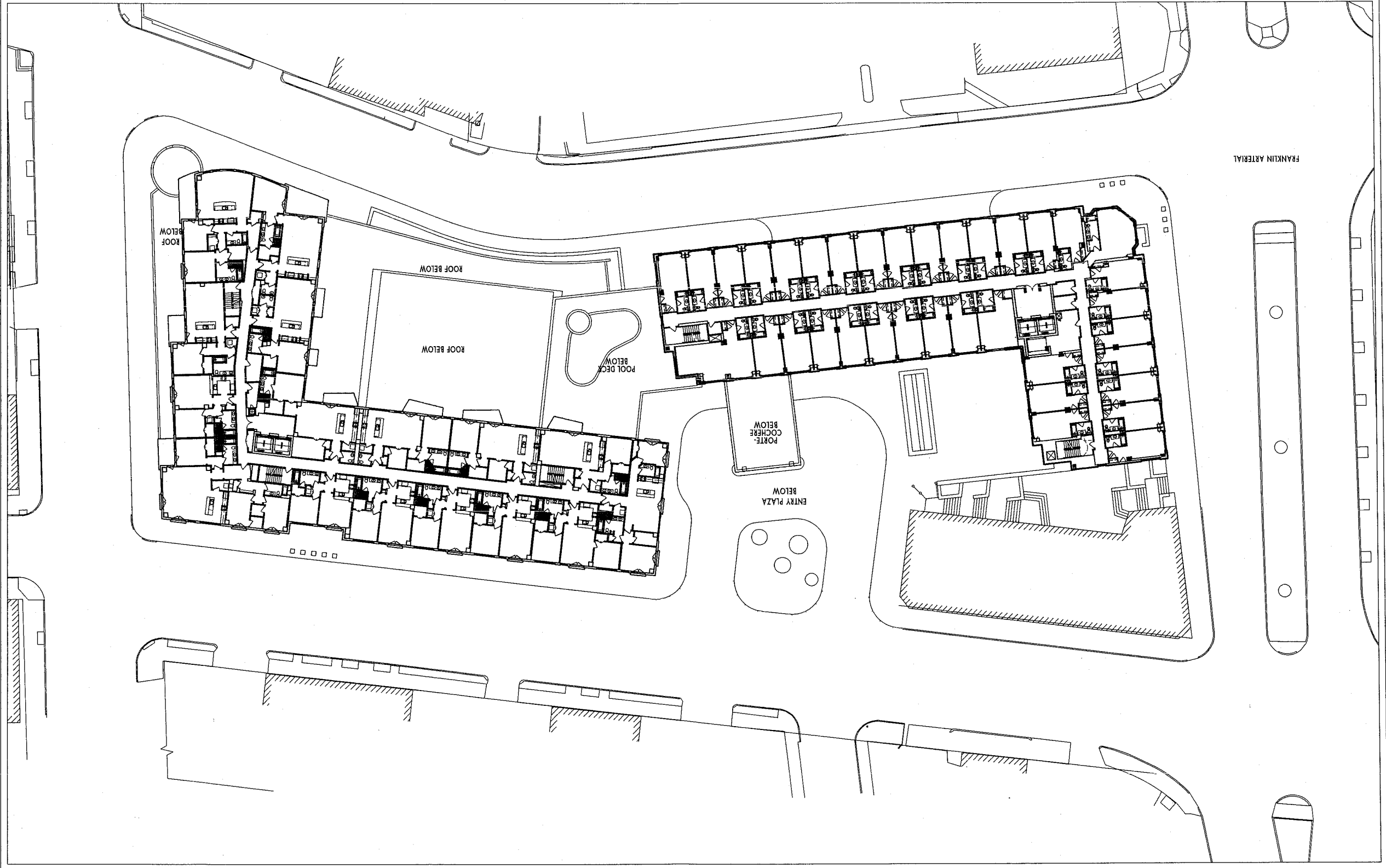
WINTON SCOTT
ARCHITECTS

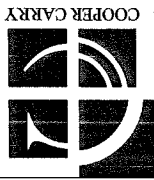
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVELS 5 AND 6
1"=50'-0"

11.30.2005

5-6





COOPER CARRY

WINTON SCOTT
ARCHITECTS

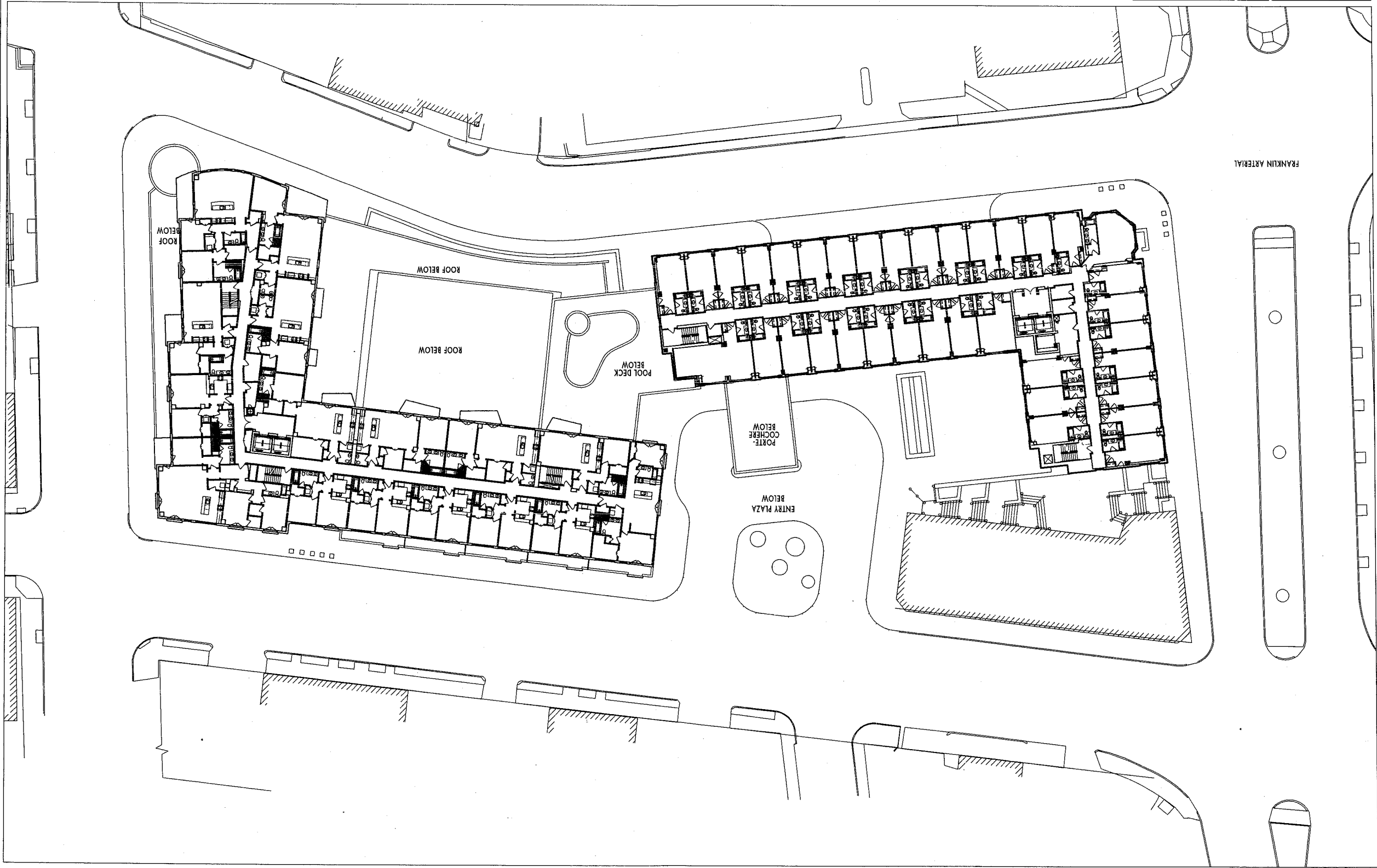
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1" = 50'-0"

LEVELS 7 AND 8

11.30.2005

7-8





WINTON SCOTT
ARCHITECTS

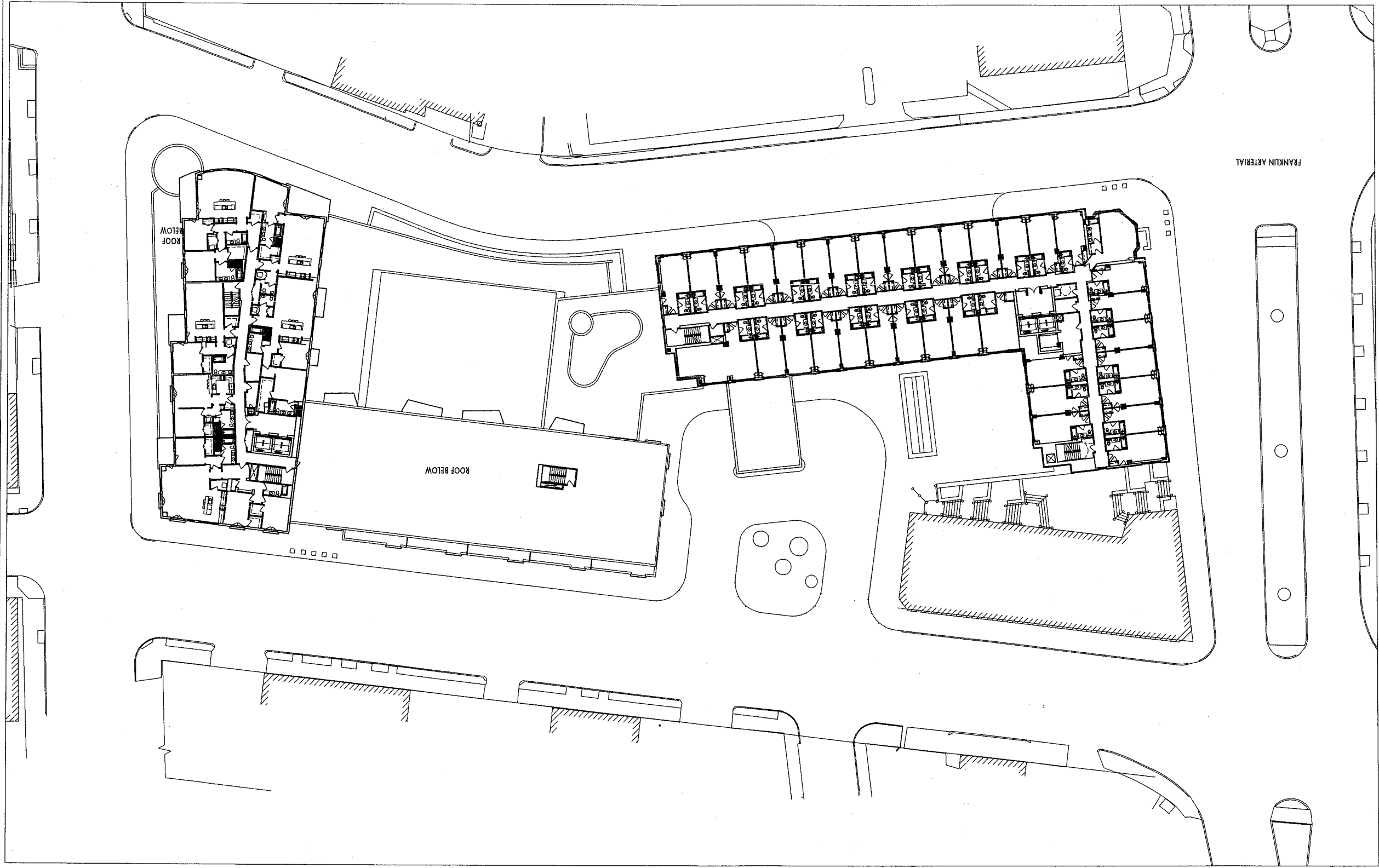
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1" = 50'-0"

LEVEL 9

11.30.2005

6





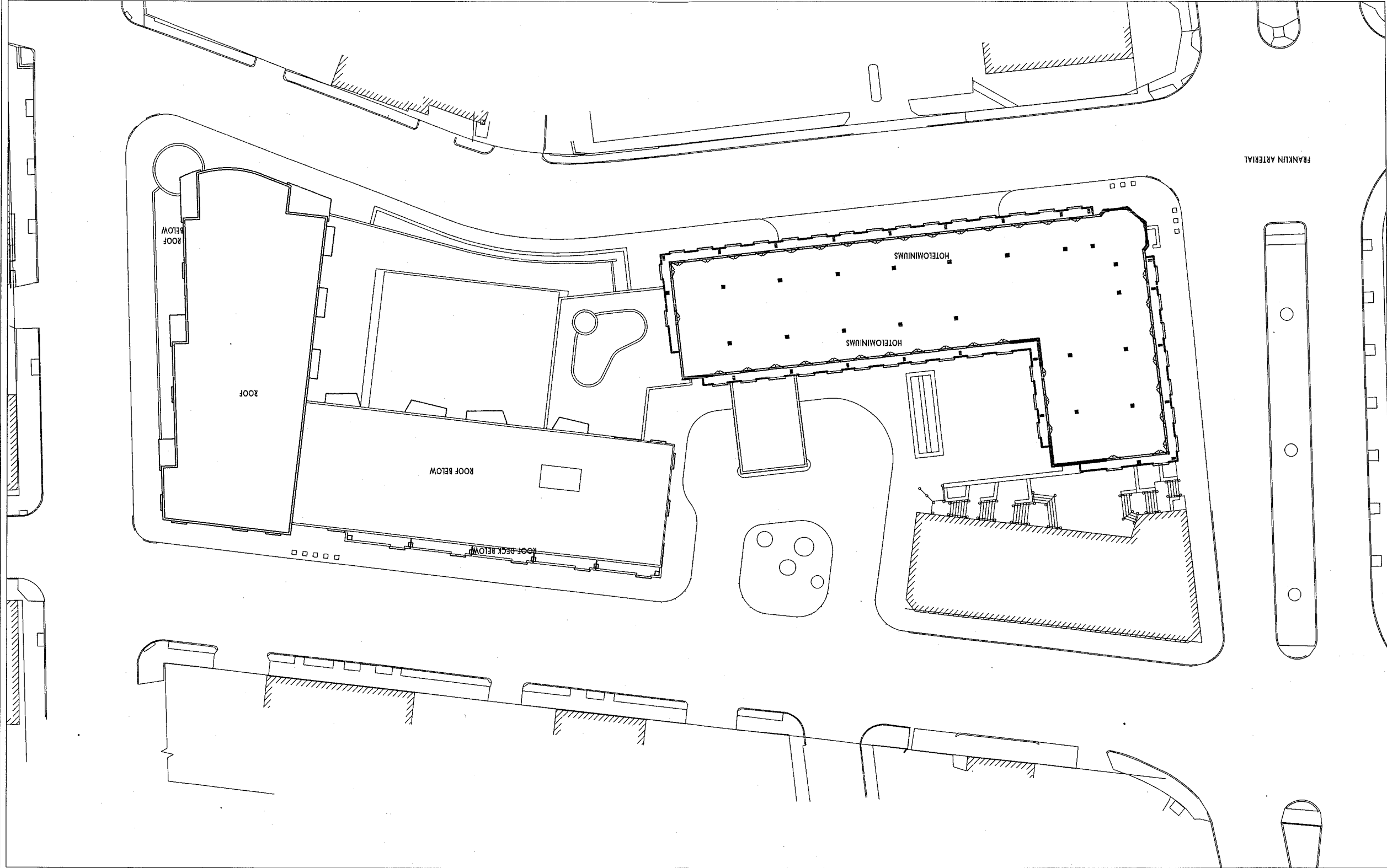
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

HOTELMINIUM LEVEL
1"=50'-0"

11.30.2005

10





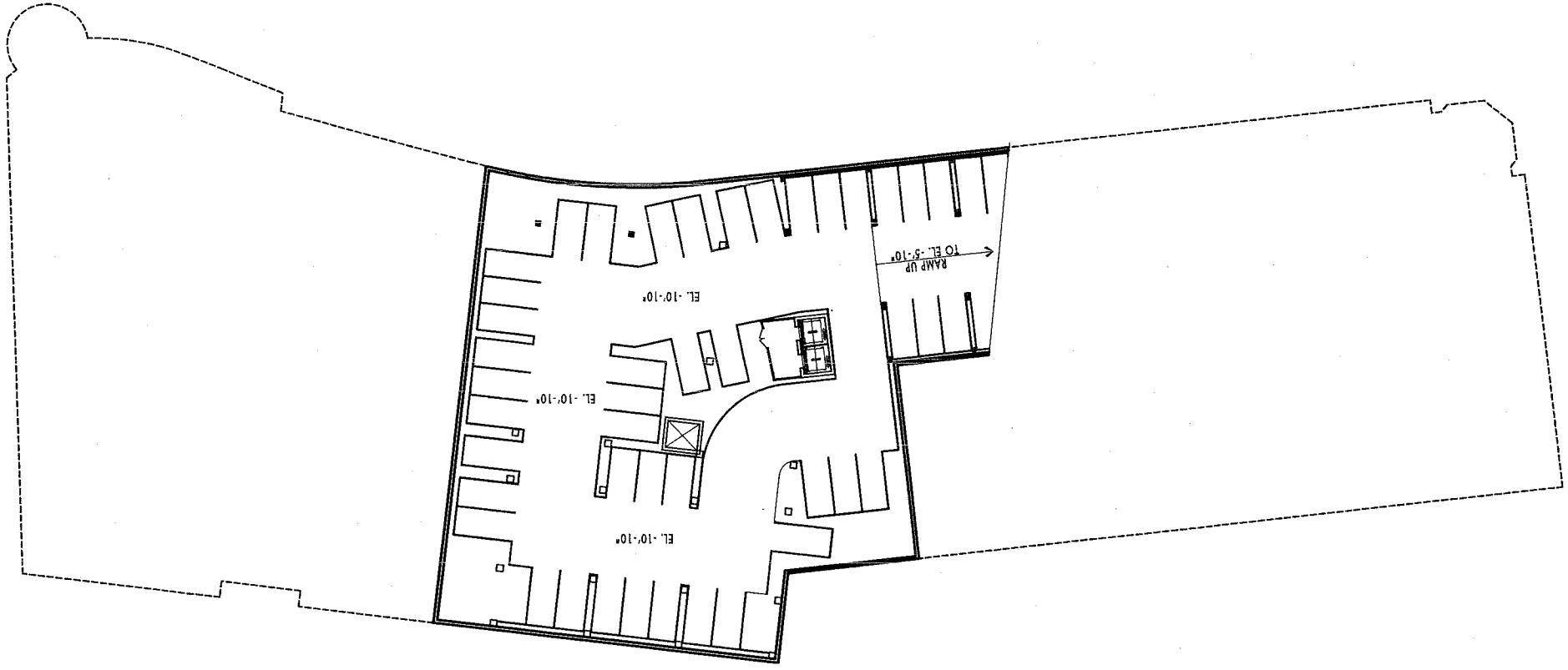
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ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1"=50'-0"
PARKING LEVEL 1

11.30.2005

P1



11.30.2005

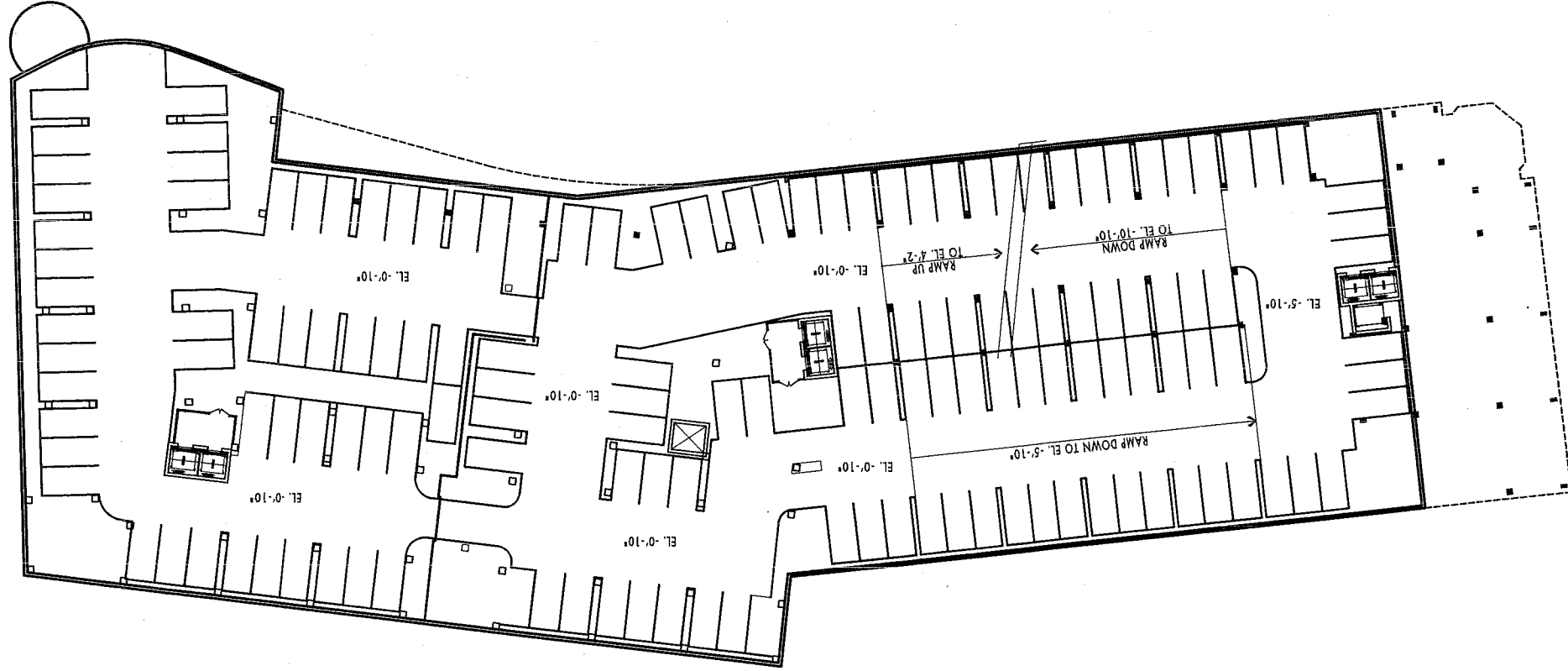
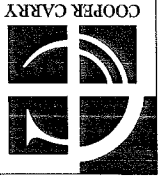
P2

1"=50'-0"
PARKING LEVEL 2

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

WINTON SCOTT
ARCHITECTS





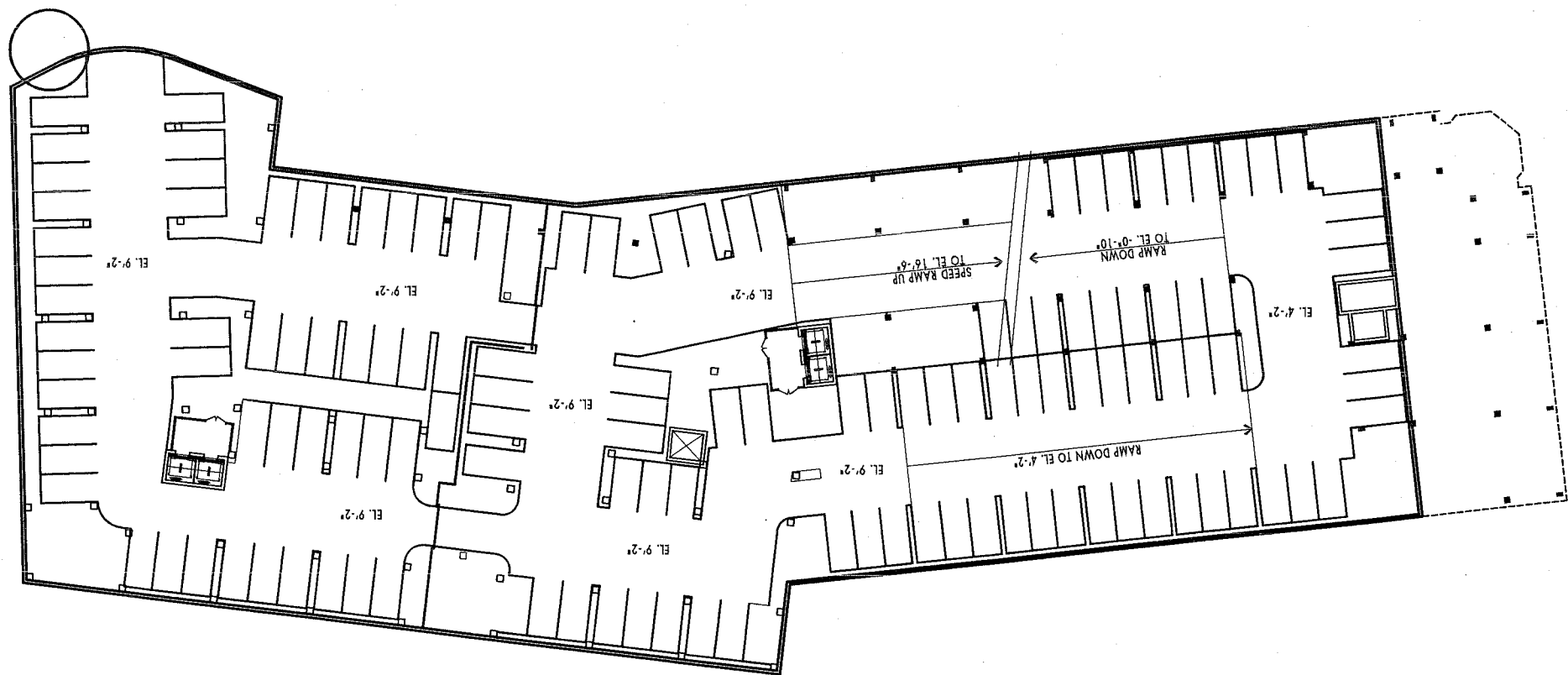
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1"=50'-0"
PARKING LEVEL 3

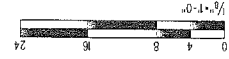
11.30.2005

P3



12.07.2005

BUILDING ELEVATIONS

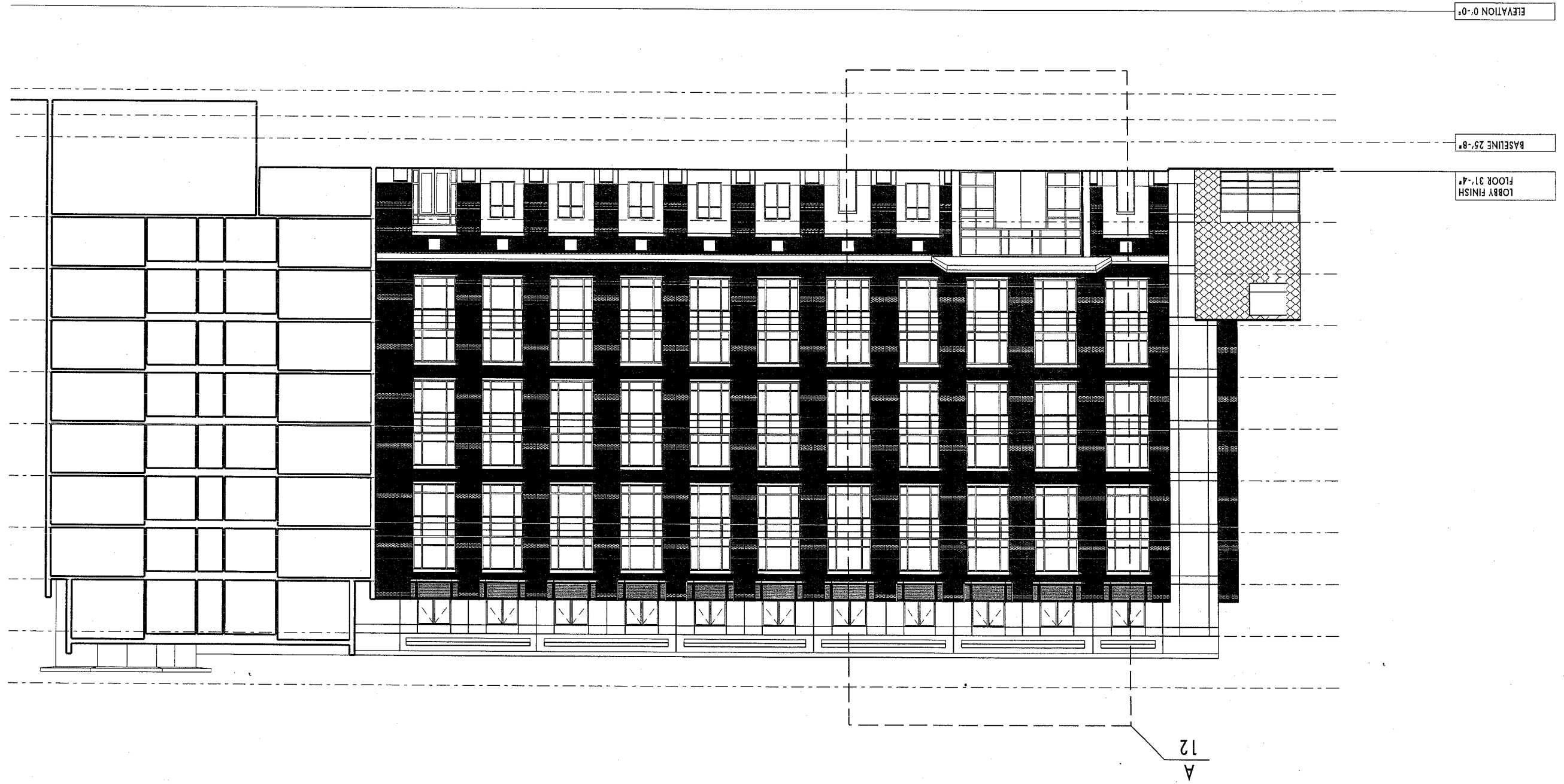


WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS



BUILDING ELEVATION AT ENTRY COURT



12.07.2005



BUILDING ELEVATIONS

2

WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

WINTON SCOTT
ARCHITECTS

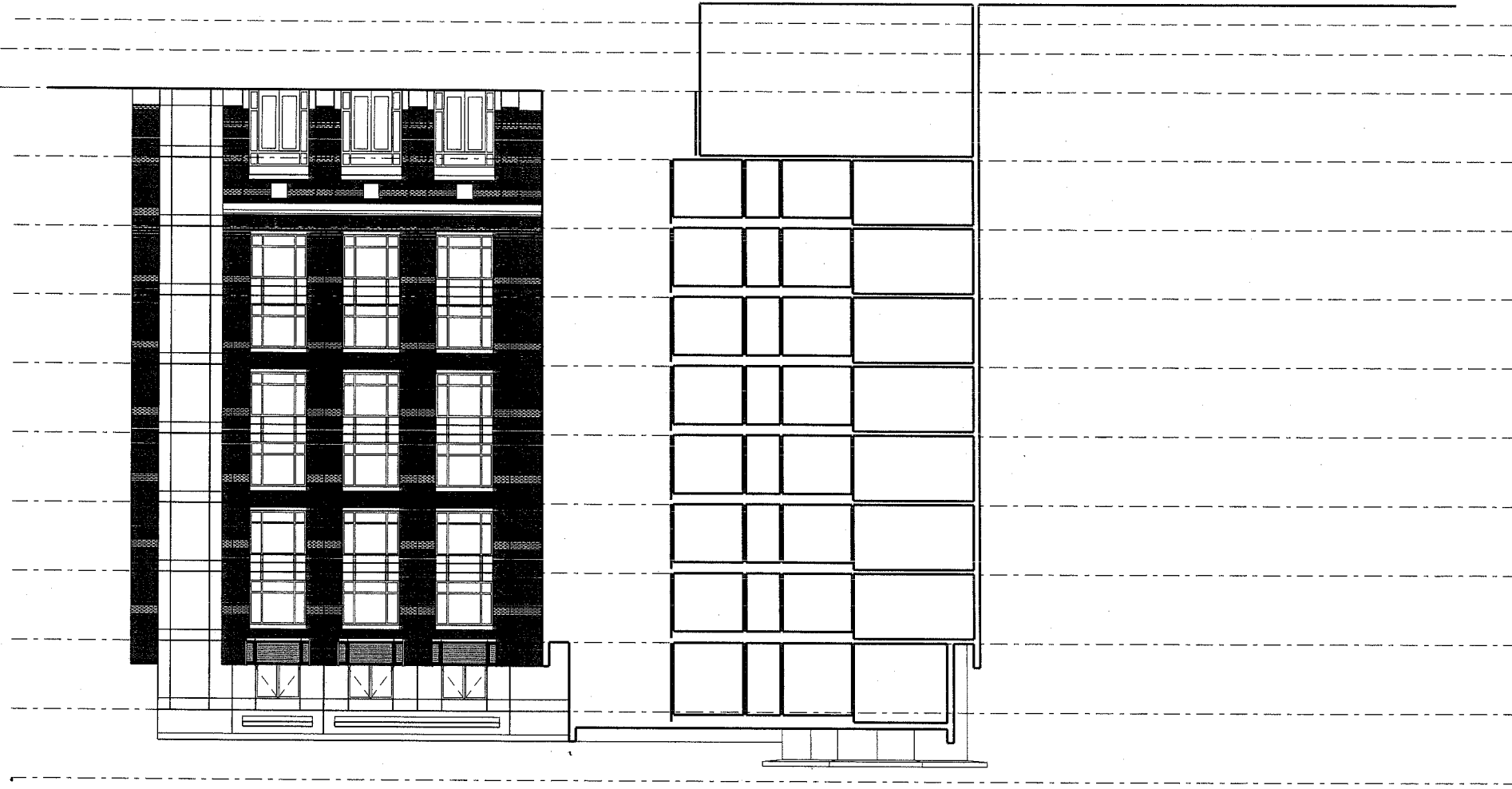


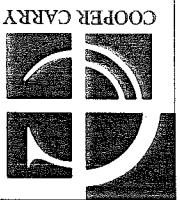
BUILDING ELEVATION AT ENTRY COURT

ELEVATION 0'-0"

BASELINE 25'-8"

FLOOR FINISH
FLOOR 31'-4"





WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

BUILDING ELEVATIONS

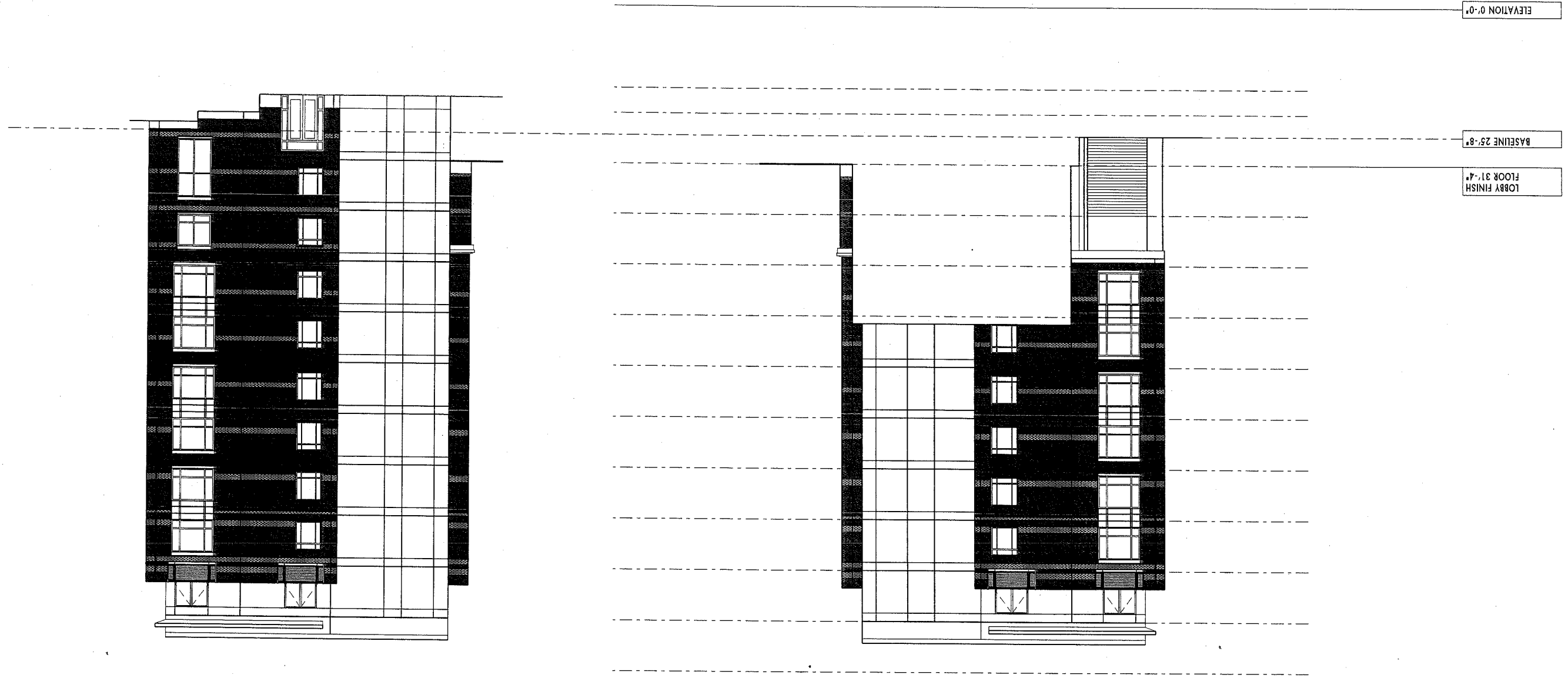


12.07.2005

3

INTERIOR EAST HOTEL ELEVATION

HOTEL ALONG MIDDLE STREET



12.07.2005

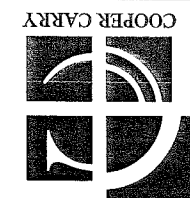


BUILDING ELEVATIONS



WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

WINTON SCOTT
ARCHITECTS

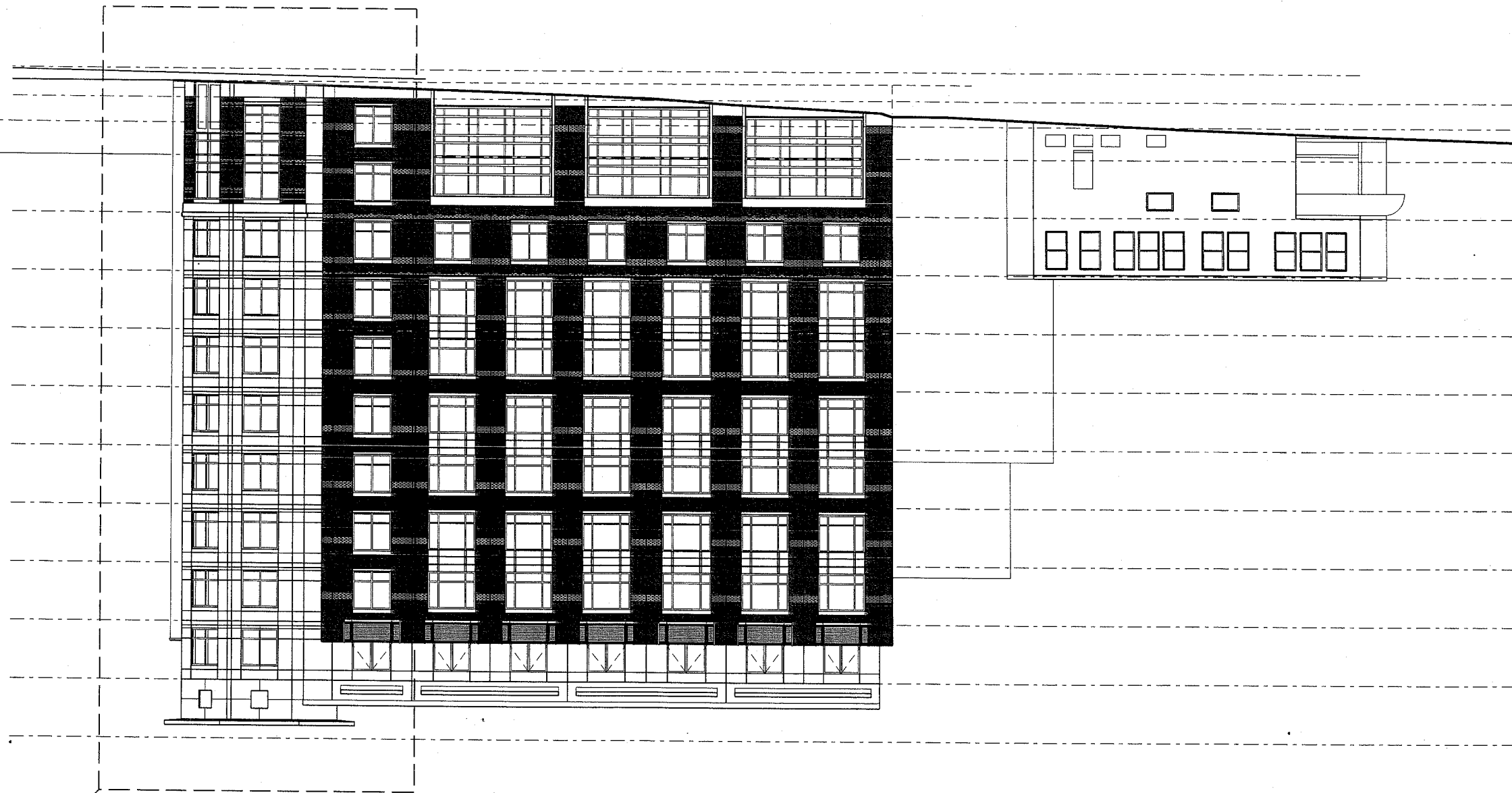


BUILDING ELEVATION ALONG FRANKLIN ARTERIAL

ELEVATION 0'-0"

BASELINE 25'-8"

LOBBY FINISH
FLOOR 31'-4"



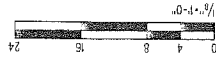
13

B

12.07.2005

5

BUILDING ELEVATIONS

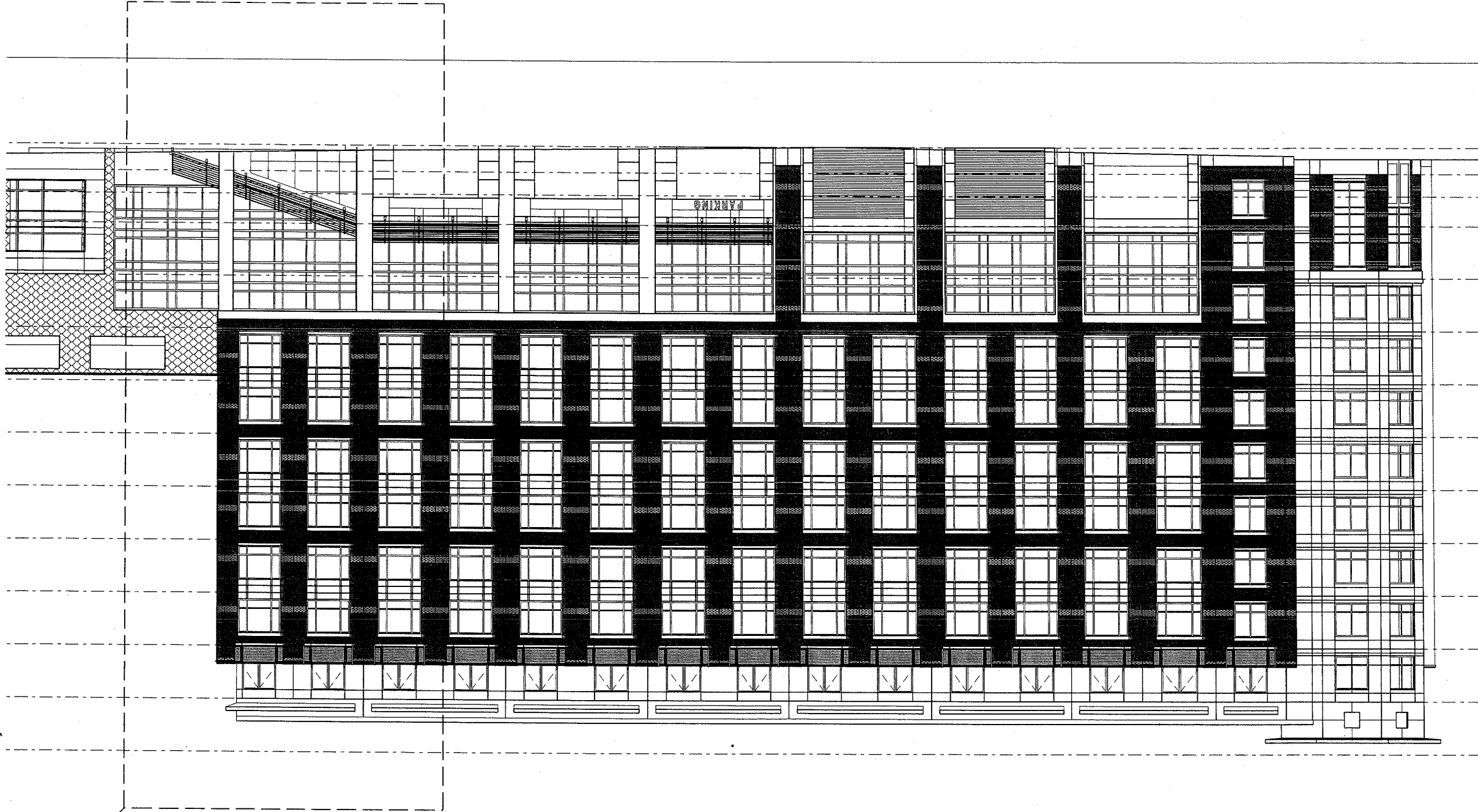


WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS



BUILDING ELEVATION ALONG FORE STREET



ELEVATION 0'-0"

BASELINE 25'-8"

FLOOR FINISH
FLOOR 31'-4"

A
13

12.07.2005

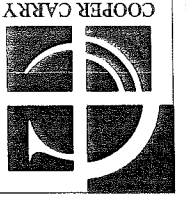
5

BUILDING ELEVATIONS

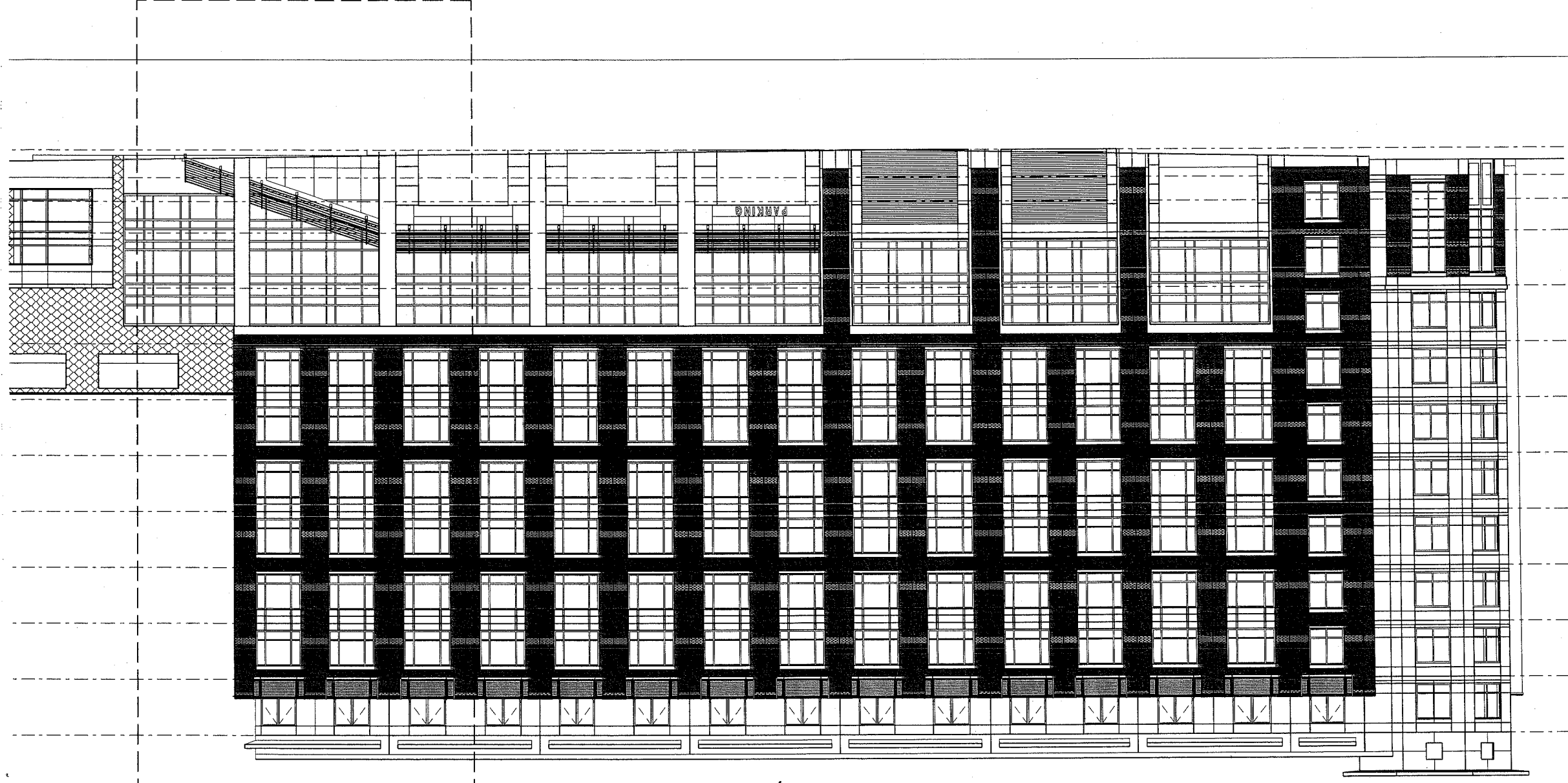


WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS



BUILDING ELEVATION ALONG FORE STREET



ELEVATION 0'-0"

BASELINE 25'-8"

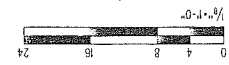
FLOOR FINISH 31'-4"

13
A

12.07.2005

5

BUILDING ELEVATIONS

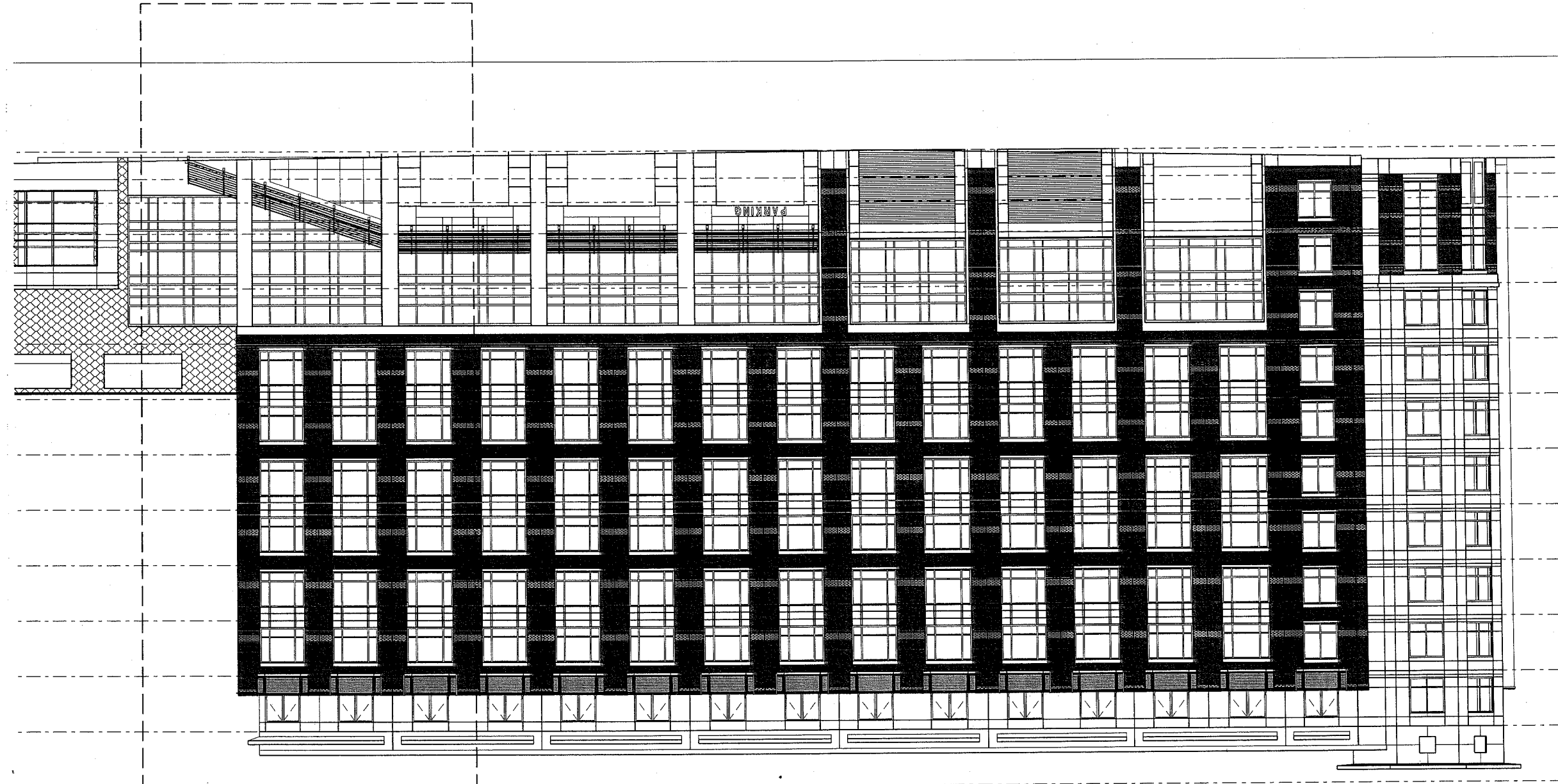


WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

WINTON SCOTT
ARCHITECTS



BUILDING ELEVATION ALONG FORE STREET



ELEVATION 0'-0"

BASELINE 25'-8"

FLOOR FINISH
FLOOR 31'-4"

13
A

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A duly REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

OWNER:
410 RIVERSIDE STREET LLC d.b.a.
EASTMAN INDUSTRIES
410 RIVERSIDE STREET
PORTLAND, MAINE 04103

APPLICANT:
410 RIVERSIDE STREET LLC d.b.a.
EASTMAN INDUSTRIES
410 RIVERSIDE STREET
PORTLAND, MAINE 04103
1-800-225-4977

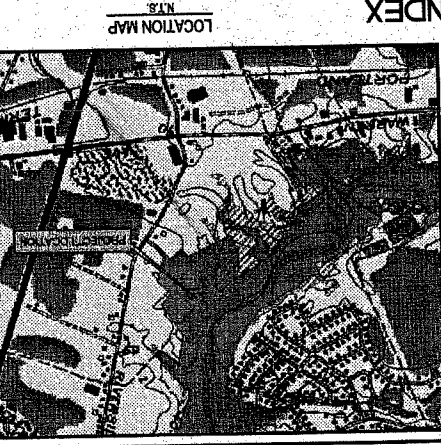
ENVIRONMENTAL ENGINEER:
Sebago Technics, Inc.
1 CHABOT STREET
WESTBROOK, MAINE 04098
(207) 253-2262 (DEBRA)
(207) 253-2291 (DON)

GEOTECHNICAL ENGINEER:
R.W. Gillespie & Associates, Inc.
86 INDUSTRIAL PARK ROAD, SUITE 4
SACO, MAINE 04072
ATTN: DEBRA PAIEMENT AND/OR DON JOHNSON
TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE 04102
(207) 797-1788

SURVEYOR:
Owen Haskell, Inc.
16 CASCO STREET
PORTLAND, MAINE 04101
(207) 775-1121

GAS:
ATTN: RICK BELLEMAIRE
NORTHERN UTILITIES, INC.
1075 FOREST AVENUE
PORTLAND, MAINE 04103
(207) 797-8002, EXT. 6247

TELEPHONE:
ATTN: BRUCE CROSBY
VERIZON
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1788



PROJECT PARCEL SITE
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS
MAP BLOCK LOTS
320 A 2

LOT 4 410 RIVERSIDE STREET PORTLAND, MAINE

PERMITS

LOCAL PERMITS
SITE PERMIT APPROVAL
DIRECTOR OF PLANNING AND ECONOMIC DEVELOPMENT
CITY OF PORTLAND PLANNING AUTHORITY
(DELEGATED AUTHORITY FOR SITE LAW REVIEW)

BUILDING PERMIT / CERTIFICATE OF OCCUPANCY
CITY OF PORTLAND, CITY HALL
CONGRESS STREET
PORTLAND, MAINE 04101
(207) 879-3300
ATTN: BARBARA BARHYDT

STATUS
PREVIOUSLY SUBMITTED BY ENGINEER ON BEHALF OF OWNER
GOVERNING BODY
DIRECTOR OF PLANNING AND ECONOMIC DEVELOPMENT
CITY OF PORTLAND PLANNING AUTHORITY
CITY HALL
CONGRESS STREET
PORTLAND, MAINE 04101
(207) 879-3300
ATTN: BARBARA BARHYDT

TO BE SUBMITTED BY OWNER/GENERAL CONTRACTOR
BUILDINGS AND CODE ENFORCEMENT OFFICE
CITY OF PORTLAND, CITY HALL
CONGRESS STREET
PORTLAND, MAINE 04103
(207) 874-8300

TO BE SUBMITTED 14 DAYS IN ADEP BUREAU OF LAND & WATER QUALITY
312 CANCO ROAD
PORTLAND, MAINE 04103
NO. L-7696-TB-G-N
ADEP PERMIT APPROVAL

ELECTRIC
ATTN: MARK KREIDER
CENTRAL MAINE POWER COMPANY
162 CANCO ROAD
P.O. BOX 1801
PORTLAND, MAINE 04104
(207) 828-2883

CABLE
ATTN: DEBRA PAIEMENT AND/OR DON JOHNSON
TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE 04102
(207) 253-2262 (DEBRA)
(207) 253-2291 (DON)

GENERAL NOTES:

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
2. THE CONTRACTOR SHALL REFER TO THE DESIGN-BUILD PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE IT EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONST INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
6. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE PROJECT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
8. TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT.
9. BOUNDARY SURVEY INFORMATION TAKEN FROM FINAL SUBDIVISION RECORDING PLAT BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING DEPARTMENT DATED 7.26.88, CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 176, PAGE 44.
10. WETLANDS HAVE BEEN IDENTIFIED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SERVICES DIVISION (874-6300 EXT. 8839). CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. MEETING IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
11. WETLANDS HAVE BEEN IDENTIFIED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SERVICES DIVISION (874-6300 EXT. 8839). CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. MEETING IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
12. THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORDS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
13. LAND TRANSFER PLAN OF 400 RIVERSIDE STREET PREPARED FOR THE GALLOWAY GROUP BY SEBAGO TECHNICS, INC.
14. ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIGNAGE HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. ALL PARKING STALLS SHALL BE MARKED BY 4" SOLID YELLOW LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
16. ALL CURBS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:
TRANSFORMATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
GRANITE AND BITUMINOUS CONCRETE CURBS SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
17. ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
18. BUILDING SUMMARY: LOT 4 PROPOSED 23,140 S.F.

19. THE FACILITY IS SERVED BY PUBLIC WATER AND OVERHEAD UTILITIES. IT IS OUR UNDERSTANDING THAT ACCORDING TO THE PORTLAND PUBLIC WORKS DEPARTMENT PUBLIC SENSER SERVICE IS NOW AVAILABLE ON RIVERSIDE STREET.
20. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-6300 EXT. 8839), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. MEETING IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
21. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
22. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
23. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
24. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
25. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
26. ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
27. A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
28. RETAINING WALLS WITHIN LOADING DOCK AREAS SHALL BE CAST-IN-PLACE OR PRECAST MODULAR BLOCK SUBJECT TO GEOTECHNICAL REVIEW AND DESIGN BY THE CONTRACTOR OR PRECAST MODULAR BLOCK SUPPLIER.

REV.	DATE	DESCRIPTION
6	03.30.07	RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT EXHAUSTION
5	01.28.06	RESUBMISSION TO PLANNING AUTHORITY
4	12.06.05	RESUBMISSION TO PLANNING AUTHORITY
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
1	04.16.04	SITE PLAN REVIEW SUBMISSION

REVISIONS

DATE: 04.16.04
DESCRIPTION: SITE PLAN REVIEW SUBMISSION

DATE: 10.04.04
DESCRIPTION: RESUBMITTED TO PLANNING AUTHORITY

DATE: 06.05.05
DESCRIPTION: AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY

DATE: 12.06.05
DESCRIPTION: RESUBMISSION TO PLANNING AUTHORITY

DATE: 01.28.06
DESCRIPTION: RESUBMISSION TO PLANNING AUTHORITY

DATE: 03.30.07
DESCRIPTION: RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT EXHAUSTION

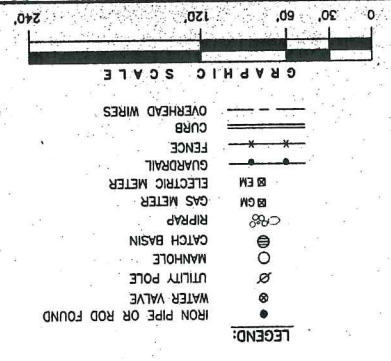
PROJECT	LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE
SHEET TITLE	COVER SHEET, GENERAL
CLIENT	410 RIVERSIDE STREET LLC PORTLAND, MAINE 04103
FILE NAME	2314.COV
SHEET	1

DRAMA	DATE	CHANG
DATE	JUNE 2006	AS NOTED
SCALE	AS NOTED	
DESIGNED	T.M.	
CHECKED	B.B.	
FILE NAME	2314.COV	

PROJECT: LOT 4, 410 RIVERSIDE STREET, PORTLAND, MAINE
SHEET TITLE: COVER SHEET, GENERAL
CLIENT: 410 RIVERSIDE STREET LLC, PORTLAND, MAINE 04103
FILE NAME: 2314.COV
SHEET: 1

EXISTING	PROPOSED
IRON PIPE FOUND	CONTOUR LINE
MONUMENT FOUND	EDGE OF PAVEMENT
N/F	SILT FENCE
UTILITY POLE	UTILITY LINE
SIGN	BUILDING
TELEPHONE MANHOLE	SIGN
SEWER MANHOLE	BOLLARD
DRAIN MANHOLE	CATCH BASIN
CURB	INLET SEDIMENT BARRIER
WATER VALVE	STORM DRAIN MANHOLE
TREELINE	STORM DRAIN LINE
LIGHT POLE (UNLESS NOTED)	EXISTING TREE TO BE REMOVED
EXISTING BUILDING	EXISTING TREE TO REMAIN
CATCH BASIN	GRANITE CURB
EXISTING CONTOUR	BITUMINOUS CURB
SEWER LINE	PROPOSED BUILDING NUMBER
STORM DRAIN LINE	
WATER LINE	
GAS LINE	
EDGE OF PAVEMENT	
STREAM	
SURVEY CONTROL POINT	
WETLAND LIMIT	
100 YEAR FLOOD PLAIN PER FEMA MAP	

LEGEND



- PLAN REFERENCES:
1. DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET, PORTLAND, MAINE, THIRD AMENDED RECORDING PLAT DATED APRIL 30, 1996 BY LAND USE CONSULTANTS, 197/115, C.C.R.D.
 2. DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET, PORTLAND, MAINE, SECOND AMENDED RECORDING PLAT DATED JANUARY 21, 1987 BY LAND USE CONSULTANTS, 161/15, C.C.R.D.
 3. SUBDIVISION AMENDMENT OF LOTS 1, 1A, & 6, MAJLISTER FARM & LOT 4, DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET AND MAJLISTER DRIVE, PORTLAND, MAINE, DATED APRIL 27, 2009 BY SEBAGO TECHNICS, 209/398, C.C.R.D.
 4. SUBDIVISION - REVISED LOT 6 OF: LOTS 1, 1A, & 6, MAJLISTER FARM & LOT 4, DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET AND MAJLISTER DRIVE, PORTLAND, MAINE, DATED MAY 6, 2005 BY OWEN HASKELL, INC., 205/399, C.C.R.D.
 5. BOUNDARY SURVEY ON 470 RIVERSIDE STREET, PORTLAND, MAINE MADE FOR PENDE ASSOCIATES, INC., DATED MARCH 22, 2004 BY OWEN HASKELL, INC.
 6. CITY OF PORTLAND'S ASSESSOR'S MAPS.

NOTES:

1. RECORD OWNERSHIP OF THE SUBJECT PROPERTY IS MARTIN RIST AND BARNISUE BRUNET, (A.K.A. BONNIE BRUNET) TRUSTEES, AND IS REFLECTED IN THE FOLLOWING DEEDS: 14592/292, 17989/303, 22290/17, 23429/140, 23429/143, CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED ON PLAN REFERENCE 1.
3. SUBJECT PROPERTY IS COMPRISED OF PORTIONS OF LOTS 1, 2, AND 6, MAP 320, BLOCK A, AND A PORTION OF LOT 5, MAP 321, BLOCK A OF THE CITY OF PORTLAND ASSESSOR'S MAPS.
4. RIVERSIDE STREET LINE IS BASED ON FOUND MONUMENTS AND PLAN REFERENCE 1.
5. ACCORDING TO FEBA F.I.R.M. PANEL 6 OF 17 FOR THE CITY OF PORTLAND, COMMUNITY-PANEL NUMBER 230051 0008 C, HAVING A REVISION DATE OF DECEMBER 8, 1998, PORTIONS OF THE SUBJECT PROPERTY LIE IN ZONE AE, AN AREA WHERE BASE FLOOD ELEVATIONS ARE DETERMINED, AND ZONE X, WHICH IS DESCRIBED AS: AREAS OF 500 YEAR FLOOD, AREAS OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH FLOOD AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVES FROM 100 YEAR FLOOD.
6. SURVEYED PROPERTY IS SUBJECT TO A 50 FOOT WIDE PORTLAND WATER DISTRICT EASEMENT AND ENCUMBRANCES REFLECTED ON PLAN REFERENCE 1 AND LISTED IN 14592/292, AND WITH THE BENEFIT OF EASEMENTS AND ENCUMBRANCES.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES TO:

LAWYERS TITLE INSURANCE CORPORATION, BIGELOW TITLE COMPANY, NORWAY SAVINGS BANK, PORTLAND DOWNTOWN CORPORATION, AND 410 RIVERSIDE ST., LLC.

THAT THIS PLAN IS BASED ON AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS.

DATE: 1/3/08

OWEN HASKELL, INC.

REV. 2 01-03-06 TITLE BLOCK AND CERTIFICATION

REV. 1 12-23-05 THE LINE AND NOTE 5 ADDED

BOUNDARY SURVEY

ON

RIVERSIDE STREET, PORTLAND, MAINE

MADE FOR

410 RIVERSIDE ST., LLC

83A BELL STREET, PORTLAND, MAINE

OWEN HASKELL, INC.

PROFESSIONAL LAND SURVEYING

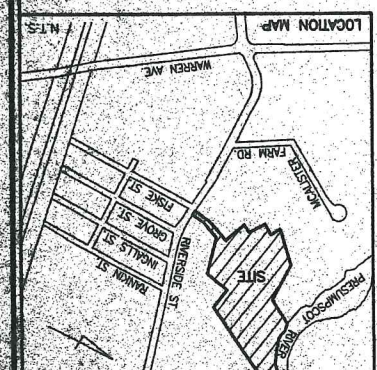
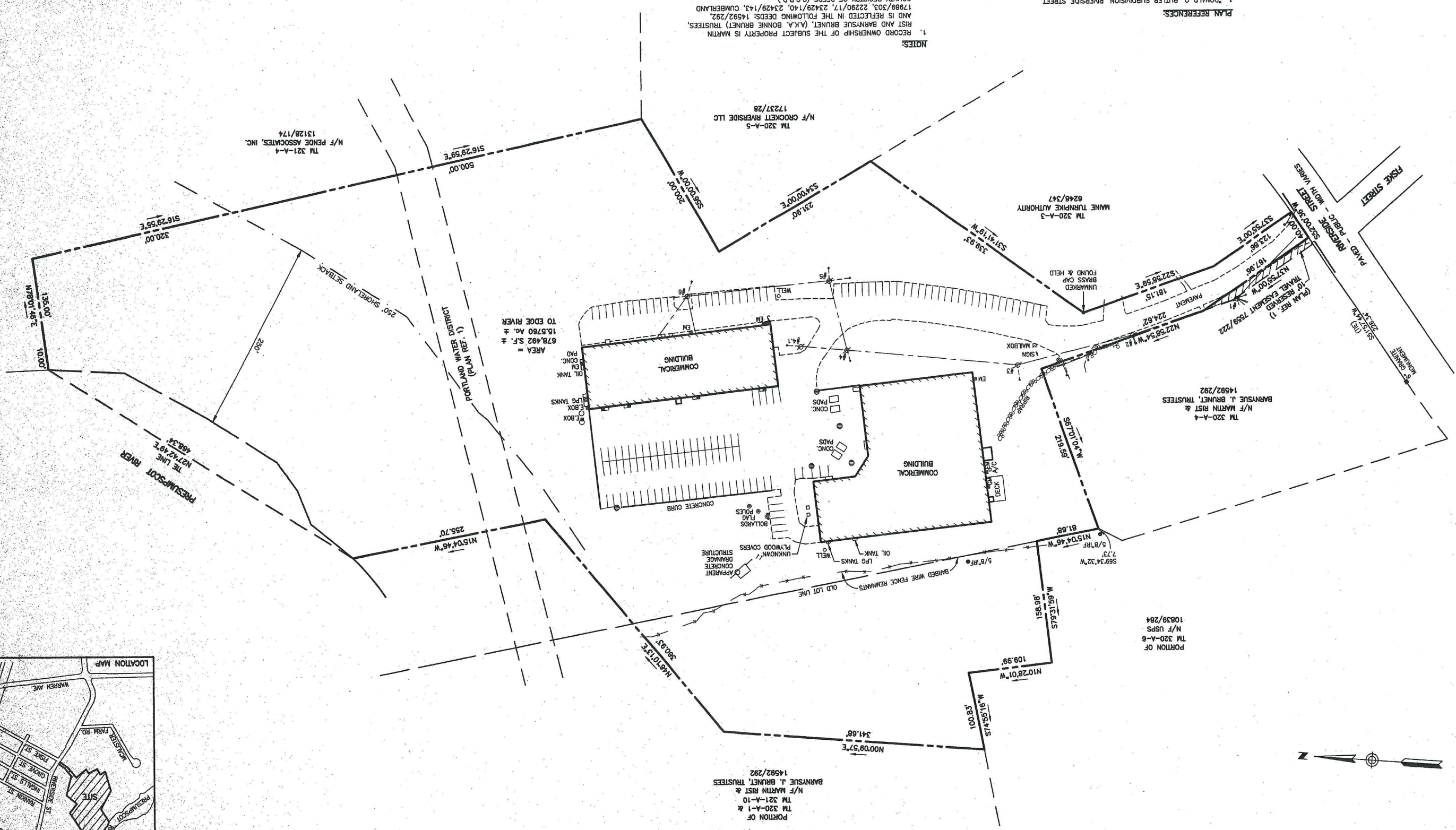
Drawn By: JMW

Checked By: JMW

Date: 01/03/08

Scale: AS SHOWN

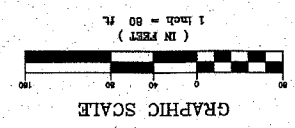
Book No. 2014-100



- NOTES:**
1. WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALTWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNIQS, INC.
 2. WETLANDS OF SPECIAL SIGNIFICANCE ARE ASSOCIATED WITH THE ON-SITE STREAMS.
 3. CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND AND PLANNING BOARD.
 4. THIRD AMENDED RECORDING PLAT DOWNDOW D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 8/11/96.
 5. FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.
 6. BOUNDARY SURVEY PLAN FOR 410 RIVERSIDE STREET LLC PREPARED BY OWEN HASSELT, INC. DATED DECEMBER 8, 2008.

PLAN REFERENCES:

1. FINAL SUBDIVISION RECORDING PLAT FOR MOULSTER FARM SUBDIVISION, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 7/28/88 CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 178 PAGE 44.
2. FEMA MAP COMMUNITY PANEL NUMBER 220051 0008 B, EFFECTIVE DATE 7/7/88.
3. CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND AND PLANNING BOARD.
4. THIRD AMENDED RECORDING PLAT DOWNDOW D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 8/11/96.
5. FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.
6. BOUNDARY SURVEY PLAN FOR 410 RIVERSIDE STREET LLC PREPARED BY OWEN HASSELT, INC. DATED DECEMBER 8, 2008.



REV	DATE	DESCRIPTION
1	04.18.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	REVISIONS TO PLANNING AUTHORITY
3	08.02.05	AMENDED SITE PLAN SUBMISSION - LOT 4 ONLY
4	12.02.05	REVISIONS TO PLANNING AUTHORITY
5	01.26.06	REVISIONS TO PLANNING AUTHORITY
6	03.30.07	REVISIONS TO PLANNING AUTHORITY DUE TO PERMIT EXPLANATION

PROJECT: LOT 4, 410 RIVERSIDE STREET
 PORTLAND, MAINE
 SHEET TITLE: OVERALL PROPERTY SUMMARY PLAN
 CLIENT: 410 RIVERSIDE STREET LLC
 PORTLAND MAINE 04103
 L.P.C. #7429
 P.E. STEPHEN BISHOP

DRIVER: DH
 ASSOCIATES, INC.
 725 MAIN STREET, SUITE 3
 PORTLAND, MAINE 04103
 PHONE: 603.876.1100
 FAX: 603.876.1101
 WWW.DHASSOCIATES.COM

CHECKED: TJB
 SCALE: 1" = 80'
 DESIGNED: TJB
 JOB NO. 2314
 SHEET: 2A

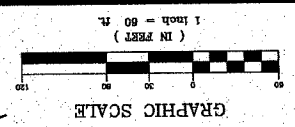


LEGEND

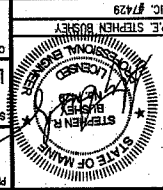
IRON PIPE FOUND	○
MONUMENT FOUND	□
N/F	○
UTILITY POLE	○
SIGN	○
TELEPHONE MANHOLE	○
SEWER MANHOLE	○
DRAIN MANHOLE	○
CURB	—
WATER VALVE	W
TREELINE	~
LIGHT POLE (UNLESS NOTED)	○
EXISTING BUILDING	□
CATCH BASIN	□
EXISTING CONTOUR	58
SEWER LINE	S
STORM DRAIN LINE	SD
WATER LINE	W
GAS LINE	GAS
EDGE OF PAVEMENT	—
STREAM	—
SURVEY CONTROL POINT	△
WETLAND LIMIT	■
100 YEAR FLOOD PLAIN	▨

PER FEMA MAP

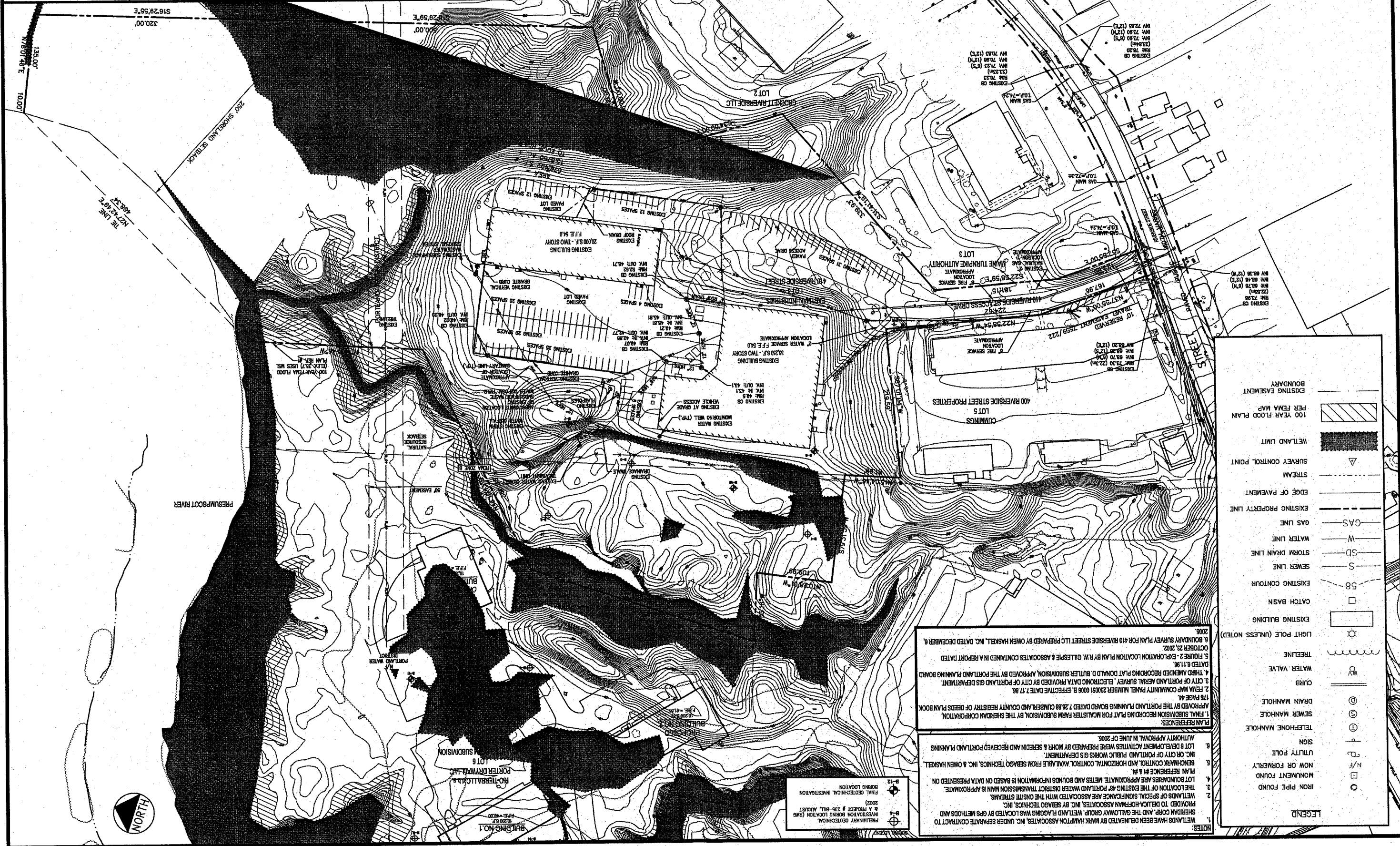
NOTE:
 LOT 6 DEVELOPMENT ACTIVITIES WERE PREPARED BY MOHR & SERGIN AND RECEIVED PORTLAND PLANNING AUTHORITY APPROVAL IN LINE OF 2005.



REV	DATE	DESCRIPTION
1	04.16.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.06.05	RESUBMISSION TO PLANNING AUTHORITY
5	01.26.06	RESUBMISSION TO PLANNING AUTHORITY
6	03.30.07	REVISION TO PLANNING AUTHORITY DUE TO PERMIT



PROJECT	LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE
SHEET TITLE	EXISTING CONDITIONS PLAN
CLIENT	410 RIVERSIDE STREET LLC PORTLAND, MAINE 04103
DATE	JUNE 2008
SCALE	1" = 60'
TITLE	DRAMA
DESIGNED	TJM
CHECKED	SFB
FILE NAME	2314-SF
JOB NO.	2314
SHEET	3



SYMBOL	DESCRIPTION
Circle with dot	IRON PIPE FOUND
Square with dot	MONUMENT FOUND
Circle with cross	N/O OR FORMERLY
Circle with vertical line	UTILITY POLE
Circle with horizontal line	SIGN
Circle with diagonal line	TELEPHONE MANHOLE
Circle with horizontal line	SEWER MANHOLE
Circle with vertical line	DRAIN MANHOLE
Circle with cross	CURB
Circle with vertical line	WATER VALVE
Circle with horizontal line	TREELINE
Circle with dot	LIGHT POLE (UNLESS NOTED)
Circle with cross	EXISTING BUILDING
Square	CATCH BASIN
Circle with cross	EXISTING CONTOUR
Circle with vertical line	SEWER LINE
Circle with horizontal line	STORM DRAIN LINE
Circle with vertical line	WATER LINE
Circle with horizontal line	GAS LINE
Circle with vertical line	EXISTING PROPERTY LINE
Circle with horizontal line	EDGE OF PAVEMENT
Circle with horizontal line	STREAM
Circle with horizontal line	SURVEY CONTROL POINT
Circle with horizontal line	WETLAND LIMIT
Circle with horizontal line	PER FEMA FLOOD PLAN
Circle with horizontal line	BOUNDARY

NOTES:

- WETLANDS HAVE BEEN DELINEATED BY MARK HARTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO PROVIDE TO DELTA HORTICULTURAL ASSOCIATES, INC. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND APPROVED BY THE PORTLAND PLANNING BOARD DATED 7.28.08 CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 178 PAGE 44.
- FEMA MAP COMMUNITY PANEL NUMBER 23004 0008 B, EFFECTIVE DATE 7.18.06.
- CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GAS DEPARTMENT.
- THIRD AMENDED RECORDING PLAT DONALD D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 6.11.96.
- FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.
- BOUNDARY SURVEY PLAN FOR 410 RIVERSIDE STREET LLC PREPARED BY OWEN HASKELL, INC. DATED DECEMBER 6, 2006.

LEGEND:

- PRELIMINARY GEOTECHNICAL INVESTIGATION BORING LOCATION
- FINAL GEOTECHNICAL INVESTIGATION BORING LOCATION



PROJECT		LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE	
SHEET TITLE		SITE LAYOUT AND LANDSCAPE PLAN	
CLIENT		410 RIVERSIDE STREET LLC 410 RIVERSIDE STREET PORTLAND, MAINE 04103	
DRAWN		DATE	
CHECKED		SCALE	
FILE NAME		SHEET	
2014-SP		4	

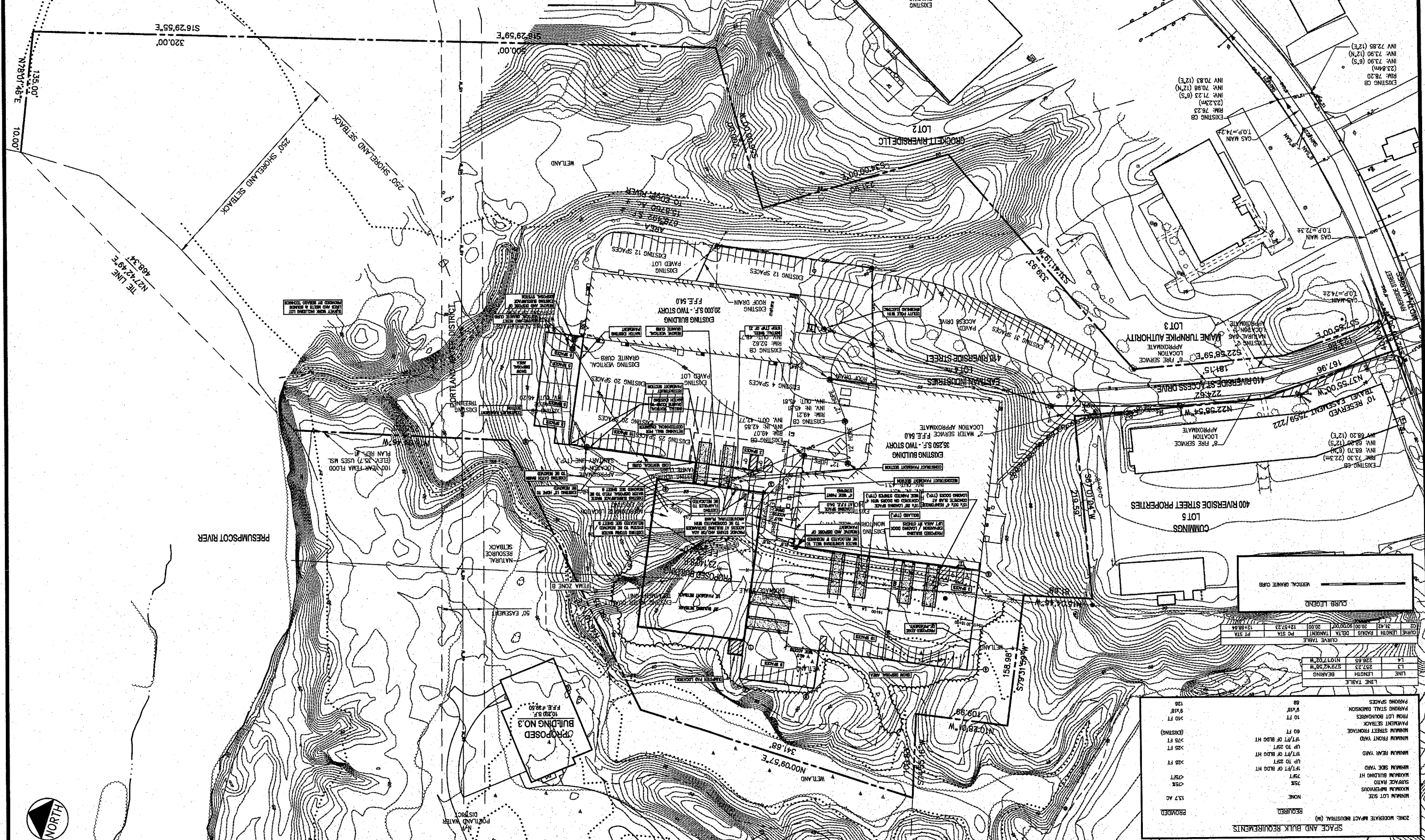
P.E. STEPHEN BUSHEY LICENSE NO. 1428 STATE OF MAINE	

REV	DATE	DESCRIPTION
1	04.18.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	REVISIONS TO PLANNING AUTHORITY
3	08.02.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.08.05	REVISIONS TO PLANNING AUTHORITY
5	01.28.06	REVISIONS TO PLANNING AUTHORITY
6	03.30.07	REVISIONS TO PLANNING AUTHORITY DUE TO PERMIT

POINT	STATION	ELEVATION
1	12+78.11	70.46 R
2	11+57.00	151.50 R
3	11+47.00	21.50 R
4	11+45.28	60.38 R
5	11+45.28	246.39 L
6	12+10.88	131.08 R
7	12+37.14	110.39 R
8	11+31.20	304.44 R

STOP
12' x 24'

GRAPHIC SCALE
1 inch = 50 ft



CURB LEGEND

LINE	LENGTH	BEARING
L1	228.65	N107.02°W
L2	257.23	S78°42'58"W
L3	124.88	S14°57'23"W
L4	51.42	S14°57'23"W
L5	20.00	S90°00'00"W
L6	124.88	S14°57'23"W

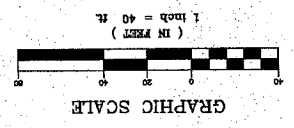
LINE TABLE

LINE	LENGTH	BEARING
L1	228.65	N107.02°W
L2	257.23	S78°42'58"W
L3	124.88	S14°57'23"W
L4	51.42	S14°57'23"W
L5	20.00	S90°00'00"W
L6	124.88	S14°57'23"W

SPACE AND BULK REQUIREMENTS

MINIMUM LOT SIZE	NONE
MINIMUM BUILDING HT	7.5 FT
MINIMUM BUILDING FT	7.5 FT
MINIMUM REAR YARD	10 FT
MINIMUM FRONT YARD	10 FT
MINIMUM STREET FRONTAGE	10 FT
PAYMENT SETBACK	10 FT
FROM LOT BOUNDARY	10 FT
PAYING SPACES	8' x 8'
PROVIDED	137 AC
REQUIRED	NONE





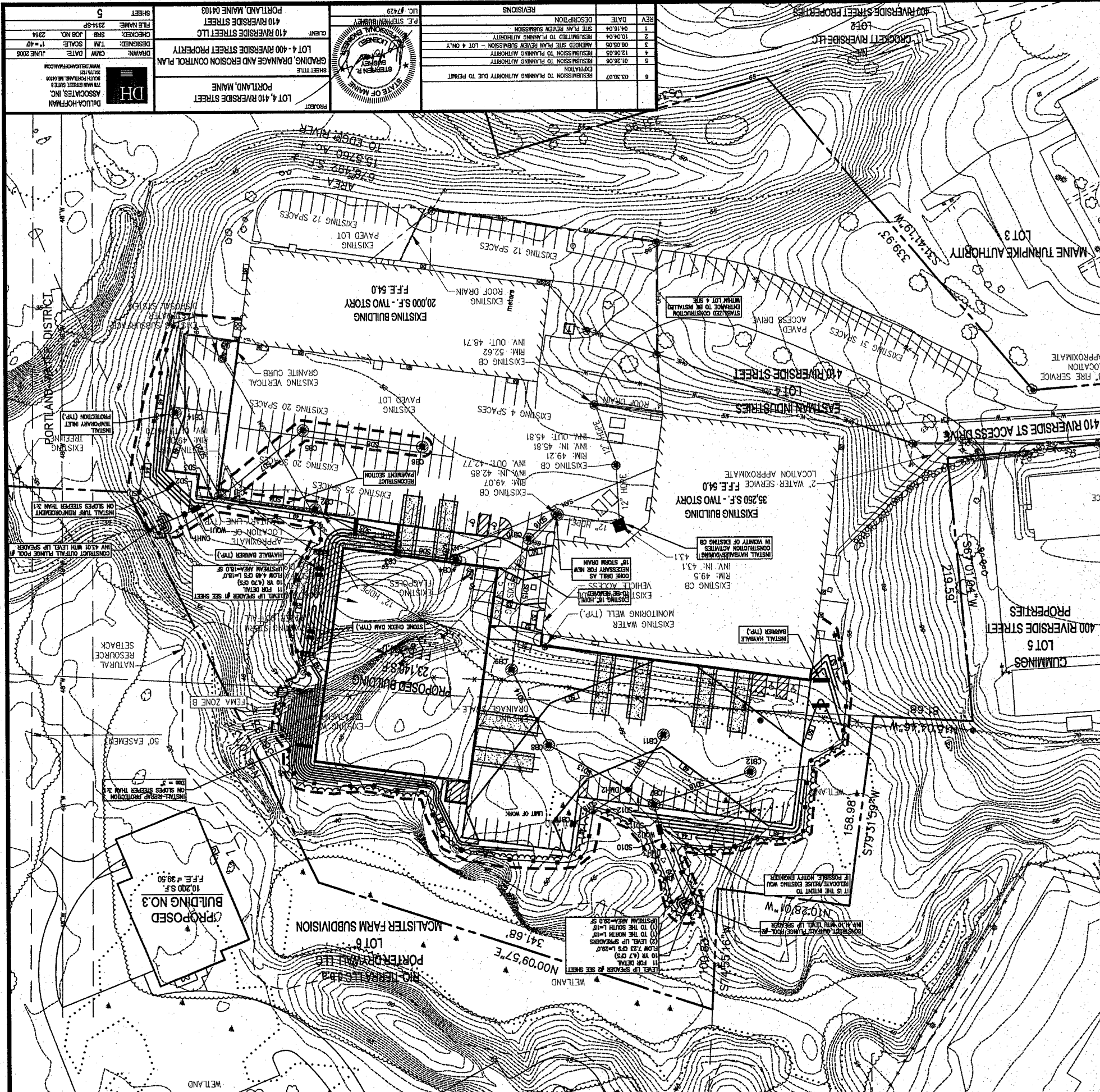
REV	DATE	DESCRIPTION
1	04.16.04	10.04.04 SITE PLAN REVIEW SUBMISSION
2	10.04.04	REVISIONS TO PLANNING AUTHORITY
3	08.05.05	APPROVED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.08.05	REVISIONS TO PLANNING AUTHORITY
5	01.26.06	REVISIONS TO PLANNING AUTHORITY
6	03.30.07	REVISIONS TO PLANNING AUTHORITY DUE TO PERMIT

PROPOSED
410 RIVERSIDE STREET
PORTLAND, MAINE
GRADING, DRAINAGE AND EROSION CONTROL PLAN
LOT 4 - 400 RIVERSIDE STREET PROPERTY
CLIENT: **410 RIVERSIDE STREET LLC**
PORTLAND, MAINE 04103
SHEET NO: **5**
DATE: **JUNE 2008**
DRAWN BY: **DM**
CHECKED BY: **SB**
JOB NO.: **2314**
SCALE: **1" = 40'**
DESIGNED BY: **DM**
DATE: **JUNE 2008**

EROSION CONTROL NOTES:

1. ALL DISTURBED AREAS SHALL BE REVEGETATED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL.
2. ALL SLOPES SHALL BE GRADDED TO A MINIMUM OF 3% TO THE NEARER AND SHALL BE REVEGETATED WITH PERMANENT PLANTING.
3. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
4. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
5. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
6. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
7. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
8. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
9. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
10. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
11. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
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13. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES (SLOPE PROTECTION, SODDING, SEEDING, FERTILIZATION AND MULCHING) TO PREVENT SOIL EROSION.
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STA.	DATE	DESCRIPTION	TIME	BY
1	04.16.04	10.04.04 SITE PLAN REVIEW SUBMISSION		
2	10.04.04	REVISIONS TO PLANNING AUTHORITY		
3	08.05.05	APPROVED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY		
4	12.08.05	REVISIONS TO PLANNING AUTHORITY		
5	01.26.06	REVISIONS TO PLANNING AUTHORITY		
6	03.30.07	REVISIONS TO PLANNING AUTHORITY DUE TO PERMIT		



NO.	DESCRIPTION	DATE	TIME	BY
1	04.16.04	10.04.04 SITE PLAN REVIEW SUBMISSION		
2	10.04.04	REVISIONS TO PLANNING AUTHORITY		
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4	12.08.05	REVISIONS TO PLANNING AUTHORITY		
5	01.26.06	REVISIONS TO PLANNING AUTHORITY		
6	03.30.07	REVISIONS TO PLANNING AUTHORITY DUE TO PERMIT		

GRADING & DRAINAGE NOTES:

1. ALL STORM DRAINAGE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PERMITS AND ANY REVISIONS THEREOF.
2. ALL STORM DRAINAGE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PERMITS AND ANY REVISIONS THEREOF.
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PORTLAND DISTRICT
WETLAND



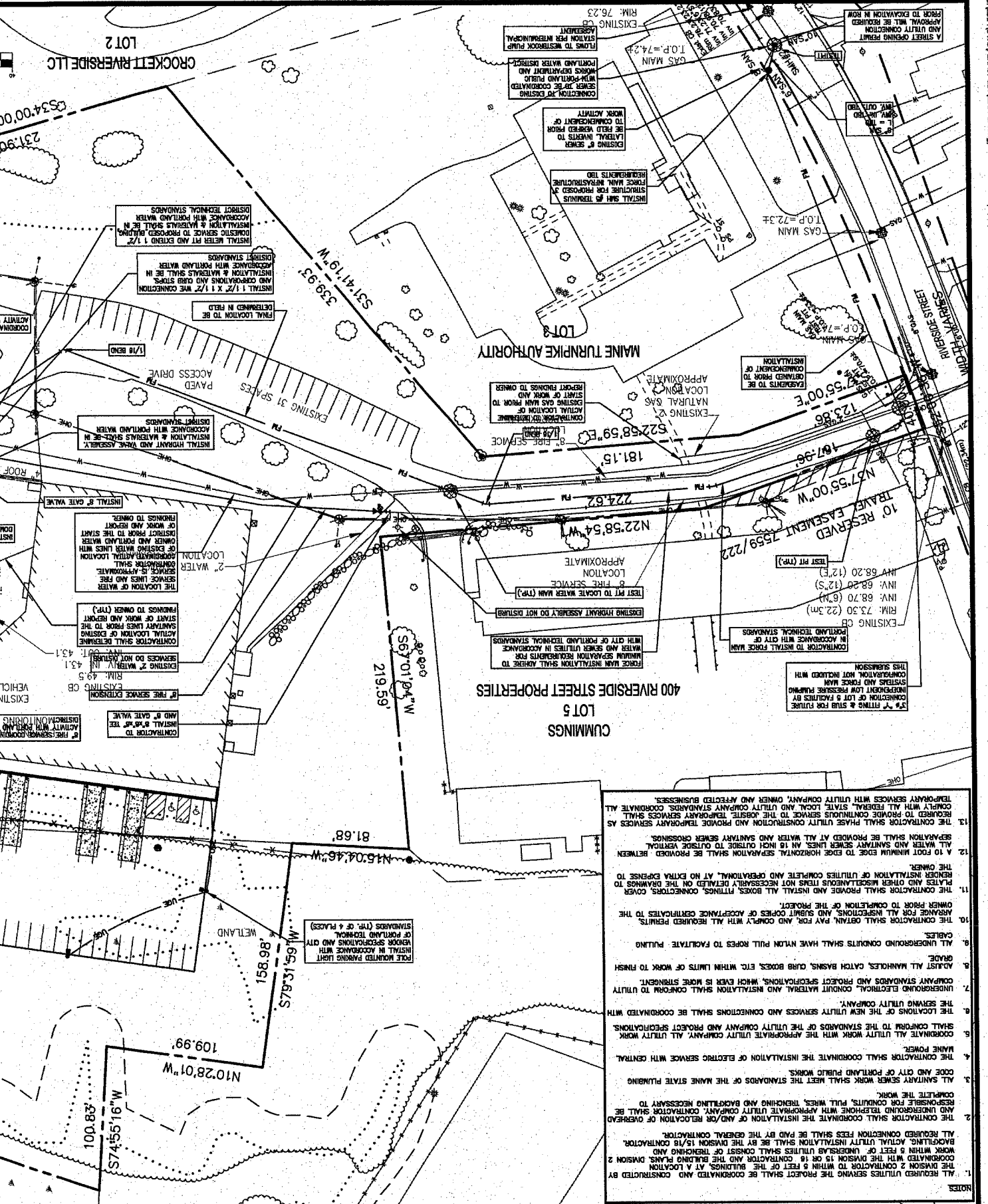
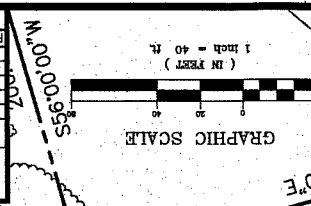
PROJECT: LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE	
CLIENT: LOT 4, 410 RIVERSIDE STREET LLC 410 RIVERSIDE STREET PORTLAND, MAINE 04103	
DATE: JUNE 2008	DRAWN: T.M.
SCALE: 1" = 40'	CHECKED: S.M.
JOB NO.: 2314	FILE NAME: 2314.dwg
SHEET: 6	

ASSOCIATES, INC.
214 RIVERSIDE STREET
PORTLAND, MAINE 04103
TELEPHONE: 735-2700
FAX: 735-2701
WWW.DH-ASSOCIATES.COM

STATE OF MAINE
STEPHEN R. DUNCAN
REGISTERED PROFESSIONAL ENGINEER
NO. 11691
EXPIRES 12/31/15

REV	DATE	DESCRIPTION
1	04.10.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.02.05	RESUBMISSION TO PLANNING AUTHORITY
5	01.25.06	RESUBMISSION TO PLANNING AUTHORITY
6	03.30.07	RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT

REVISIONS



WASTEWATER FLOWS FROM THE EXISTING AND PROPOSED BUILDINGS ON LOT 4 WILL BE CONVEYED BY 8-INCH GRAVITY SEWER LATERALS TO THE PROPOSED PRIVATE PUMP STATION. WASTEWATER FLOWS FROM THE LOTS 6 DEVELOPMENT SITE WILL ALSO BE CONVEYED TO THE PRIVATE PUMP STATION. DISCHARGE WILL BE VIA A PROPOSED 3-INCH FORCE MAIN TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET. ALTERNATIVELY, EACH EXISTING AND PROPOSED BUILDING MAY BE SERVICED BY INDIVIDUAL LOW PRESSURE PUMP SYSTEMS THAT EACH CONNECT TO THE 3-INCH FORCE MAIN TO BE INSTALLED AND CONNECTED TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET.

REGULATIONS AND STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND, MAINE. THE CITY OF PORTLAND, MAINE SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND, MAINE. THE CITY OF PORTLAND, MAINE SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND, MAINE.

EXISTING SEWER SYSTEM TO BE REMOVED AND DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXISTING SEWER LATERALS AND CONNECTIONS TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET.

100 YEAR FEMA FLOOD PLAN REF. #1

115'04.46' W

235.70'

SAINTARY SEWER PUMP FROM LOT 6 WITH LOT 8 OWNER & ENGINEER REGULATION TO BE COMPLETED WITHIN 180 DAYS OF PERMITTING.

APPROXIMATE LOCATION OF EXISTING SEWER LATERALS AND CONNECTIONS TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET.

EXISTING SEWER SYSTEM TO BE REMOVED AND DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXISTING SEWER LATERALS AND CONNECTIONS TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET.

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EXISTING SEWER SYSTEM TO BE REMOVED AND DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXISTING SEWER LATERALS AND CONNECTIONS TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET.

1. ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED AND CONSTRUCTED BY THE CONTRACTOR WITH THE DIVISION 15 OR 16 CONTRACTOR AND THE BUILDING PLANS, DIVISION 2 WORK WITHIN 5 FEET OF UNDERGROUND UTILITIES SHALL CONSIST OF TRENCHING AND BACKFILLING WITHIN 15 FEET OF UNDERGROUND UTILITIES SHALL BE BY THE GENERAL CONTRACTOR.
2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AND/OR RELATION OF OVERHEAD BOLLING, ACTUAL UTILITY INSTALLATION SHALL BE BY THE GENERAL CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BACKLOG NECESSARY TO COMPLETE THE WORK.
4. ALL SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE MAINE STATE PLUMBING CODE AND CITY OF PORTLAND PUBLIC WORKS.
5. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER.
6. COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL CONFORM TO THE STANDARDS OF THE UTILITY COMPANY AND PROJECT SPECIFICATIONS.
7. THE LOCATION OF THE NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE SERVING UTILITY COMPANY.
8. UNDERGROUND ELECTRICAL, COORDINATE MATERIAL AND INSTALLATION SHALL CONFORM TO UTILITY COMPANY STANDARDS AND PROJECT SPECIFICATIONS, WHICH EVER IS MORE STRINGENT.
9. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
10. UNDERGROUND CONDITIONS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOSS FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.
12. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. ALL INCH UTILITY TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSESS.
13. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SERVICE TO THE JOBSITE. TEMPORARY SERVICES SHALL COMPLY WITH ALL FEDERAL, STATE LOCAL AND UTILITY COMPANY STANDARDS COORDINATE ALL TEMPORARY SERVICES WITH UTILITY COMPANY, OWNER AND AFFECTED BUSINESSES.



LANDMARK SURVEY

SCALE: 1" = 40'

DATE: 6/23/14

PROJECT: LOT 4, 410 RIVERSIDE STREET

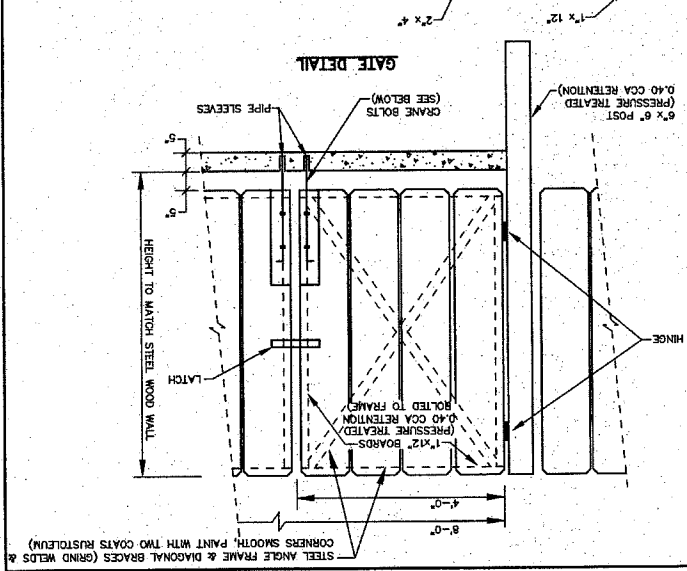
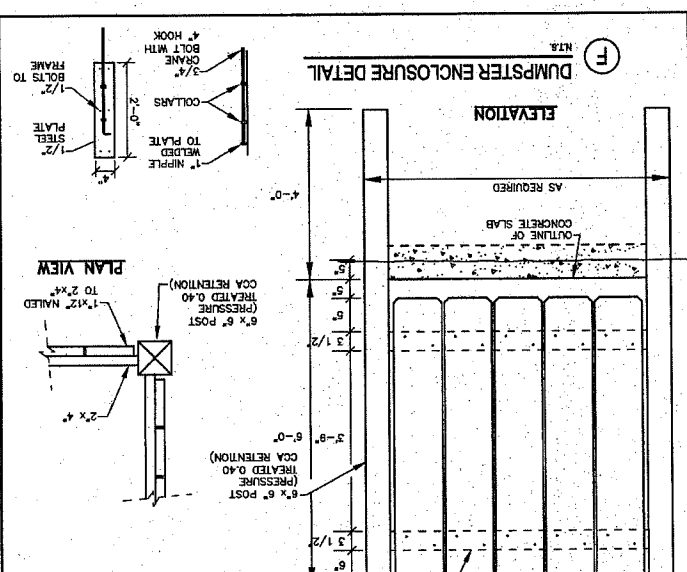
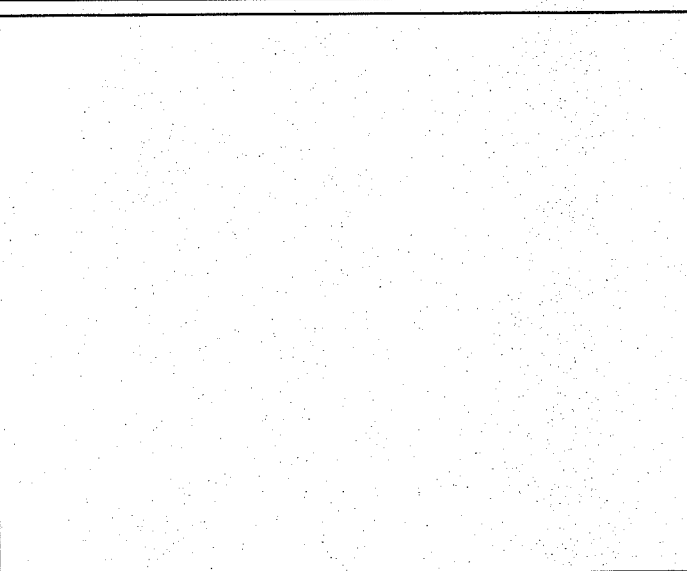
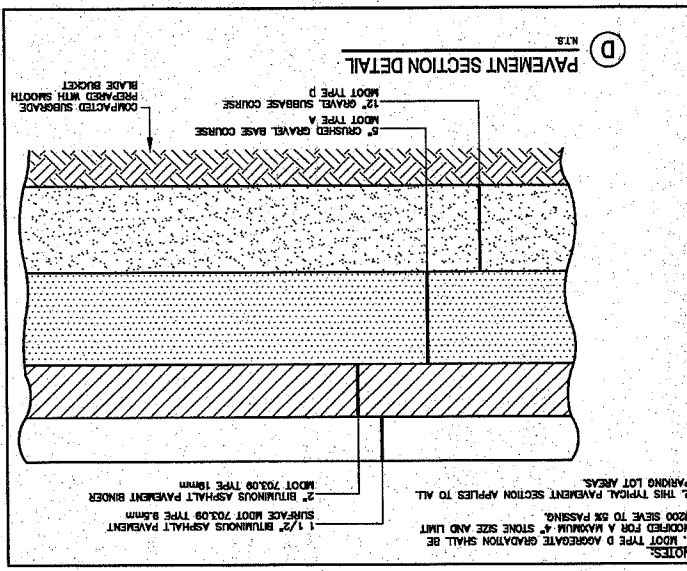
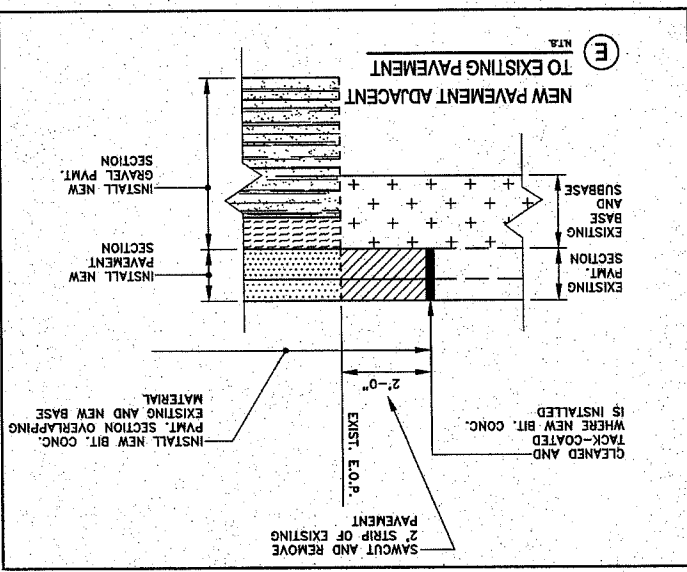
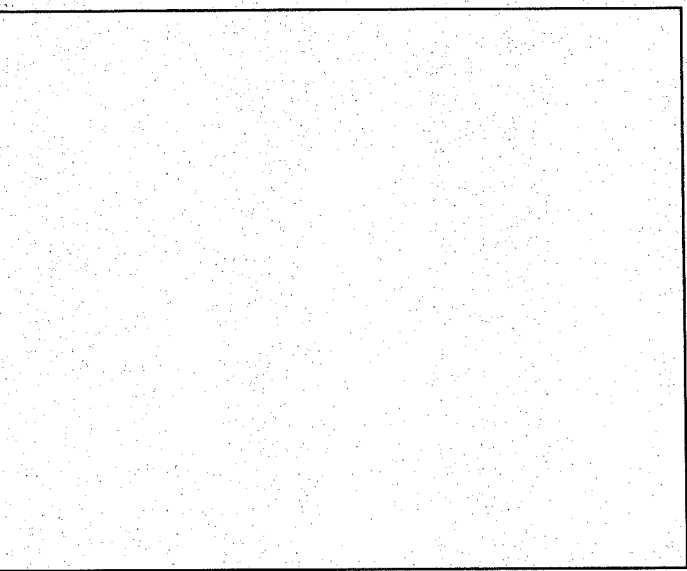
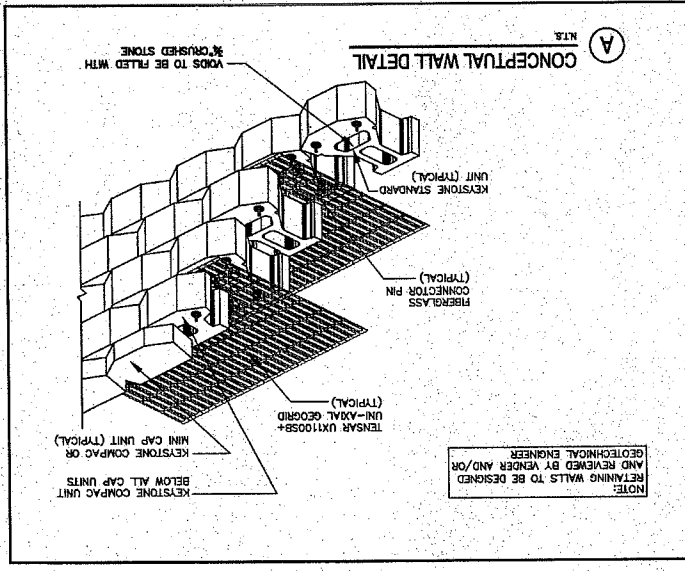
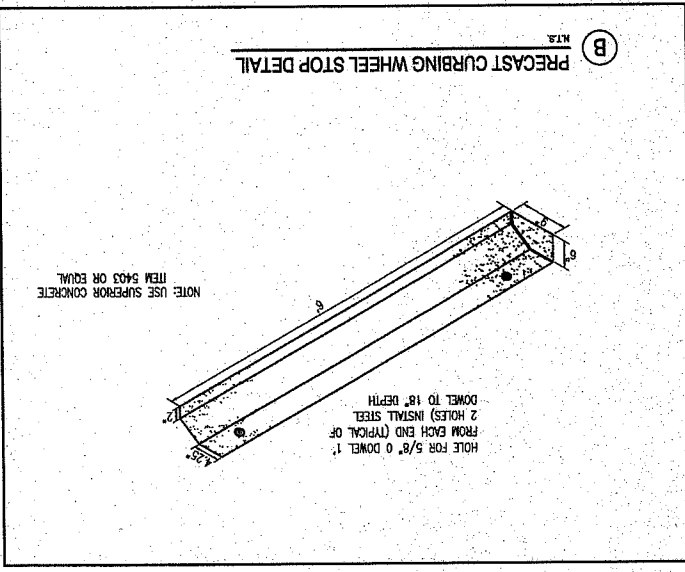
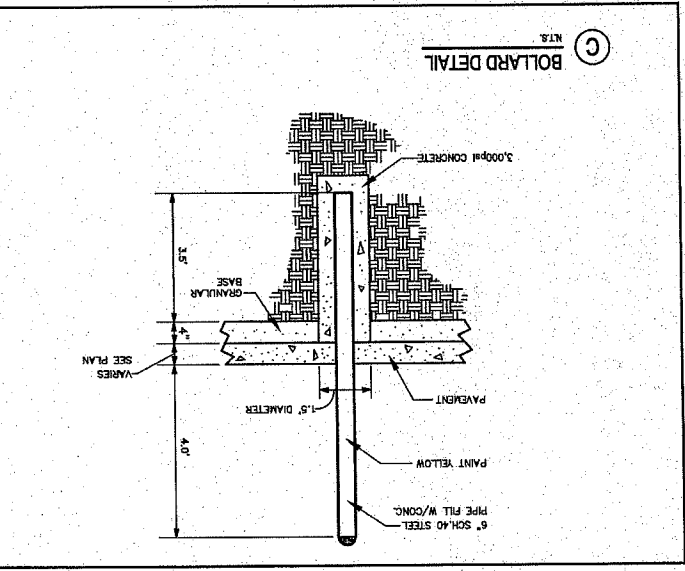
CLIENT: LOT 4, 410 RIVERSIDE STREET LLC

DRAWN: T.M.

CHECKED: S.M.

JOB NO.: 2314

SHEET: 6



REV	DATE	DESCRIPTION
1	04.16.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
3	06.03.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.06.05	RESUBMISSION TO PLANNING AUTHORITY
5	01.26.06	RESUBMISSION TO PLANNING AUTHORITY
6	03.30.07	RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT

PROJECT: LOT 4, 410 RIVERSIDE STREET, PORTLAND, MAINE

CIENT: 410 RIVERSIDE STREET LLC, PORTLAND, MAINE 04103

PLC #1479

STEPHEN R. BUSHBY

STATE OF MAINE

PLANNING BOARD

DRAMA: ASSOCIATES, INC., 175 WASHINGTON STREET, PORTLAND, MAINE 04103

DATE: JUNE 2005

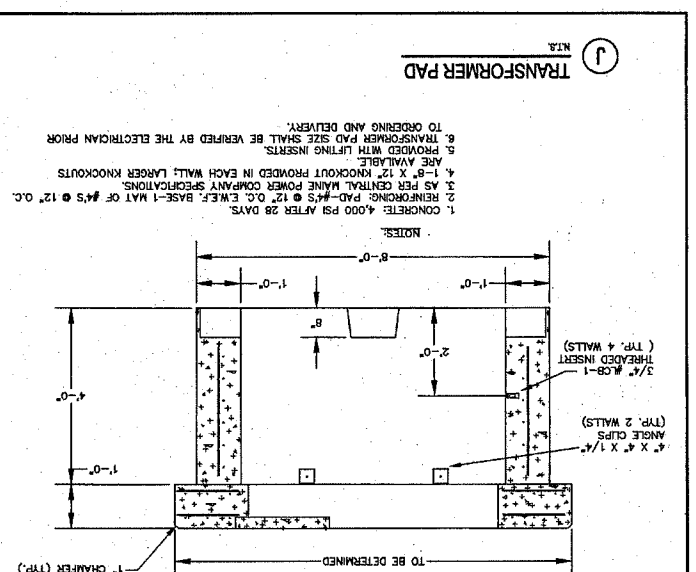
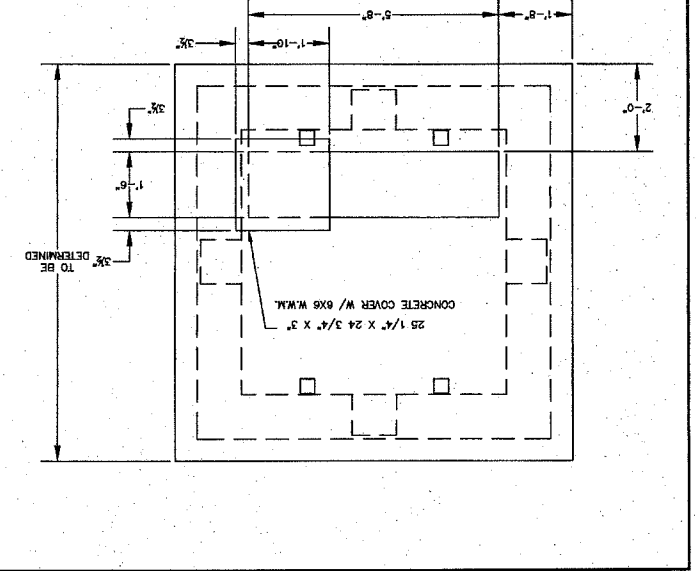
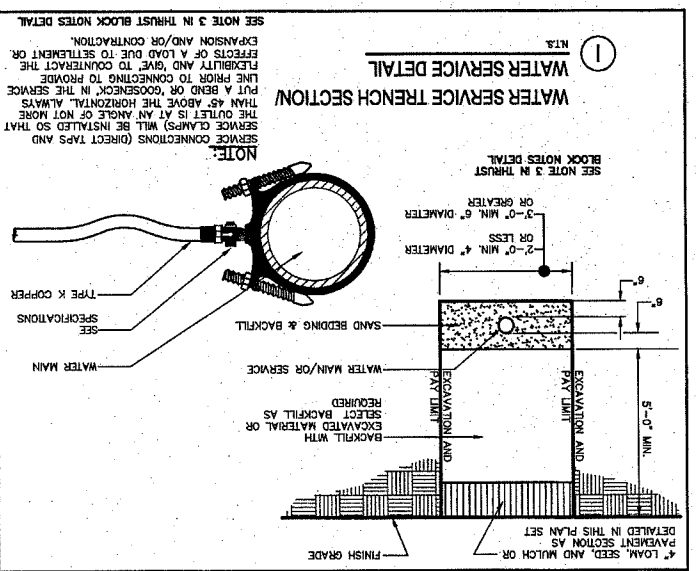
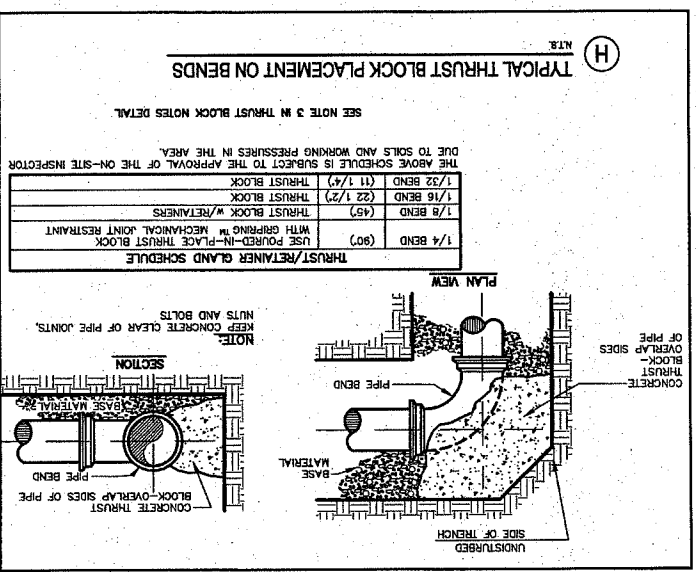
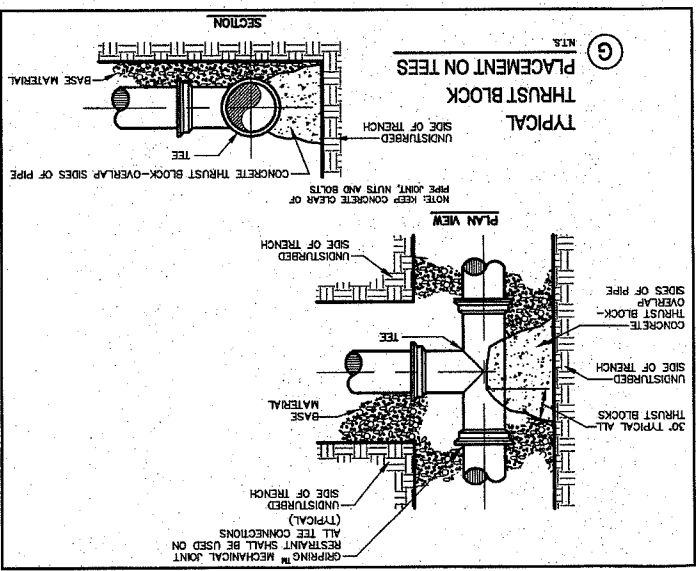
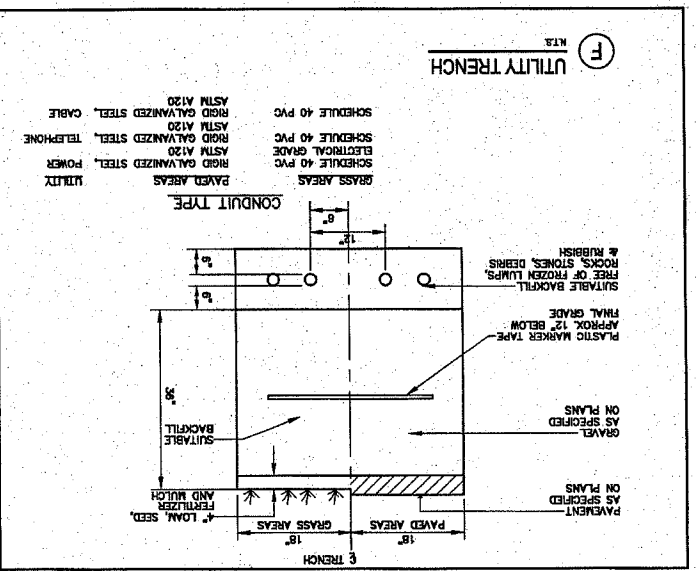
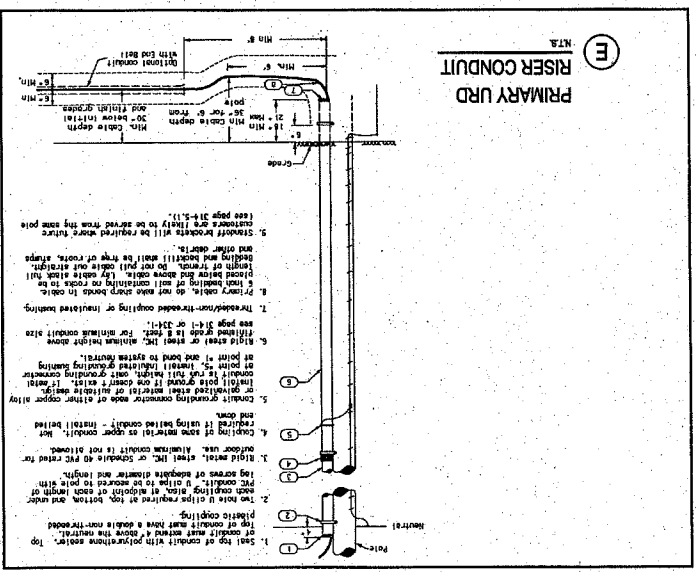
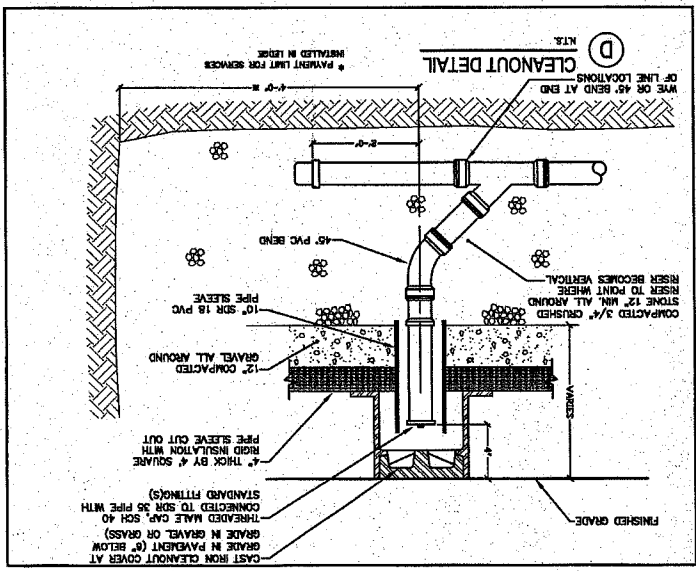
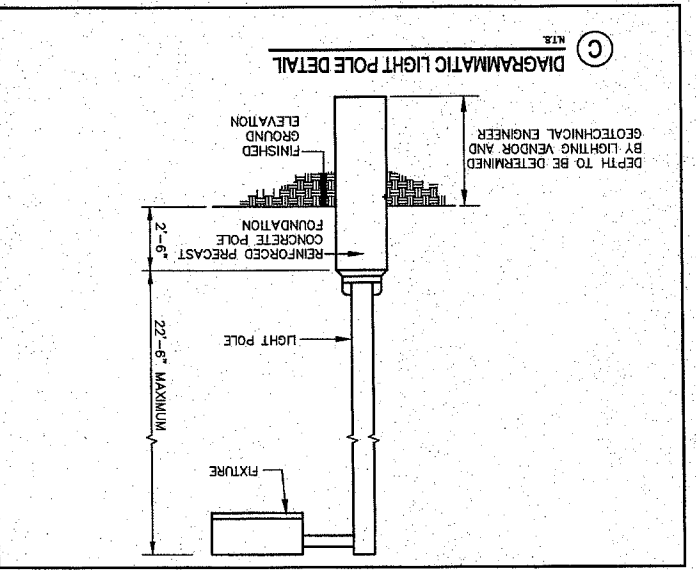
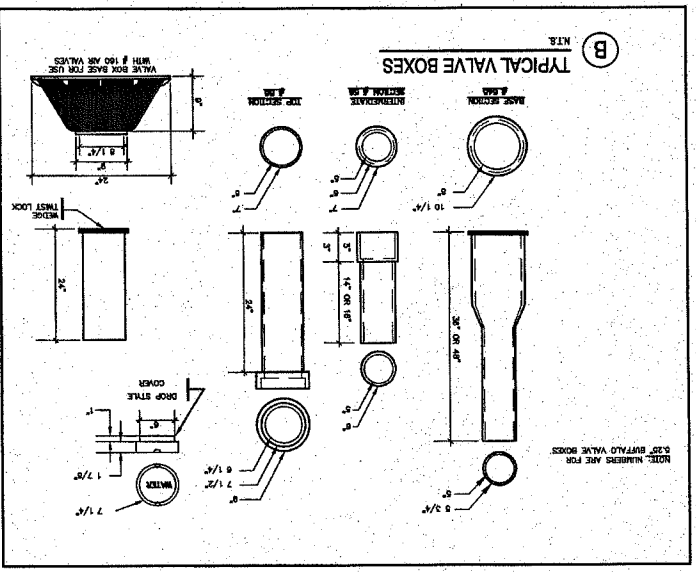
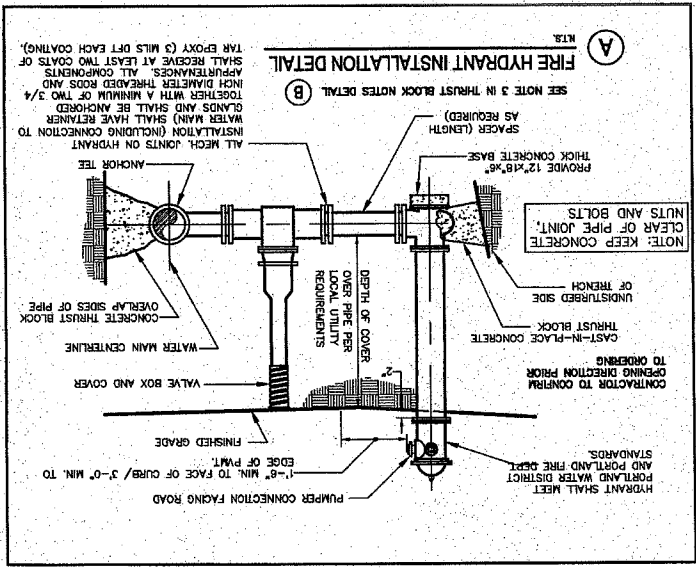
SCALE: 1"=4'

T.M. SCALE: 1"=4'

JOB NO. 2314

FILE NAME: 2314-DPT-SITE

SHEET 7



REVISIONS

REV	DATE	DESCRIPTION
1	04.04.04	SITE PLAN REVIEW SUBMISSION
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4	12.08.05	REVISIONS TO PLANNING AUTHORITY
5	05.06.06	REVISIONS TO PLANNING AUTHORITY
6	03.30.07	REVISIONS TO PLANNING AUTHORITY DUE TO PERMIT EXPANSION AND/OR CONTRACTION.

PROJECT: LOT 4, 410 RIVERSIDE STREET, PORTLAND, MAINE

CLIENT: 410 RIVERSIDE STREET LLC, PORTLAND, MAINE 04103

DATE: JUNE 2006

SCALE: 1" = 4'

CHECKED: S.M.B. JOB NO. 2314

DESIGNED: T.M.M.

DRAWN: C.M.W.

6

STATE OF MAINE

REGISTERED PROFESSIONAL ENGINEER

STEPHEN BUSHEY

P.C. #7429

DALUCA-HOFFMAN ASSOCIATES, INC.

77 MAIN STREET, SUITE 200, PORTLAND, ME 04101

WMAINE00000000000000

PROJECT: LOT 4, 410 RIVERSIDE STREET
PORTLAND, MAINE

SHEET TITLE: UTILITY DETAILS

CLIENT: 410 RIVERSIDE STREET LLC
 410 RIVERSIDE STREET
 PORTLAND, MAINE 04103

DESIGNED: T.M.
CHECKED: S.M.
DATE: JUNE 2008

SCALE: 1"=4'

FILE NAME: 23H-TUTL
JOB NO.: 23H

SHEET NO.: 10

REV. DATE DESCRIPTION

- 04.10.14 SITE PLAN REVISION
- 10.04.14 RESUBMITTED TO PLANNING AUTHORITY
- 06.05.06 AMENDED SITE PLAN REVISION - LOT 4 ONLY
- 12.08.05 RESUBMISSION TO PLANNING AUTHORITY
- 01.26.06 RESUBMISSION TO PLANNING AUTHORITY
- 03.30.07 RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT DENIAL

REVISIONS

DATE DESCRIPTION

04.10.14 SITE PLAN REVISION

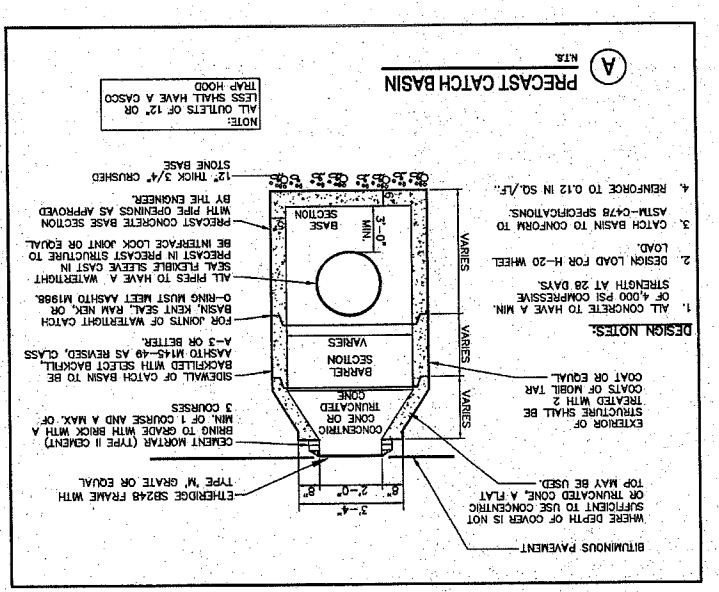
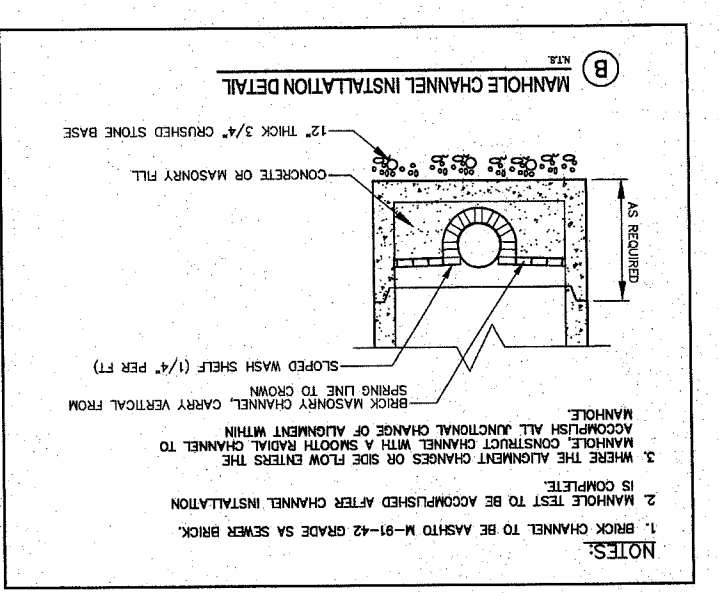
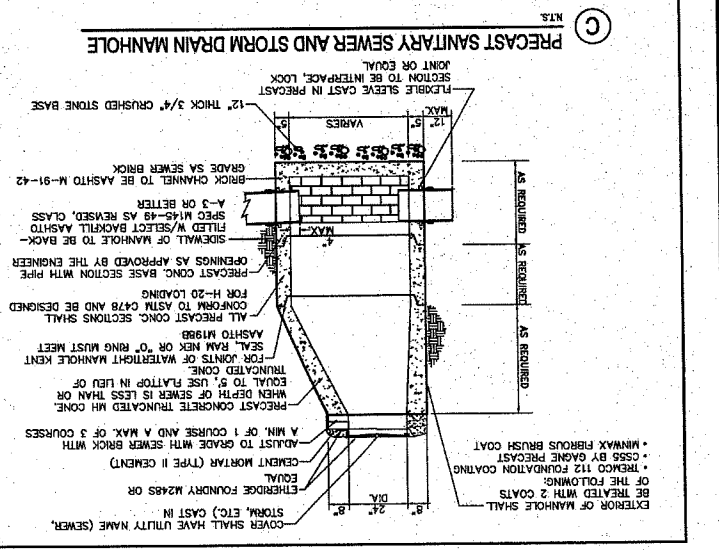
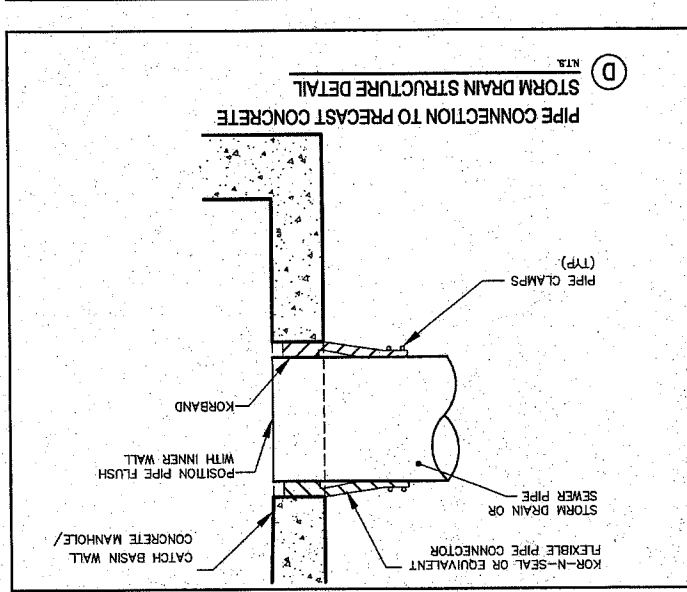
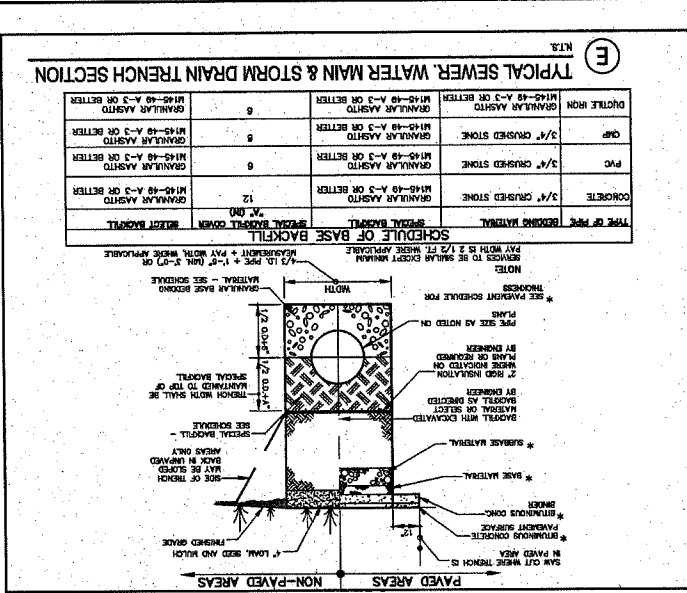
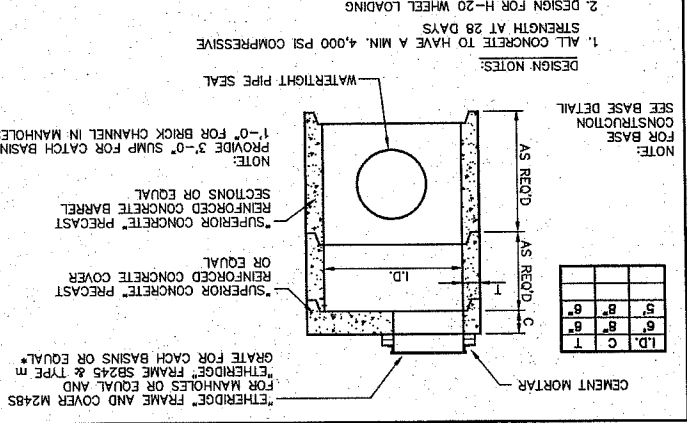
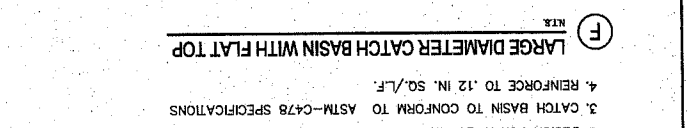
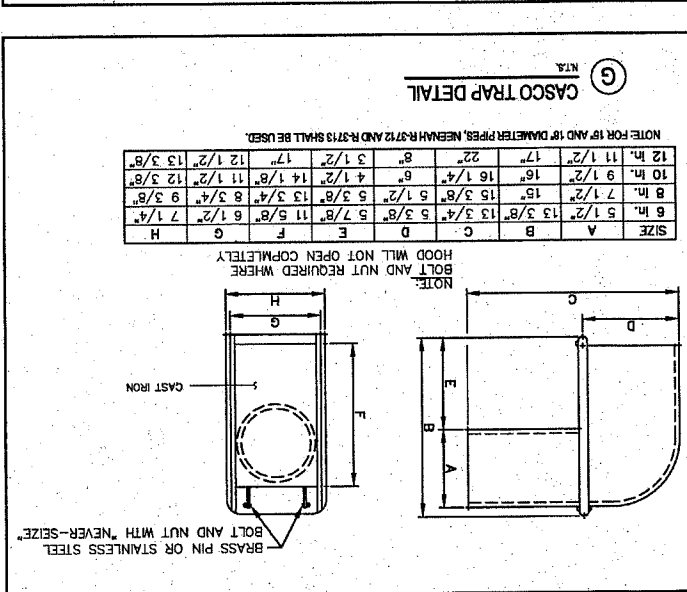
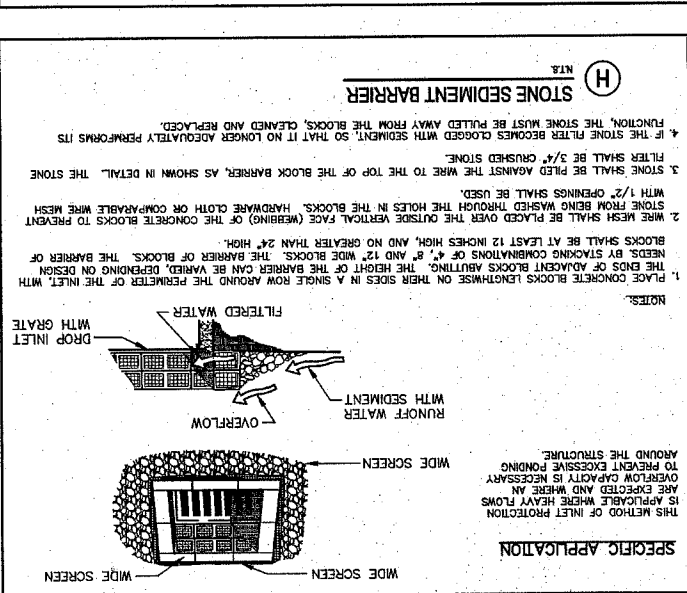
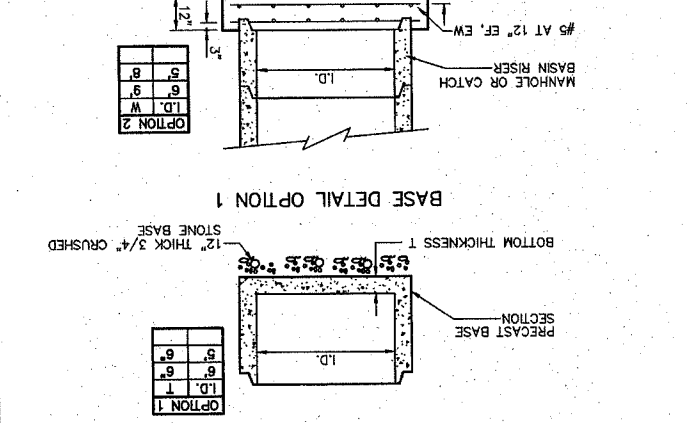
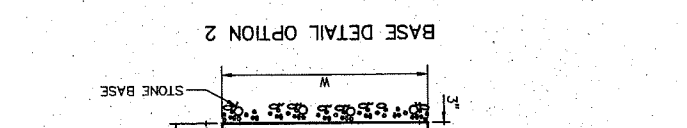
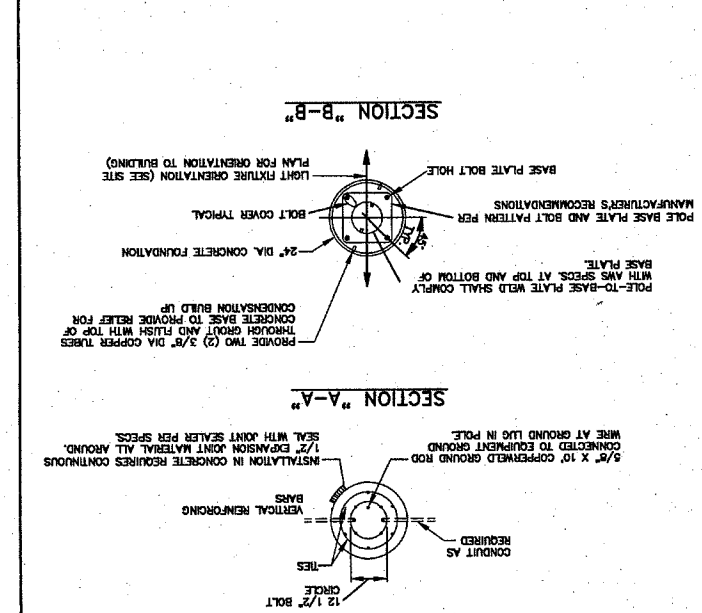
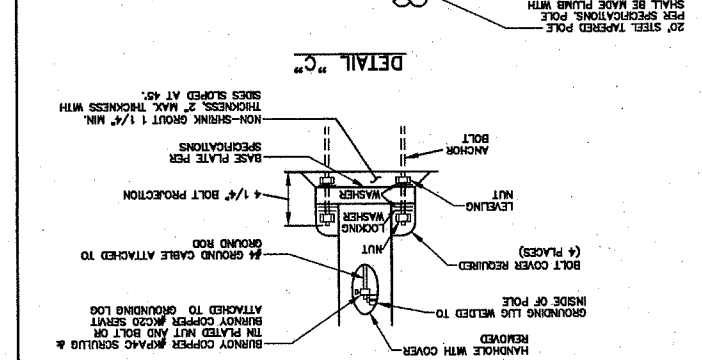
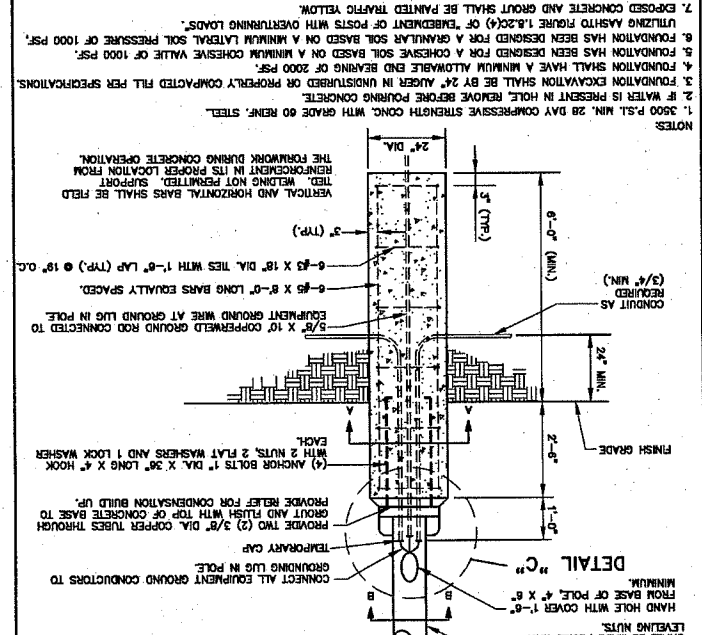
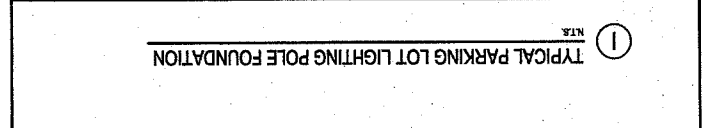
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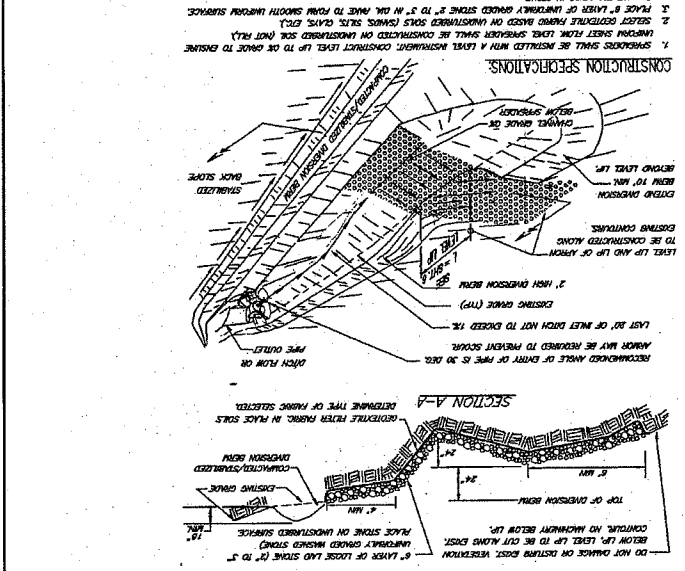
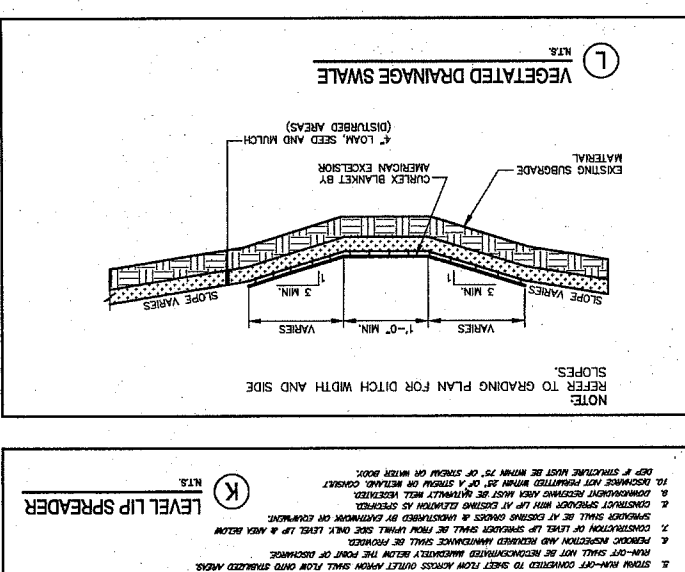
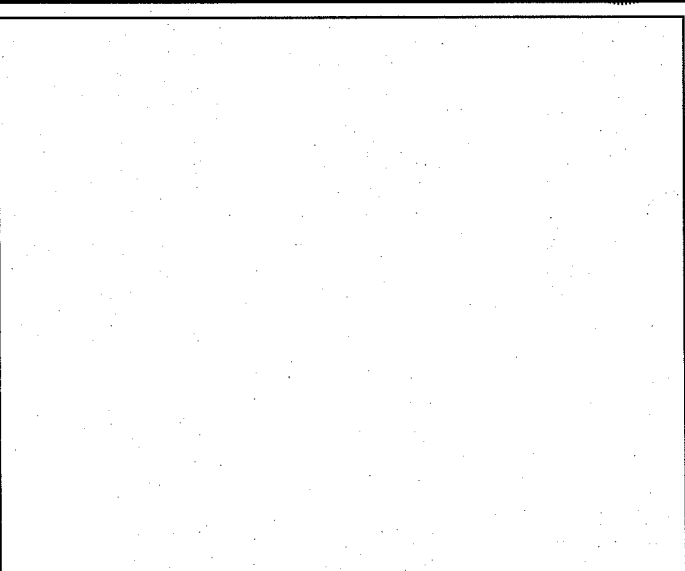
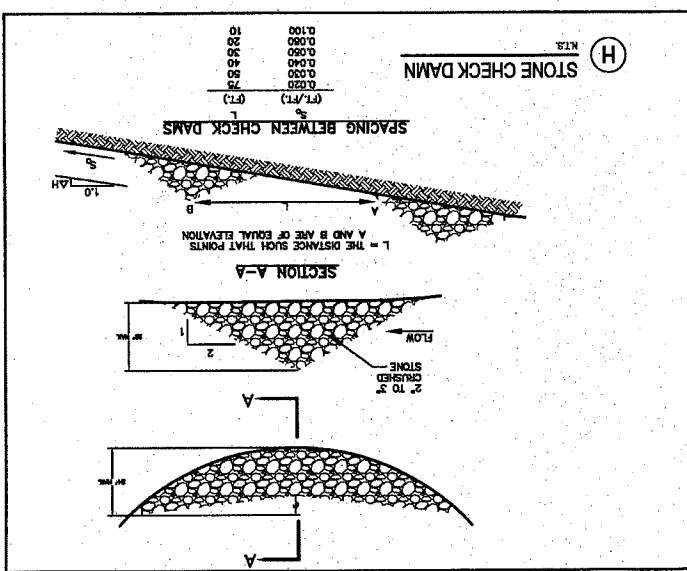
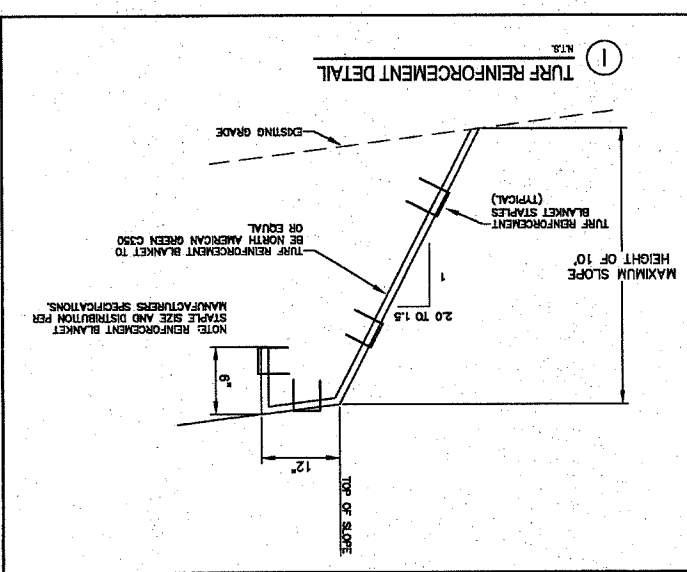
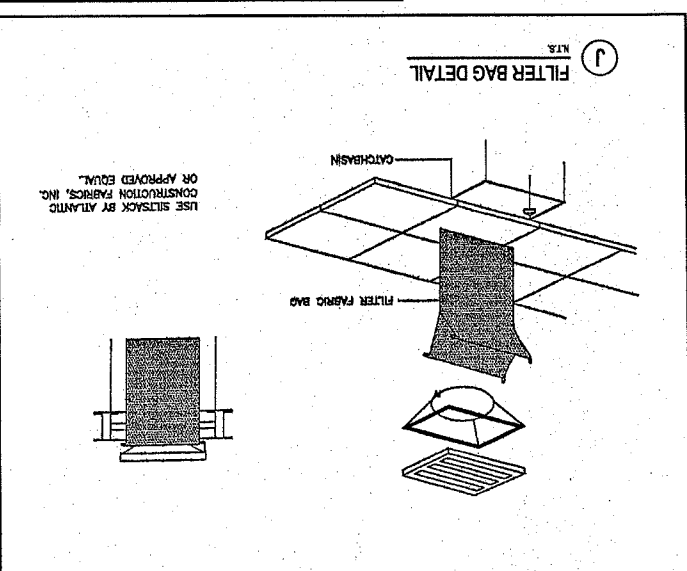
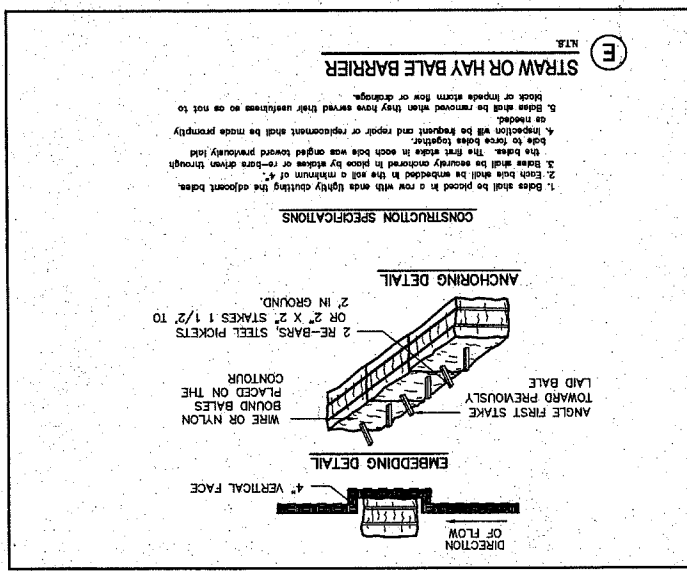
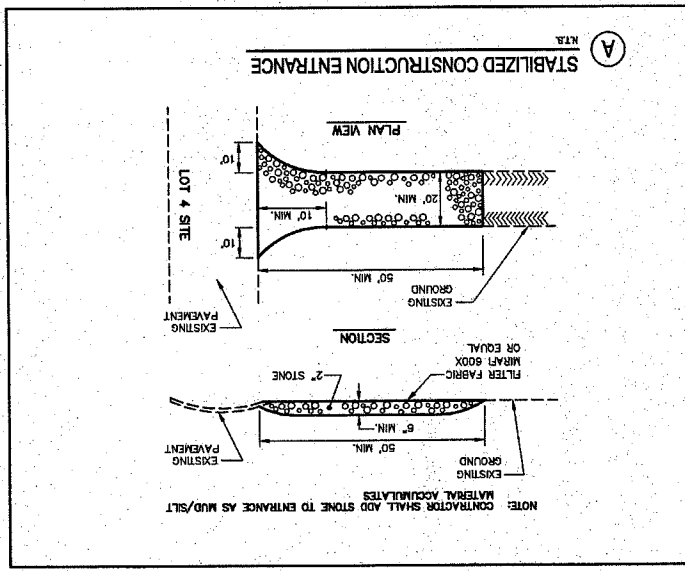
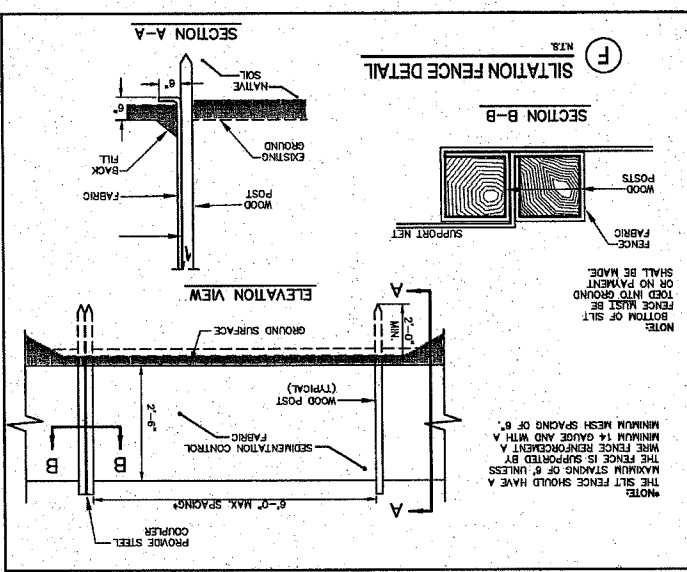
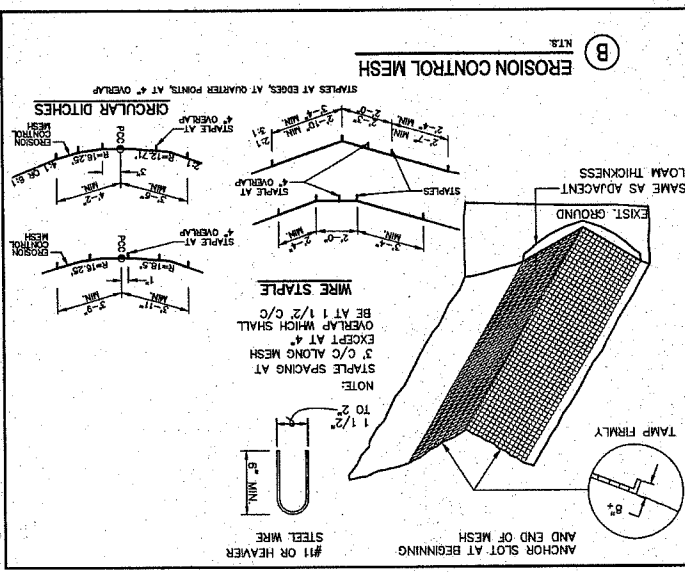
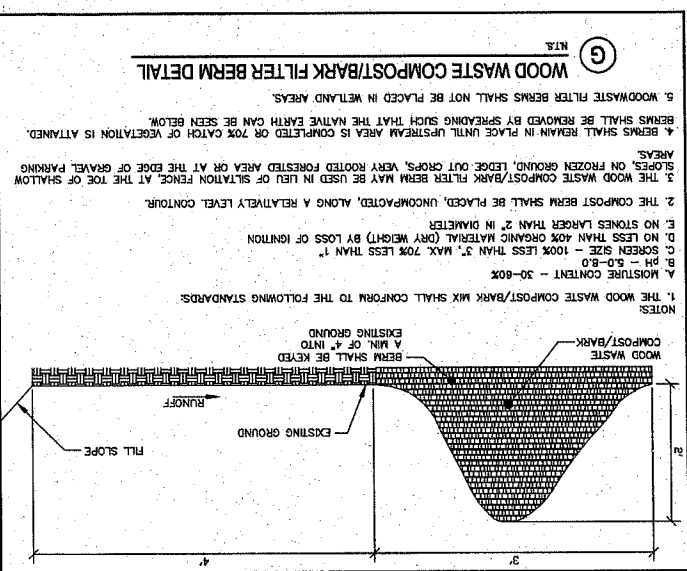
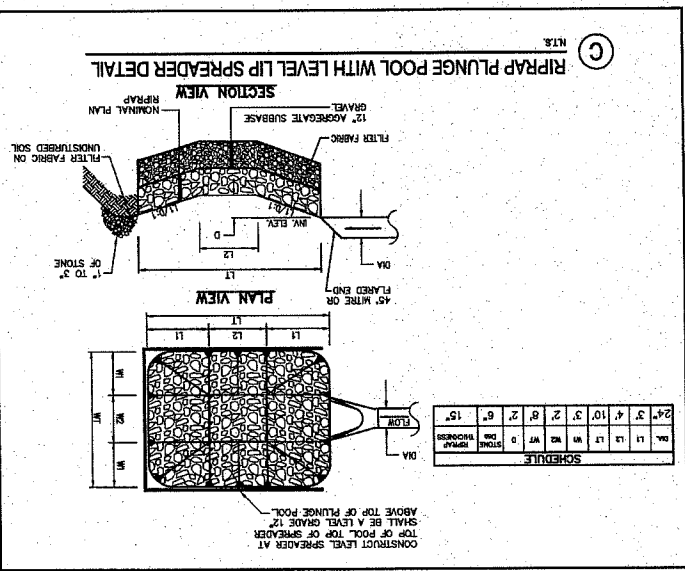
06.05.06 AMENDED SITE PLAN REVISION - LOT 4 ONLY

12.08.05 RESUBMISSION TO PLANNING AUTHORITY

01.26.06 RESUBMISSION TO PLANNING AUTHORITY

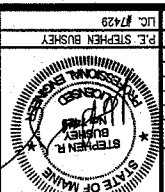
03.30.07 RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT DENIAL





PROJECT	LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE
CUSTOMER	410 RIVERSIDE STREET LLC 410 RIVERSIDE STREET PORTLAND, MAINE 04103
DATE	JUNE 2005
SCALE	1" = 4'
TITLE	EROSION CONTROL DETAILS
DESIGNED BY	DA LUCA-HOFFMAN ASSOCIATES, INC.
CHECKED BY	DA LUCA-HOFFMAN ASSOCIATES, INC.
FILE NAME	2314-DT-EROS
SHEET	11

REV	DATE	DESCRIPTION
1	04.16.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
3	06.06.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.06.05	RESUBMISSION TO PLANNING AUTHORITY
5	01.26.06	RESUBMISSION TO PLANNING AUTHORITY
6	03.30.07	RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT EXPIRATION



EROSION AND SEDIMENT CONTROL NOTES

The primary emphasis of the erosion/sedimentation control plan to be implemented for this project are as follows:

- Development of a careful construction sequence, rapid revegetation of denuded areas to minimize the period of soil exposure. Rapid stabilization of drainage paths to avoid fill and gully formation.
- The use of onsite measures to capture sediment (hay bales/silt fence, etc.). The provisions for long term erosion/sediment and pollutant treatment by the incorporation of permanent Best Management Practices.

Description and Location of Limits of All Proposed Earth Movements

The construction of the development will require the following on-site improvements:

- Construction of stormwater measures.
- Construction of parking lots, drive aisles, walkways and installation of storm drains.
- drains.

Erosion/Sedimentation Control Devices

The following erosion and sediment control devices will be implemented by the Contractor as part of the development. These devices shall be installed as indicated on the plans. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction.

Best Management Practices.

Siltation fence shall be installed downstream of any disturbed areas to trap runoff borne sediments until the site is revegetated. The silt fence shall be installed per the details provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made immediately by the Contractor if there are any signs of erosion or sedimentation below the fence line. Proper placement of stakes and fabric into the ground is critical to the fence's effectiveness. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.

Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. North steeper than 3:1 which are to be revegetated shall receive Turf Reinforcement Mats. Mulch application rates are provided at the end of this section. Hay mulch shall be available on site at all times in order to provide immediate temporary stabilization when necessary. Riprap slopes, ditch linings, stone check dams, hay bale barriers and curbed outlet aprons are intended to reduce runoff velocities and protect denuded soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheets.

Construction entrances will be constructed at all access points onto the site to prevent tracking of soil onto Riverside Street. Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a permeable silt fence as distributed by A. H. Harrah, Inc. Sediment trap barriers or a permeable silt fence shall be provided in the plan set. The barriers shall be inspected after each rainfall and repairs made as necessary. Sediment shall be removed and the barrier restored to its original dimensions when the sediment has accumulated to $\frac{1}{2}$ the design depth of the barrier. The barrier shall be removed when the tributary drainage area has been stabilized.

Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Application rates are provided for temporary and permanent seeding in non-wetland areas.

Temporary Erosion/Sedimentation Control Measures

The following are planned as temporary erosion/sedimentation control measures during construction:

- Crushed stone stabilized construction entrance(s) shall be placed at the site access to Lot 4 at 400 Riverside Street Properties.
- Siltation fence or an organic filter barrier shall be installed along the downgradient side of all disturbed areas. The siltation barrier will remain in place and properly maintained until the site is acceptably revegetated.

Temporarily Stockpiles

Temporarily stockpiles of stumps, grubbing, or common excavation will be protected as follows:

- Stockpiles shall be stabilized within 7 days by either temporarily seeding the stockpile with a hydroseeded method containing an emulsified mulch tackifier or by covering the stockpile with mulch.
- All denuded areas that are within 100 feet of a wetland which have been rough graded and are not located within the building pad or pavement subbase area, shall receive mulch or erosion control mesh fabric within 7 days of initial disturbance of soil. In other areas, the time period may be extended to 14 days.
- For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch shall be limited to 7 days for all areas or immediately in advance of a predicted rainfall event.

Silt Fencing

Silt fencing with a maximum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence should be properly anchored a minimum of 6 feet per the plan detail and backfilled. Any silt fence identified by the owner or reviewing agencies as not being properly installed during construction shall be immediately repaired in accordance with the installation details.

Permanent Erosion Control Measures

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

- All storm drain pipes channels of culverts from scour and deterioration. Installation details are provided in the plan set. The aprons and plunge pools shall be installed and stabilized prior to directing runoff to the tributary pipes or culverts.
- The water quality units will discharge to riprap stabilized outlets.

All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finished grade slope is greater than 10 percent.

Earthwork activity including cuts and fills to bring the paved and gravel areas to subgrade. Construction of stormwater measures. Construction of parking lots, drive aisles, walkways and installation of storm drains.

drains. Construction of building foundations including such alternatives as piles, precast and wick drains.

Construction of stormwater measures. Catch basins will be provided with 2" sediment sumps and Casco traps over the outlet pipes.

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized. The sequence applies to all phases of construction.

For all grading activities, the contractor shall exercise extreme caution not to overexpose the site by limiting the disturbed areas.

Install crushed stone stabilized construction entrances as shown on plans.

Install perimeter siltation barriers as indicated on the plans.

Begin excavation. Clear and grub areas necessary for the stormwater systems and building foundation areas.

Excise materials shall be stockpiled and stabilized for use as fill for later grading operations.

Remove accumulated sediment from ahead of any sediment barriers as necessary.

Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.

Touch up loam and seed. Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a permeable silt fence as distributed by A. H. Harrah, Inc.

Due to the timing and size of the project, completion of the facilities within a summer construction season may not occur. For all work which will be conducted between November 1 and April 15 of the calendar year, the Contractor shall submit a schedule which will satisfy the following criteria:

- Liming the amount of exposed area to those areas in which work is expected to be undertaken during the preceding 15 days.
- During the construction process, all disturbed areas shall be covered with mulch within 7 days of final grading.
- Once final grades have been established, the contractor may choose to dormant seed the disturbed areas prior to placement of mulch and placement of fabric netting anchored with staples.

If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5#/1000 s.f.

REV	DATE	DESCRIPTION
6	03.20.07	REVISION TO PLANNING AUTHORITY PER PERMIT
5	01.28.06	REVISION TO PLANNING AUTHORITY
4	12.06.05	REVISION TO PLANNING AUTHORITY
3	06.02.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
1	04.16.04	SITE PLAN REVIEW SUBMISSION

PERMANENT SEEDING PLAN NON-WETLAND AREAS
 Project 410 Riverside Street
 Site Location Portland, Maine
 Permanent Seeding X Temporary Seeding
 Area to be seeded: <1 acre, OR 20M Sq. Ft.
 2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.
 3. Apply lime as follows: #/acres, OR 138#/M Sq. Ft. N-P-K/ac. OR
 18.4 pounds of 10-20-N-P-K/M Sq. Ft.
 5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.
 6. Seed with the following mixture:
 45% Kentucky Bluegrass
 45% Creeping Red Fescue
 10% Perennial Ryegrass
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
 7. Mulching instructions: Apply at the rate of tons per acre. OR
 115 pounds per M. Sq. Ft.
 Amount Unit #, Tons, Etc.
 8. TOTAL LIME 138 #/1000 sq. ft.
 9. TOTAL FERTILIZER 18.4 #/1000 sq. ft.
 10. TOTAL SEED 1.03 #/1000 sq. ft.
 11. TOTAL MULCH 115 #/1000 sq. ft.
 12. TOTAL other materials, seeds, etc.

TEMPORARY SEEDING PLAN NON-WETLAND AREAS
 Project Lot 4 410 Riverside Street
 Site Location Portland, Maine
 Permanent Seeding X Temporary Seeding
 Area to be seeded: <1 acre, OR 20M Sq. Ft.
 2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.
 3. Apply lime as follows: #/acres, OR 138#/M Sq. Ft. N-P-K/ac. OR
 18.4 pounds of 10-20-N-P-K/M Sq. Ft.
 5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.
 6. Seed with the following mixture:
 50% Perennial Ryegrass
 50% Winter Rye
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
 7. Mulching instructions: Apply at the rate of tons per acre. OR
 230 pounds per M. Sq. Ft.
 Amount Unit #, Tons, Etc.
 8. TOTAL LIME 138 #/1000 sq. ft.
 9. TOTAL FERTILIZER 18.4 #/1000 sq. ft.
 10. TOTAL SEED 1.75 #/1000 sq. ft.
 11. TOTAL MULCH 230 #/1000 sq. ft.
 12. TOTAL other materials, seeds, etc.

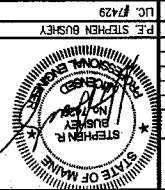
Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner.

All areas seeded during the winter months will be inspected in the spring for adequate catch. All areas in sufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.



SHEET	12
DATE	JUNE 2006
SCALE	1" = 40'
DESIGNED	DM
CHECKED	SRS
FILE NAME	2314-DPT-EROS

PROJECT	LOT 4 410 RIVERSIDE STREET
SHEET TITLE	PORTLAND, MAINE
CUSTOMER	410 RIVERSIDE STREET LLC
PORTLAND, MAINE 04103	

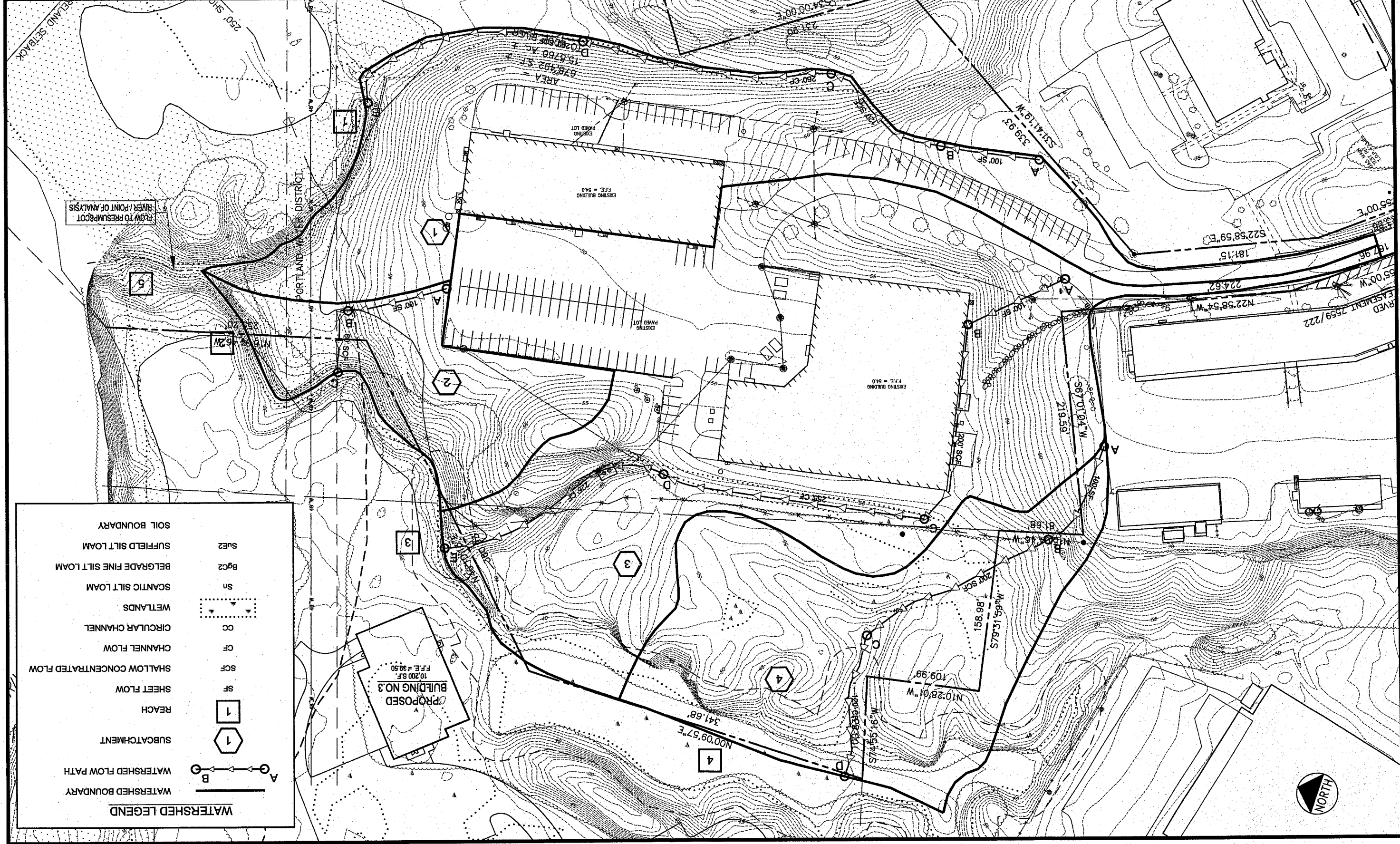


PROJECT	LOT 4 410 RIVERSIDE STREET
SHEET TITLE	PORTLAND, MAINE
CUSTOMER	410 RIVERSIDE STREET LLC
PORTLAND, MAINE 04103	

REV	DATE	DESCRIPTION
1	04.10.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.05.05	RESUBMISSION TO PLANNING AUTHORITY
5	01.26.06	RESUBMISSION TO PLANNING AUTHORITY
6	03.30.07	RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT

PROJECT	LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE
SHEET TITLE	PREDEVELOPMENT WATERSHED PLAN
CLIENT	410 RIVERSIDE STREET LLC 410 RIVERSIDE STREET PORTLAND, MAINE 04103
FILE NAME	2014-SF
SHEET	1

DATE	JUNE 2008
SCALE	1" = 40'
DESIGNED BY	SRB
CHECKED BY	SRB
JOB NO.	2314
DATE	JUNE 2008
PROJECT	LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE

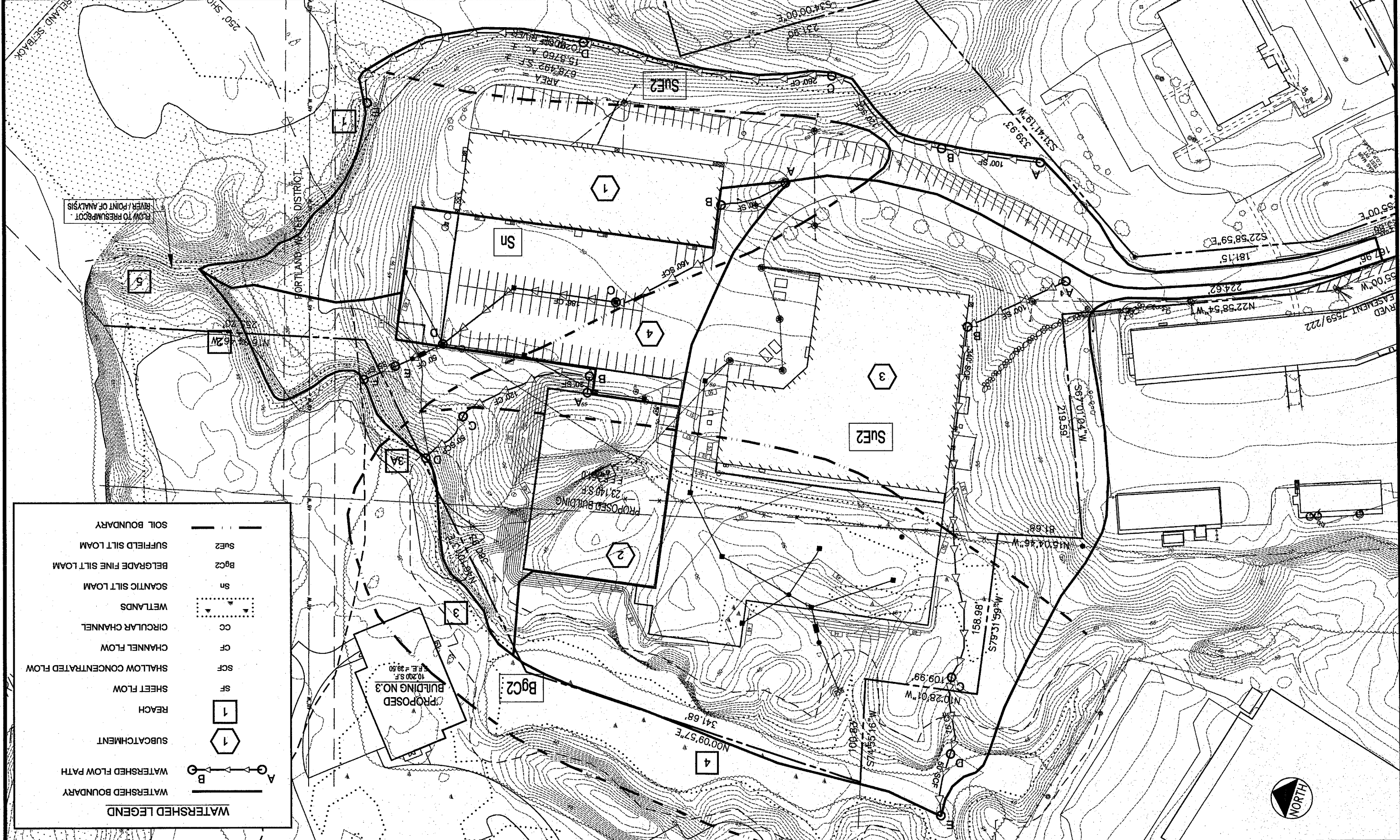
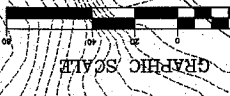
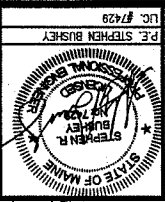


WATERSHED LEGEND

WATERSHED BOUNDARY	— A — B —
WATERSHED FLOW PATH	→
SUBCATCHMENT	①
REACH	①
SHEET FLOW	SF
SHALLOW CONCENTRATED FLOW	SCF
CHANNEL FLOW	CF
CIRCULAR CHANNEL	CC
WETLANDS	⋯
SCANTIC SILT LOAM	Sn
BELGRADE FINE SILT LOAM	BgC2
SUFFIELD SILT LOAM	Suez
SOIL BOUNDARY	—

REV	DATE	DESCRIPTION
1	04.16.04	SITE PLAN REVIEW SUBMISSION
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
3	06.05.05	ADVANCED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
4	12.06.05	RESUBMISSION TO PLANNING AUTHORITY
5	01.26.06	RESUBMISSION TO PLANNING AUTHORITY
6	03.30.07	RESUBMISSION TO PLANNING AUTHORITY DUE TO PERMIT

PROJECT	LOT 4, 410 RIVERSIDE STREET PORTLAND, MAINE
SHEET TITLE	POSTDEVELOPMENT WATERSHED PLAN LOT 4 - 400 RIVERSIDE STREET PROPERTIES
CLIENT	410 RIVERSIDE STREET LLC 410 RIVERSIDE STREET PORTLAND, MAINE 04103
DRINK	DATE: JUNE 2005
DESIGNED	TAM
CHECKED	SRB
SCALE	1" = 40'
JOB NO.	2014
FILE NAME	2014-02
SHEET	2



WATERSHED LEGEND

WATERSHED BOUNDARY	—
WATERSHED FLOW PATH	→
SUBCATCHMENT	①
REACH	①
SHEET FLOW	SF
SHALLOW CONCENTRATED FLOW	SCF
CHANNEL FLOW	CF
CIRCULAR CHANNEL	CC
WETLANDS	⋯
SCANTIC SILT LOAM	Sn
BELGRADE FINE SILT LOAM	BgC2
SUFFIELD SILT LOAM	SUE2
SOIL BOUNDARY	—



STARWOOD ELEMENT & RESIDENCES AT OLD PORT

2007280.000
July 17, 2007

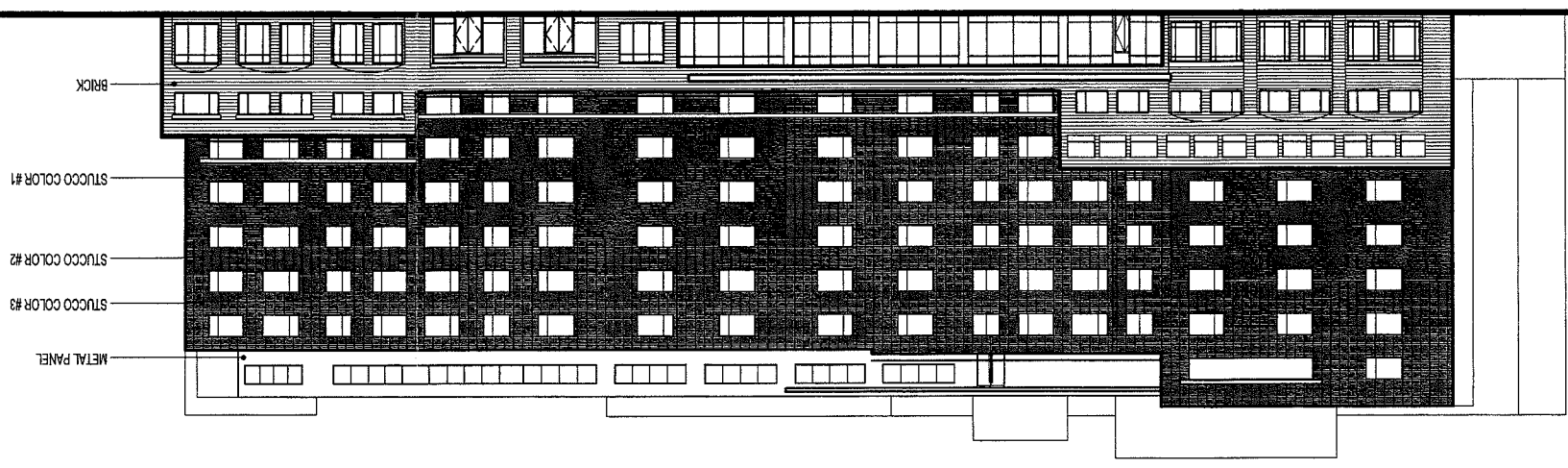
5' 20' 40'

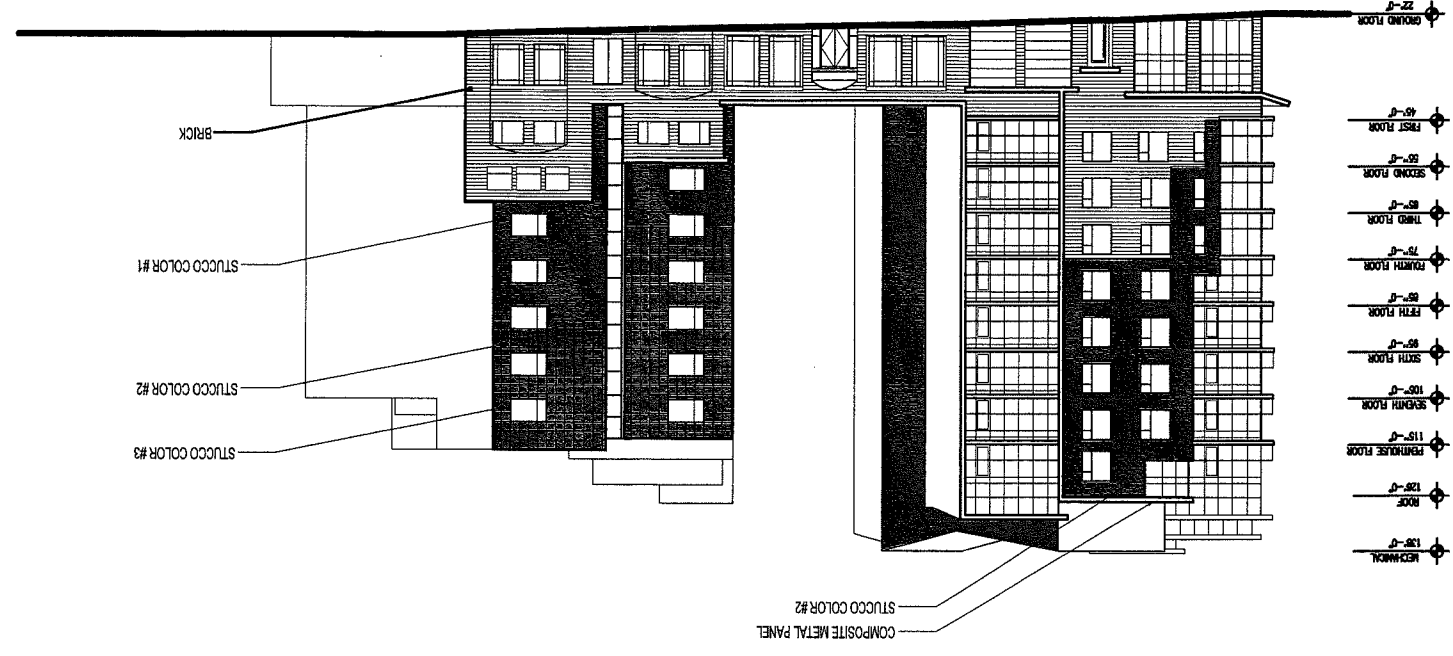
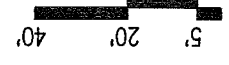
element
westin

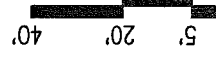


- 114'-0" ROOF
- 103'-0" SPECIAL FLOOR
- 83'-0" SIXTH FLOOR
- 83'-0" FIFTH FLOOR
- 73'-0" FOURTH FLOOR
- 63'-0" THIRD FLOOR
- 53'-0" SECOND FLOOR
- 43'-0" FIRST FLOOR
- 28'-0" GROUND FLOOR

- 114'-0" ROOF
- 103'-0" SPECIAL FLOOR
- 83'-0" SIXTH FLOOR
- 83'-0" FIFTH FLOOR
- 73'-0" FOURTH FLOOR
- 63'-0" THIRD FLOOR
- 53'-0" SECOND FLOOR
- 43'-0" FIRST FLOOR
- 28'-0" GROUND FLOOR



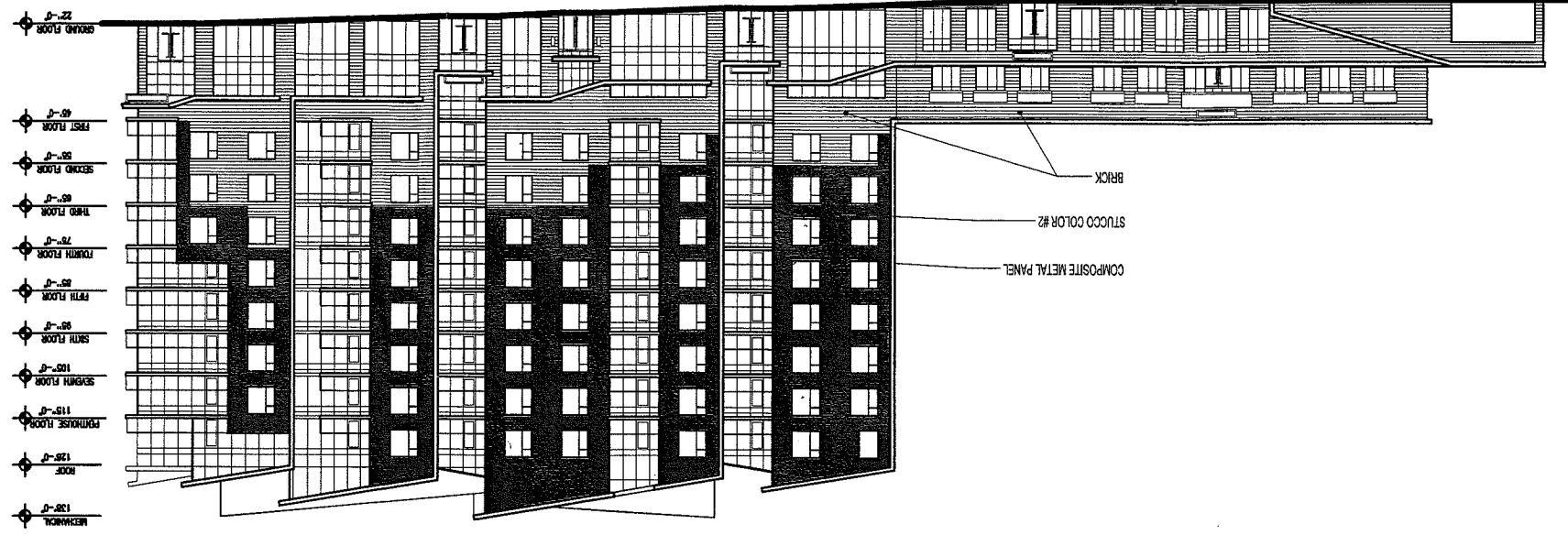


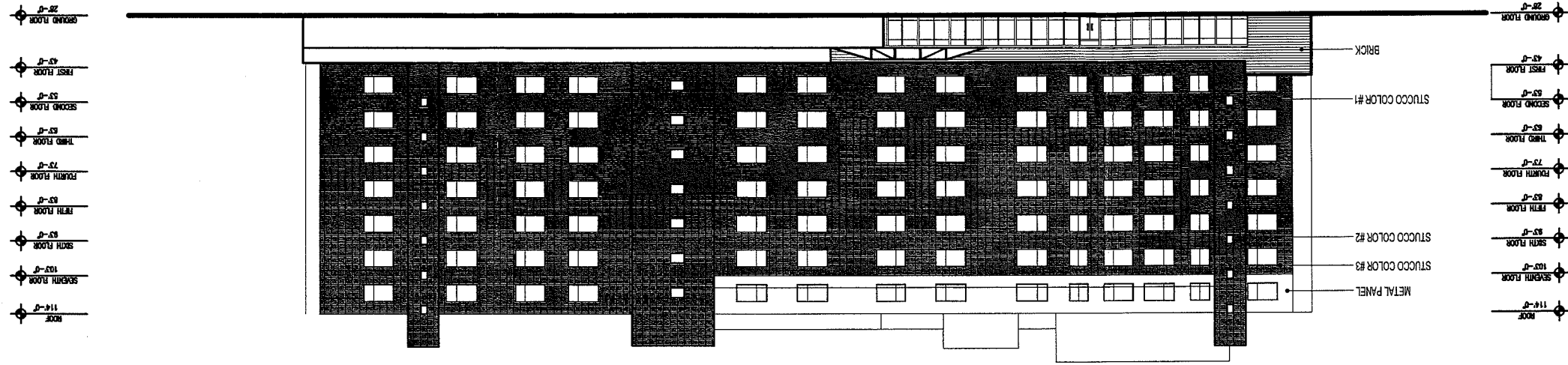
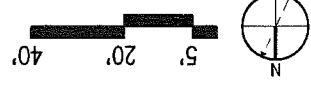


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July 17, 2007

STARWOOD ELEMENT & RESIDENCES AT OLD PORT

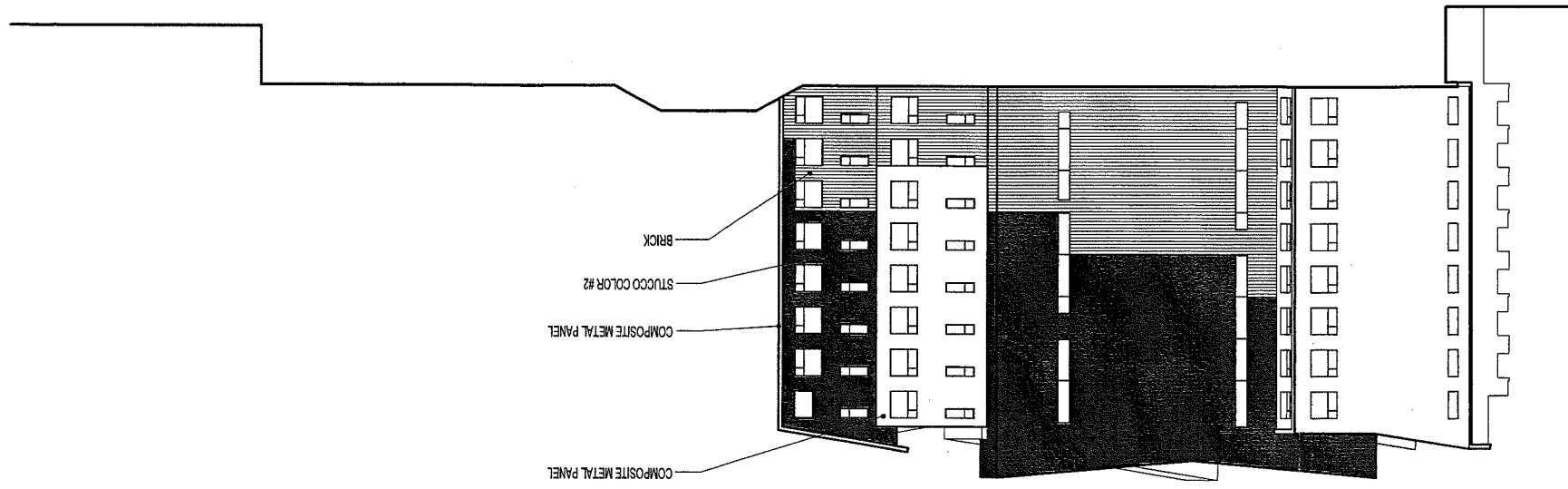
A-209 FORE STREET ELEVATION





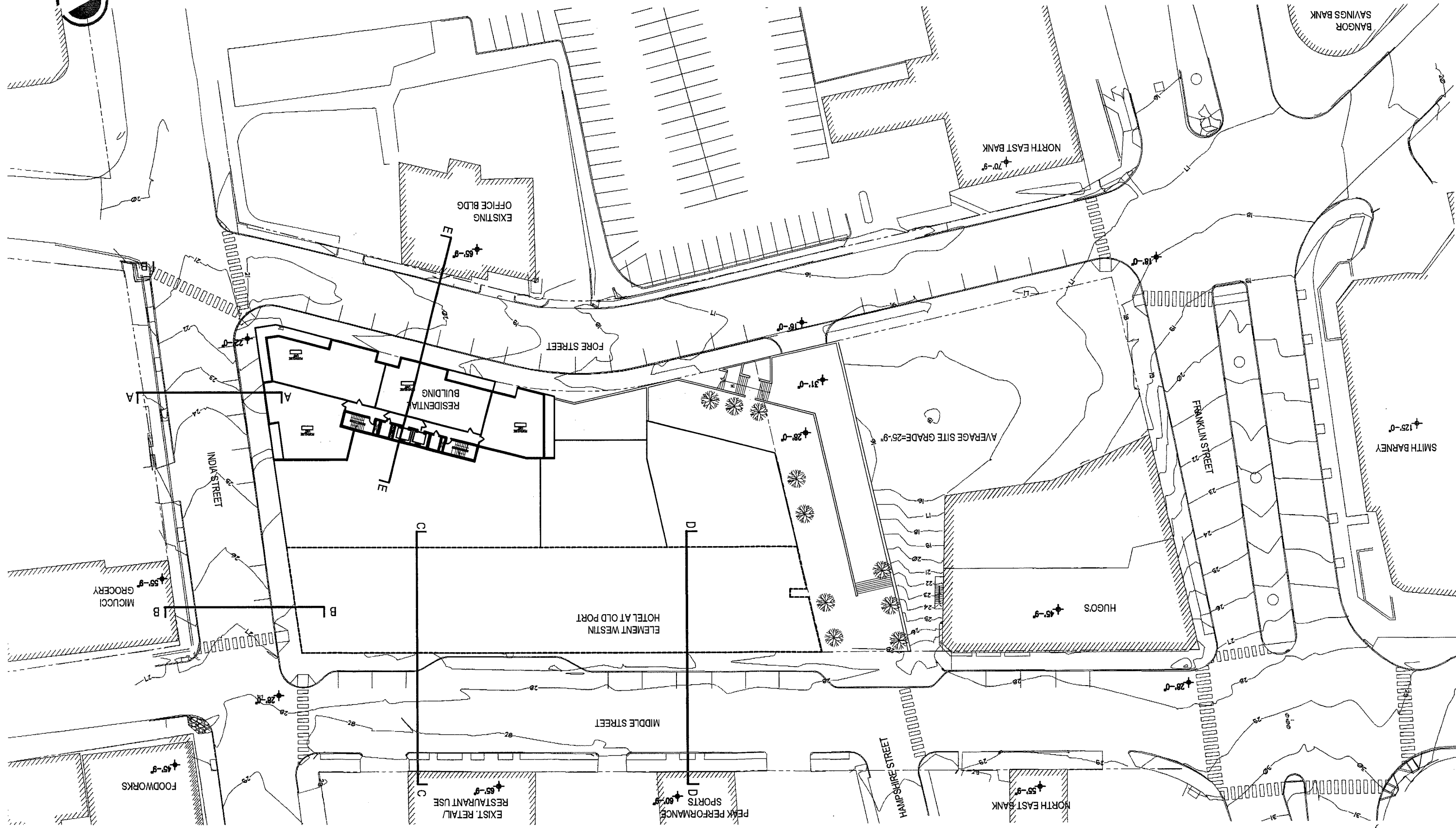
- 130'-0" MECHANICAL
- 128'-0" ROOF
- 126'-0" PENHOUSE FLOOR
- 119'-0" SEVENTH FLOOR
- 105'-0" SIXTH FLOOR
- 95'-0" FIFTH FLOOR
- 85'-0" FOURTH FLOOR
- 75'-0" THIRD FLOOR
- 62'-0" SECOND FLOOR
- 55'-0" FIRST FLOOR
- 45'-0" GRAND FLOOR

- COMPOSITE METAL PANEL
- COMPOSITE METAL PANEL
- STUCCO COLOR #2
- BRICK



5' 20' 40'

element
westin



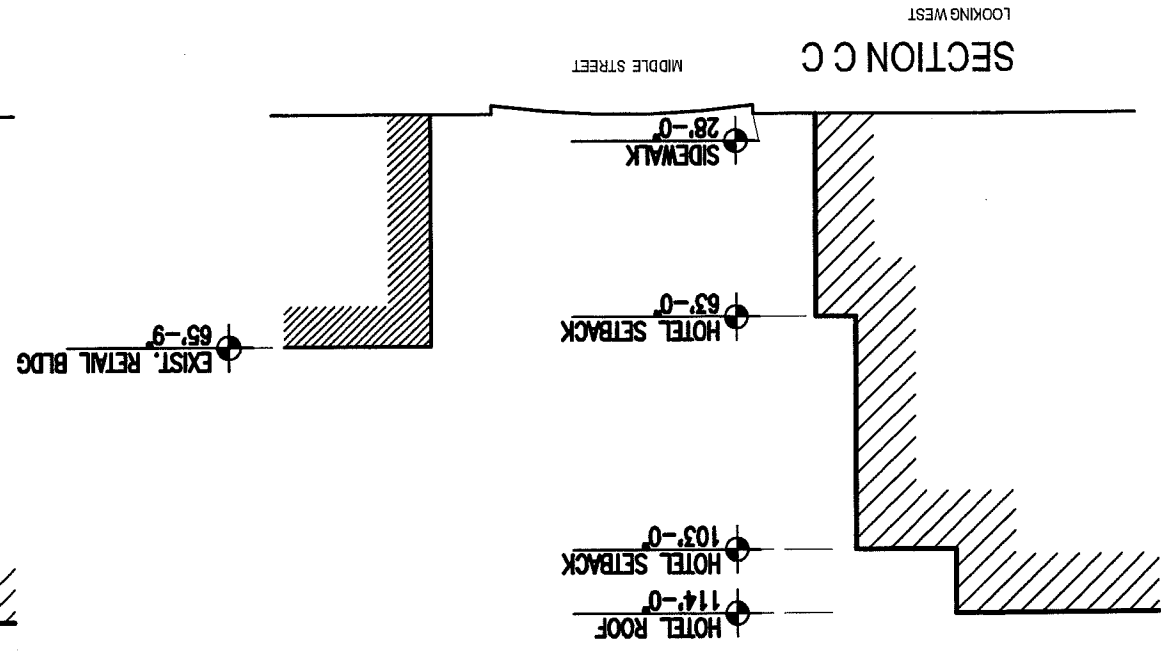
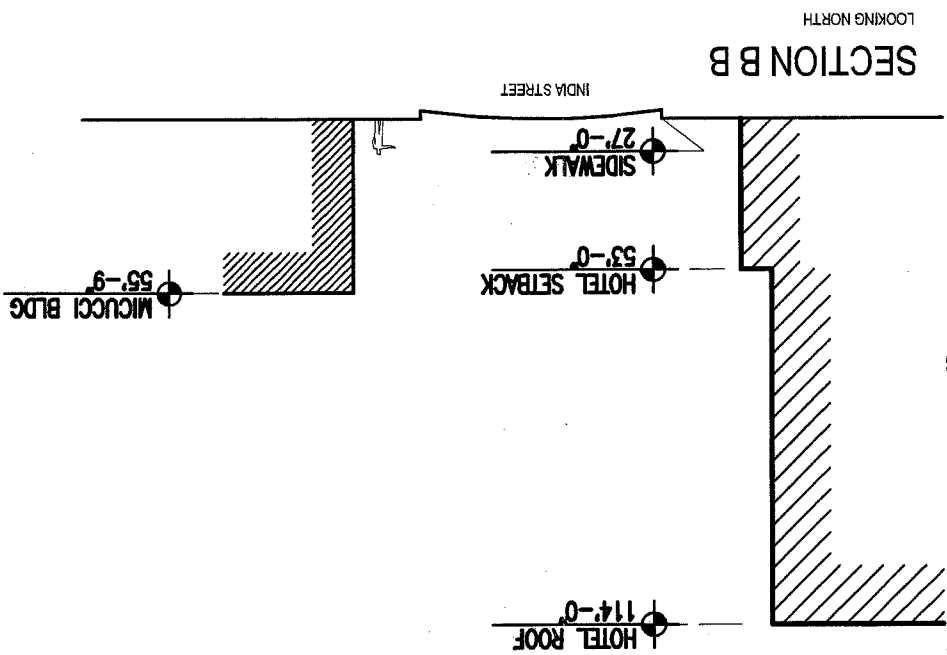
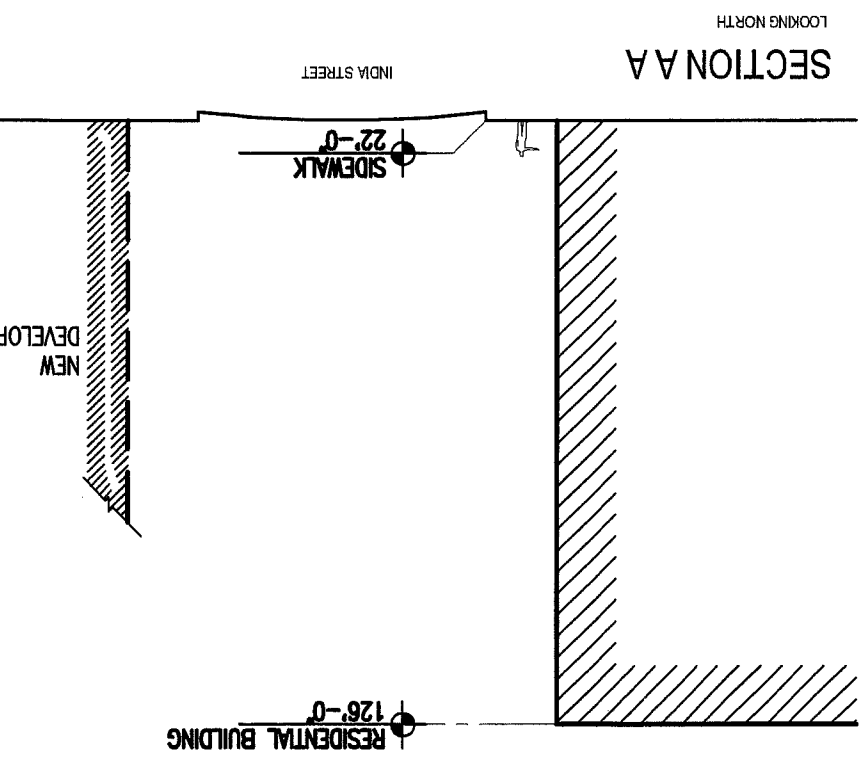
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

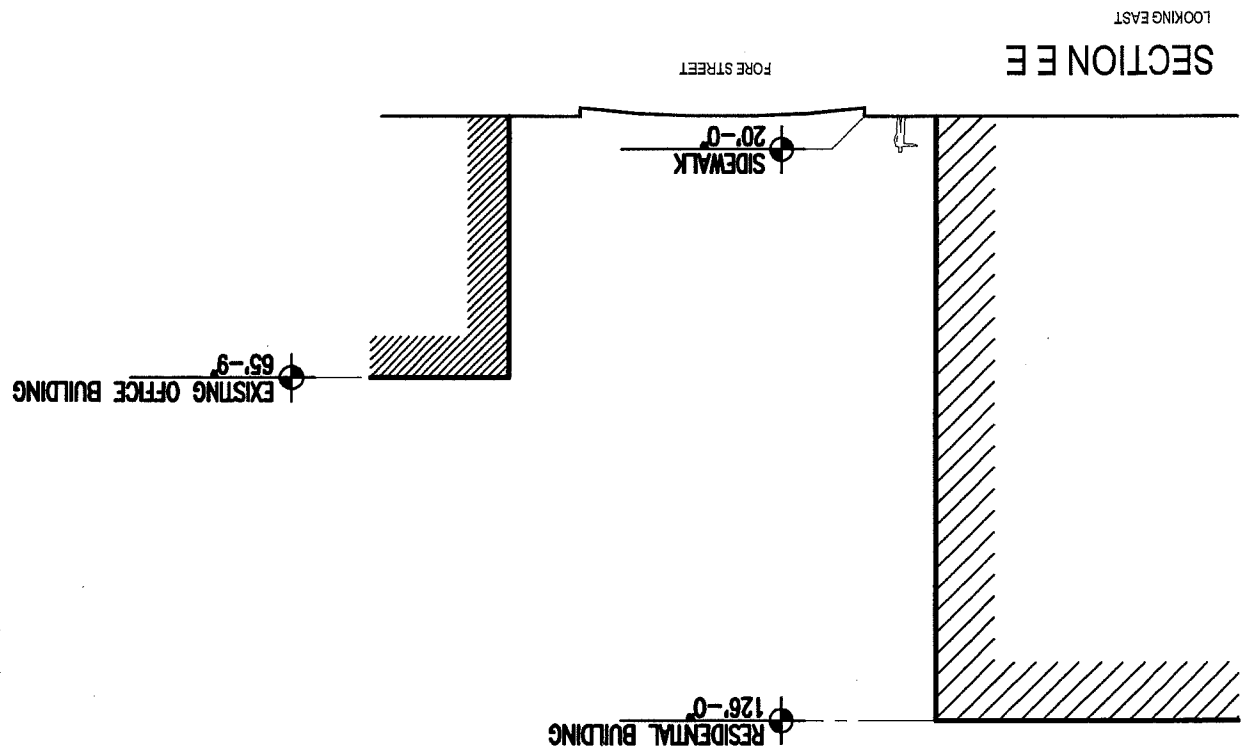
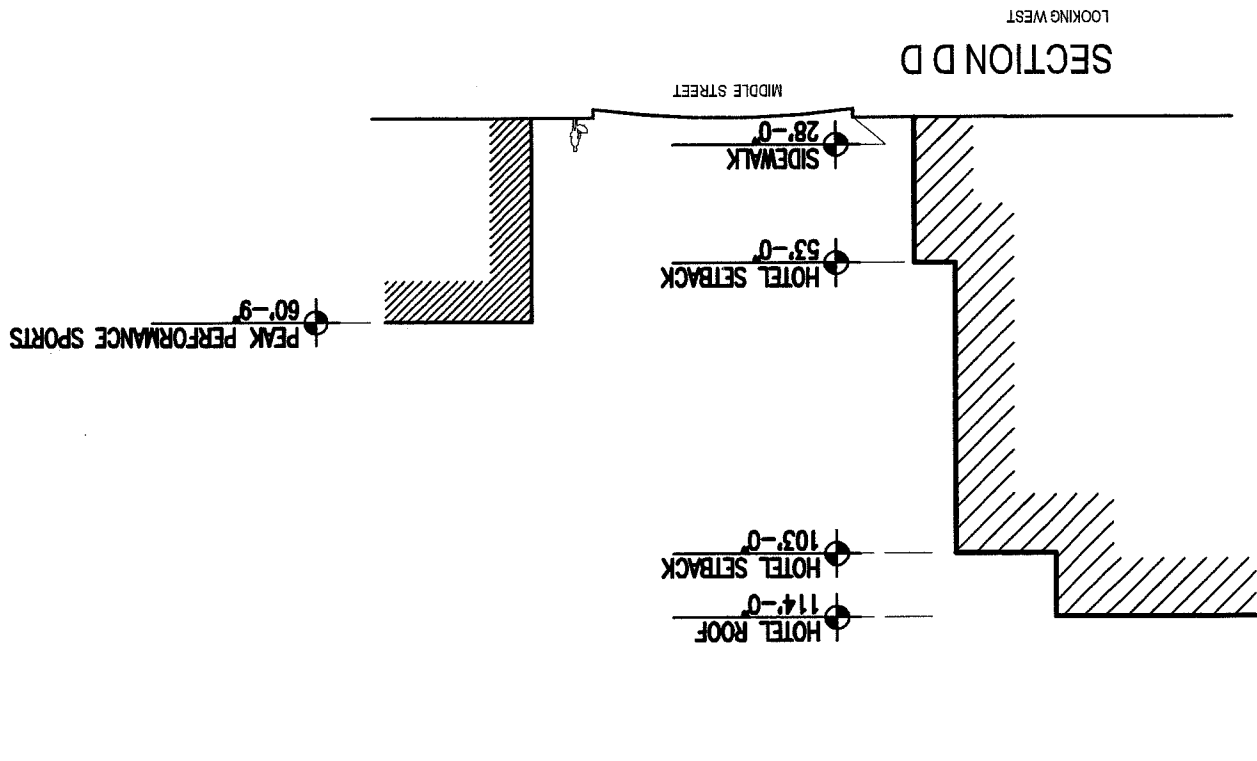
2007280.000
July 17, 2007

SCALE: 1"=50'

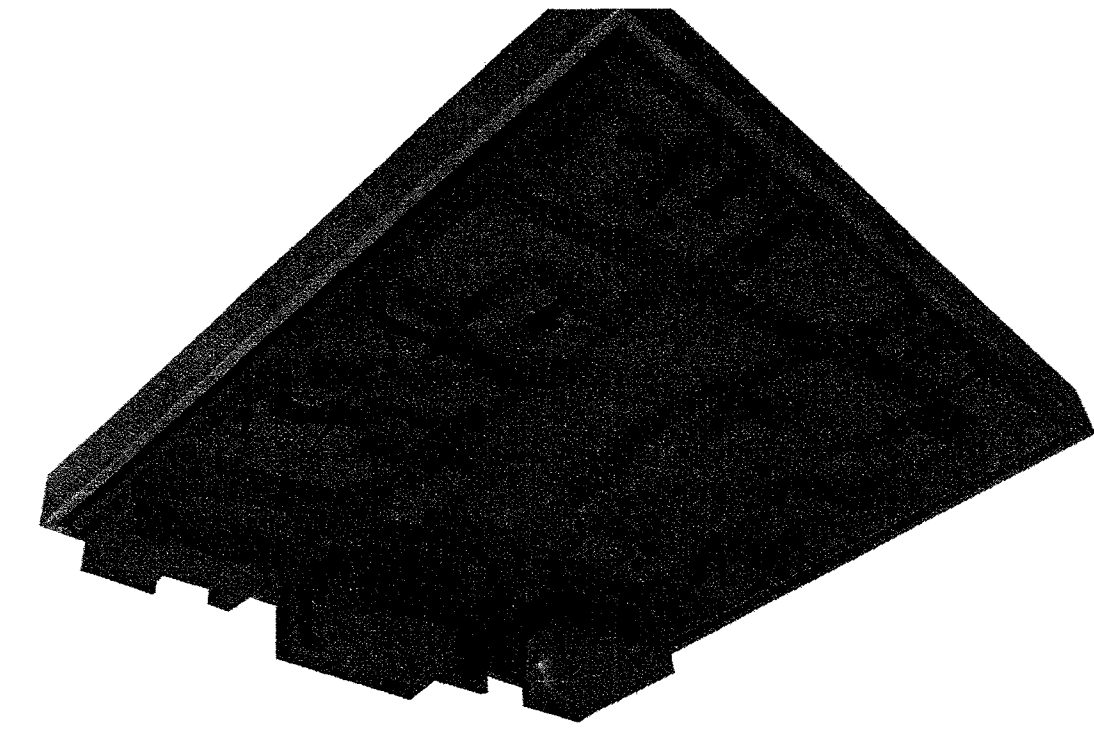
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westin



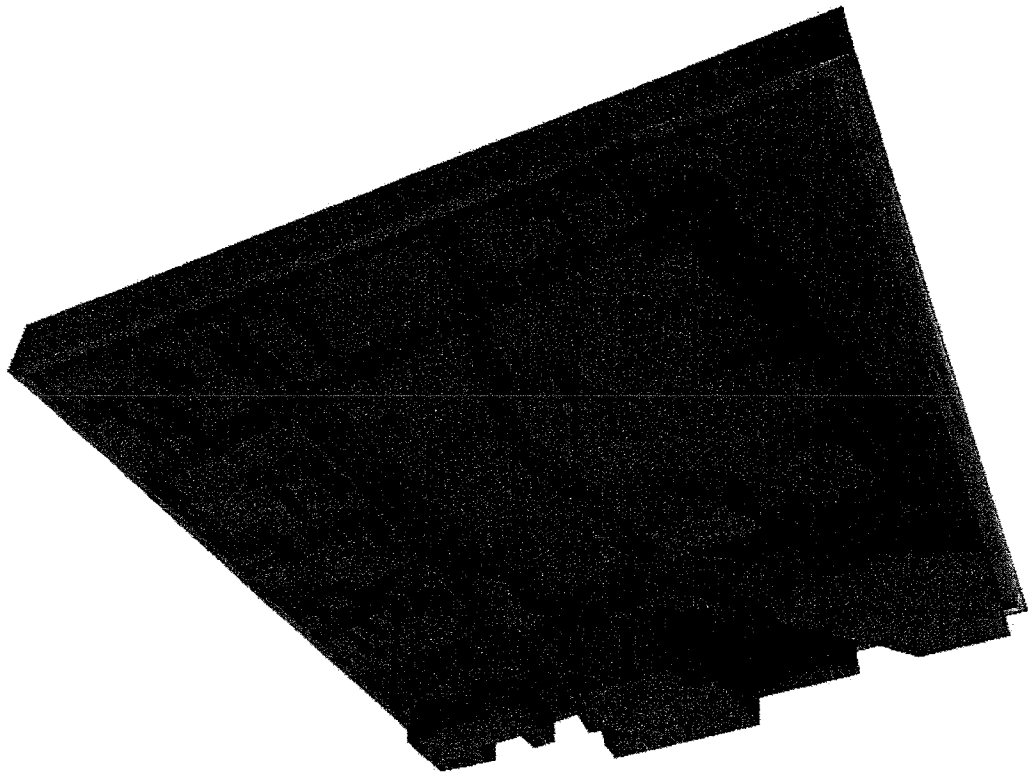




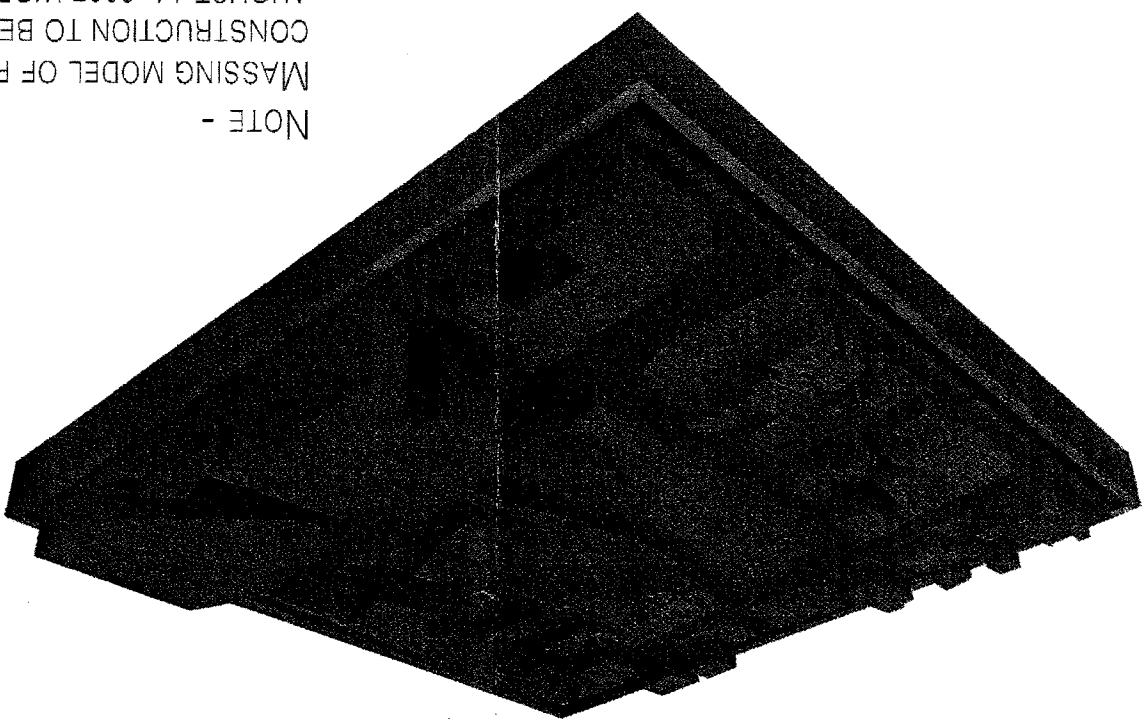
VIEW -LOOKING SOUTHWEST



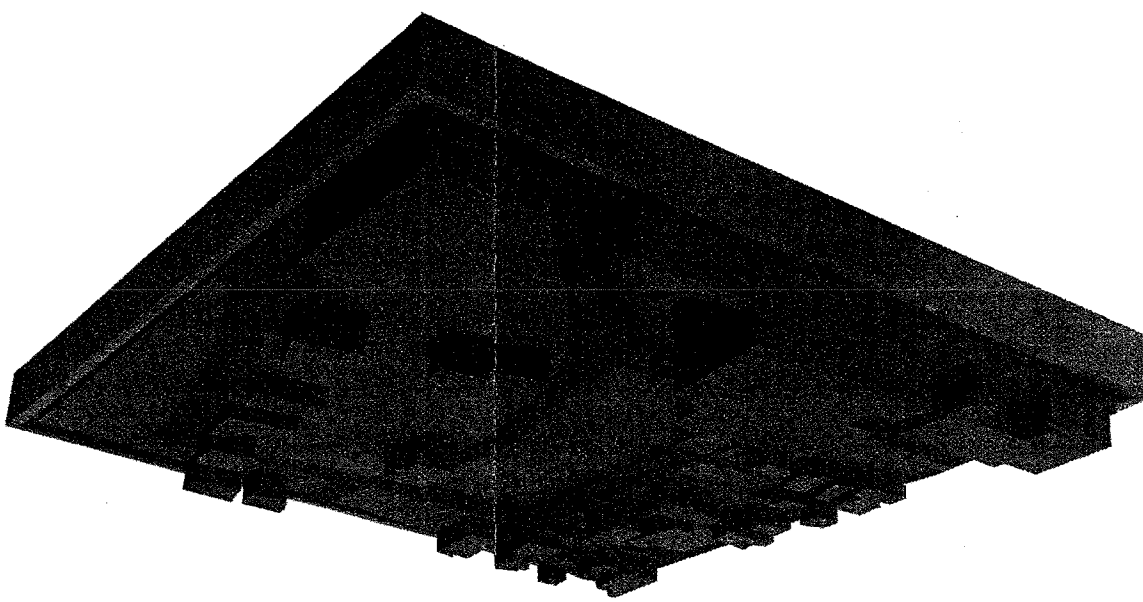
VIEW -LOOKING NORTHWEST



VIEW -LOOKING SOUTHEAST



VIEW -LOOKING NORTHEAST

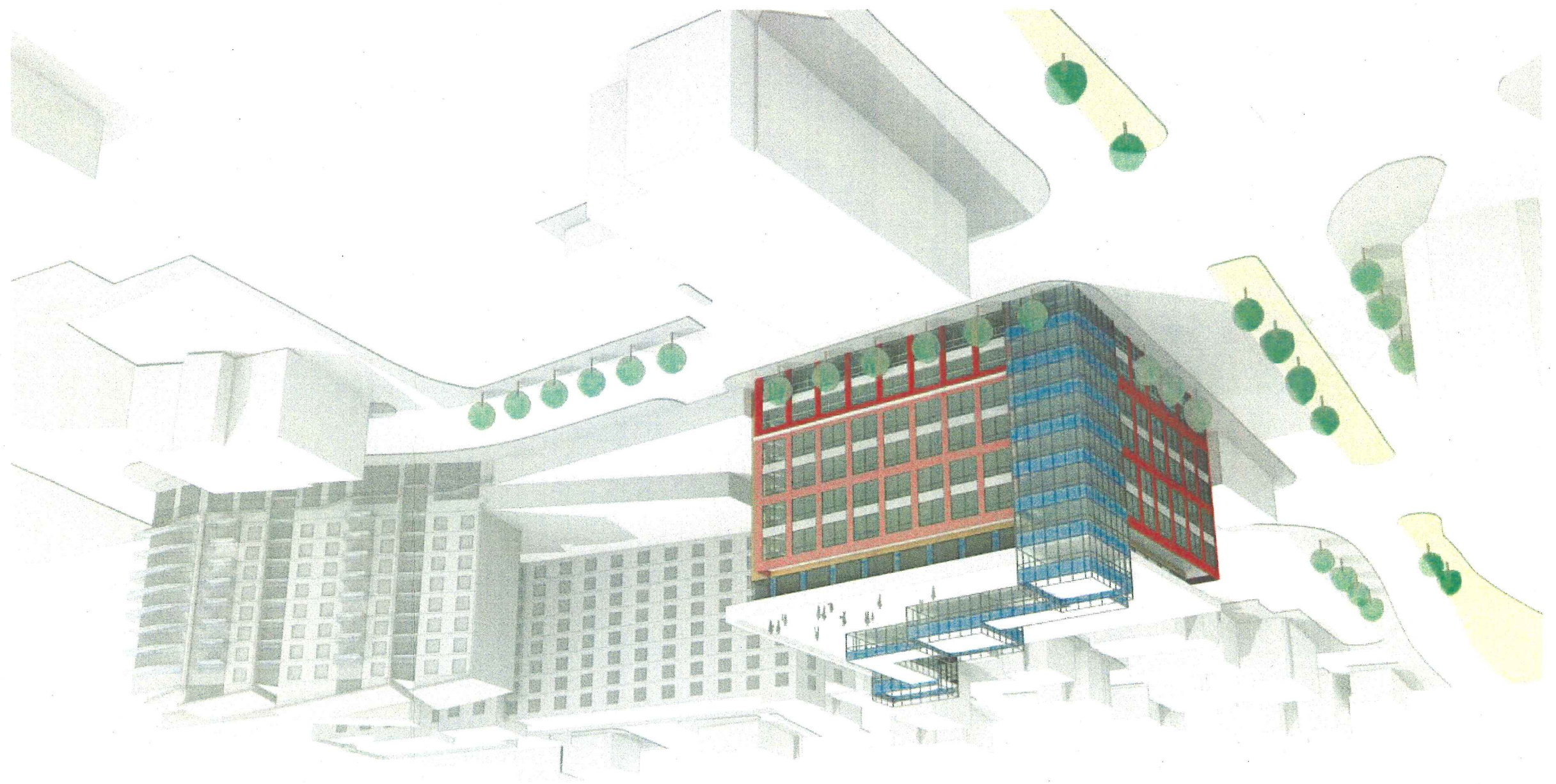


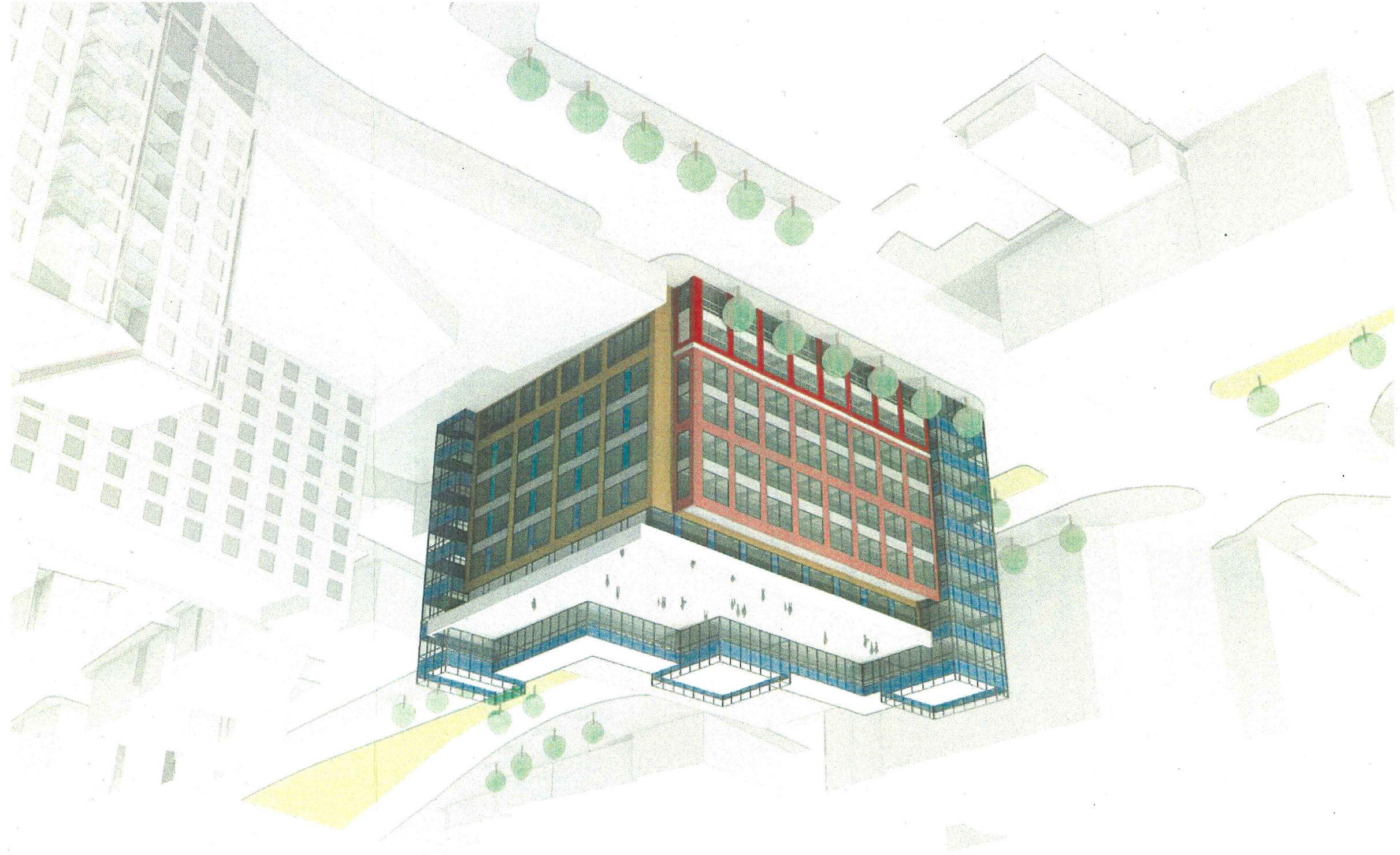
NOTE -
MASSING MODEL OF PROPOSED
CONSTRUCTION TO BE ADDED FOR
AUGUST 14, 2007 WORKSHOP

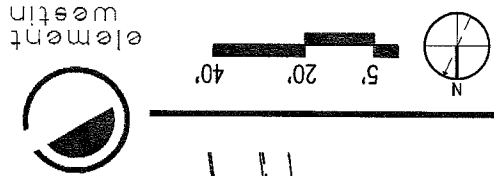
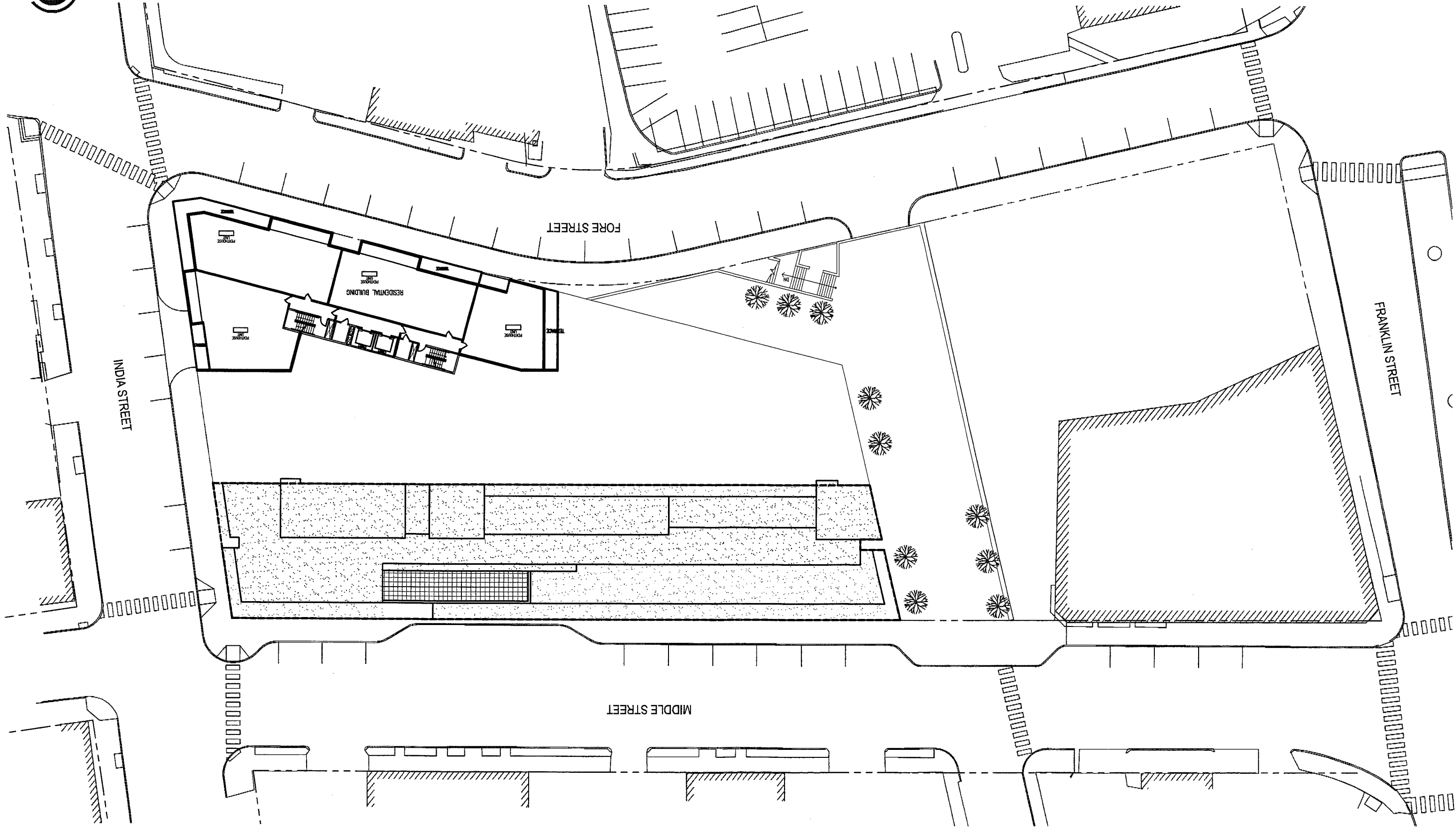


element
westin









2007280.000
July 17, 2007

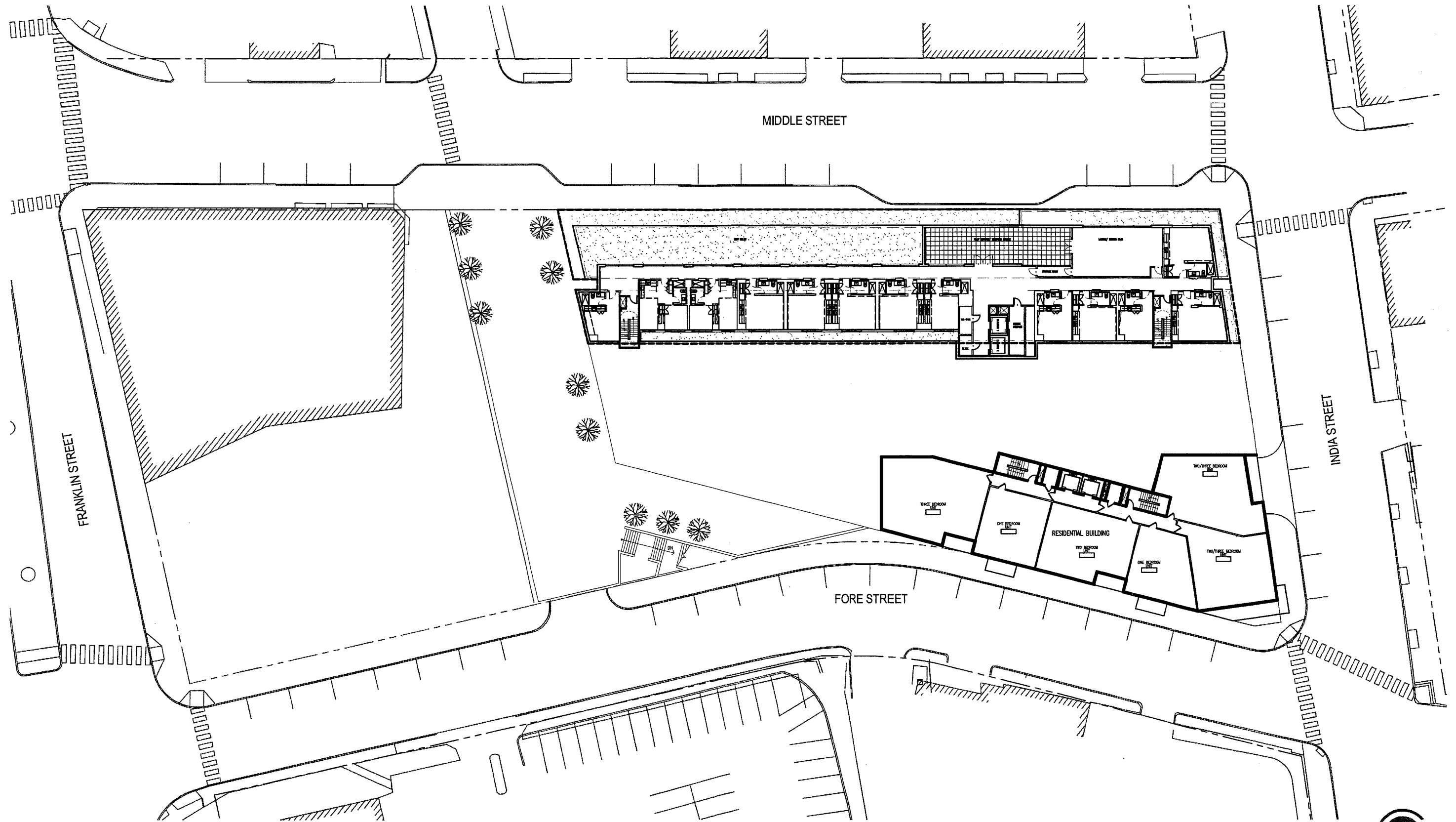
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-108 HOTEL ROOF / CONDO PENTHOUSE PLAN

PME I, L.P.

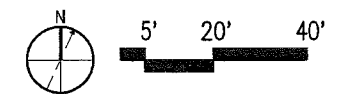
A.5

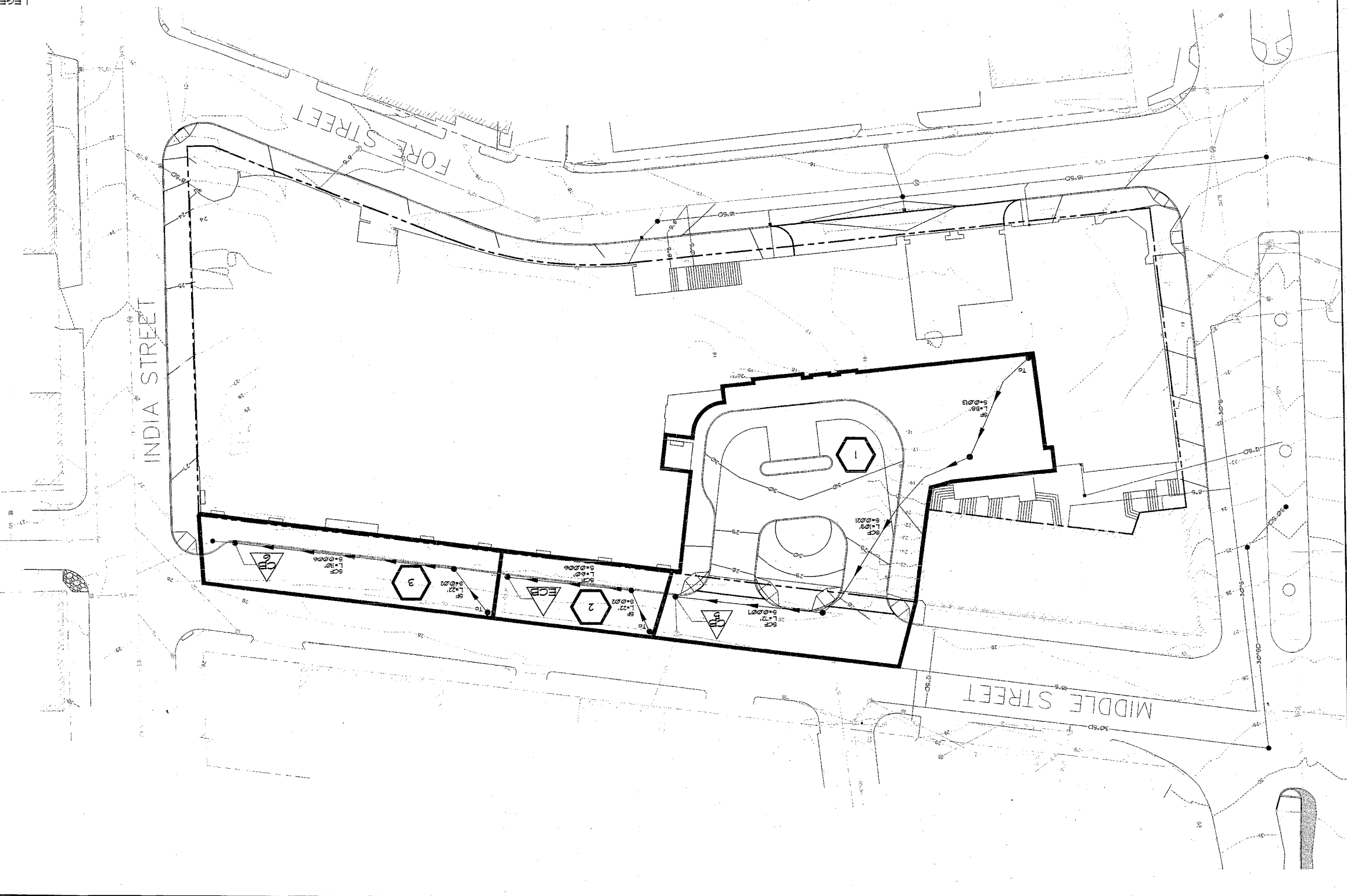
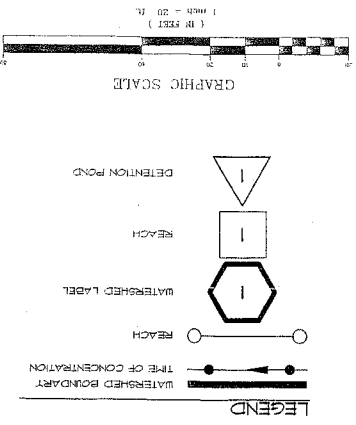
TR0 Jung|Brannen



A-107 SEVENTH FLOOR HOTEL / TYPICAL CONDO PLAN
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

2007280.000
July 17, 2007





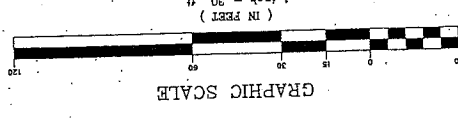
DATE	7-1-05	SCALE	1"=100'
PROJ. NO.	05090	OWNER	YALE
FIELD BOOK	05090001	DESIGN BY	MTW
CHECKED BY			
DATE/SCALE			

POST DEVELOPMENT WATERSHED PLAN - MIDDLE ST.
 WESTIN HOTEL AND RESIDENCES PORTLAND
 PORTLAND, MAINE
 PWE 1 LIMITED PARTNERSHIP
 110 RESERVOIR AVENUE
 GRANBOSCH, RI 02920

Sebago Technics
 Engineering. Expertise. You Can Build On.
 One Central Street
 Westbrook, ME 04092-1239
 Tel: (207) 886-2277

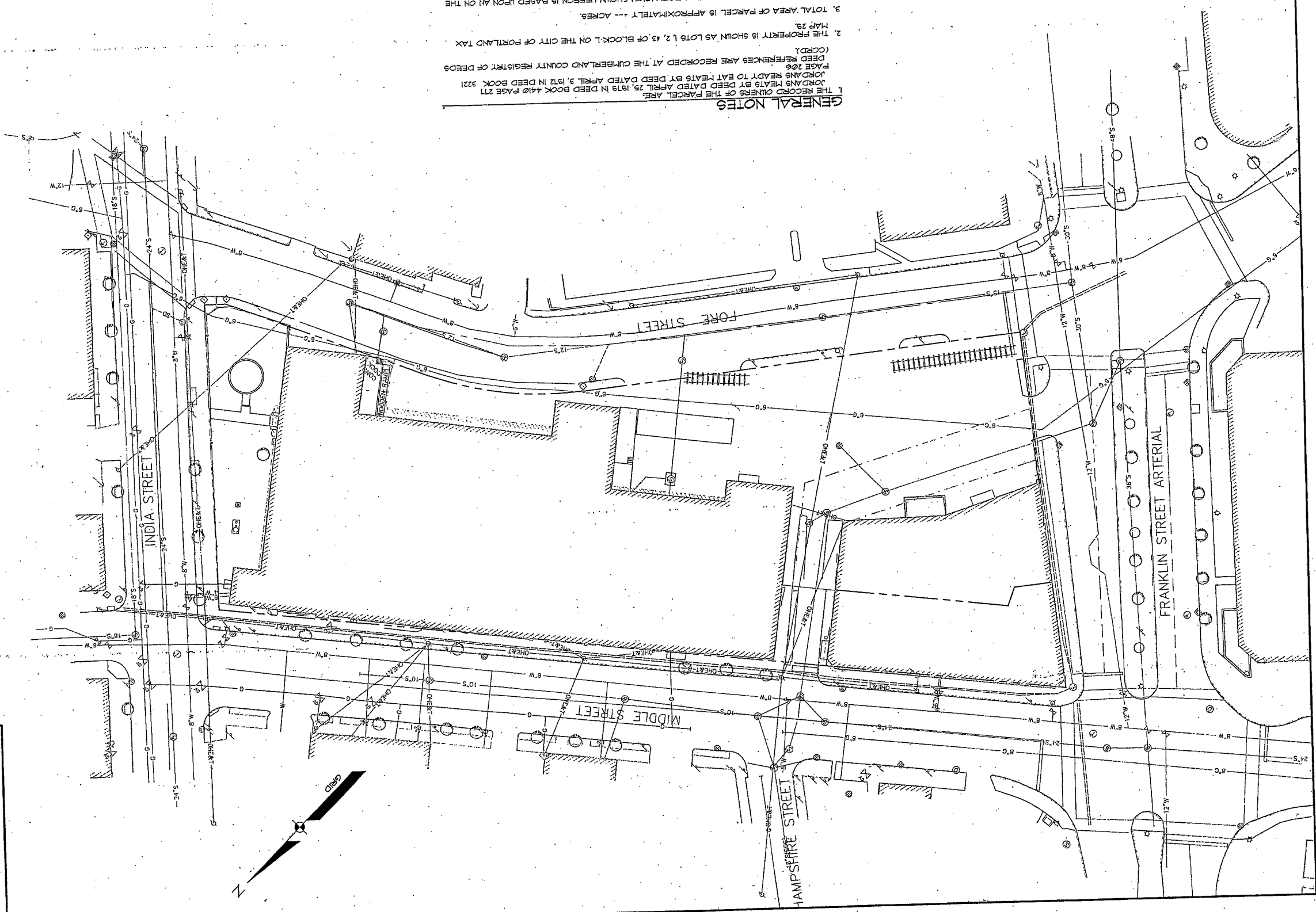
REV.	BY	DATE	STATUS

THIS PLAN AND ANY INFORMATION CONTAINED THEREIN ARE THE PROPERTY OF SEBAGO TECHNICS, INC. NO PART OF THIS PLAN OR ANY INFORMATION CONTAINED THEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SEBAGO TECHNICS, INC.



GENERAL NOTES

1. THE RECORD OWNERS OF THE PARCEL ARE: JORDAN HEATHS BY DEED DATED APRIL 25, 1919 IN DEED BOOK 440 PAGE 271 221 PAGE 328 JORDAN HEATHS BY DEED DATED APRIL 3, 1912 IN DEED BOOK 271 221 (CCRD)
2. THE PROPERTY IS SHOWN AS LOTS 1, 2, 43 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 25.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY --- ACRES.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY BY SEBAGO TECHINCS, INC. PERFORMED IN APRIL OF 2005.
5. PLAN REFERENCES: A. LAND TITLE SURVEY FOR JORDAN HEATHS, BY TITICOMB ASSOCIATES, DATED FEBRUARY 2, 1992 AND LAST REVISED JULY 16, 1998.
6. THE BEARINGS, COORDINATES, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD83 IN US FEET.



LEGEND

DESCRIPTION	PROPOSED	EXISTING
PROPERTY ROW	---	---
SETBACK	---	---
EASEMENT	---	---
CENTERLINE	---	---
TOWNSHIP	---	---
IRON PIPE/ROD	---	---
DRAWLINE NO.	---	---
DRILLHOLE	---	---
BUILDING	---	---
EDGE PAVEMENT	---	---
GRAVEL ROAD	---	---
CURBLINE	---	---
TEST PIT	---	---
MONITORING WELL	---	---
BORING	---	---
CONTOURS	---	---
GAS	---	---
WATER	---	---
SEWER	---	---
STORM DRAIN	---	---
FORCE MAIN	---	---
OVERHEAD	---	---
ELEC. & TEL	---	---
UNDERGROUND	---	---
ELEC. & TEL	---	---
UNDERGROUND	---	---
TRAFIC SIGNAL PAD	---	---
GATE VALVE	---	---
LIGHT POLE	---	---
UTILITY POLE	---	---
HYDRANT	---	---
CATCH BASIN	---	---
MANHOLE	---	---
SPOT GRADE	---	---
CHAIN LINK FENCE	---	---
BARS WIRE FENCE	---	---
STOCKADE FENCE	---	---
DECIDUOUS TREE	---	---
CONIFEROUS TREE	---	---
GUARDRAIL	---	---
RAILROAD	---	---
ZONE LINE	---	---
BENCHMARK	---	---
UTILITY CONTROL	---	---

LOCATION MAP

ALTA/ASSM LAND TITLE SURVEY
 OF: **JORDAN'S GREAT PROPERTY**
 FORE ST, INDIA ST, MIDDLE ST, FRANKLIN ST ARTERIAL
 PORTLAND, MAINE
 FOR: **PME 1 LIMITED PARTNERSHIP**
 197 FIRST AVENUE, SUITE 110
 NEEDHAM, MA 02494

Sebago Technics
 Engineering & Digital Street
 100 Water Street, 4th Floor
 Portland, ME 04101-1339
 Tel: (207) 856-0277
 Fax: (207) 856-0277

PROJECT NO: FIELD BOOK DESIGNER: CHNO DRAWN: G6090DEC

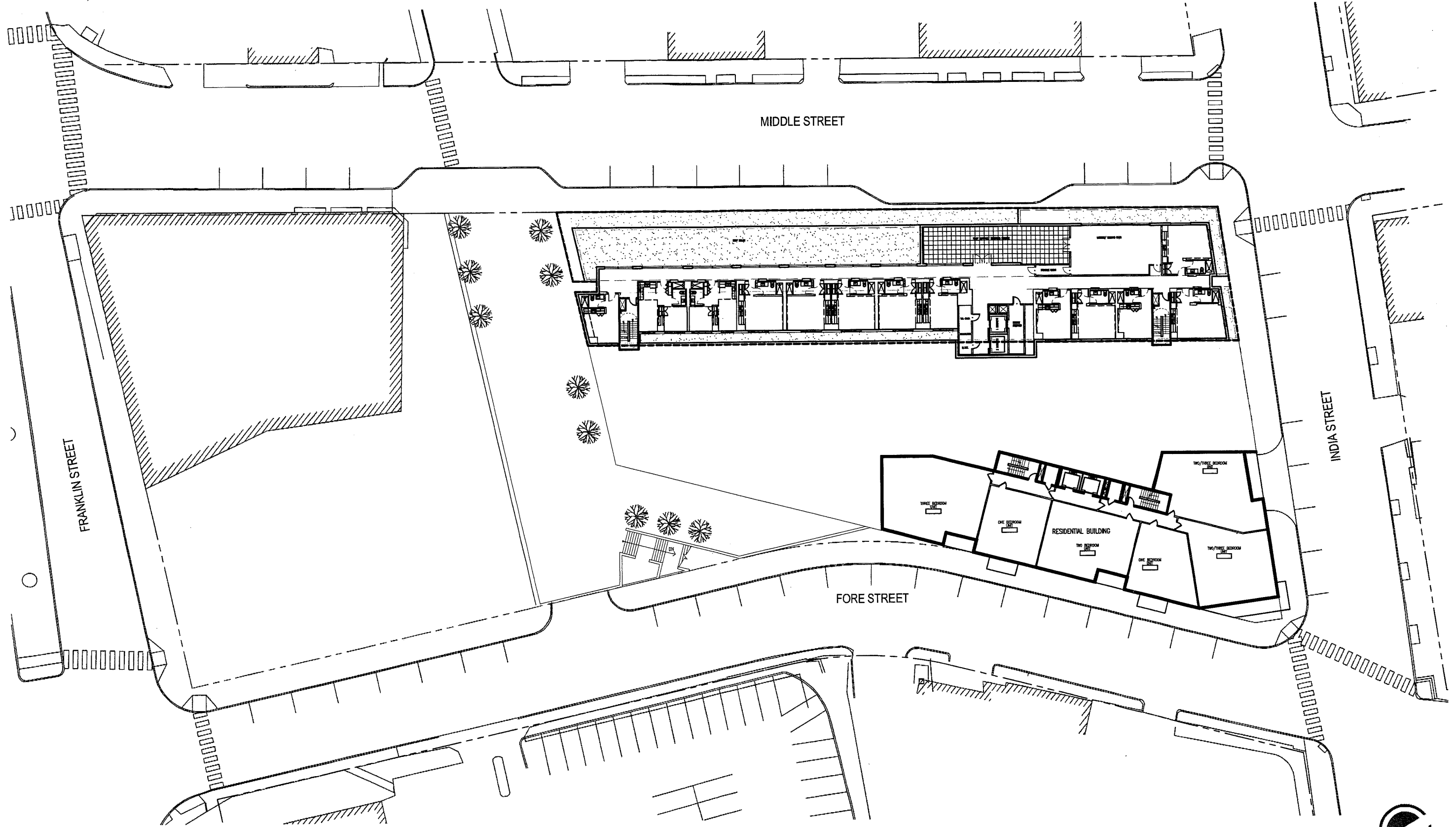
REV.	BY	DATE	STATUS

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHINCS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHINCS, INC.

PME I, L.P.

A.5

TR0 Jung|Brannen

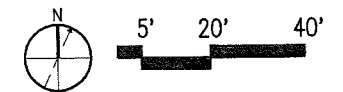


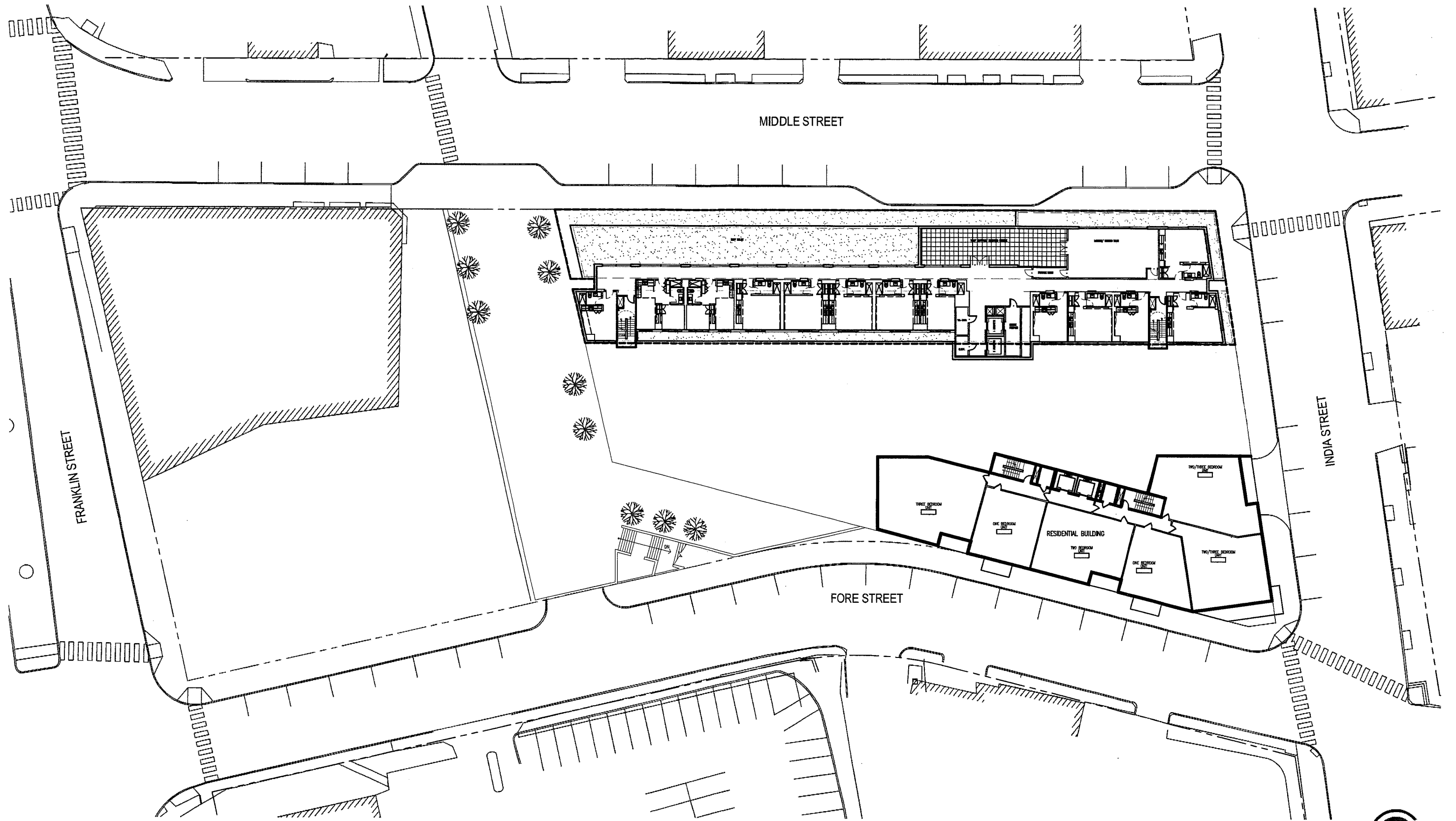
A-107 SEVENTH FLOOR HOTEL / TYPICAL CONDO PLAN

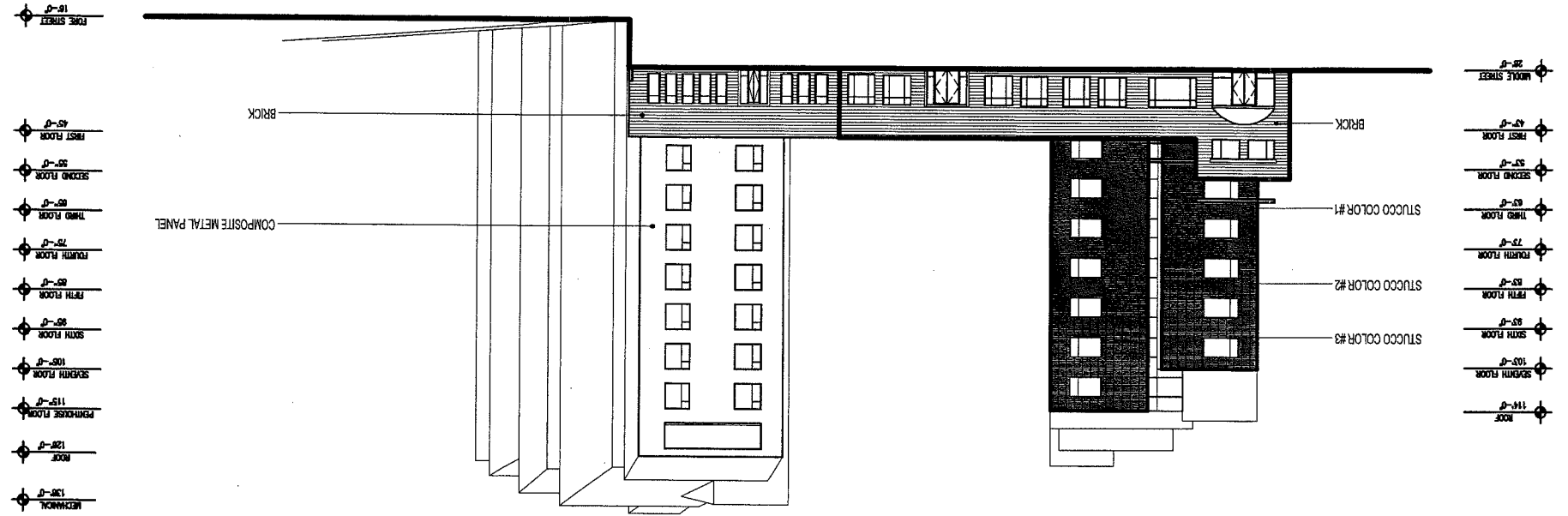
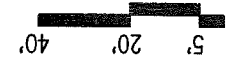
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

2007280.000

July 17, 2007



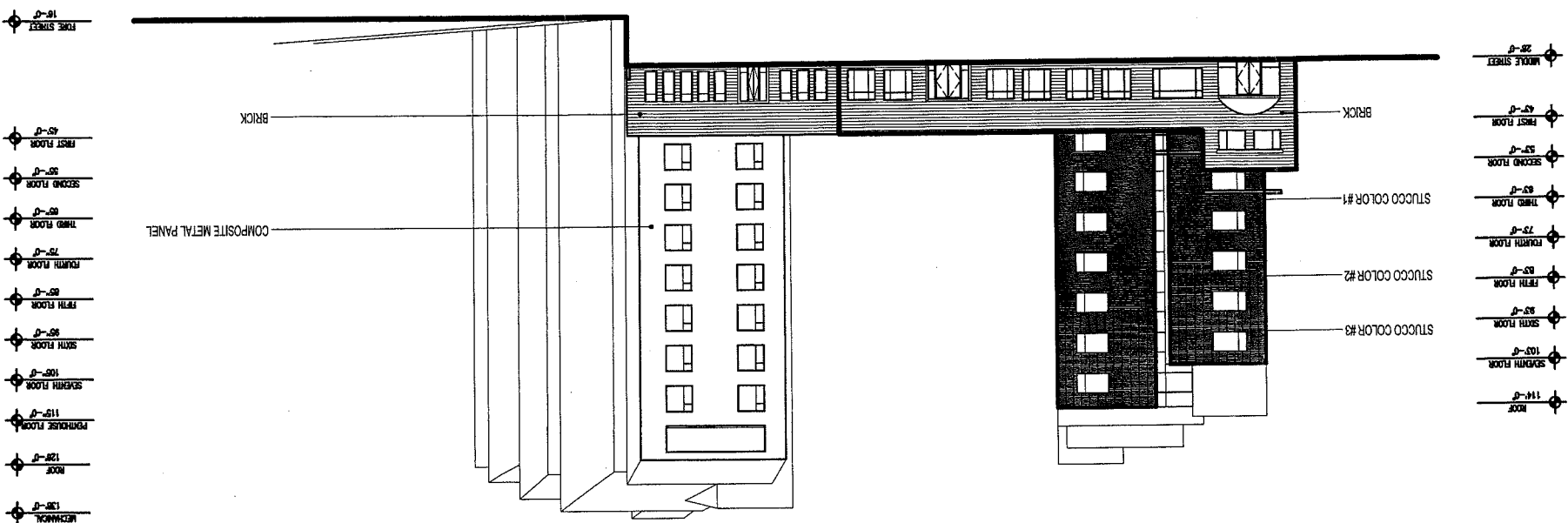




A-204 PLAZA ELEVATION
 STARWOOD ELEMENT & RESIDENCES AT OLD PORT

2007280.000
 July 17, 2007

element
 westin



PME I, L.P.

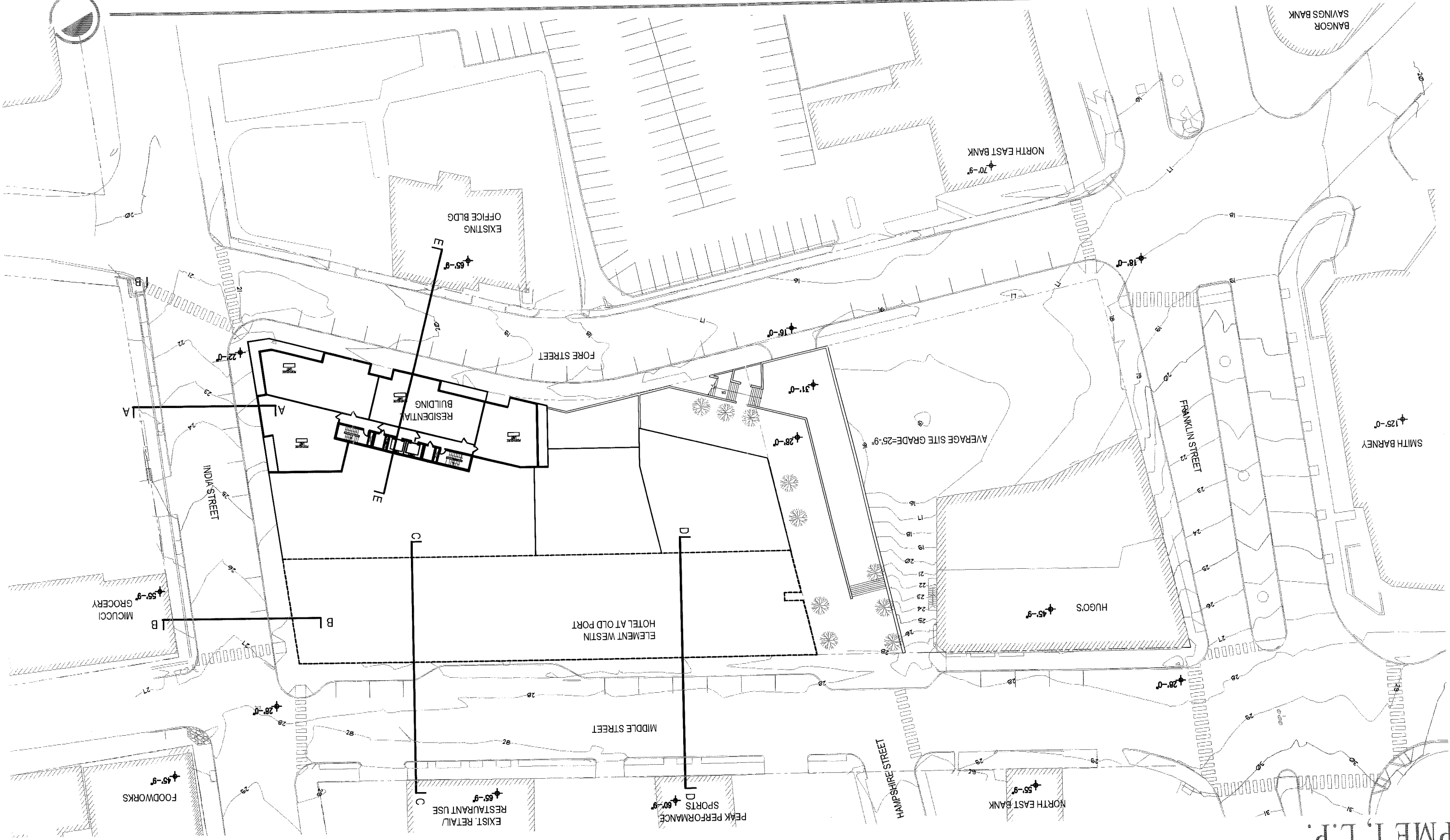
TR0 Jung|Brannen

A-10

PME I, L.P.

TRÖ Jung|Brannen



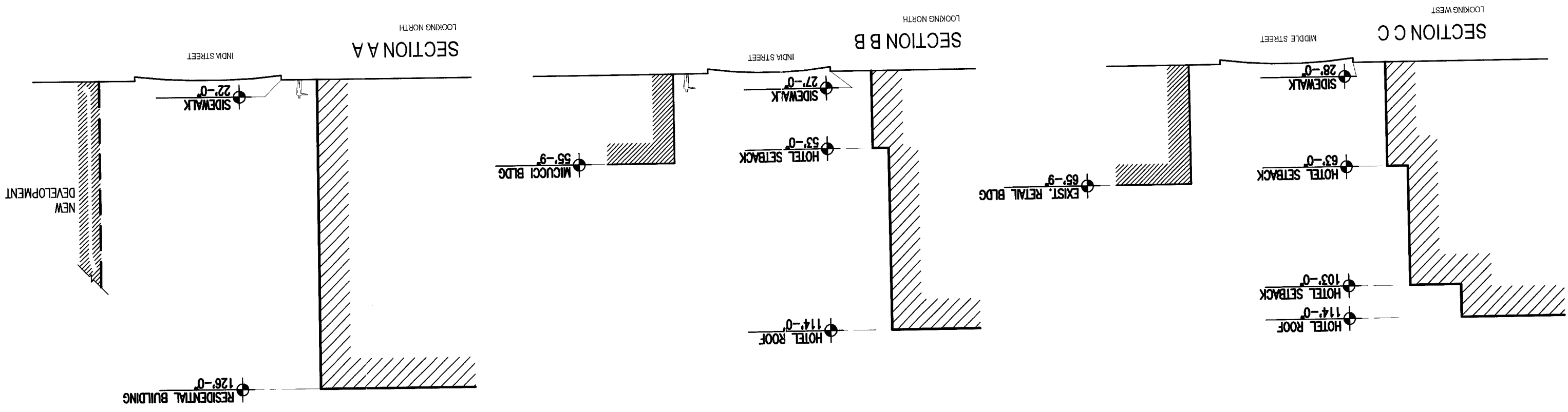


element
westin

SCALE: 1"=50'

2007280.000
July 17, 2007

STARWOOD ELEMENT & RESIDENCES AT OLD PORT



SCALE: 1/8" = 1'-0"
element westin

2007280.000
July 17, 2007

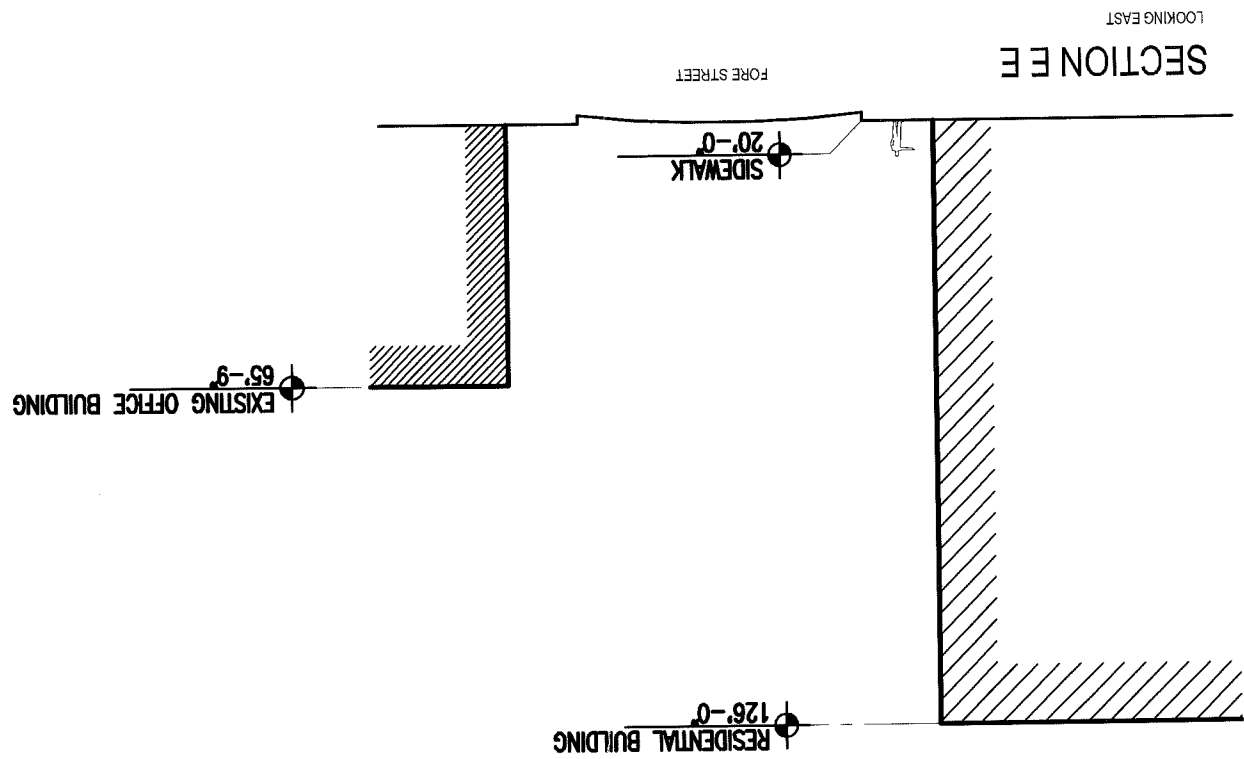
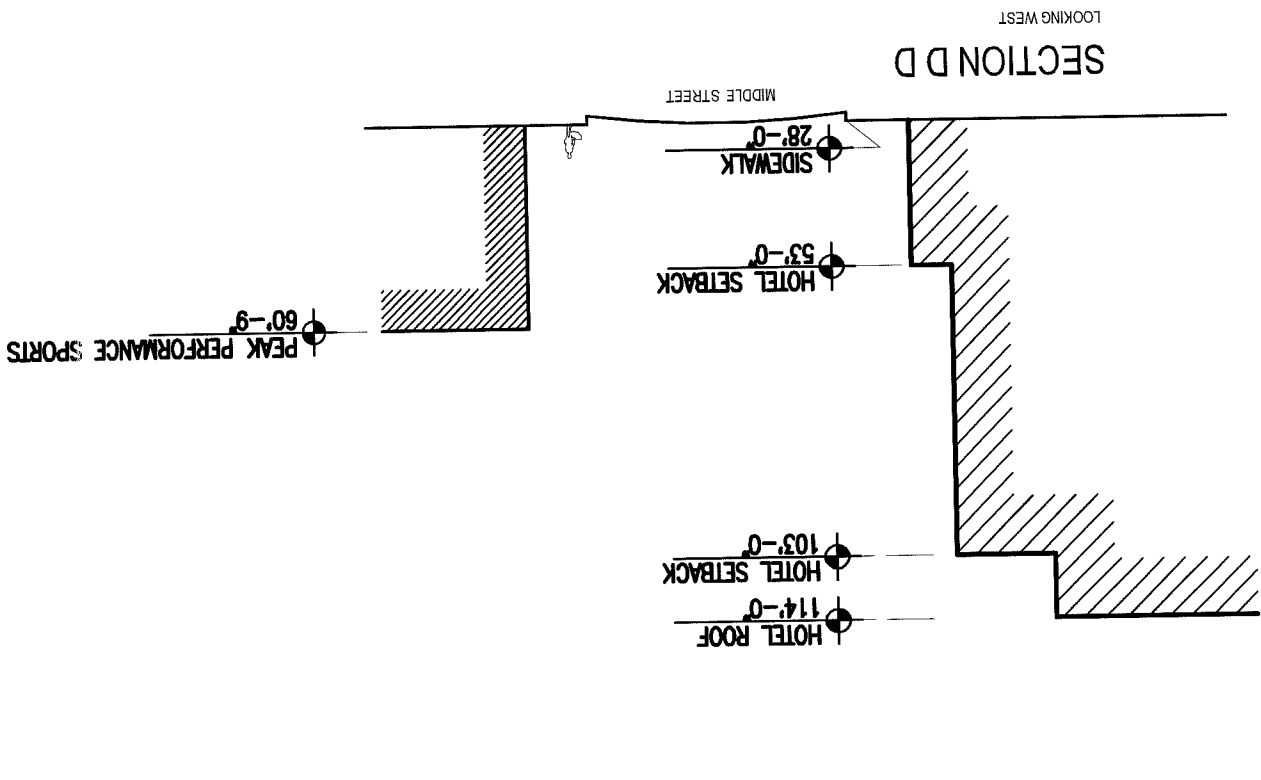
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

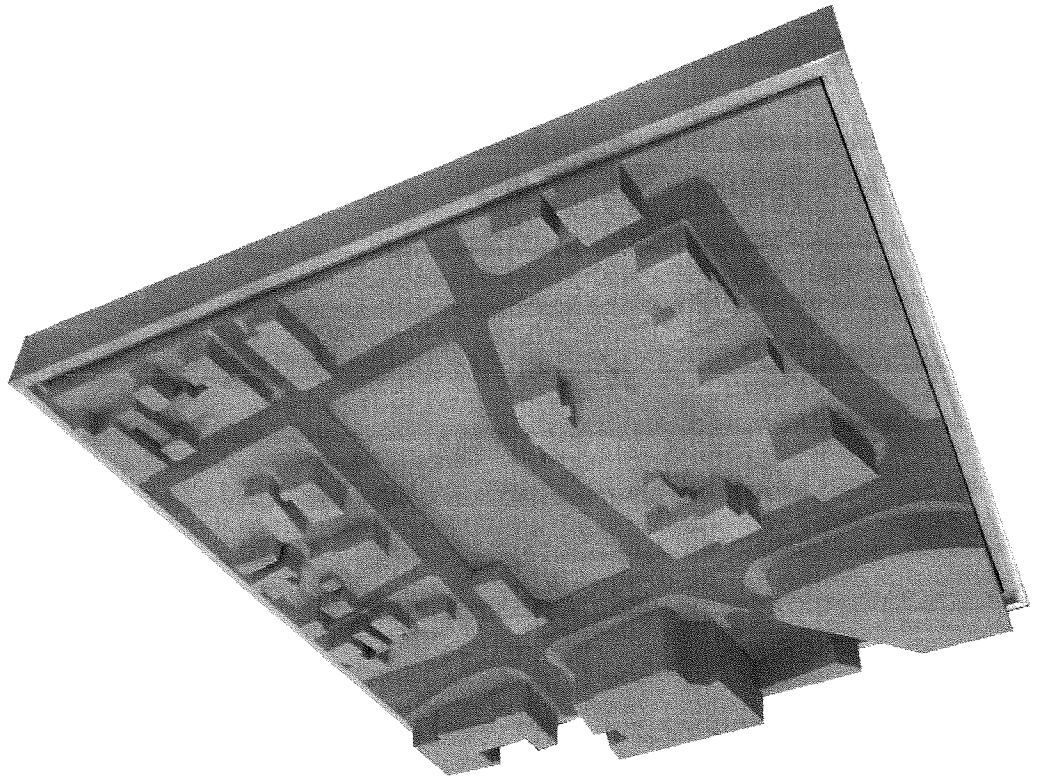
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

2007280.000
July 17, 2007

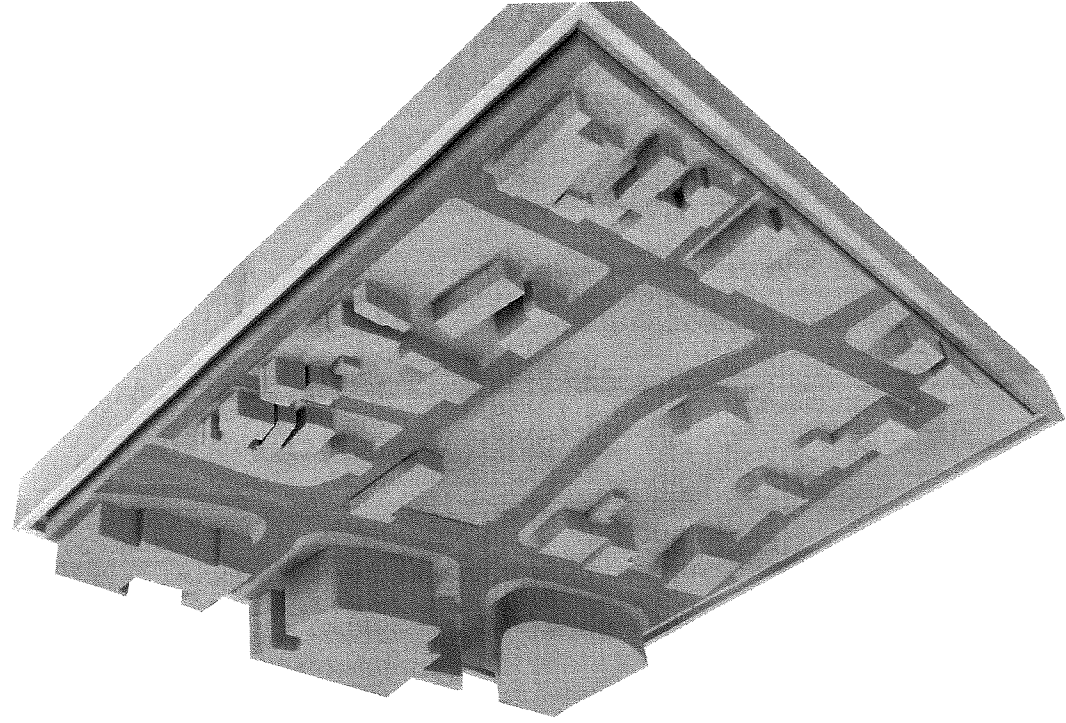
SCALE: 1/8" = 1'-0"

element
westin

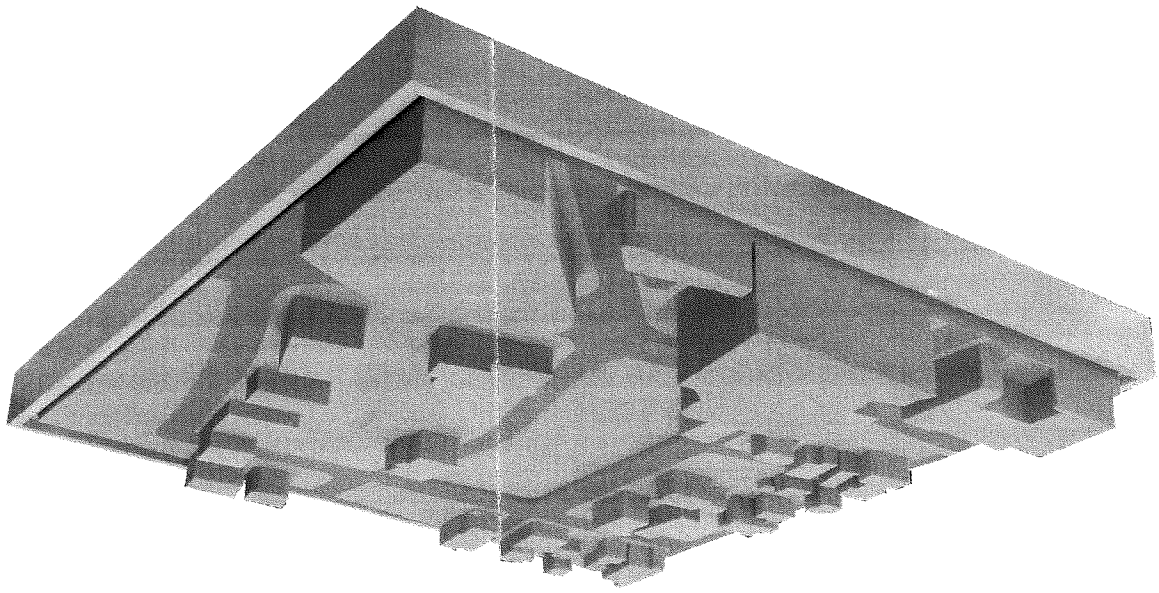




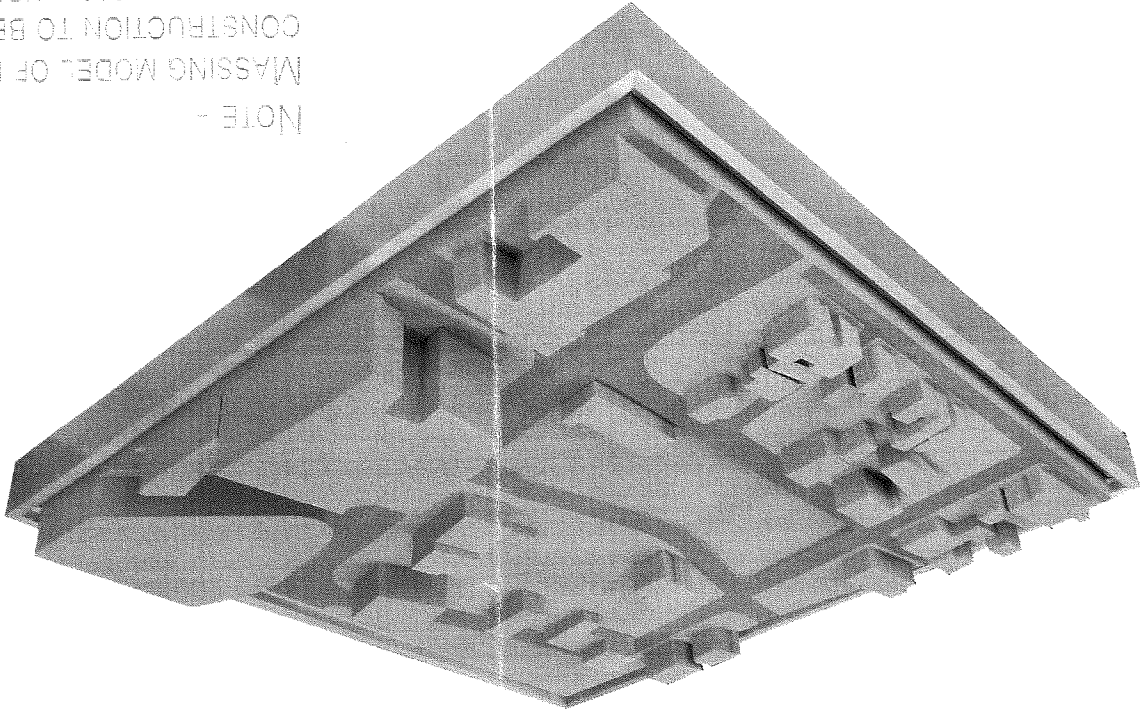
VIEW -LOOKING NORTHWEST



VIEW -LOOKING SOUTHWEST



VIEW -LOOKING NORTHEAST



VIEW -LOOKING SOUTHEAST

NOTE -

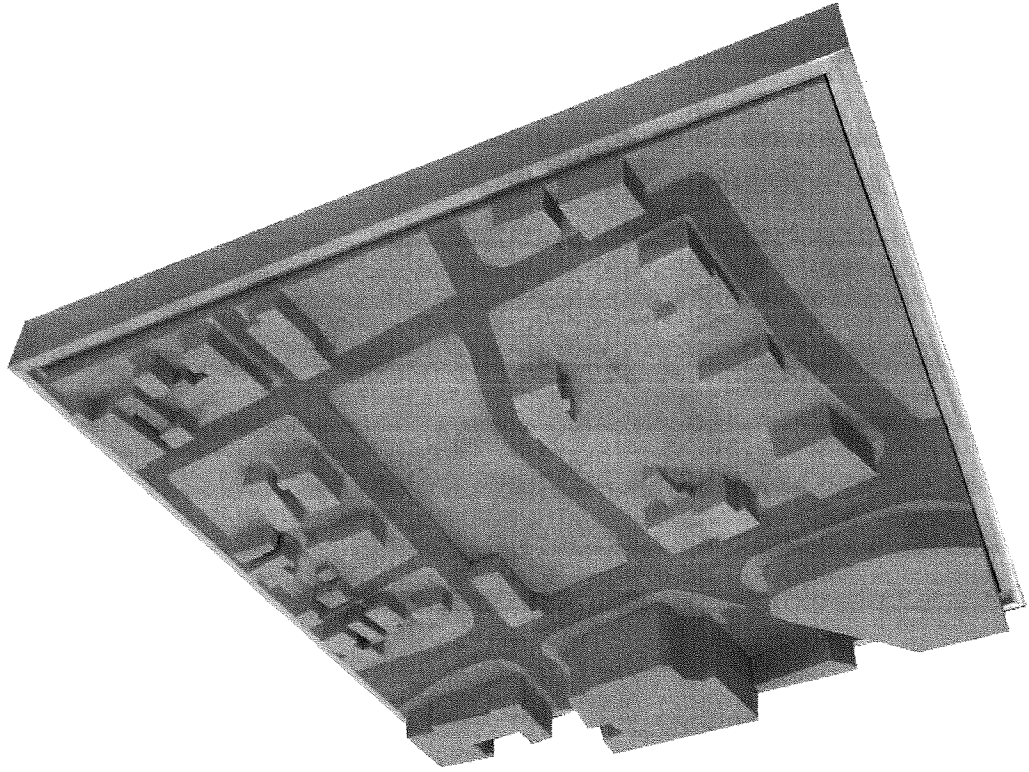
MASSING MODEL OF PROPOSED
CONSTRUCTION TO BE ADDED FOR
AUGUST 14, 2007 WORKSHOP



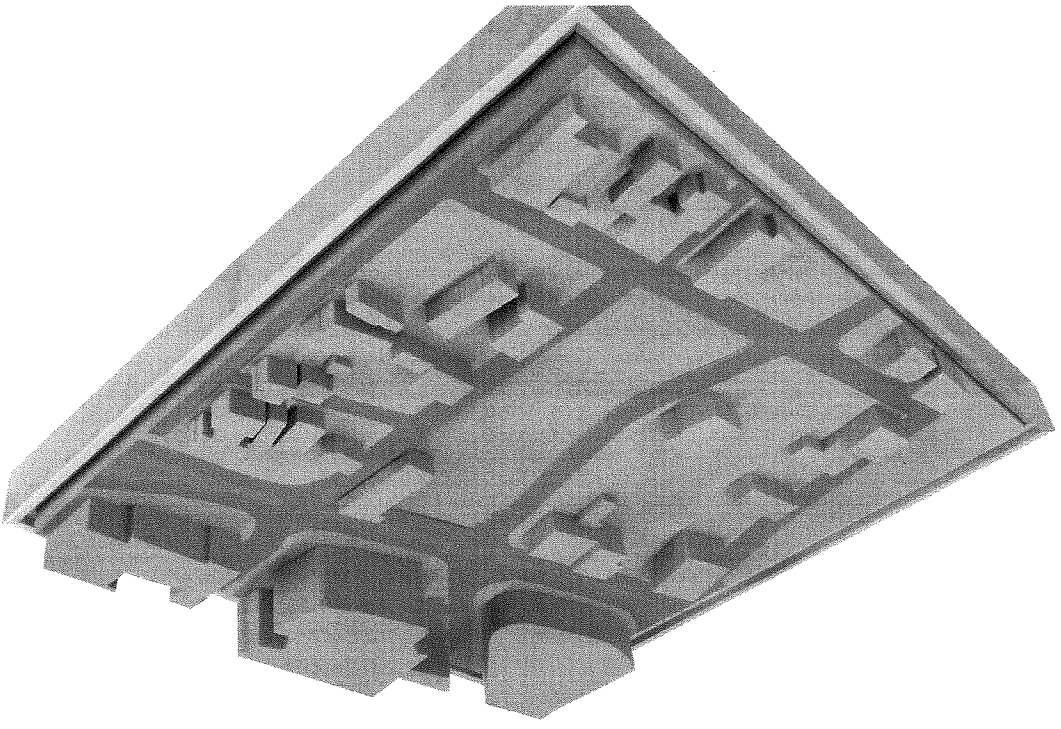
element
west inc

2007280.000
July 17, 2007

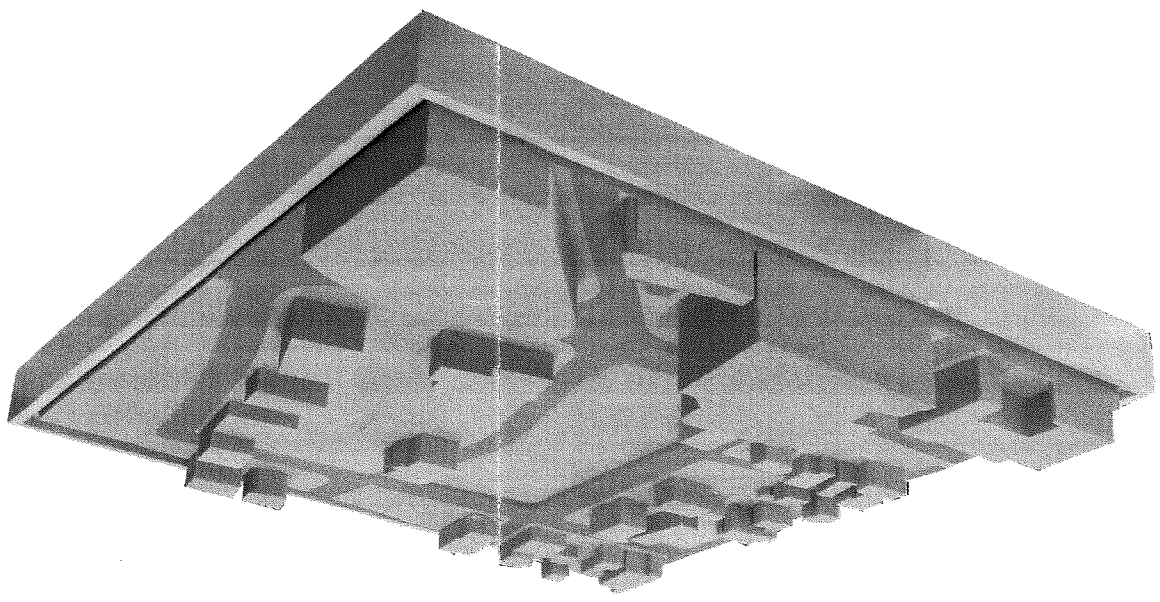
STARWOOD ELEMENT & RESIDENCES AT OLD PORT



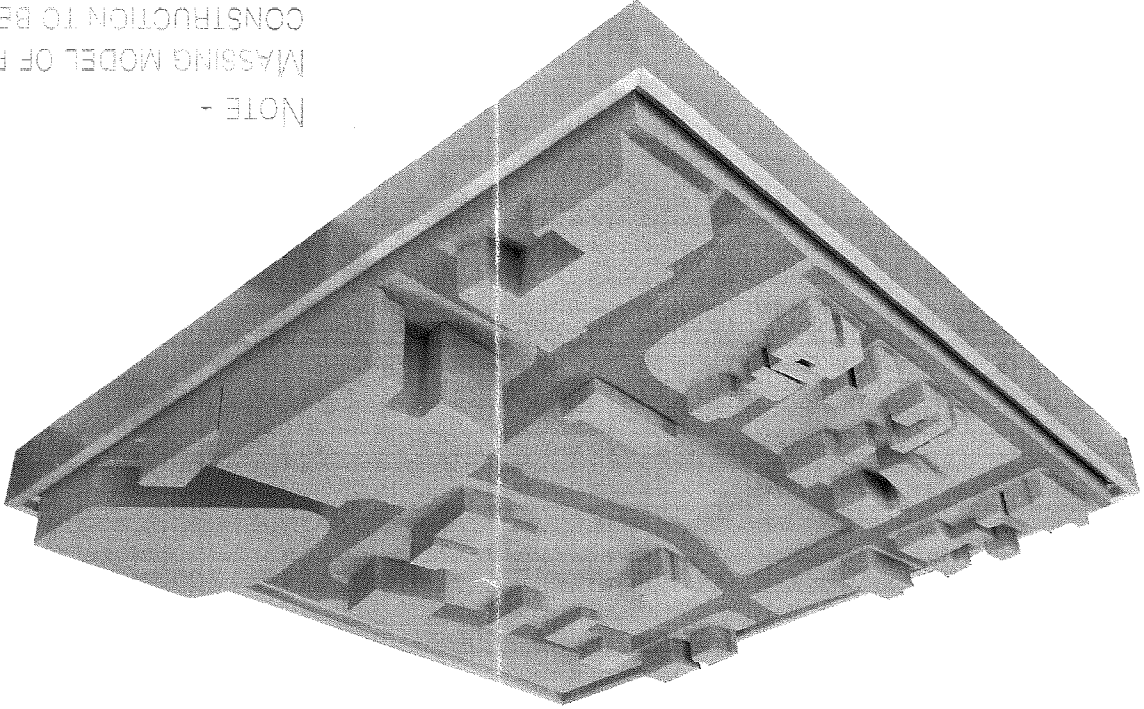
VIEW -LOOKING NORTHWEST



VIEW -LOOKING SOUTHWEST



VIEW -LOOKING NORTHEAST

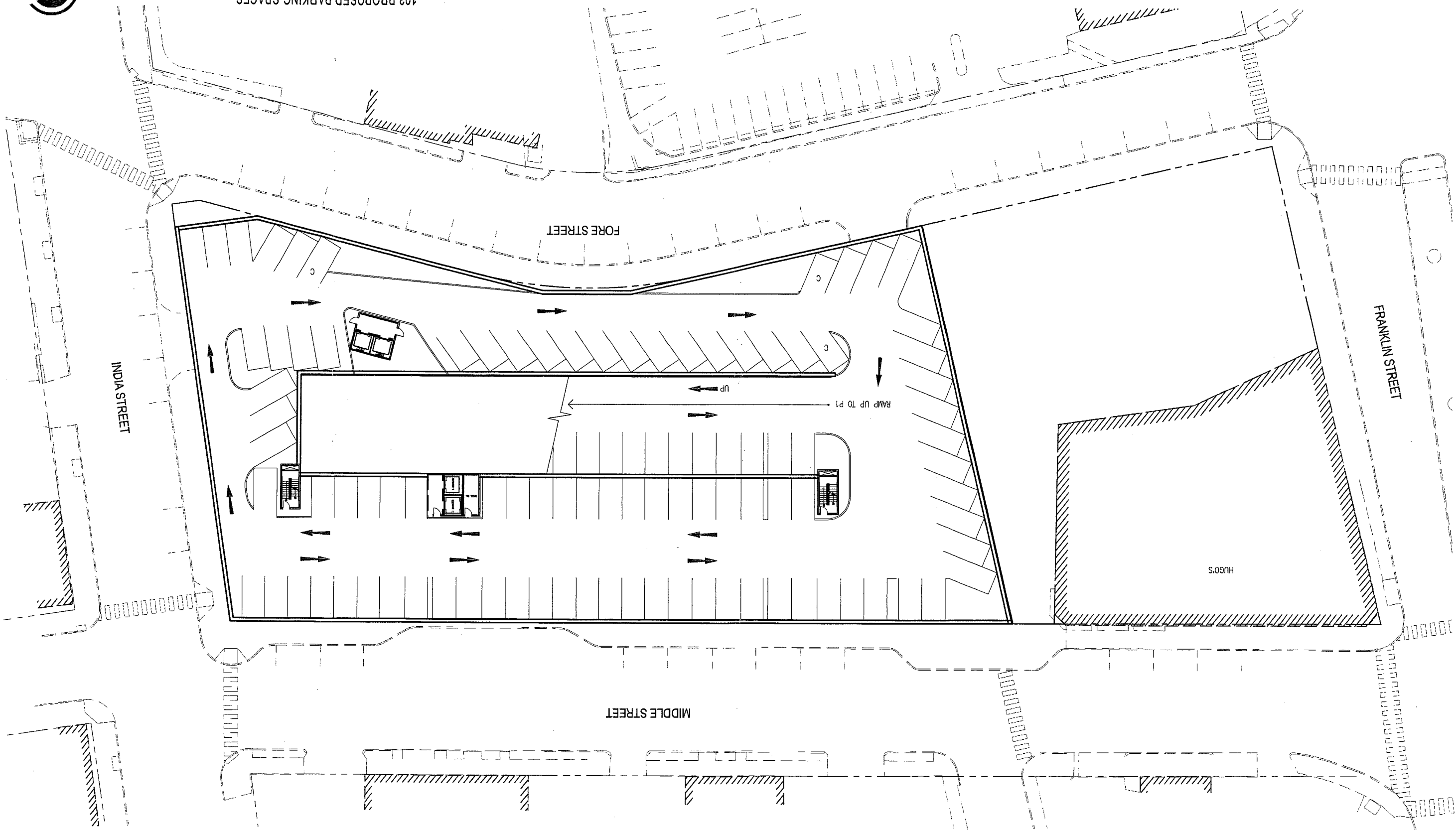


VIEW -LOOKING SOUTHEAST

NOTE -
MASSING MODEL OF PROPOSED
CONSTRUCTION TO BE ADDED FOR
AUGUST 14, 2007 WORKSHOP



element
westin



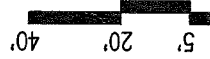
103 PROPOSED PARKING SPACES

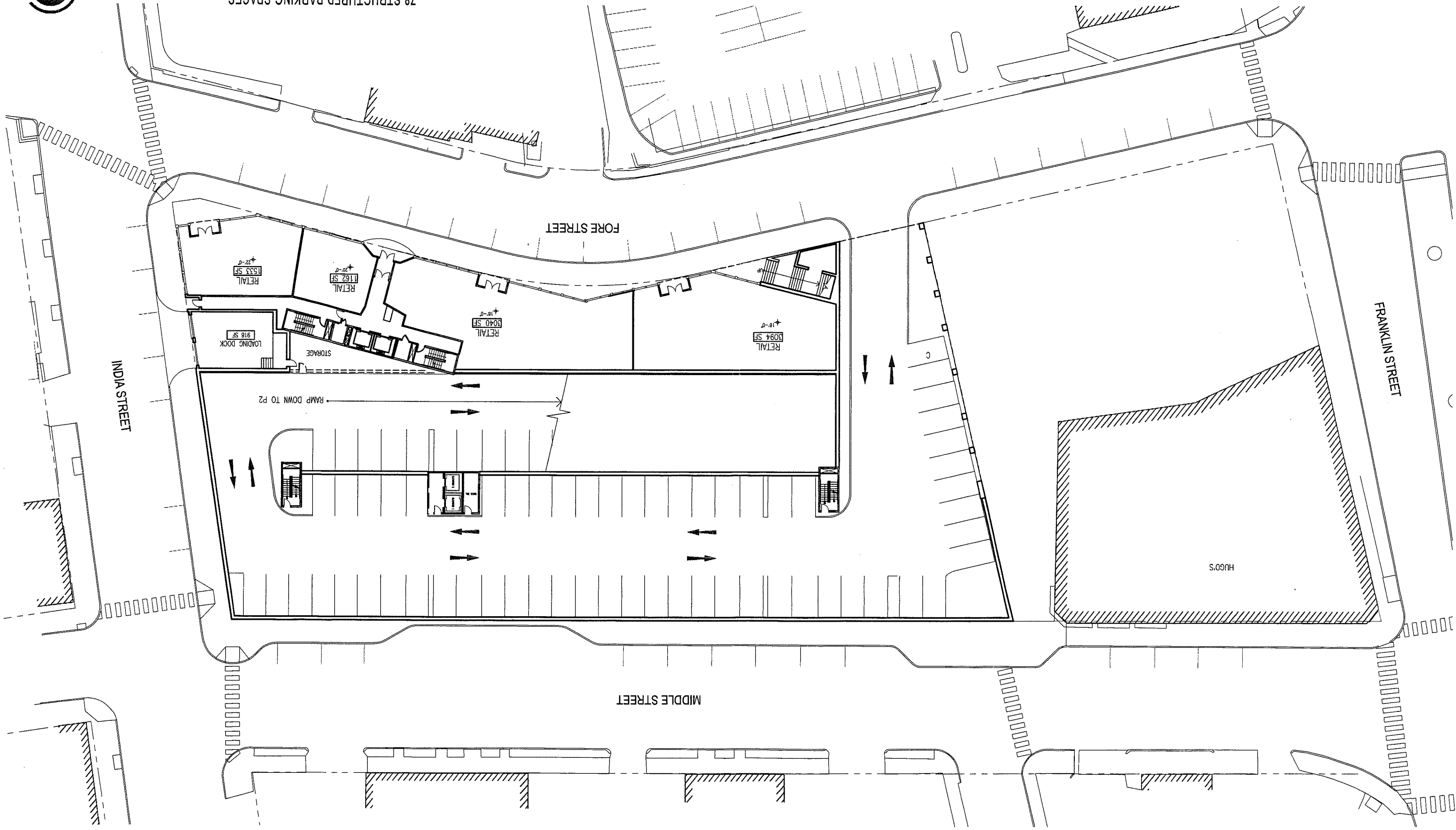
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-099 BASEMENT PARKING PLAN

2007280.000
July 17, 2007

element
westin





78 STRUCTURED PARKING SPACES

FORE STREET

INDIA STREET

MIDDLE STREET

FRANKLIN STREET

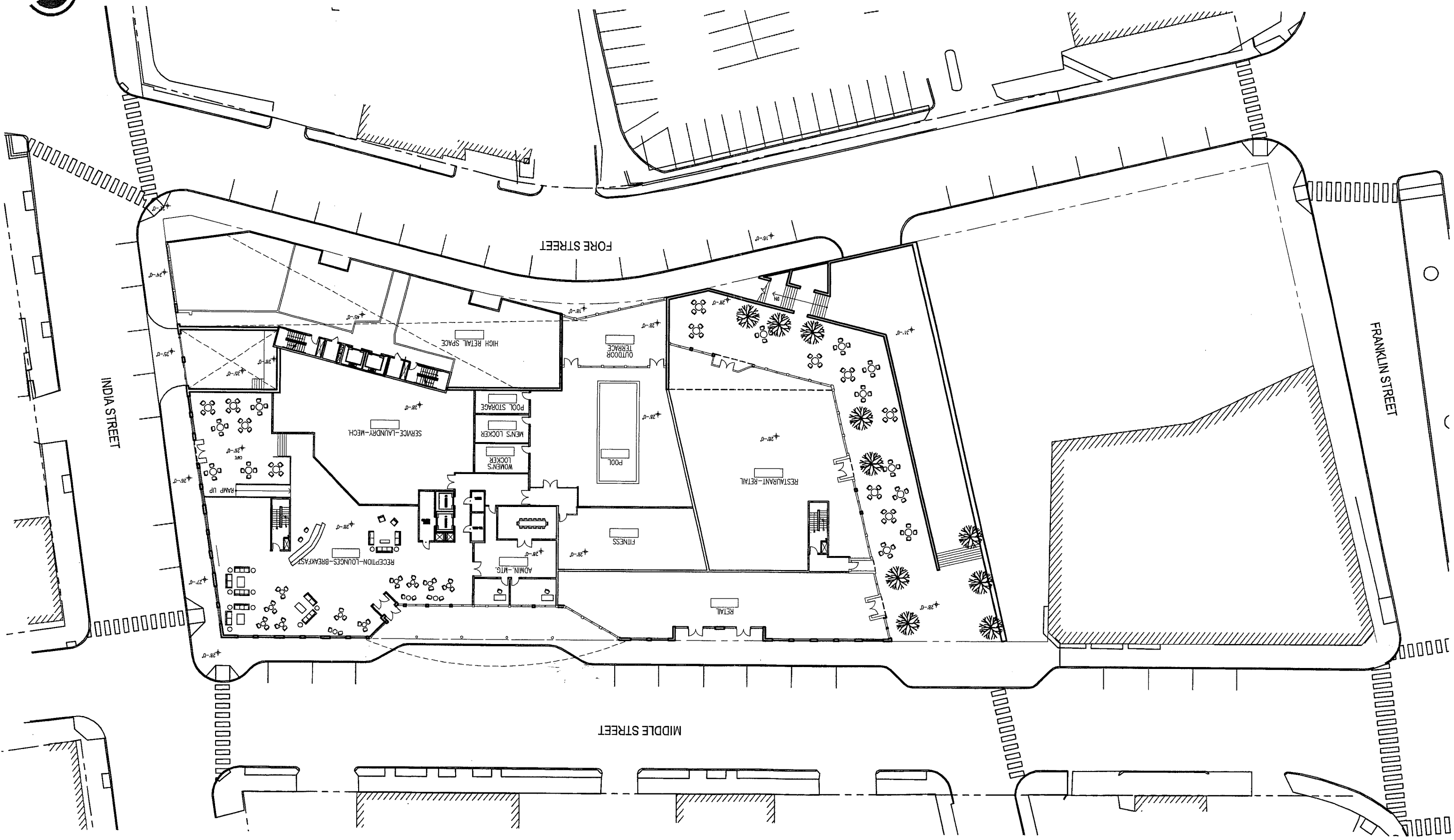
HUGO'S

2007280.000
July 17, 2007

STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-100 FORE STREET GROUND FLOOR PLAN / PARKING PLAN

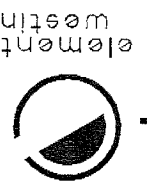
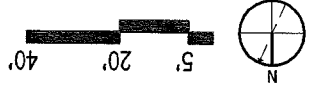




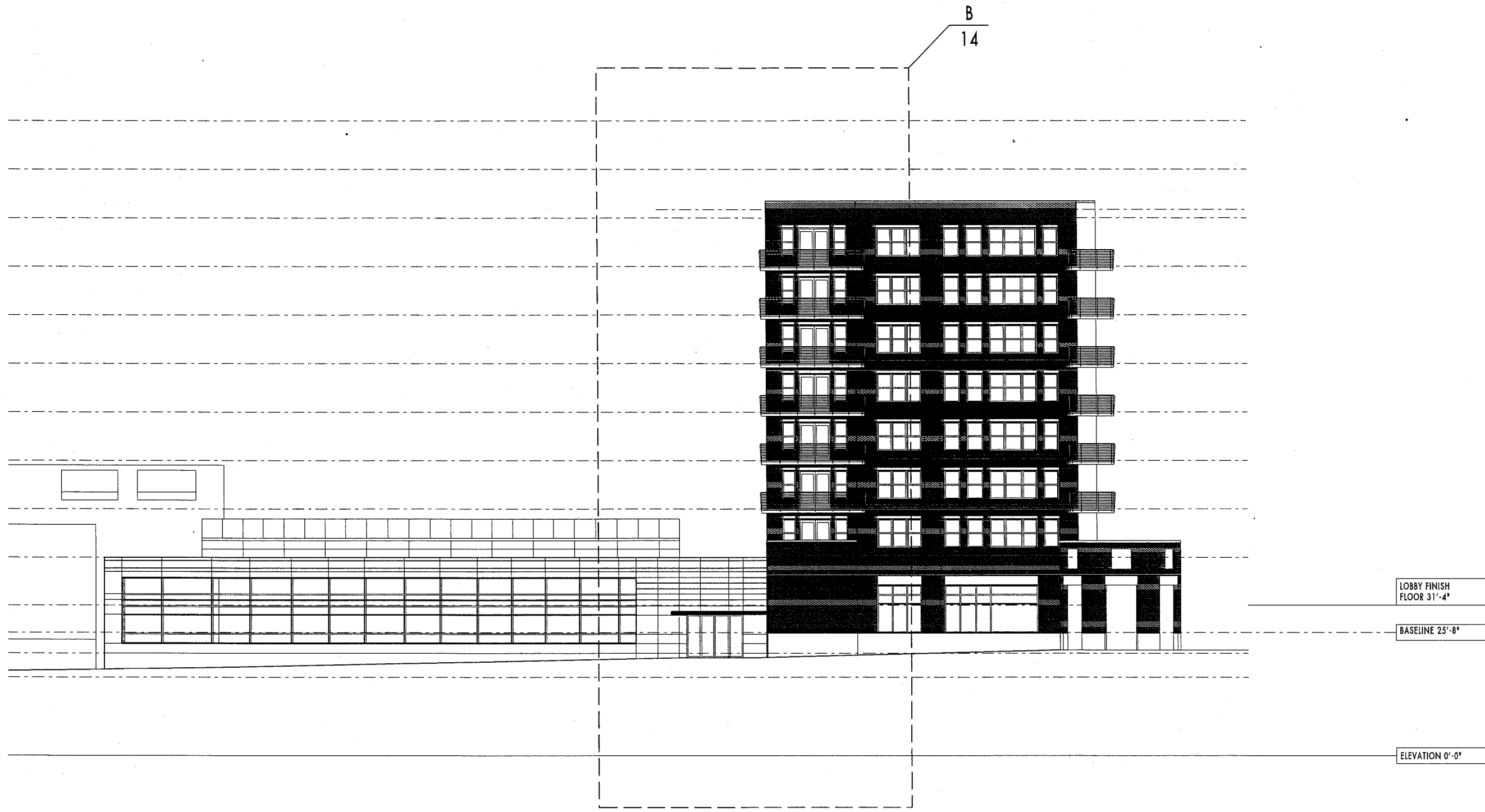
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-101 MIDDLE STREET GROUND FLOOR PLAN

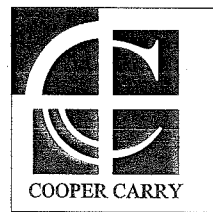
2007280.000
July 17, 2007



element
westin



BUILDING ELEVATION ALONG FORE STREET

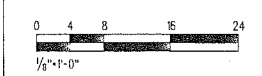


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

BUILDING ELEVATIONS



6

12.07.2005

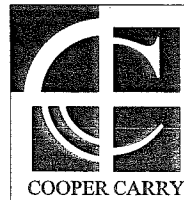


LOBBY FINISH
FLOOR 31'-4"

BASELINE 25'-8"

ELEVATION 0'-0"

BUILDING ELEVATION AT INTERIOR LIGHT COURT (LOOKING EAST)

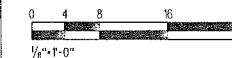


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

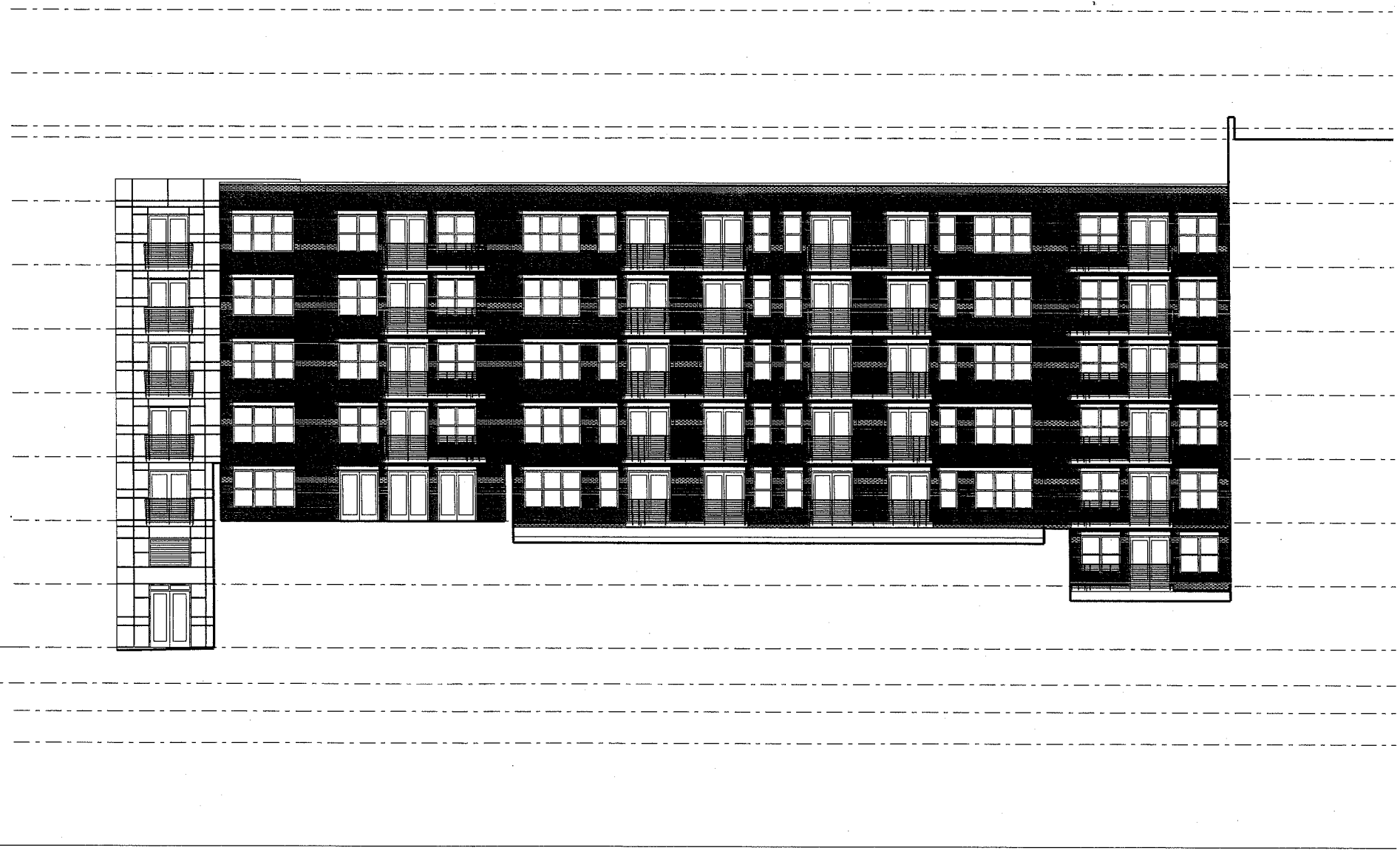
Portland, Maine

BUILDING ELEVATIONS



7

12.07.2005

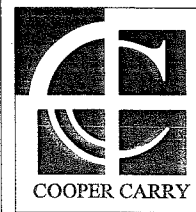


LOBBY FINISH
FLOOR 31'-4"

BASELINE 25'-8"

ELEVATION 0'-0"

INTERIOR SOUTH CONDO ELEVATION



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WESTIN HOTEL and RESIDENCES PORTLAND

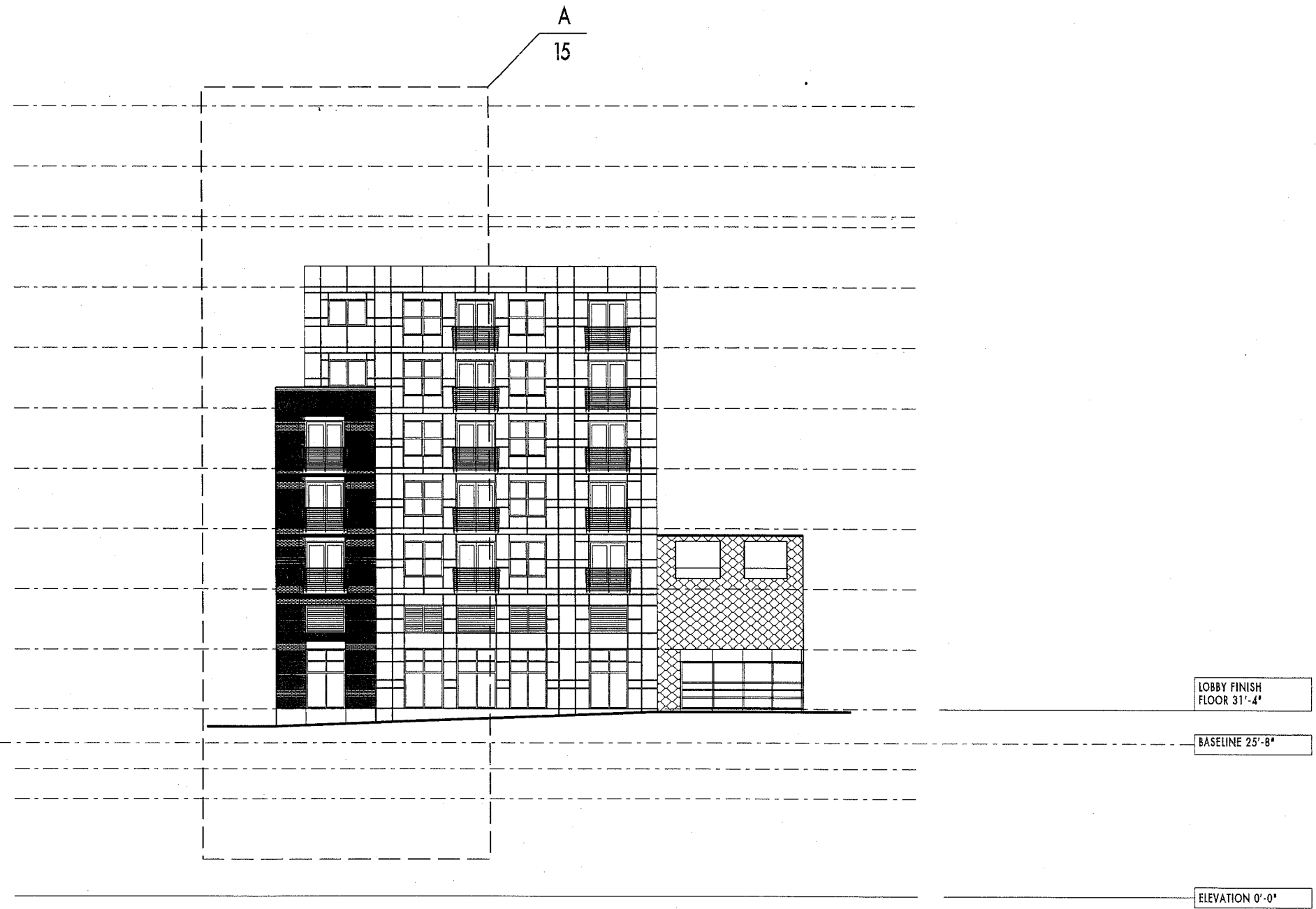
Portland, Maine

BUILDING ELEVATIONS

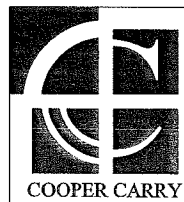


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12.07.2005



INTERIOR WEST CONDO ELEVATION

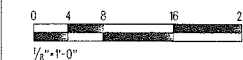


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

BUILDING ELEVATIONS



9

12.07.2005

B

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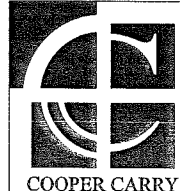


LOBBY FINISH
FLOOR 31'-4"

BASELINE 25'-8"

ELEVATION 0'-0"

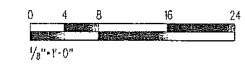
BUILDING ELEVATION ALONG MIDDLE STREET



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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

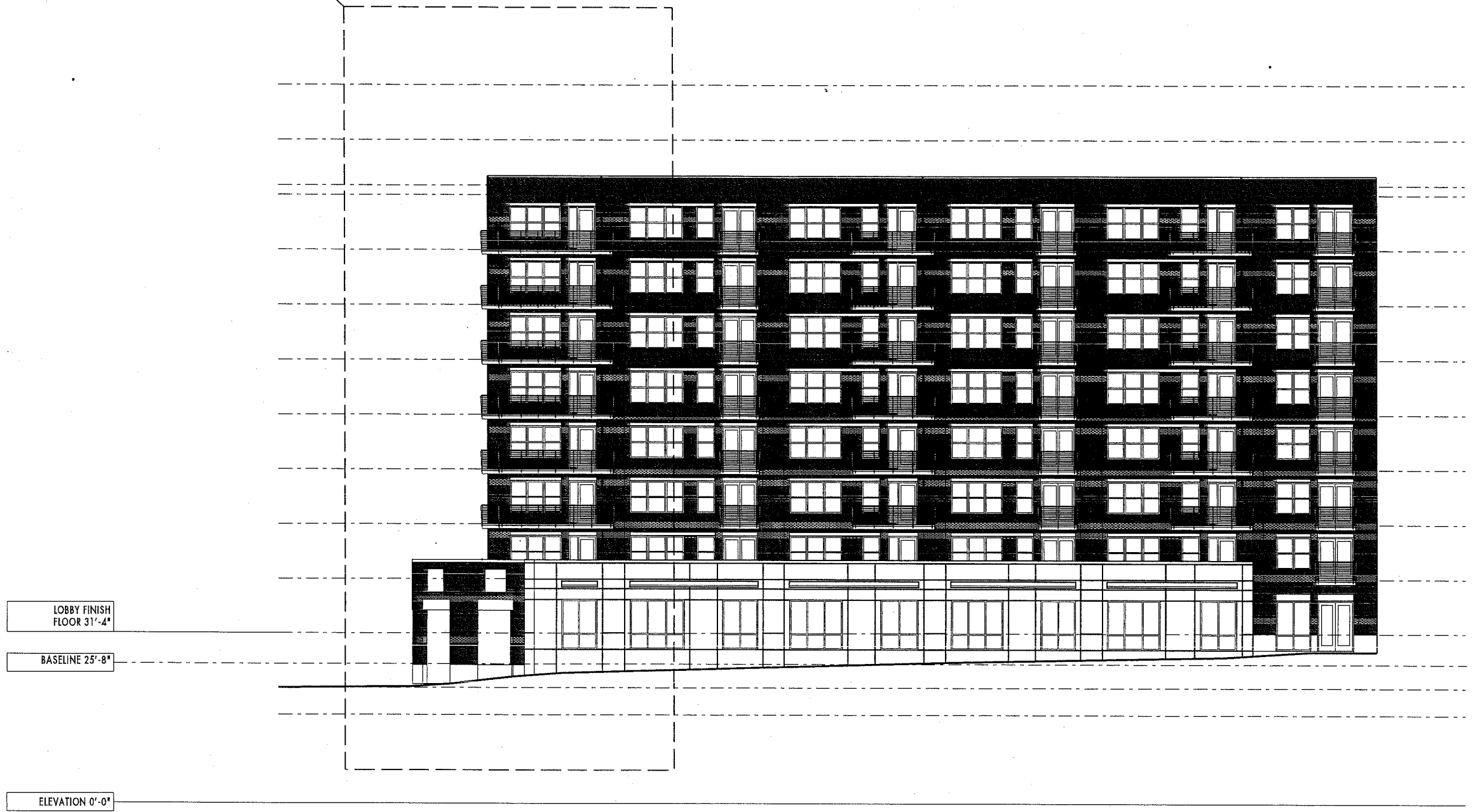
BUILDING ELEVATIONS



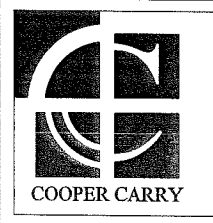
10

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A
14



BUILDING ELEVATION ALONG INDIA STREET



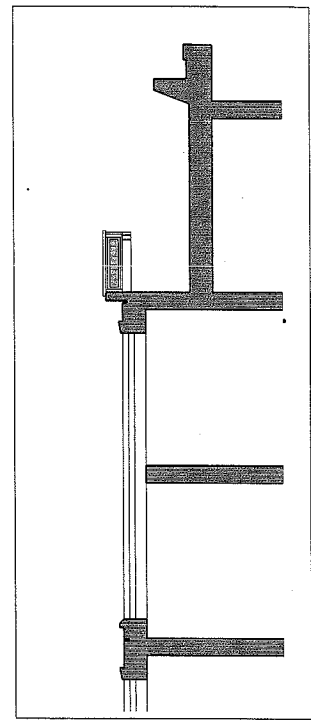
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

BUILDING ELEVATIONS

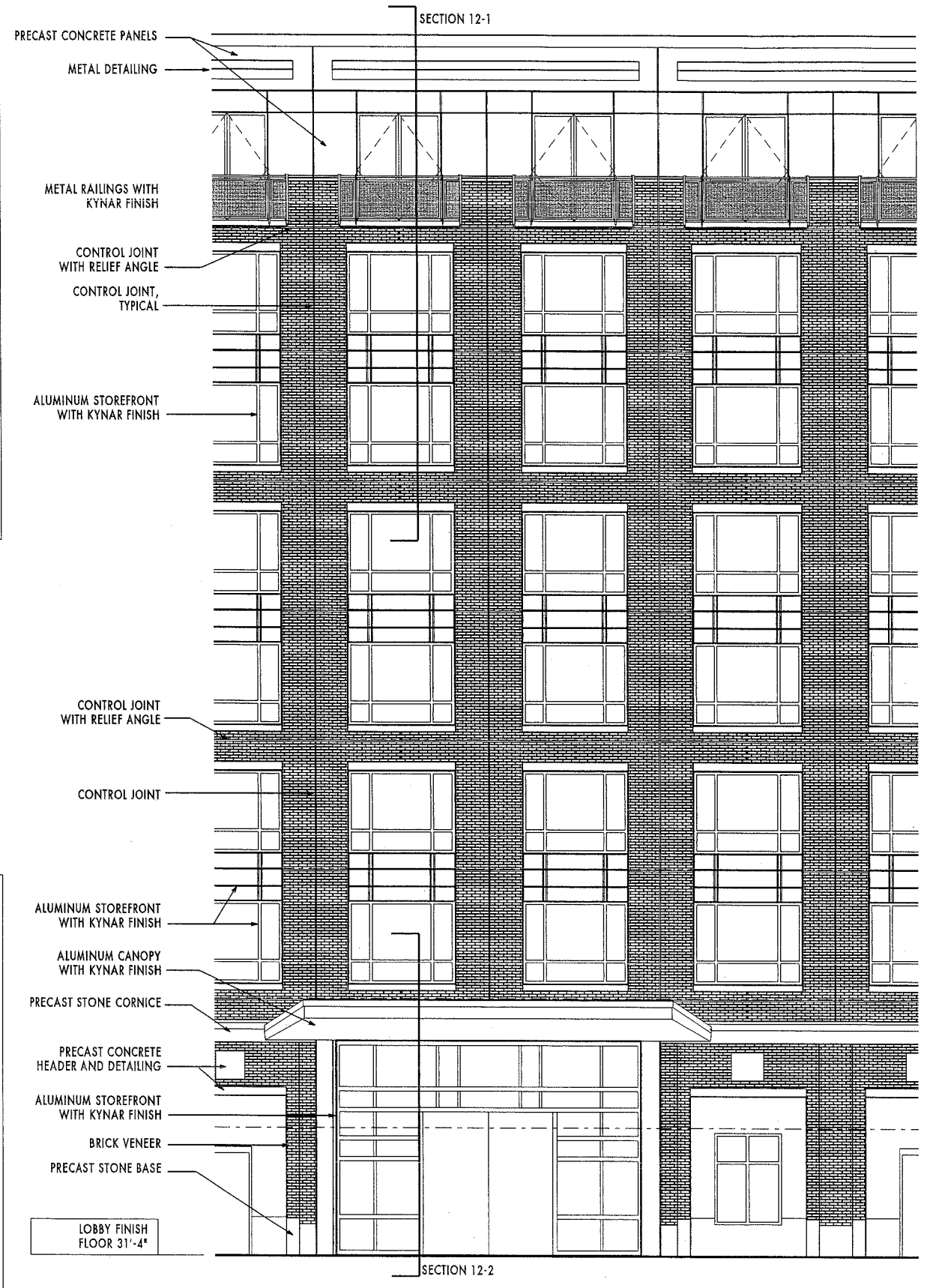
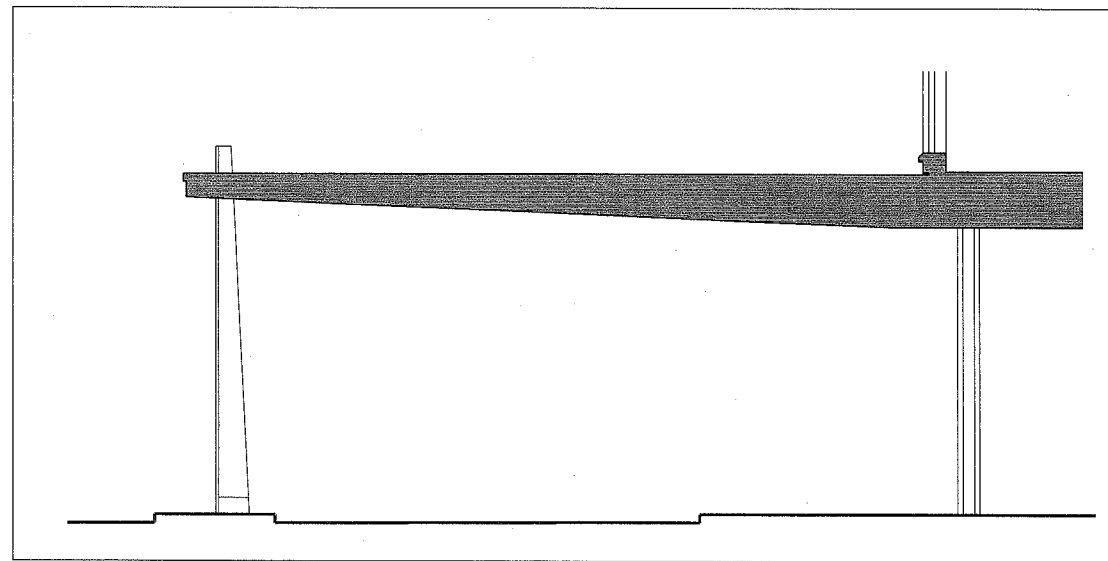
11

12.07.2005



SECTION 12-1

SECTION 12-2



WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

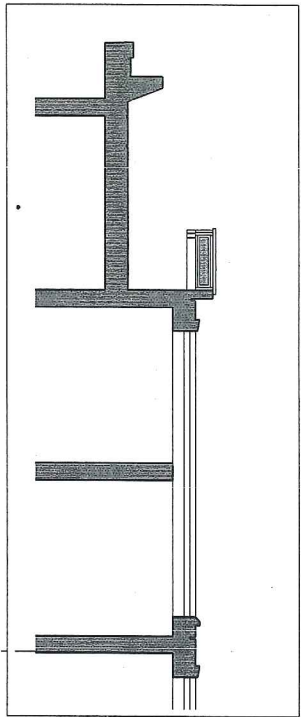
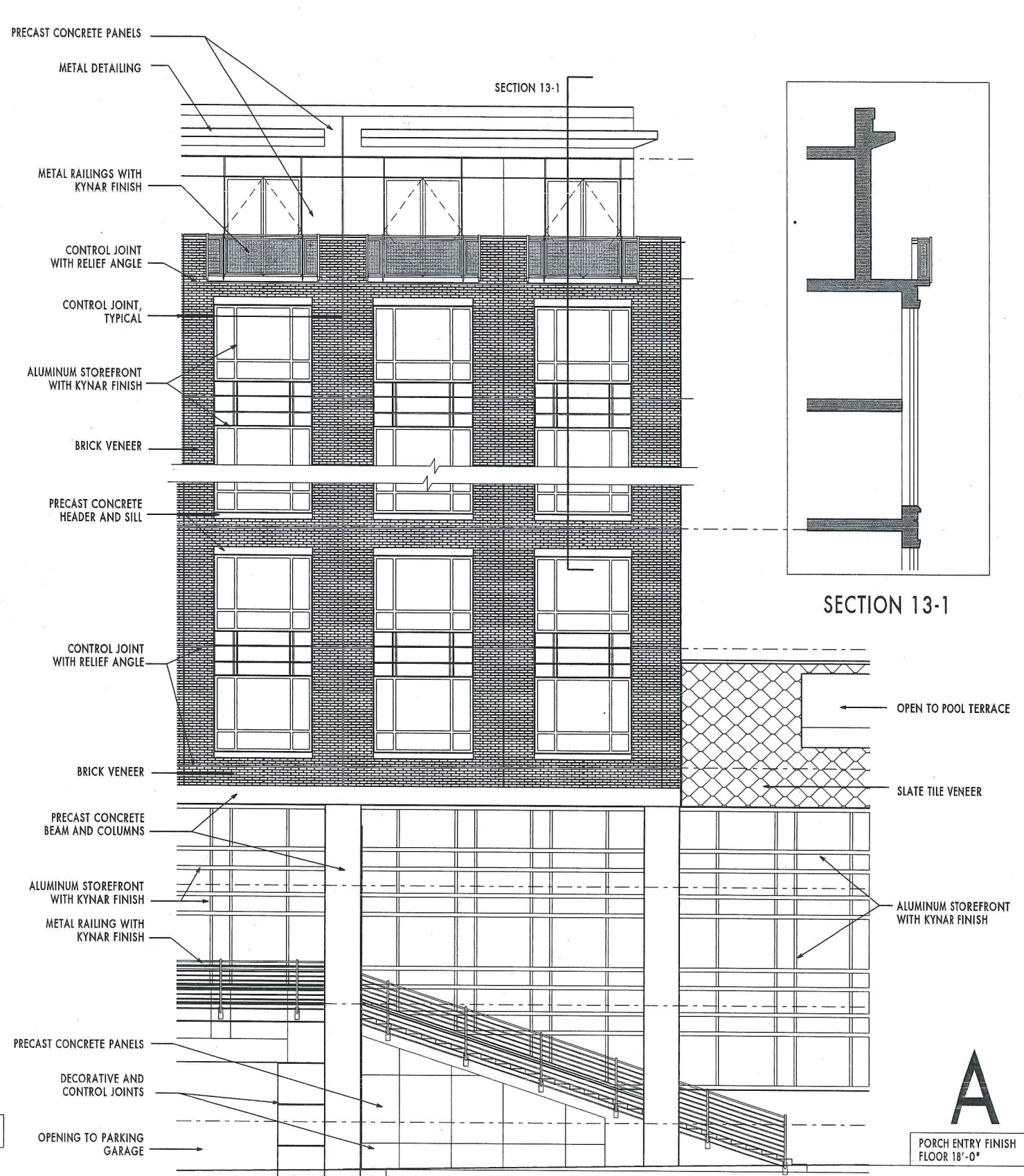
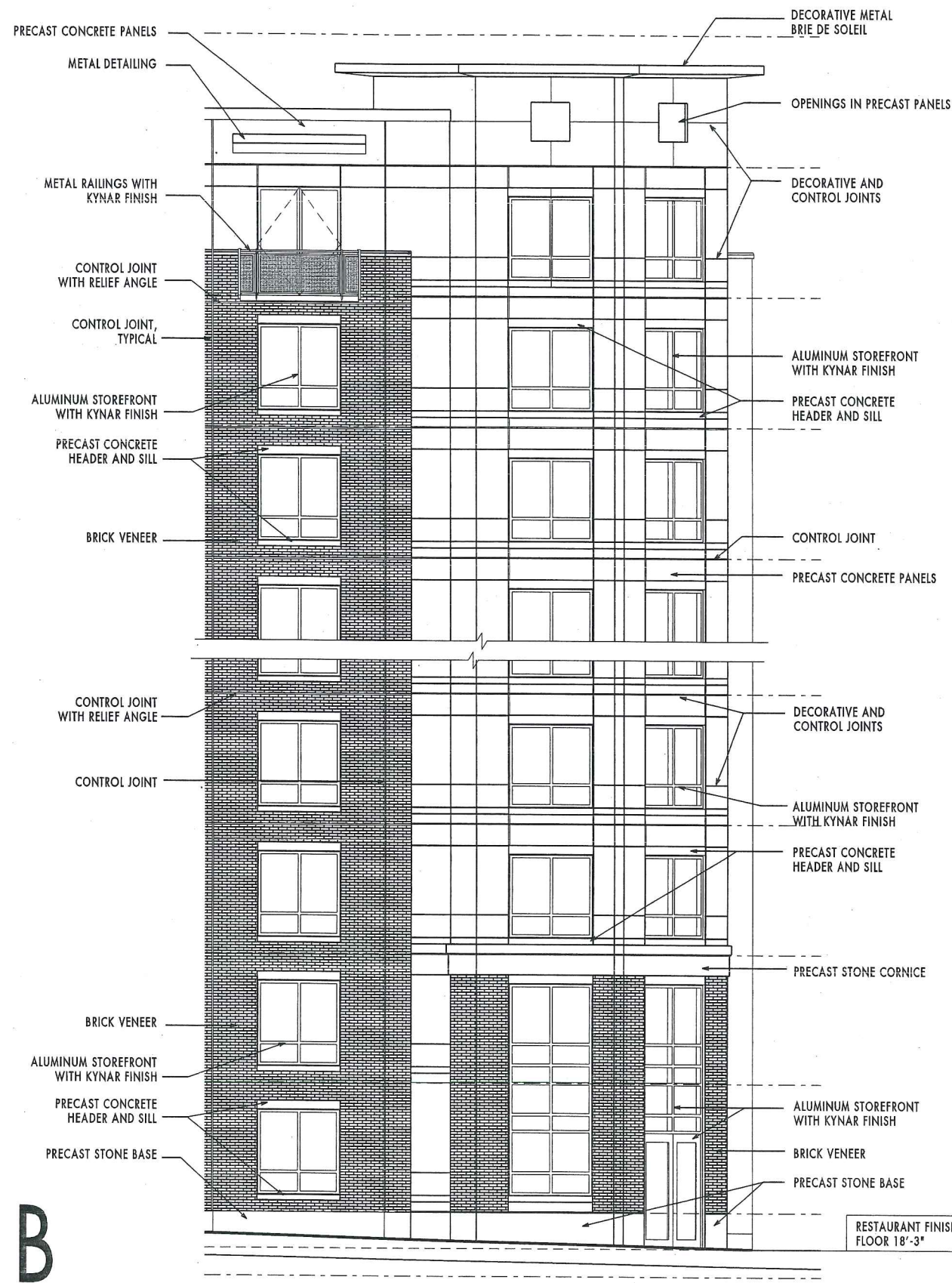
Portland, Maine

BUILDING ELEVATIONS

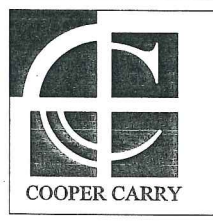


12

12.07.2005



SECTION 13-1

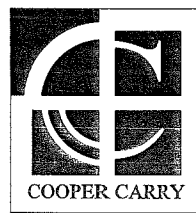
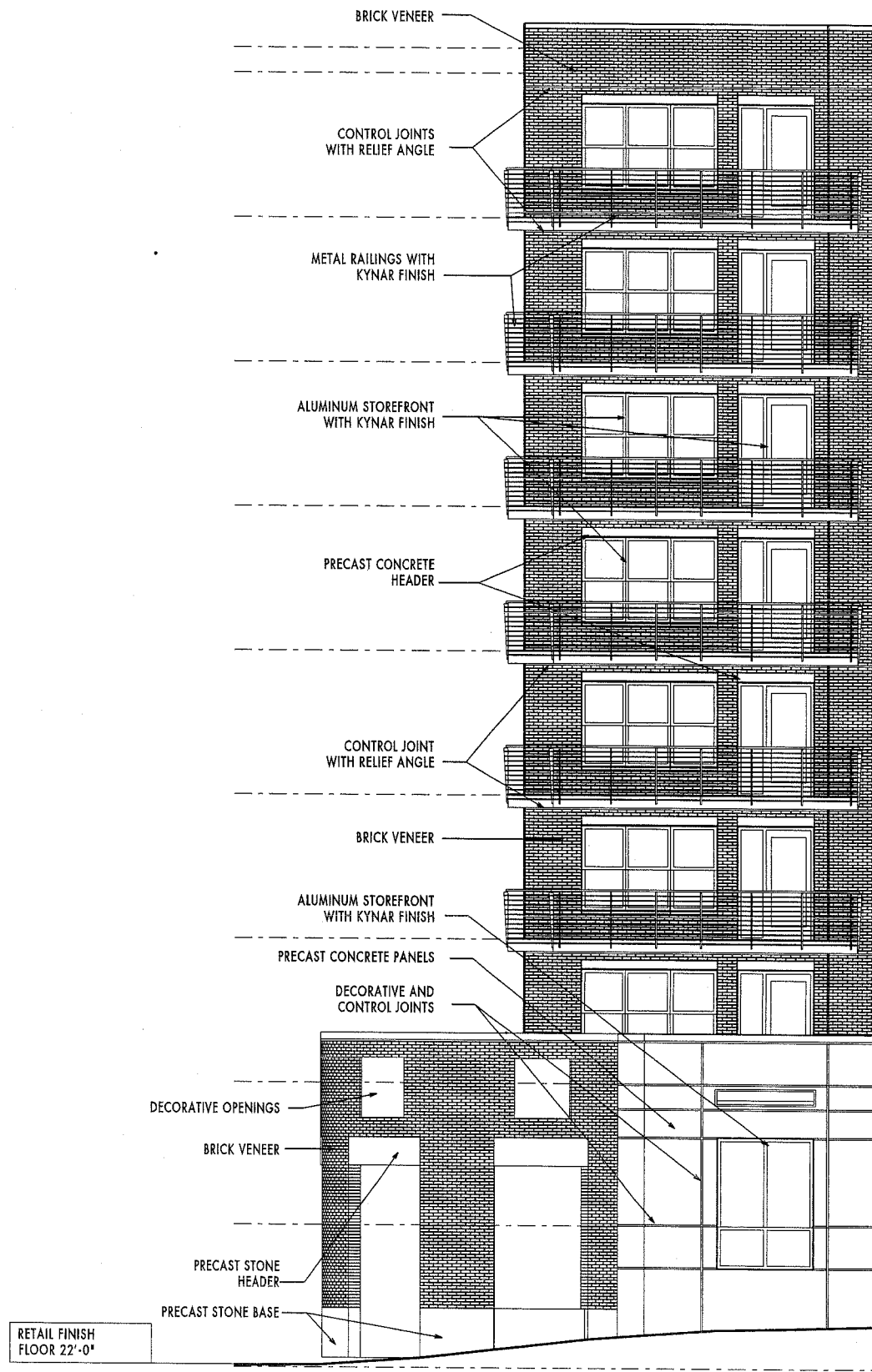
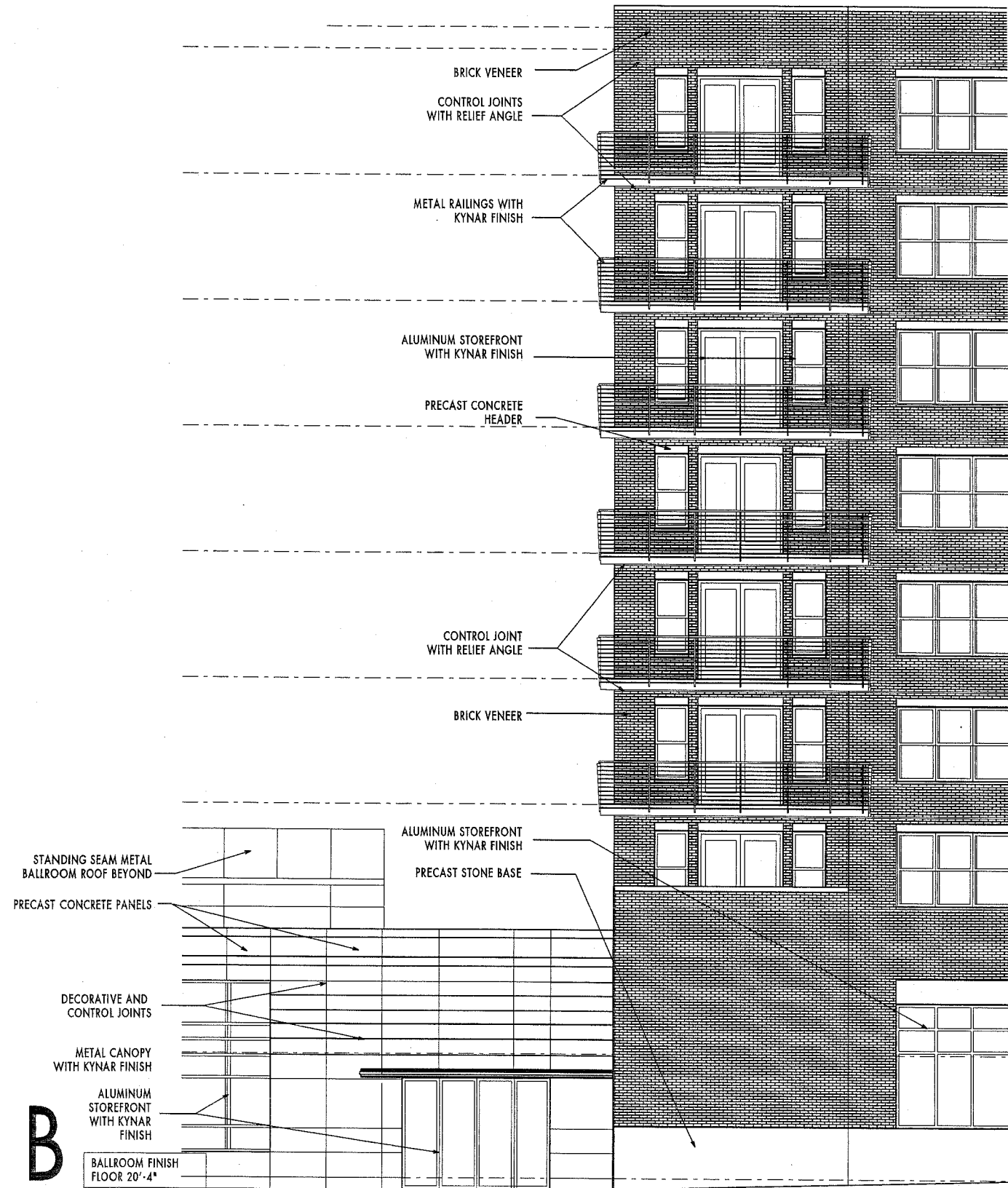


WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

BUILDING ELEVATIONS

13
12.07.2005



WINTON SCOTT ARCHITECTS

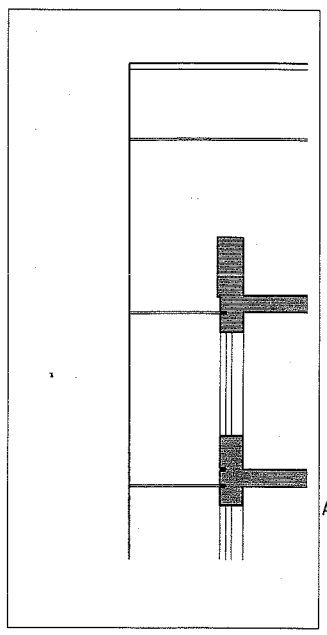
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

BUILDING ELEVATIONS

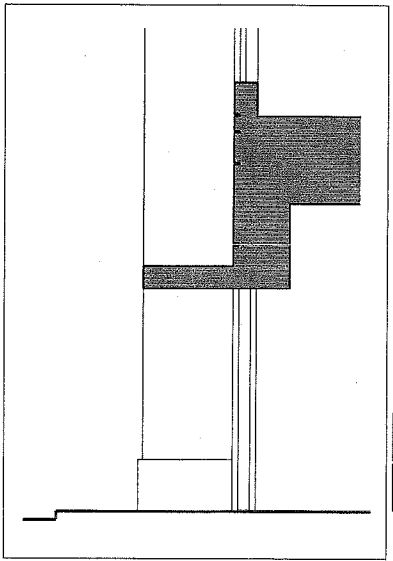


14

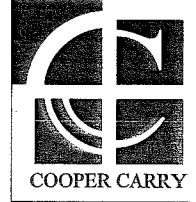
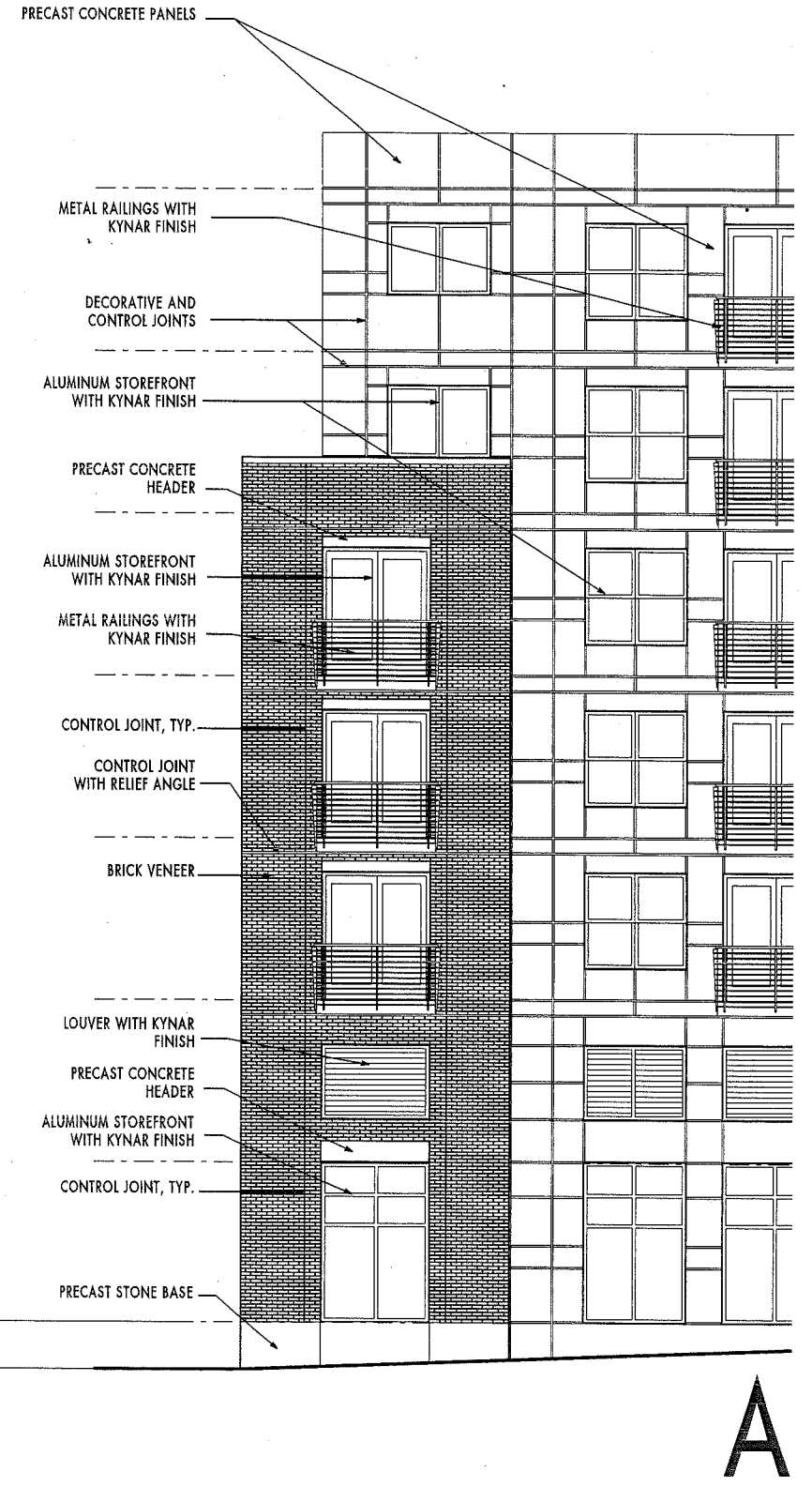
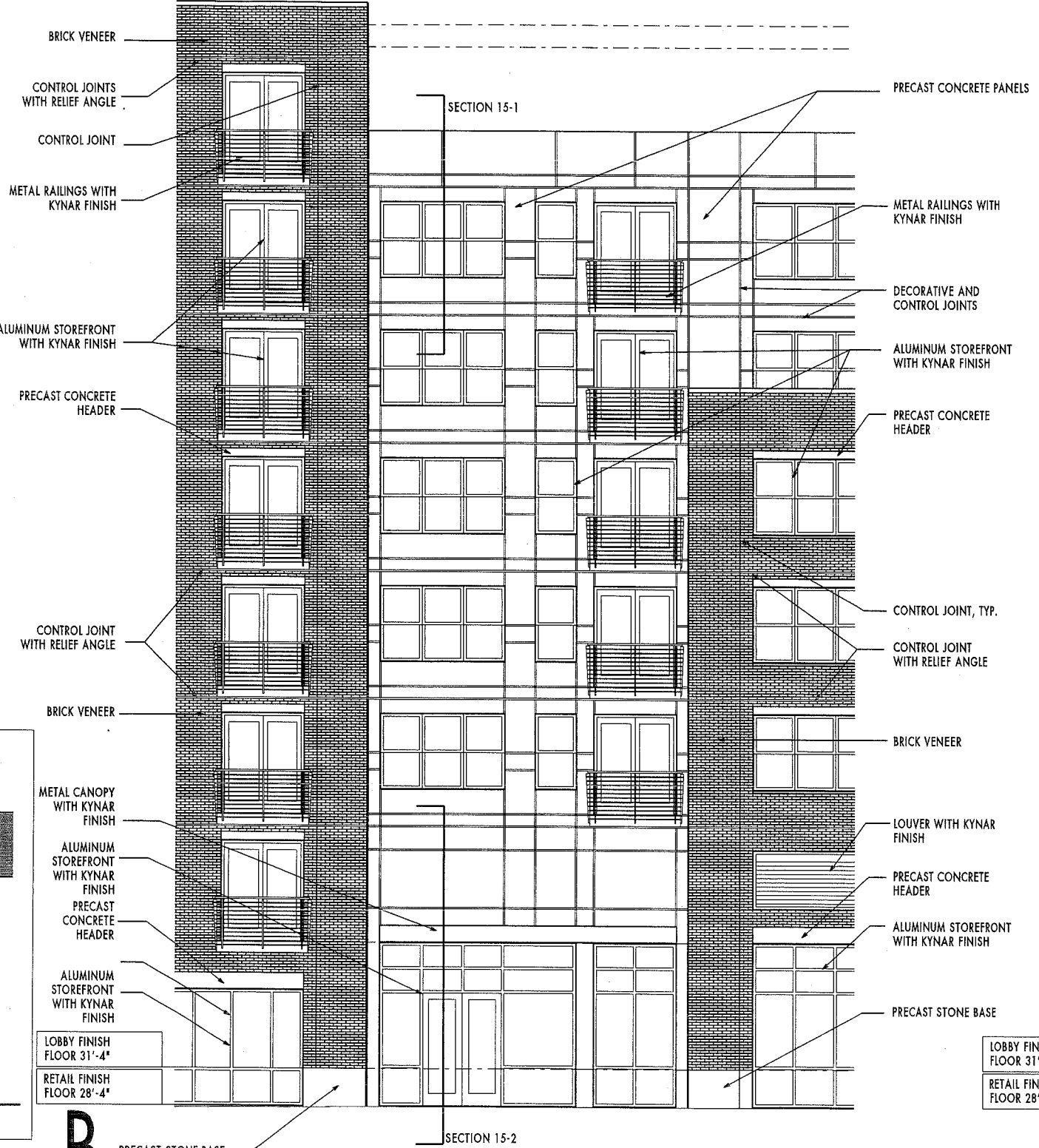
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SECTION 15-1



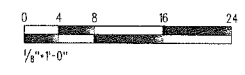
SECTION 15-2



WINTON SCOTT ARCHITECT'S

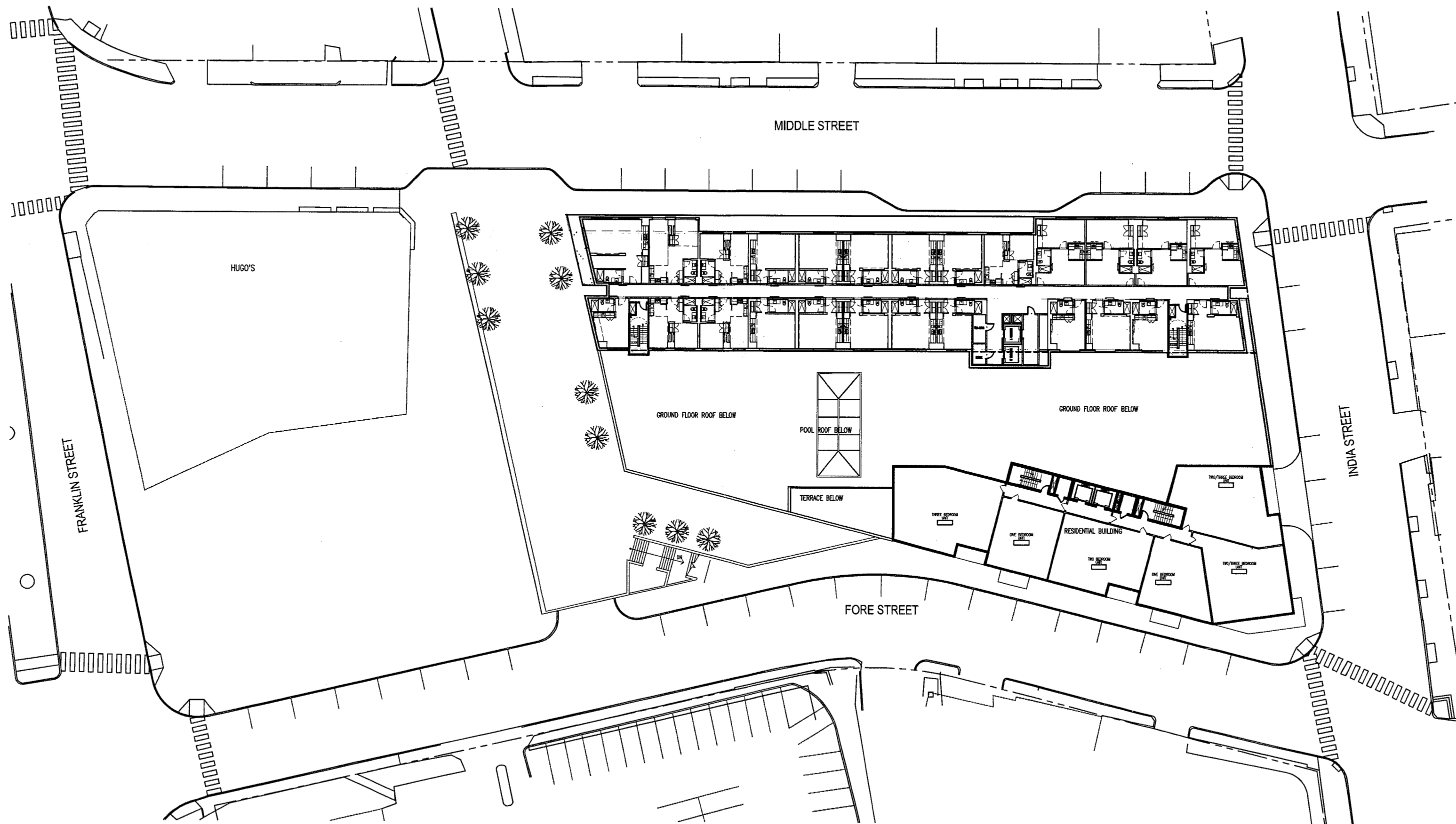
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

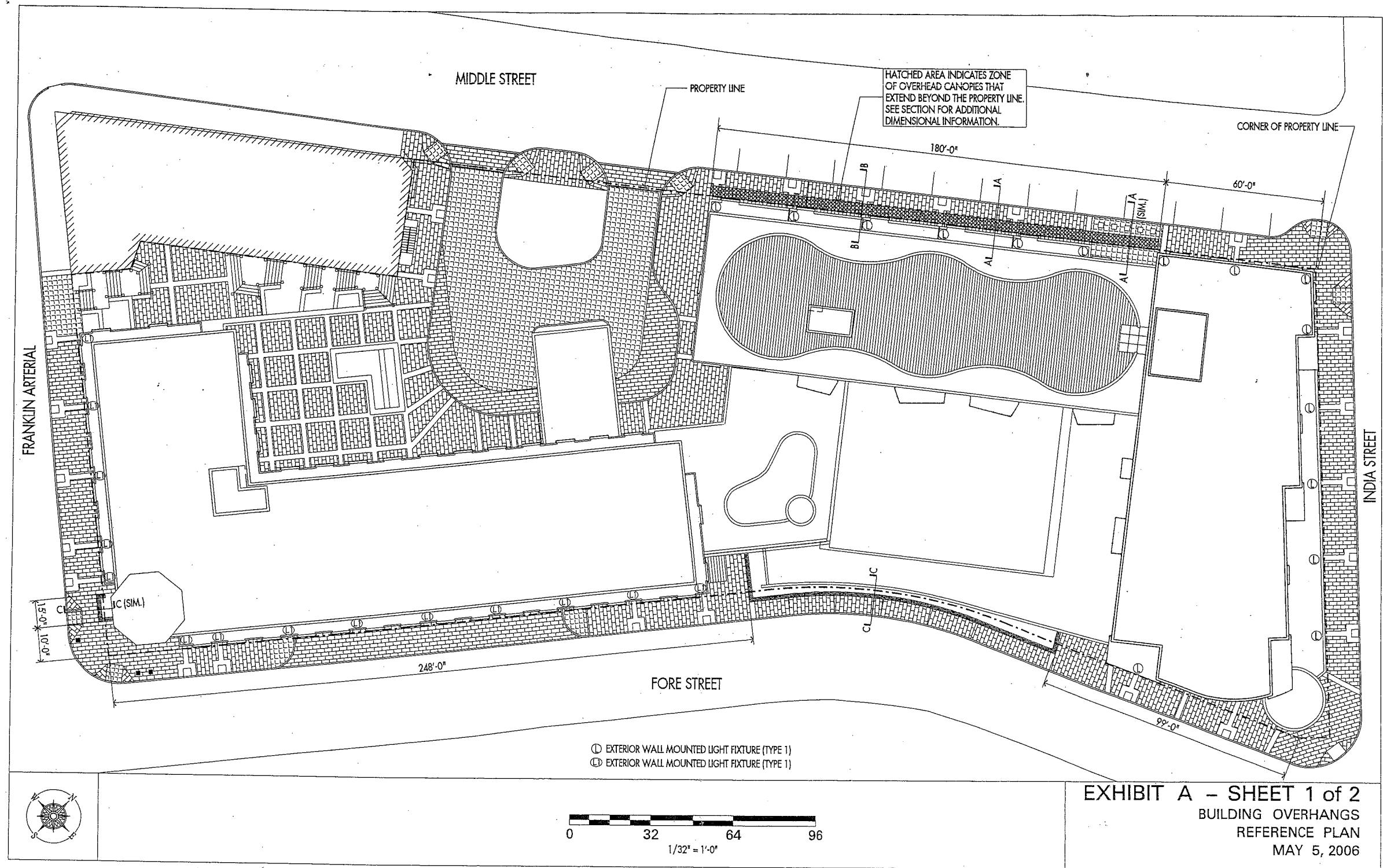
BUILDING ELEVATIONS



15

12.07.2005

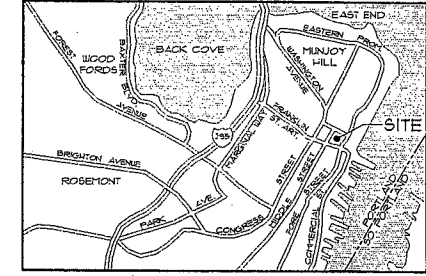
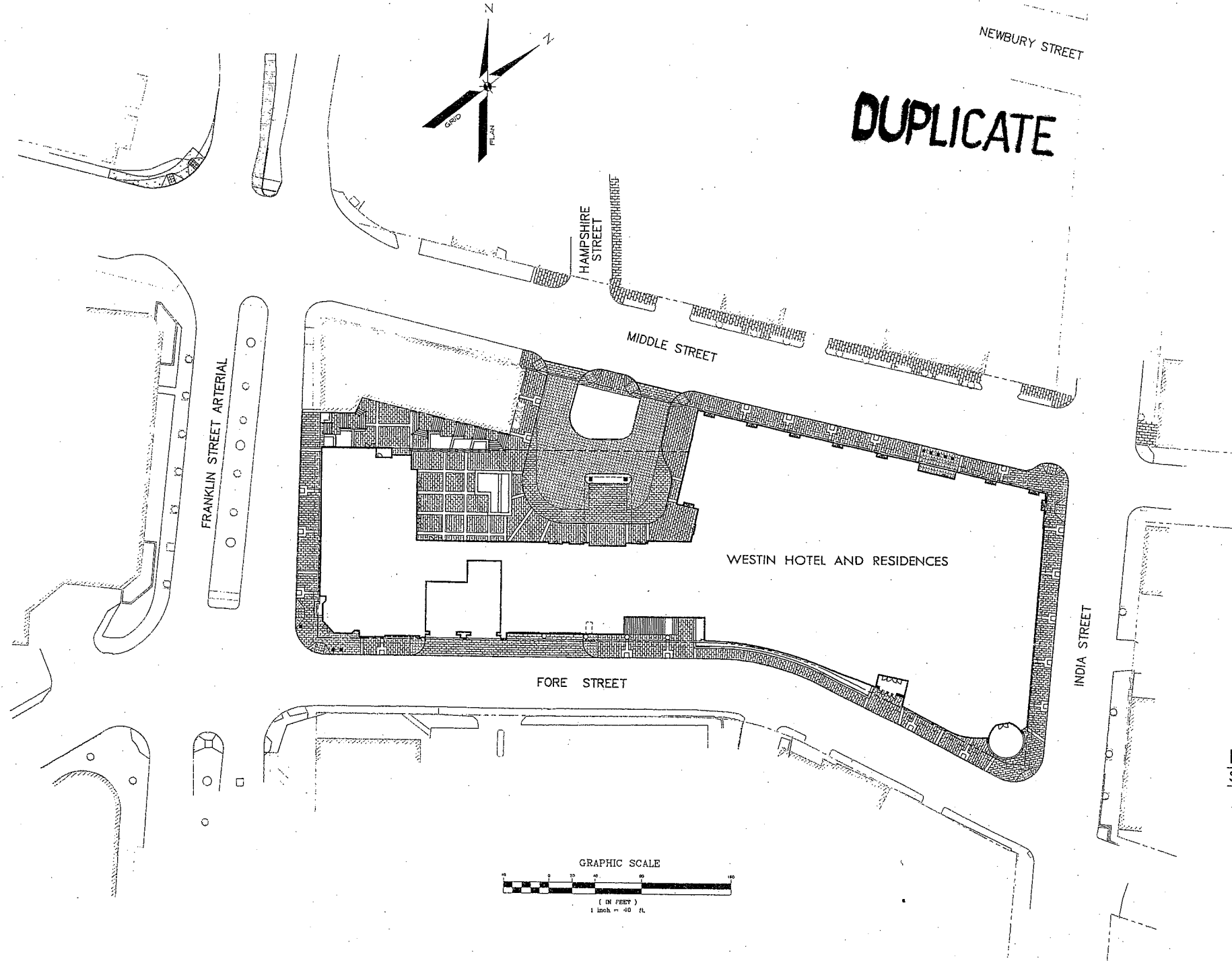




WESTIN HOTEL AND RESIDENCES PORTLAND

38 INDIA STREET, PORTLAND, MAINE

Sebago Technics
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Tel: (207) 856-0277

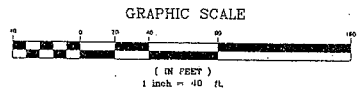


APPLICANT/DEVELOPER:
PME 1 LIMITED PARTNERSHIP
1140 RESERVOIR AVENUE
CRANSTON, RI 02920

ENGINEER/SURVEYOR:
Sebago Technics
Engineering Expertise You Can Build On
One Chobot Street
Westbrook, Me 04098-1339
Tel: (207) 856-0277

INDEX OF DRAWINGS:

SHEET NO.	SHEET NAME
C0.0	COVER SHEET
C0.1	EXISTING CONDITIONS PLAN
C0.2	EXISTING CONDITIONS PLAN
C1.0	SITE AND UTILITY DEMOLITION PLAN
C1.1	SITE LAYOUT PLAN
C2.0	GRADING AND UTILITY PLAN
C2.1	FRANKLIN ARTERIAL SITE, GRADING AND UTILITY IMPROVEMENTS
C3.0	LANDSCAPE PLAN
C4.0	DETAILS
C4.1	DETAILS
C4.2	DETAILS
C4.3	DETAILS
1 OF 2	SUBDIVISION PLAN
2 OF 2	SUBDIVISION PLAN



No.	Drawing Issue Description	Date
1	Final Plan Submission to City	3-28-06

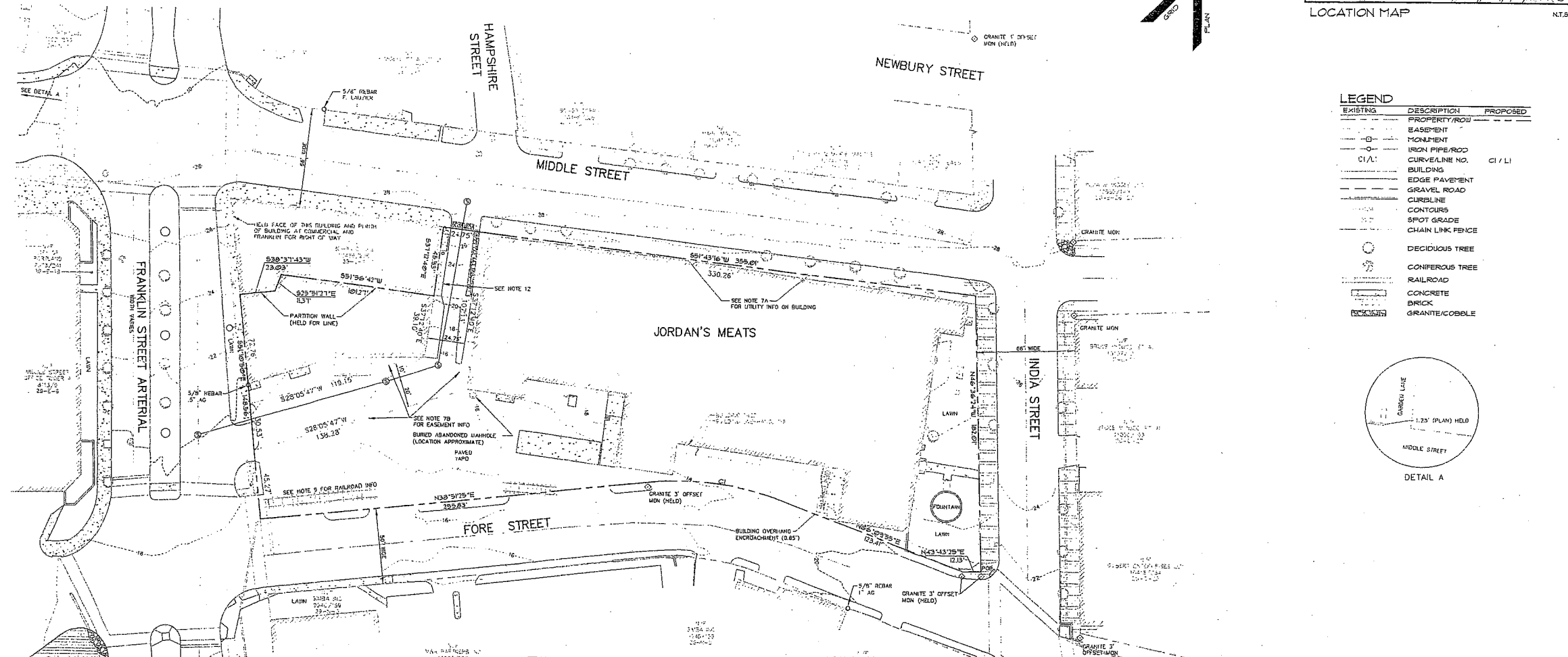
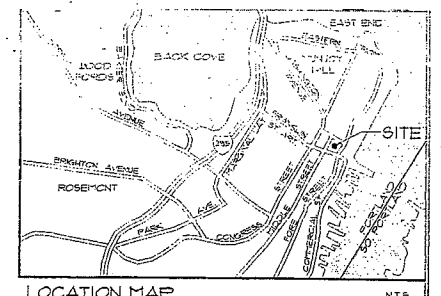
THE HOTEL & RESIDENCES
at
THE WESTIN
Portland, Maine
PME 1 Limited Partnership

COVER SHEET

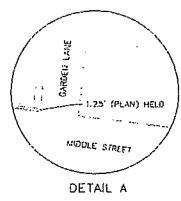
DLR	205042/STI 05090
DESIGN BY	Project Number
MAIL	1"=40'
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090C	
Planner	

C0.0

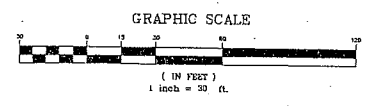
Not Issued For Construction



EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROAD	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	CURVELINE NO.	CI/LI
---	BUILDING	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	CONTOURS	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---
---	RAILROAD	---
---	CONCRETE	---
---	BRICK	---
---	GRANITE/COBBLE	---



CURVE	LENGTH	RADIUS	CRD BEARINGS	CRD DIST.
CI	55.11'	195.68'	S27°30'40"W	94.31'



CLARENCE EGGY
ANALYST
2017/11/15
20-11-15

GENERAL NOTES

- THE RECORD OWNERS OF THE PARCEL ARE: PME LIMITED PARTNERSHIP BY DEED DATED SEPTEMBER 23, 2009 RECORDED DEED BOOK 2438 PAGE 57. DEED REFERENCES ARE RECORDED AT THE OFFICE AND COUNTY REGISTER OF DEEDS (CGRD).
- THE PROPERTY IS SHOWN AS LOTS 1, 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 23.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 16,290 SQ. FT.
- BOUNDARY AND TOPOGRAHY INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN APRIL OF 2009.
- PLAN REFERENCES:
 - CITY OF PORTLAND ASSESSORS TAX MAPS 18, 20, 26 & 27.
 - PLAN OF LAND BELONGING TO THE SHOWN HEREON BY EC JORDAN, DATED JULY 1874 RECORDED AT CGRD IN PLAN BOOK 3, PAGE 53.
 - PLAN OF LAND BELONGING TO THE SHOWN HEREON BY EC JORDAN, DATED JULY 1874 RECORDED AT CGRD IN PLAN BOOK 3, PAGE 54.
 - PLAN OF PROPERTY IN VINE-CRENSHAW PROJECT AREA 114 MADE FOR SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY OF PORTLAND, MADE BY EC JORDAN DATED JAN. 4, 1858, RECORDED AT CGRD IN PLAN BOOK 41, PAGE 18 (THESE SHEETS).
 - PLAN OF PROPERTY IN PORTLAND MADE FOR SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY OF PORTLAND, MADE BY EC JORDAN DATED MAY 24, 1857, RECORDED AT CGRD IN PLAN BOOK 43, PAGE 12.
 - PROPOSED PARKING AREA FOR AIRPORT ASSOCIATES BY GARDNER ARCHITECTS DATED 1888 ON FILE AT THE PORTLAND CITY VAULT 37674.
 - PLAN OF TITLE SUBJECT TO SUBDIVISION PLAN IN PORTLAND, MADE FOR THE TRUST FOR PUBLIC LAND, THE CITY OF PORTLAND, THE MAINE DEPARTMENT OF TRANSPORTATION AND THE CANADIAN NATIONAL RAILWAY COMPANY BY OWEN HASSELL, INC. DATED FEB. 8, 1924 ON FILE AT THE PORTLAND CITY VAULT 63598 AND RECORDED AT CGRD IN PLAN BOOK 183, PAGE 181.
 - PLAN OF PROPERTY IN PORTLAND MADE FOR CHANGE TRANSPORT CORP. BY EC JORDAN DATED NOV. 1850 ON FILE AT THE PORTLAND CITY VAULT 5686.
 - PLAN OF LAND STANDARD BOARDING SURVEY OF FORES, NOLA, MIDDLE, NEWBURY, HAMPSCOTT & NORTHPORT STREETS, PORTLAND, MADE FOR SUPERIOR BREWING COMPANY BY OWEN HASSELL, INC. DATED APRIL, 1907 ON FILE AT THE PORTLAND CITY VAULT 37278.
 - PLAN SHOWING CHANGE OF LINE ON FORE STREET BETWEEN FRANKLIN AND HAMPSHIRE STREET DATED MAY 1868 ON FILE AT THE PORTLAND CITY VAULT 5747.
 - PLAN OF JUNEY PVT CO. AT THE CORNER OF MIDDLE & INDIA STREETS IN PORTLAND, MADE DATE MAY 1868 ON FILE AT THE PORTLAND CITY VAULT 5747.
 - PLAN OF FRANKLIN STREET ENGINEERING DESIGN REPORT STATE 1 & 3, BY THE CITY OF PORTLAND, DATED DEC. 1925 ON FILE AT THE PORTLAND CITY VAULT 19050.
 - CITY OF PORTLAND AND MAINE DEPARTMENT OF PUBLIC WORKS, CONCORDVILLE, INDIA, FRANKLIN, GUNTH HOUSE & PEARL STREETS, DATED FEB. 4, 1943 ON FILE AT THE PORTLAND CITY VAULT 74948.
 - CITY OF PORTLAND, PLANE CONTRACT NO. 306283, SHEETS 24, 25, 26 AND OVERALL DRAWING, FRANKLIN ST. ARTERIAL, CONCORDVILLE, AT 1700 1/2 ST. DATED DEC. 1947 ON FILE AT THE PORTLAND CITY VAULT 19050.

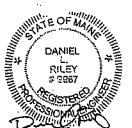
GENERAL NOTES CONTINUED

- CITY OF PORTLAND, PLANE DEPARTMENT OF PUBLIC WORKS INDIA ST, NEWBURY STREET, COMMERICAL ST, TO MIDDLE ST, DATED DEC. 30, 1940 ON FILE AT THE PORTLAND CITY VAULT 5718 (THESE SHEETS).
- PORTLAND WATER DISTRICT, PORTLAND SEWER SYSTEM INFILTRATION-SEWAGE ANALYSIS REPORT DATED FEBRUARY 1975, BY HANSEN-BALLEW ASSOCIATES, DATED FEB. ON FILE AT THE PORTLAND CITY VAULT 144.
- CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS, PLANE CONTRACT NO. 306283, SHEETS 24, 25, 26 AND OVERALL DRAWING, FRANKLIN ST. ARTERIAL, CONCORDVILLE, AT 1700 1/2 ST. DATED DEC. 1947 ON FILE AT THE PORTLAND CITY VAULT 19050.
- CITY OF PORTLAND, MAINE FOR SLUM CLEARANCE & REDEVELOPMENT AUTHORITY, VINE-CRENSHAW PROJECT AREA 114, ON FILE IN THE CITY OF PORTLAND CITY VAULT 63598.
- CITY OF PORTLAND, MAINE PUBLIC WORKS DEPARTMENT, HAMPSHIRE STREET RECONSTRUCTION, PROJECT NUMBER 100-308-130, DATED OCT. 2008, ON FILE AT THE CITY OF PORTLAND CITY VAULT 63598.
- PORTLAND AND VALUATION SHEET DATED 1882 ON FILE AT THE PORTLAND CITY VAULT 73.
- PORTLAND TAX MAP IN WITH SEWER LINE OVERLAY INFORMATION, DATED FEB. 4, 2004, CC PLAN OF FORE STREET, SHEET 1 & 2, DATED JUL. 1929, ON FILE AT THE PORTLAND CITY VAULT 25.
- PLAN OF PORTLAND, MAINE FOR SLUM CLEARANCE & REDEVELOPMENT AUTHORITY, VINE-CRENSHAW PROJECT AREA 114, ON FILE IN THE CITY OF PORTLAND CITY VAULT 63598.
- PLAN OF PORTLAND, MAINE PUBLIC WORKS DEPARTMENT, HAMPSHIRE STREET RECONSTRUCTION, PROJECT NUMBER 100-308-130, DATED OCT. 2008, ON FILE AT THE CITY OF PORTLAND CITY VAULT 63598.
- PLAN OF CLAY COVE SEWER TRENCH, ON FILE AT THE PORTLAND CITY VAULT 45030.
- PORTLAND TAX MAP IN WITH SEWER LINE OVERLAY INFORMATION, DATED FEB. 4, 2004, CC PLAN OF FORE STREET, SHEET 1 & 2, DATED JUL. 1929, ON FILE AT THE PORTLAND CITY VAULT 25.
- PLAN OF MIDDLE STREET, DATED SEP. 1855, ON FILE AT THE PORTLAND CITY VAULT 73.
- PLAN OF NOLA FORE, MIDDLE, FRANKLIN & HAMPSHIRE STS. DATED SEP. 1855, ON FILE AT THE PORTLAND CITY VAULT 17.
- PLAN OF NEWBURY, MIDDLE, NOLA, HAMPSHIRE STS. ON FILE AT THE PORTLAND CITY VAULT 1830.
- PLAN OF NOLA, FORE, STS. DATED NOV. 1855, ON FILE AT THE PORTLAND CITY VAULT 1830.
- PLAN OF INDIA & CONGRESS STS. DATED OCT. 1851, ON FILE AT THE PORTLAND CITY VAULT 1830.
- LAND TITLE SURVEY PLAN OF PROPERTY PORTLAND, MADE FOR JORDAN'S MEATS, BY TICORP ASSOCIATES, DATED FEB. 7, 1950.

GENERAL NOTES CONTINUED

- EASEMENT REFERENCES:
 - EASEMENT FROM CITY OF PORTLAND TO JORDAN'S MEATS GRANTING RIGHTS TO THE EXISTING HVAC AND OTHER UTILITIES ENCRUGHING INTO THE MIDDLE STREET RIGHT OF WAY. DEED BOOK 2438 PAGE 57 DATED JULY 1, 1929.
 - SEWER EASEMENT GRANTED TO THE CITY OF PORTLAND IN DEED BOOK 2438 PAGE 256, SHOWN AS EASEMENT F AND EASEMENT E ON PLAN REFERENCES D.
- STREET RECORDS:
 - HAMPSHIRE STREET, MAY 1, 1854, DESCRIPTION BETWEEN MIDDLE AND FORE STREETS PVA 171.
 - HAMPSHIRE STREET, JULY 1, 1854, CHUB LANE USE OF THE TOWN AS A PRIVATE WAY OR LANE 1/2 MILES PVA 144.
 - HAMPSHIRE STREET, MARCH 21, 1854, CHUB LANE RENEWED HAMPSHIRE STREET PVA 144.
 - HAMPSHIRE STREET, MARCH 21, 1854, CHUB LANE RENEWED HAMPSHIRE STREET PVA 144.
 - HAMPSHIRE STREET, JULY 1, 1854, DISCONTINUED AS A PUBLIC STREET OR LANE IN THE CITY OF PORTLAND, HAMPSHIRE STREET, THAT PORTION BETWEEN FORE AND MIDDLE STS. 1/2 MILE.
 - MIDDLE STREET, APRIL 1, 1784, MIDDLE AND FORE STREET INFORMATION PVA 74.
 - MIDDLE STREET, JANUARY 1, 1835, LAYOUT OF MIDDLE STREET WORKED AS 66 FEET WIDE.
 - FORE STREET, APRIL 1, 1784, LAYOUTS FROM HANCOCK TO HAMPSHIRE AND HAMPSHIRE TO EXCHANGE PVA 1.
 - FORE STREET, DECEMBER 3, 1866, DANFORTH STREET RENEWED AS FORE STREET PVA 12.
 - FORE STREET, MAY 1, 1850, CHANGE OF LINE ON FORE STREET (THORN ANGLE POINT NEAR HAMPSHIRE) PVA 171.
 - FORE STREET, JULY 1, 1854, RELOCATE FORE STREET AS A PUBLIC STREET ON WAY IN THE CITY OF PORTLAND MAJOR CHANGE TO EXISTING LOCATION PVA 171.
 - FORE STREET, CONSTRUCTION EASEMENT SACON OVER LOGS LOT 171/100 PVA 1.
 - PVA REFERS TO THE PORTLAND PUBLIC WORKS VAULT VOLS.
- RIGHTS IN THE RAIL ROAD EASEMENT CROSSING THE SOUTHERLY CORNER OF THE LOCUS PROPERTY FROM FORE AND FRANKLIN STREETS RELAYED TO JORDAN'S MEATS BY THE HANSON CORPORATION IN DEED BOOK 234 PAGE 201 ON DECEMBER 5, 1850 AND BY THE CITY OF PORTLAND IN DEED BOOK 274 PAGE 306 ON DECEMBER 15, 1850.
- NO EASEMENT WAS FOUND FOR THE OVERHEAD ELECTRICAL LINES CROSSING THROUGH AND OVER THE LOCUS PROPERTY.
- NO EASEMENT WAS FOUND FOR THE GAS LINE CROSSING THE PROPERTY. NORTHERN UTILITIES WAS CONTACTED AND DID NOT PROVIDE WRITTEN EVIDENCE OF LICENSE OR EASEMENT DURING THIS SURVEY.
- NO EASEMENT WAS FOUND FOR THE TELEPHONE BUILDING SHOWN HEREON AS OF 20-11-15. CITY OF PORTLAND MAY HAVE EASEMENT RIGHTS, SEE RECORDS LEGAL COUNCIL SHALL MAKE A DETERMINATION.
- UTILITIES SHOWN AS SHORT DASHED LINES ARE SHOWN FROM PLANT HANDBY BY UTILITY COMPANIES OR THEIR REPRESENTATIVES OR FROM UTILITY PLANS REFERENCED IN THESE NOTES.
- THE PROPERTY IS LOCATED WITHIN THE CITY OF PORTLAND B-3 ZONE AND WITHIN THE OLD PORT OVERLAY ZONE. THE MIDDLE STREET AREA ADJUTING THE LOCUS SITE IS WITHIN THE "PROMANSHAW SHORAGED AREA" WHICH IS NOT MANDATORY BUT ENCOURAGED.
- SEE SHEET 2 OF 3 FOR UTILITY INFORMATION.

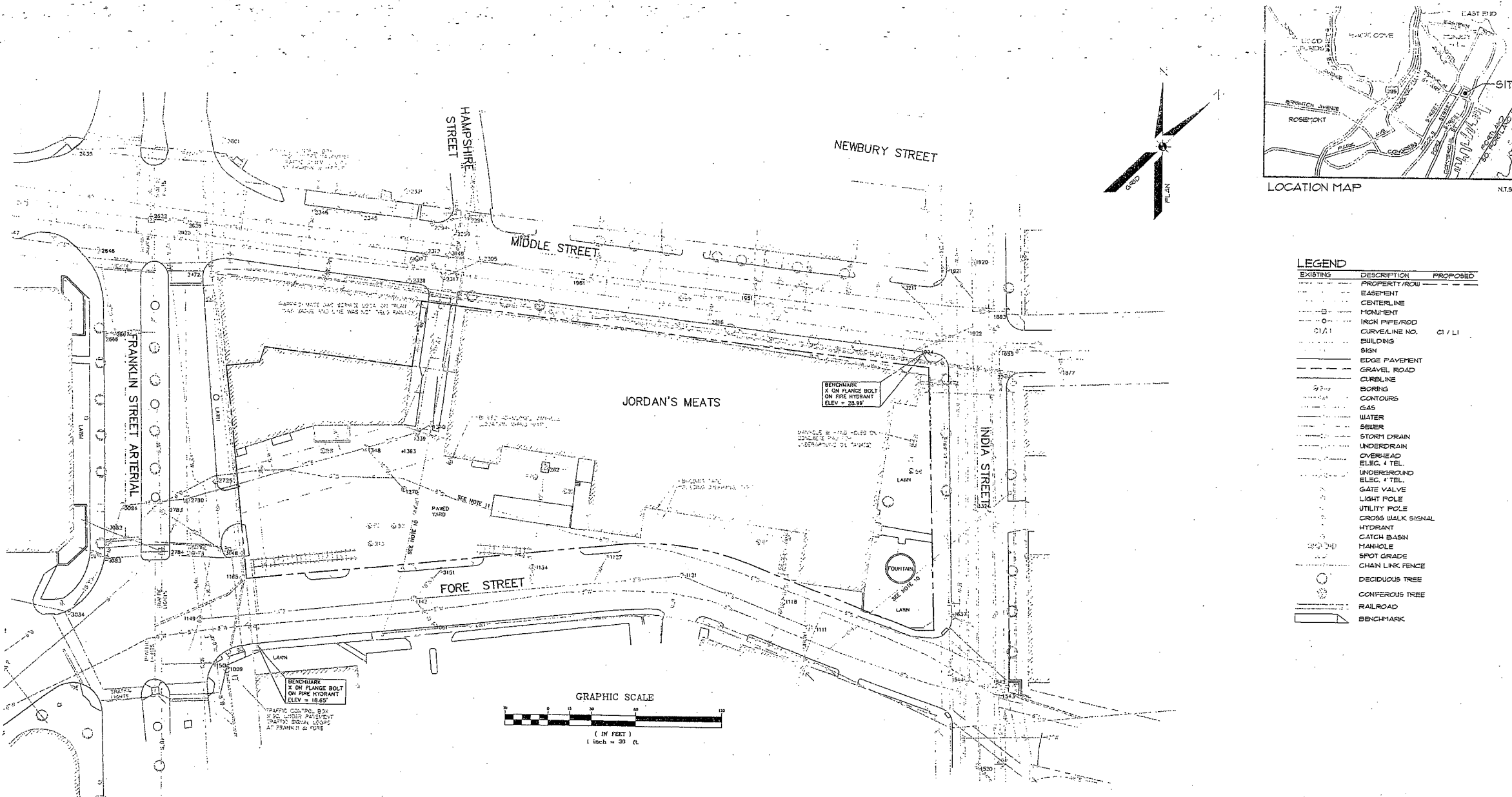
THE HOTEL & RESIDENCES
at
THE WESTIN
Portland, Maine
PME 1 Limited
Partnership



EXISTING CONDITIONS PLAN

DLR	205042/STI 05090
DESIGNY	Printed Number
SCALE	1"=30'
DRAWN	Scale
CHECK BY	7/12/05
DATE	Scale
SEBAGO TECHNICS	Date
Professional Engineer	
05090DEC	
Name	

CO.1



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---(---)	PROPERTY/ROW	---
---	EASEMENT	---
-+--+	CENTERLINE	-+--+
-+--+	FORMER	-+--+
○	1/8" IRON PIPE/ROD	○
○	CURVILINE NO.	○
○	CI / LI	○
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	BORING	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERDRAIN	---
---	OVERHEAD ELEC. / TEL.	---
---	UNDERGROUND ELEC. / TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	CROSS WALK SIGNAL	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
---	RAILROAD	---
---	BENCHMARK	---

Sebago Technics
 Engineering Paperwork You Can Build On
 One Grand Street
 Westbrook, VT 05671-1110
 Tel (802) 856-6277

LOCATION MAP N.T.S.

A Final Plan Submission to City 3-28-06
 No. Drawing Issue Description Date

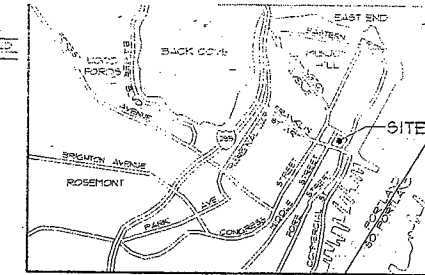
THE HOTEL & RESIDENCES
 at
 THE WESTIN
 Portland, Maine
 •
 PME 1 Limited
 Partnership

UTILITY STRUCTURE CHART

STRUCTURE TYPE	STRUCTURE #	R/W ELEVATION	R/W MIN ELEVATION	R/W MAX ELEVATION	PIPE DIA. (INCHES)	DEPTH (FEET)	MISCELLANEOUS NOTE
SMH	1008	17.93			3	11.97	
SMH	1111	26.39	11.3	0	12	12	11" TOP TRAP (11.5" WATER LEVEL)
SMH	1118	19.84	17.1	0	10	10	12" TOP TRAP (12" WATER LEVEL)
SMH	1121	18.48	8.1	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1122	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1123	18.24	7.95	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1124	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1125	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1126	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1127	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1128	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1129	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1130	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1131	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1132	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1133	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1134	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1135	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1136	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
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SMH	1138	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1139	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1140	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
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SMH	1146	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
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SMH	1154	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
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SMH	1157	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1158	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1159	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1160	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1161	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
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SMH	1173	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1174	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1175	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1176	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1177	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1178	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1179	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1180	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1181	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1182	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1183	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1184	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1185	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1186	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1187	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1188	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1189	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1190	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1191	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1192	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1193	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1194	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1195	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1196	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1197	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1198	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1199	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1200	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)

UTILITY STRUCTURE CHART

STRUCTURE TYPE	STRUCTURE #	R/W ELEVATION	R/W MIN ELEVATION	R/W MAX ELEVATION	PIPE DIA. (INCHES)	DEPTH (FEET)	MISCELLANEOUS NOTE
SMH	1201	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1202	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1203	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1204	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1205	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1206	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1207	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1208	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1209	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1210	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1211	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1212	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1213	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1214	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1215	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1216	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1217	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1218	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1219	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1220	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1221	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1222	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1223	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1224	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1225	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1226	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1227	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1228	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1229	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1230	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1231	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1232	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1233	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1234	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1235	18.27	8.87	0	12	12	12" TOP TRAP (12" WATER LEVEL)
SMH	1236	18.27</					

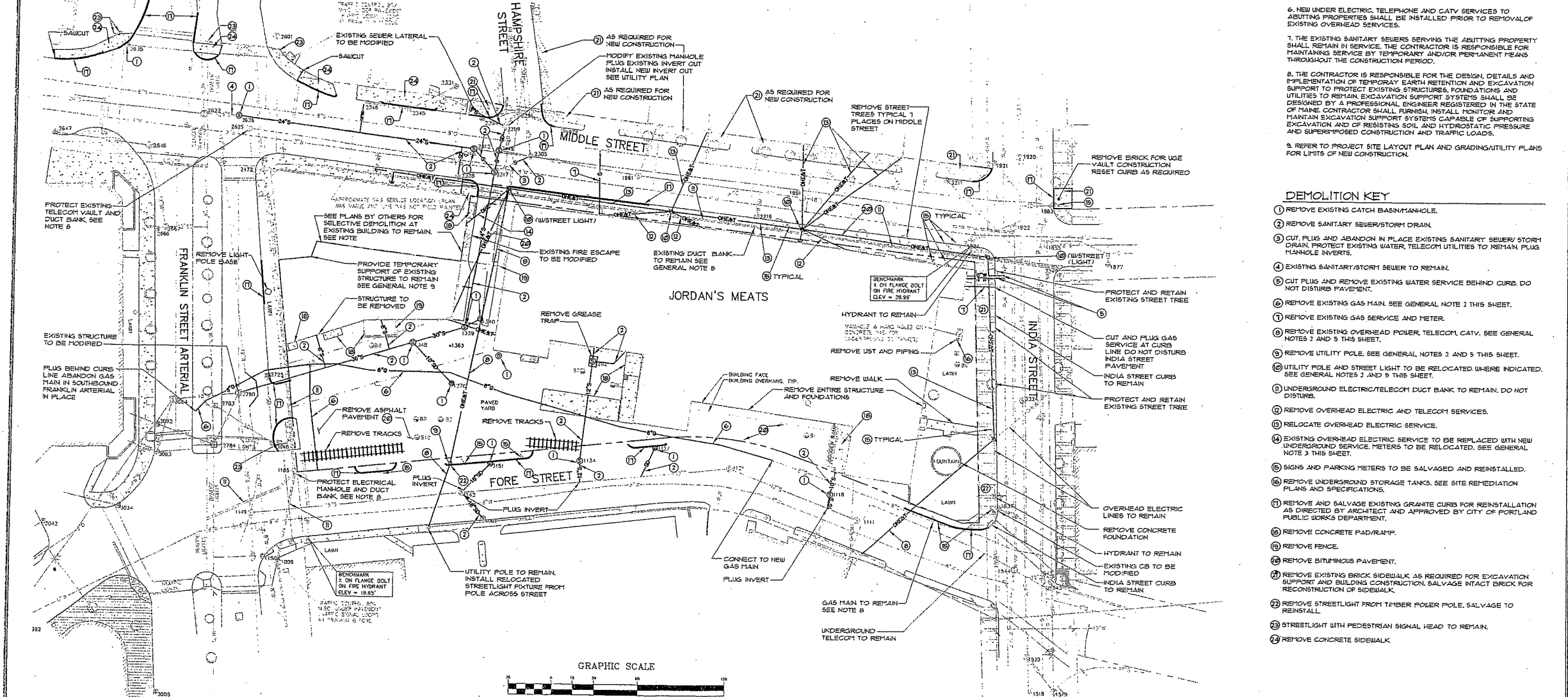


TYPE	ID	DIM	INVERT	WATER LEVEL	DEPT	CONTR	STATUS
SN	1100	36.00	18.31		10.00	18.31	AS-BUILT
SN	1110	36.00	18.31		10.00	18.31	AS-BUILT
SN	1120	36.00	18.31		10.00	18.31	AS-BUILT
SN	1130	36.00	18.31		10.00	18.31	AS-BUILT
SN	1140	36.00	18.31		10.00	18.31	AS-BUILT
SN	1150	36.00	18.31		10.00	18.31	AS-BUILT
SN	1160	36.00	18.31		10.00	18.31	AS-BUILT
SN	1170	36.00	18.31		10.00	18.31	AS-BUILT
SN	1180	36.00	18.31		10.00	18.31	AS-BUILT
SN	1190	36.00	18.31		10.00	18.31	AS-BUILT
SN	1200	36.00	18.31		10.00	18.31	AS-BUILT
SN	1210	36.00	18.31		10.00	18.31	AS-BUILT
SN	1220	36.00	18.31		10.00	18.31	AS-BUILT
SN	1230	36.00	18.31		10.00	18.31	AS-BUILT
SN	1240	36.00	18.31		10.00	18.31	AS-BUILT
SN	1250	36.00	18.31		10.00	18.31	AS-BUILT
SN	1260	36.00	18.31		10.00	18.31	AS-BUILT
SN	1270	36.00	18.31		10.00	18.31	AS-BUILT
SN	1280	36.00	18.31		10.00	18.31	AS-BUILT
SN	1290	36.00	18.31		10.00	18.31	AS-BUILT
SN	1300	36.00	18.31		10.00	18.31	AS-BUILT
SN	1310	36.00	18.31		10.00	18.31	AS-BUILT
SN	1320	36.00	18.31		10.00	18.31	AS-BUILT
SN	1330	36.00	18.31		10.00	18.31	AS-BUILT
SN	1340	36.00	18.31		10.00	18.31	AS-BUILT
SN	1350	36.00	18.31		10.00	18.31	AS-BUILT
SN	1360	36.00	18.31		10.00	18.31	AS-BUILT
SN	1370	36.00	18.31		10.00	18.31	AS-BUILT
SN	1380	36.00	18.31		10.00	18.31	AS-BUILT
SN	1390	36.00	18.31		10.00	18.31	AS-BUILT
SN	1400	36.00	18.31		10.00	18.31	AS-BUILT

[Symbol]	DESCRIPTION
[Symbol]	DEPARTMENT
[Symbol]	BASEMENT
[Symbol]	CENTERLINE
[Symbol]	MONUMENT
[Symbol]	IRON PIPE/BSD
[Symbol]	CURVE LINE NO.
[Symbol]	BUILDING
[Symbol]	SIGN
[Symbol]	EDGE PAVEMENT
[Symbol]	GRAVEL ROAD
[Symbol]	CURBLINE
[Symbol]	BORING
[Symbol]	CONTOUR
[Symbol]	GAS
[Symbol]	WATER
[Symbol]	SEWER
[Symbol]	STORM DRAIN
[Symbol]	UNDERDRAIN
[Symbol]	OVERHEAD ELEC. & TEL.
[Symbol]	UNDERGROUND ELEC. & TEL.
[Symbol]	GATE VALVE
[Symbol]	LIGHT POLE
[Symbol]	UTILITY POLE
[Symbol]	CROSS WALK SIGNAL
[Symbol]	HYDRANT
[Symbol]	CATCH BASIN
[Symbol]	MANHOLE
[Symbol]	SPOT GRADE
[Symbol]	CHAIN LINK FENCE
[Symbol]	DECIDUOUS TREE
[Symbol]	CONIFEROUS TREE
[Symbol]	RAILROAD
[Symbol]	BENCHMARK

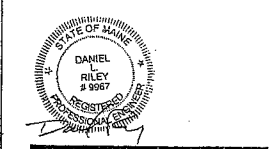
- GENERAL NOTES**
1. ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, S-M'S, CB'S, HYDRANTS, ETC. AND ON DESIGN, RECORD AND/OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS, INC. BY OTHERS. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORINGS, DRILLING, ETC. DIG SAME MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SURE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
 2. EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. TERMINATED UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE CUT, PLUGGED, REMOVED OR ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS. NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP AND/OR JURISDICTION OVER THOSE UTILITIES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL UTILITY SERVICES TO PROPERTIES ABUTTING THE PROJECT SITE AND FOR PROVIDING UTILITY SERVICE TO SUCH PROPERTIES THROUGHOUT THE CONSTRUCTION PERIOD.
 4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH THE PROJECT PHASING AND LOGISTIC PLANS PREPARED BY OTHERS.
 5. OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND IMPLEMENTATION OF TEMPORARY EARTH RETENTION AND EXCAVATION SUPPORT TO PROTECT EXISTING STRUCTURES, FOUNDATIONS AND UTILITIES TO REMAIN EXCAVATION SUPPORT SYSTEMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE. CONTRACTOR SHALL FURNISH, INSTALL, MONITOR AND MAINTAIN EXCAVATION SUPPORT SYSTEMS CAPABLE OF SUPPORTING EXISTING AND OR RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED CONSTRUCTION AND TRAFFIC LOADS.
 6. NEW UNDER ELECTRIC, TELEPHONE AND CATV SERVICES TO ABUTTING PROPERTIES SHALL BE INSTALLED PRIOR TO REMOVAL OF EXISTING OVERHEAD SERVICES.

No.	Final Plan Submission to City	3-28-06
No.	Drawing Issue Description	Date



- DEMOLITION KEY**
1. REMOVE EXISTING CATCH BASIN/MANHOLE.
 2. REMOVE SANITARY SEWER/STORM DRAIN.
 3. CUT, PLUG AND ABANDON IN PLACE EXISTING SANITARY SEWER/STORM DRAIN. PROTECT EXISTING WATER, TELECOM UTILITIES TO REMAIN. PLUG MANHOLE INVERTS.
 4. EXISTING SANITARY/STORM SEWER TO REMAIN.
 5. CUT PLUG AND REMOVE EXISTING WATER SERVICE BEHIND CURB. DO NOT DISTURB PAVEMENT.
 6. REMOVE EXISTING GAS MAIN. SEE GENERAL NOTE 3 THIS SHEET.
 7. REMOVE EXISTING GAS SERVICE AND METER.
 8. REMOVE EXISTING OVERHEAD POWER, TELECOM, CATV. SEE GENERAL NOTES 3 AND 5 THIS SHEET.
 9. REMOVE UTILITY POLE. SEE GENERAL NOTES 3 AND 5 THIS SHEET.
 10. UTILITY POLE AND STREET LIGHT TO BE RELOCATED WHERE INDICATED. SEE GENERAL NOTES 3 AND 5 THIS SHEET.
 11. UNDERGROUND ELECTRIC/TELECOM DUCT BANK TO REMAIN. DO NOT DISTURB.
 12. REMOVE OVERHEAD ELECTRIC AND TELECOM SERVICES.
 13. RELOCATE OVERHEAD ELECTRIC SERVICE.
 14. EXISTING OVERHEAD ELECTRIC SERVICE TO BE REPLACED WITH NEW UNDERGROUND SERVICE METERS TO BE RELOCATED. SEE GENERAL NOTE 3 THIS SHEET.
 15. SIGNS AND PARKING METERS TO BE SALVAGED AND REINSTALLED.
 16. REMOVE UNDERGROUND STORAGE TANKS. SEE SITE REMEDIATION PLANS AND SPECIFICATIONS.
 17. REMOVE AND SALVAGE EXISTING GRANITE CURBS FOR REINSTALLATION AS DIRECTED BY ARCHITECT AND APPROVED BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
 18. REMOVE CONCRETE PAD/RAMP.
 19. REMOVE FENCE.
 20. REMOVE BITUMINOUS PAVEMENT.
 21. REMOVE EXISTING BRICK SIDEWALK AS REQUIRED FOR EXCAVATION SUPPORT AND BUILDING CONSTRUCTION. SALVAGE INTACT BRICK FOR RECONSTRUCTION OF SIDEWALK.
 22. REMOVE STREETLIGHT FROM TOWER POLE. SALVAGE TO REINSTALL.
 23. STREETLIGHT WITH PEDESTRIAN SIGNAL HEAD TO REMAIN.
 24. REMOVE CONCRETE SIDEWALK.

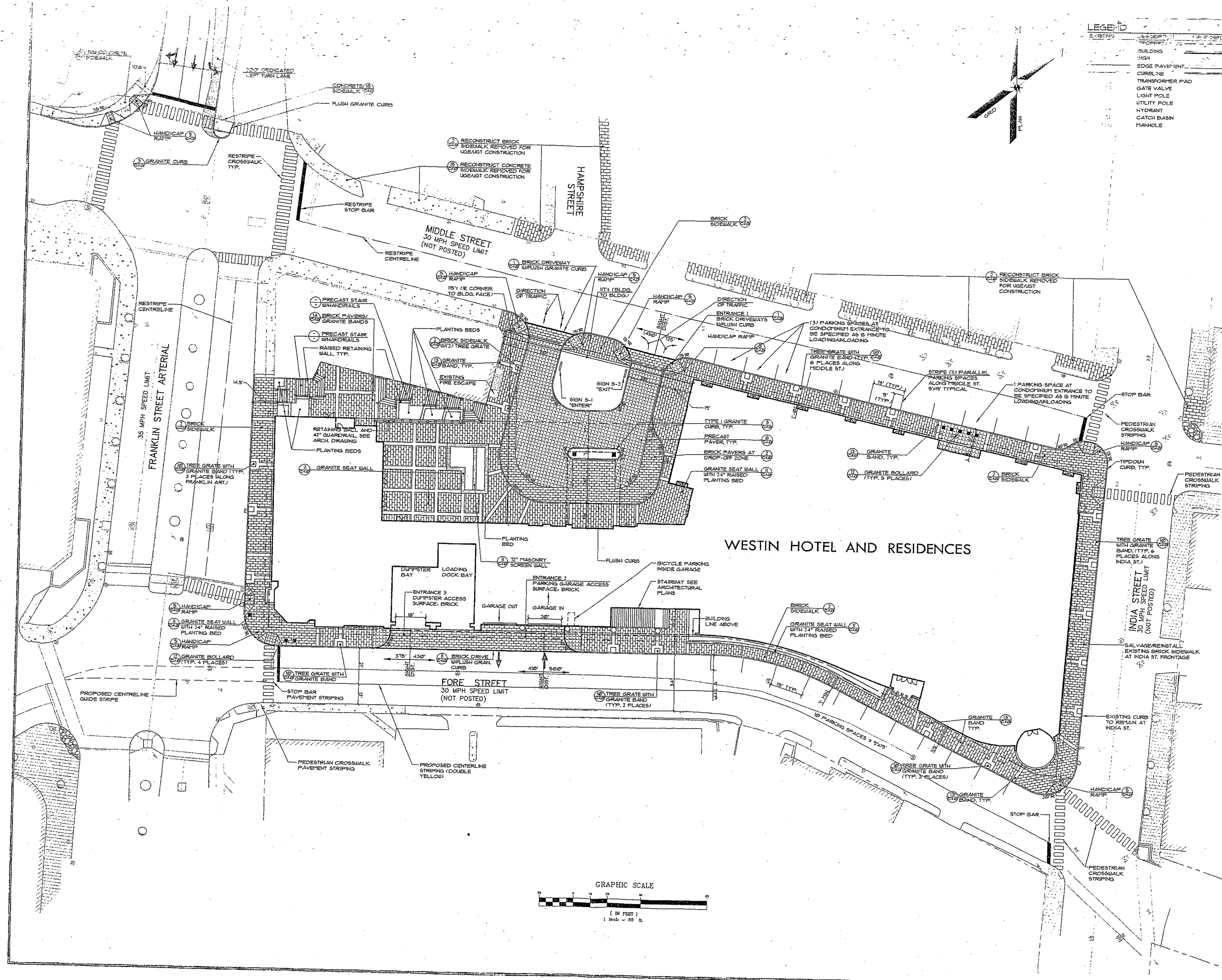
THE HOTEL & RESIDENCES
 at
 THE WESTIN
 Portland, Maine
 PME I Limited
 Partnership



SITE AND UTILITY DEMOLITION PLAN

DLR	205042/STI 05090
DESIGN BY	Project Number
SCALE	1"=30'
DRAWN BY	Date
DLR	12/2/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Engineer	
OS090DEMO	
Planter	

C1.0



LEGEND

EXISTING	PROPOSED
BUILDING	EDGE PAVEMENT
SIGN	CURBLINE
TRANSFORMER PAD	GATE VALVE
UTILITY POLE	HYDRANT
CATCH BASIN	HANDHOLE

Sebago Technica
 Engineering Experience You Can Trust!
 One Seabrook Street
 Westbrook, ME 04092-1110
 Tel: (207) 856-9277

No.	Drawing Issue Description	Date
A	Final Plan Submission to City	3-28-06

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THE WESTIN
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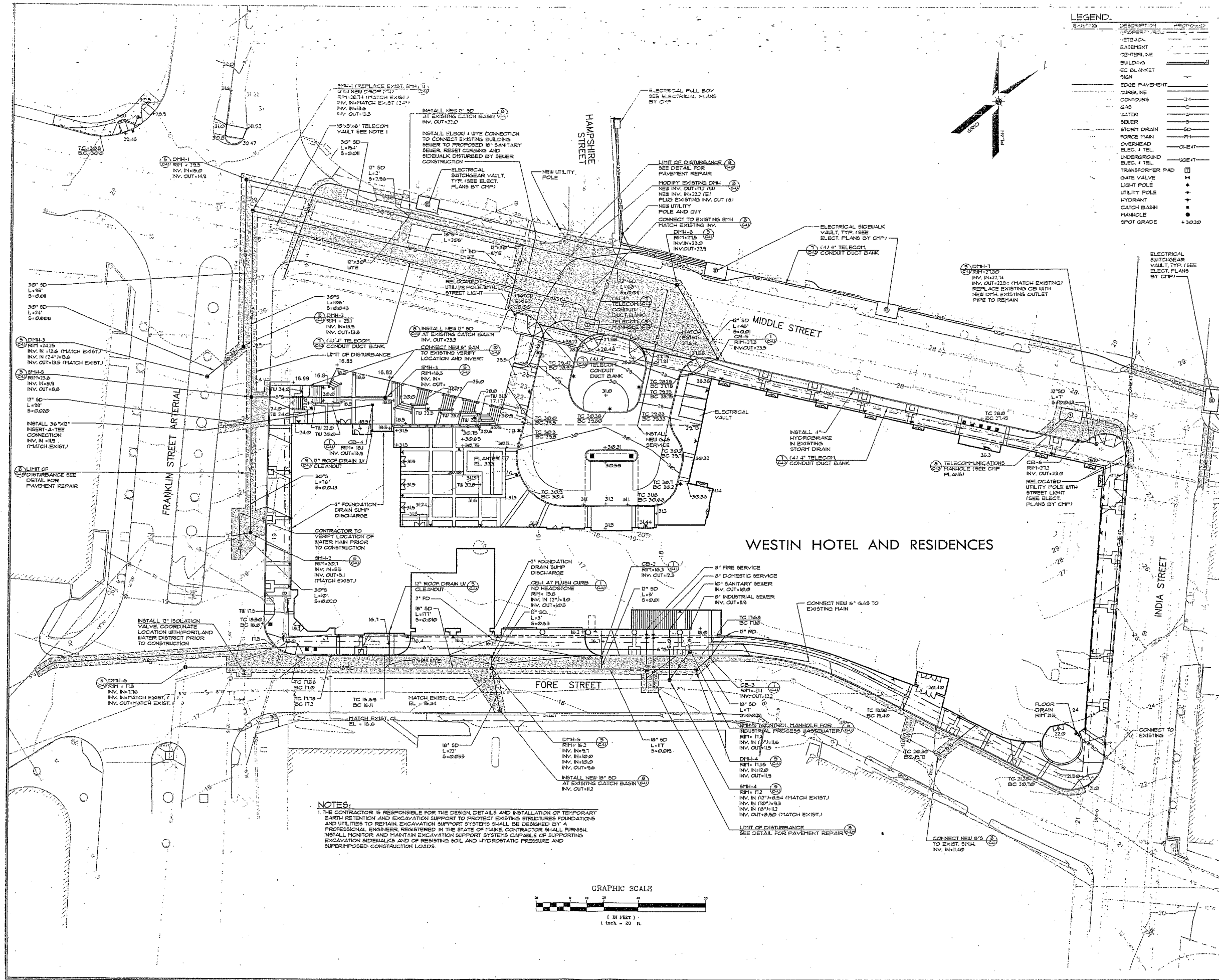


SITE LAYOUT PLAN

DLR	205042/STI 05090
SEARCH BY	Design Number
MAL	1"=20'
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICA	
Project Number: 050905	
Revision:	

C1.1

Not Issued For Construction



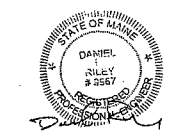
LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	RETRACT	---
---	EASEMENT	---
---	CONCRETE	---
---	BUILDING	---
---	EC BLANKET	---
---	IGN	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. + TEL.	---
---	UNDERGROUND ELEC. + TEL.	---
---	TRANSFORMER PAD	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	SPOT GRADE	---

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 Engineering Corporation - You Can Build On
 One Chestnut Street
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 Tel: (207) 752-0779

No.	Drawing Issue Description	Date
A	Final Plan Submission to City	3-28-06
N	Drawing Issue Description	

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 at
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GRADING AND UTILITY PLAN

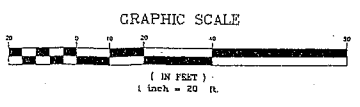
DLR	205042/STI 05090
DESIGN BY	Project Number
MAL	1"=20'
DRAWN BY	Scale
DLR	7/13/05
CHECKED	Date

SEBAGO TECHNICS
 05090GU
 Review

C2.0

Not Issued For Construction

NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, DETAILS AND INSTALLATION OF TEMPORARY EARTH RETENTION AND EXCAVATION SUPPORT TO PROTECT EXISTING STRUCTURES, FOUNDATIONS AND UTILITIES TO REMAIN. EXCAVATION SUPPORT SYSTEMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF MAINE. CONTRACTOR SHALL FURNISH, INSTALL, MONITOR AND MAINTAIN EXCAVATION SUPPORT SYSTEMS CAPABLE OF SUPPORTING EXCAVATION SIDEWALKS AND OF RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED CONSTRUCTION LOADS.



PLANT LIST

PLANT	DESCRIPTION	QUANTITY	SIZE
AA	ACER P. RUBRIPETIO	2	12" CAL
AN	ANIMAL FLOWERS	2	12" CAL
AS	CARDUS B. PASTOSUS	2	12" CAL
ES	EUCHROMIS GREENLAND	2	12" CAL
FA	FELICIA P. CANTON	2	12" CAL
HC	HEMEROCALLIS CV. STELLA D'ORO	2	12" CAL
HS	HOSTA CV.	2	12" CAL
J5	JUNIPERUS SABINA CV. BROADFOOT	2	12" CAL
KA	KALHA LATIFOLIA CV. TRAKERBELL	2	12" CAL
RA	RHODODENDRON CV. P.M. COMPACTA	2	12" CAL
SR	SYRINGA REVICULATA	2	12" CAL
VC	VEURBAY CARLES CV. WOOD	2	12" CAL
J5	JUNIPERUS SABINA	2	12" CAL
KA	KALHA LATIFOLIA	2	12" CAL
RA	RHODODENDRON	2	12" CAL
SR	SYRINGA	2	12" CAL
VC	VEURBAY CARLES	2	12" CAL

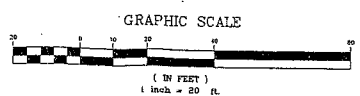
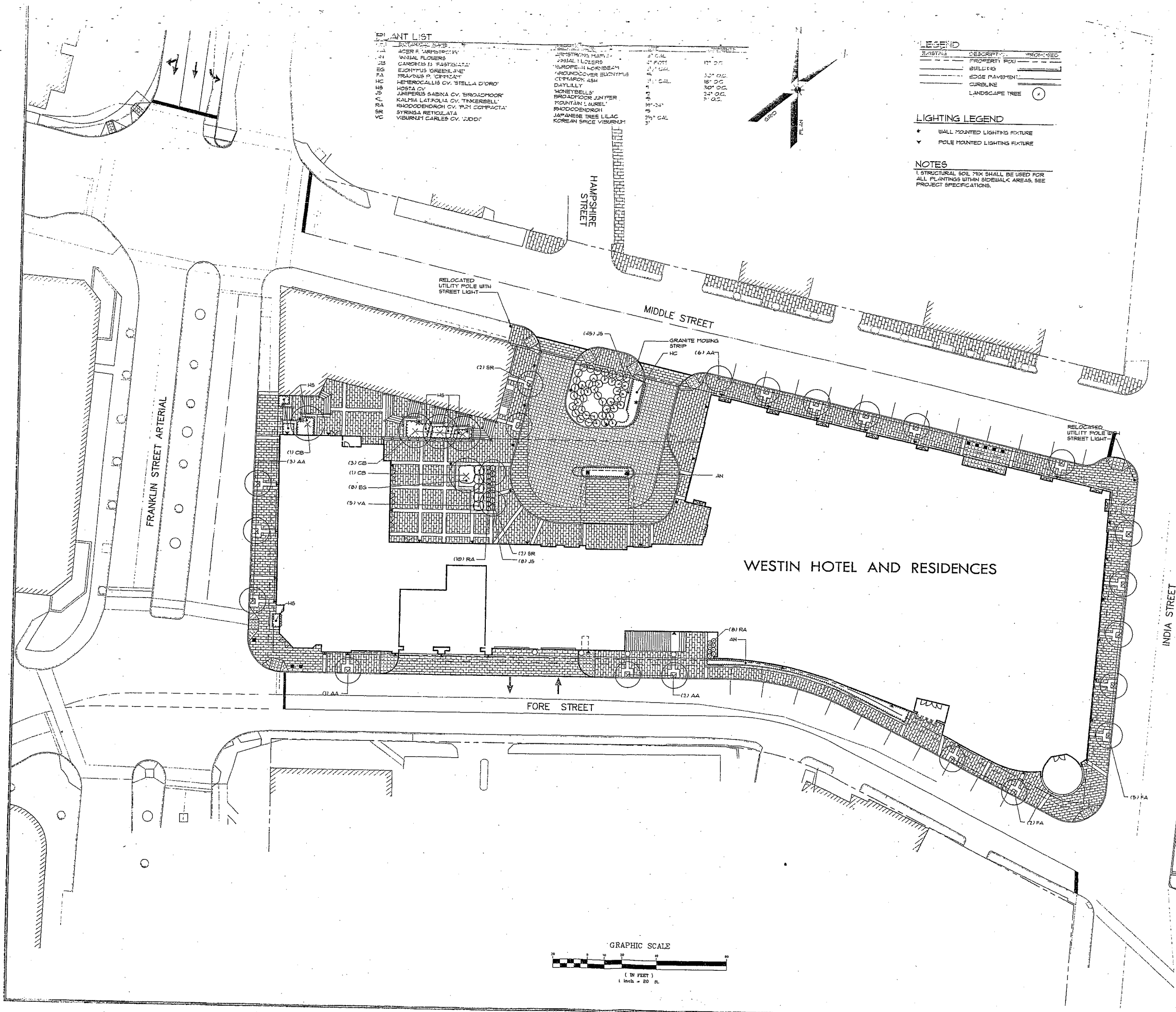
LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	LANDSCAPE TREE	---

LIGHTING LEGEND

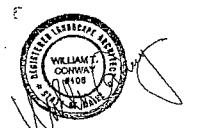
★	WALL MOUNTED LIGHTING FIXTURE
▼	POLE MOUNTED LIGHTING FIXTURE

NOTES
 1. STRUCTURAL SOIL MIX SHALL BE USED FOR ALL PLANTINGS WITHIN SIDEWALK AREAS. SEE PROJECT SPECIFICATIONS.



No.	Description	Date
A	Final Plan Submission to City	3-28-06

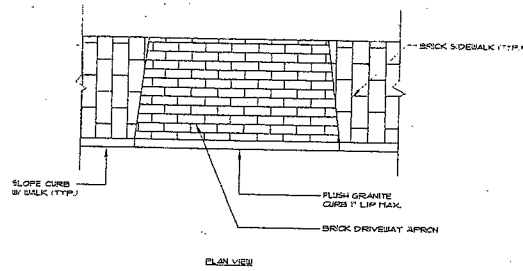
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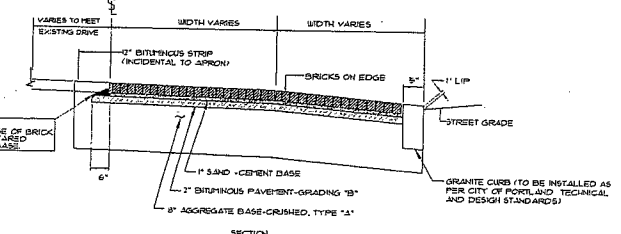
LANDSCAPE PLAN

DLR	205042/STI 05090
DESIGN BY	Project Number
MAL	1"=20'
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090L	
Drawn	

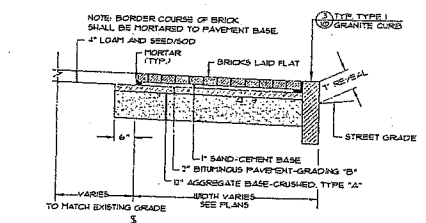
C3.0



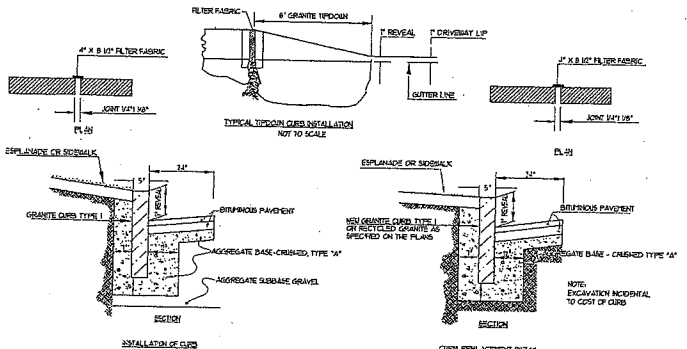
1 SECTION AT BRICK DRIVEWAY
NOT TO SCALE



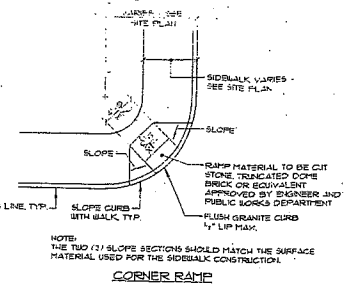
2 BRICK SIDEWALK DETAIL-NO ESPLANADE
NOT TO SCALE



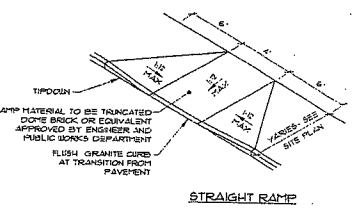
3 TYP. INSTALLATION OF CURB TYPE 1
NOT TO SCALE



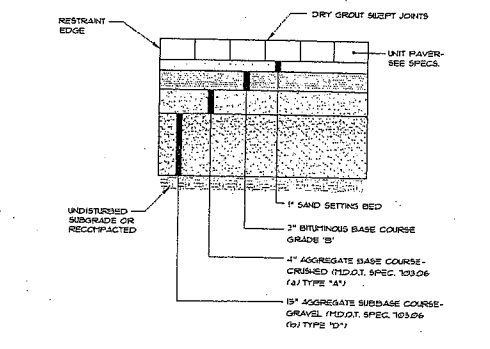
4 CORNER DETAIL
NOT TO SCALE



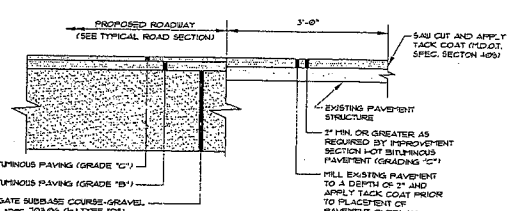
5 HANDICAP RAMP
NOT TO SCALE



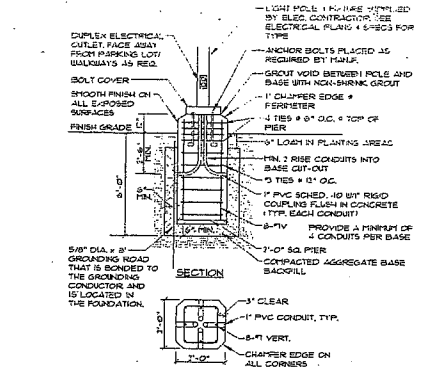
6 UNIT PAVEMENT
NOT TO SCALE



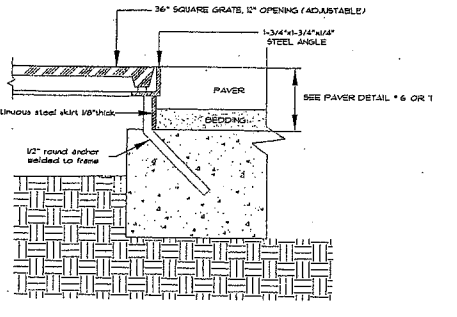
7 CONCRETE PAVEMENT W/ FLUSH GRANITE CURB
NOT TO SCALE



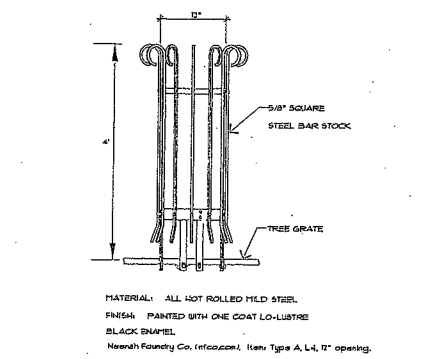
8 PAVEMENT SAW CUT DETAIL
NOT TO SCALE



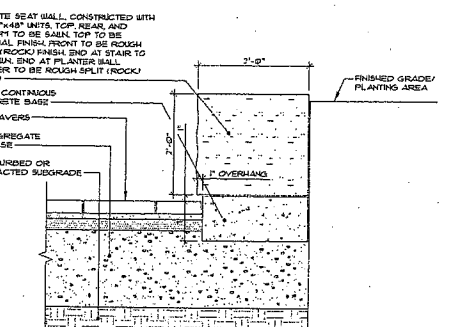
9 TYPICAL LIGHT POLE BASE
NOT TO SCALE



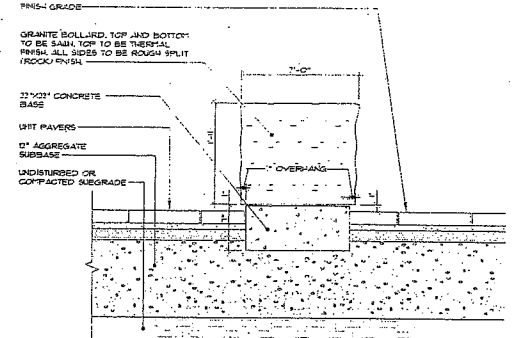
10 TYPICAL SECTION TREE GRATE FRAME
NOT TO SCALE



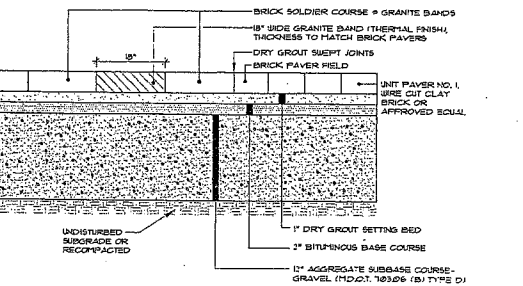
11 TYPICAL TREE GUARD
NOT TO SCALE



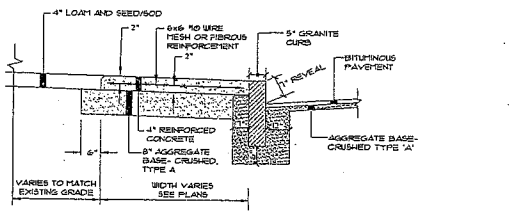
12 GRANITE SEAT WALL
NOT TO SCALE



13 GRANITE BOLLARD
NOT TO SCALE



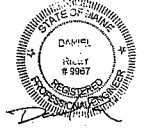
14 BRICK PAVEMENT / GRANITE BANDS
NOT TO SCALE



15 CONCRETE SIDEWALK
NOT TO SCALE

No.	Revision Description	Date
A	Final Plan Submission to City	3-28-06

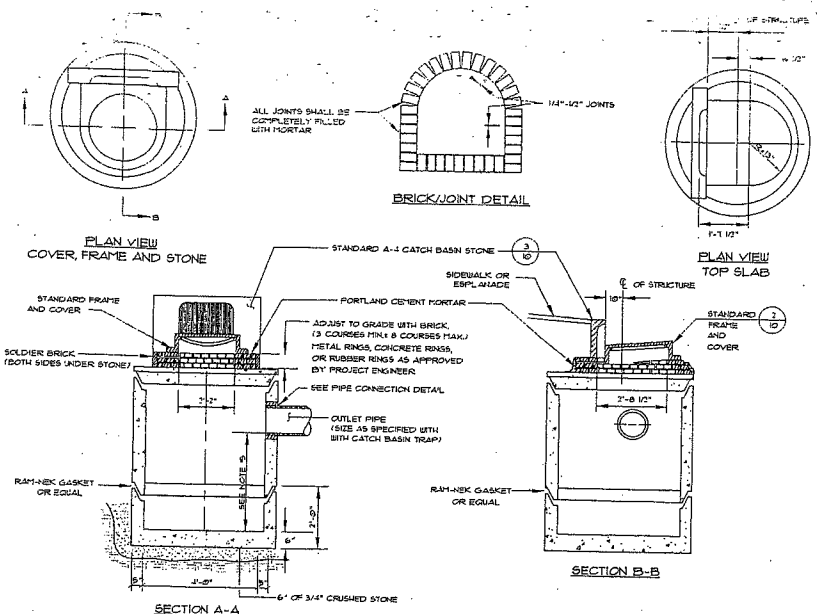
THE HOTEL & RESIDENCES
at
THE WESTIN
Portland, Maine
PME Limited Partnership



DETAILS

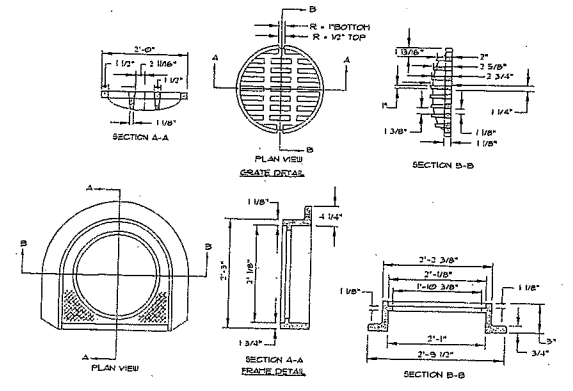
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DESIGN BY	Project Number
MAJ	AS SHOWN
DRAWN BY	Scale
DLR	11/23/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090D	
Title	

C4.0

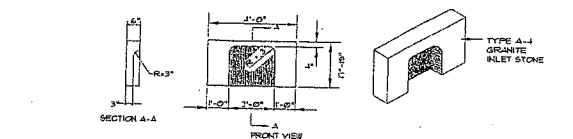


1 PRECAST CONCRETE CATCH BASIN - TYPE "E"
NOT TO SCALE

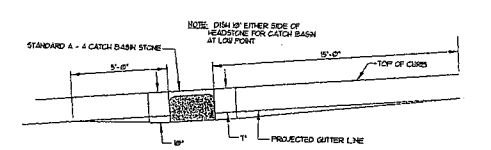
NOTES:
1. 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS FOR APPROVAL.
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADINGS.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. CATCH BASIN FRAME AND GRATE TO ACCOMMODATE 2" MIN. GRATE (H-20 LOADINGS & BICYCLE SAFE). PROVIDE SHOP DRAWINGS FOR ENGINEER'S / OWNER REPRESENTATIVE'S APPROVAL.
5. SUPPS TO BE 3' WITHIN CITY OF PORTLAND RIGHT-OF-WAY AND 2' MIN. IN ALL OTHER LOCATIONS.



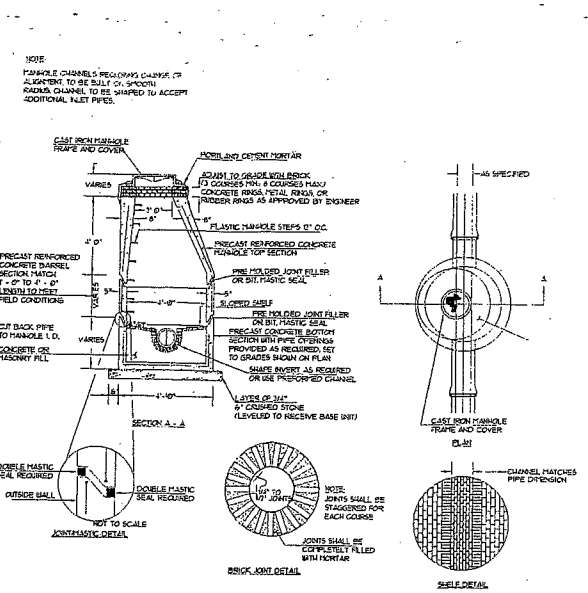
2 CATCH BASIN TYPE "D" - FRAME & COVER DETAIL
NOT TO SCALE



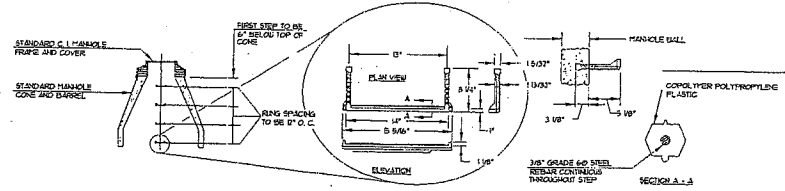
3 TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL
NOT TO SCALE



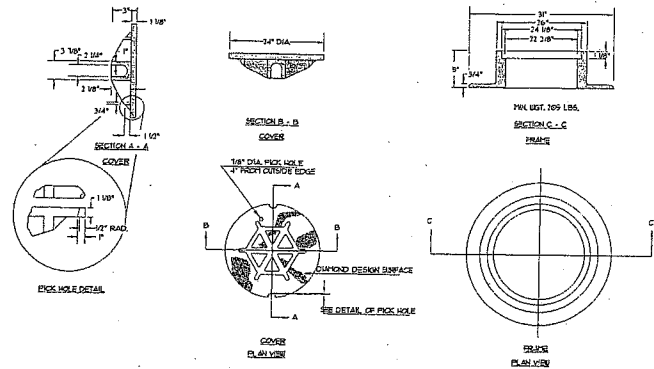
4 TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET
NOT TO SCALE



5 PRECAST CONCRETE MANHOLE TYPE "A"
NOT TO SCALE



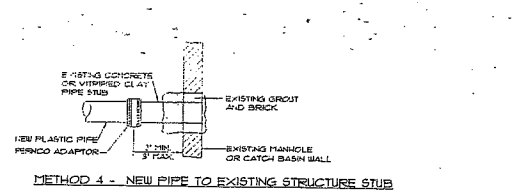
6 PLASTIC MANHOLE STEPS
NOT TO SCALE



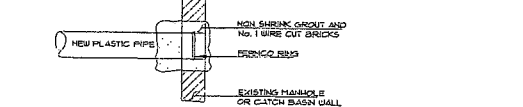
7 TYPE "A" CAST IRON MANHOLE COVER AND FRAME
NOT TO SCALE

GENERAL NOTES FOR MANHOLES AND CATCH BASINS

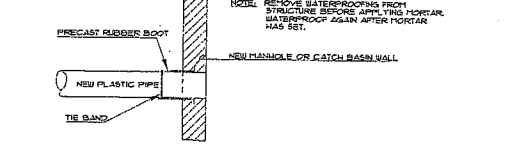
1. ALL CONCRETE SHALL BE CLASS 40' AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 501 RICH AT 28 DAYS UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONCRETE BARRELS MANUFACTURED PER ASTM SPEC C-494-87.
3. SEWER BRICK SHALL CONFORM TO ASTM SPEC DESIGNATE ON C-37-83, GRADE 14 AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE PLASTERED WITH A SMOOTH FORTAR FINISH 3/8" THICK AFTER THE MORTAR HAS SET. THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 054.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A815-CLASS 25. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR BITCH VARNISH OR ALUMINUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY SECTION AND COVER, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED PUNCH HOLE.
9. EXISTING MANHOLES CATCH BASINS, REARS, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



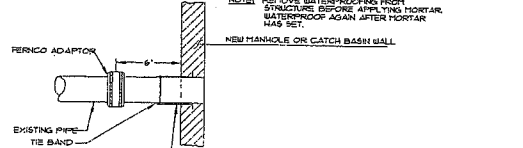
METHOD 4 - NEW PIPE TO EXISTING STRUCTURE



METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE

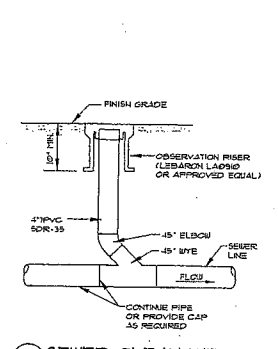


METHOD 2 - NEW CONSTRUCTION

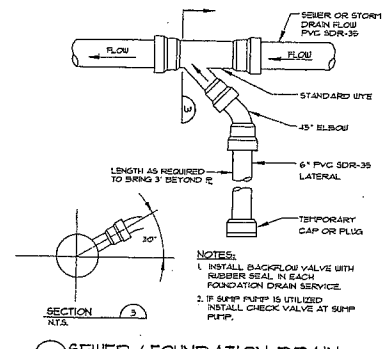


METHOD 1 - EXISTING PIPE INTO NEW STRUCTURE

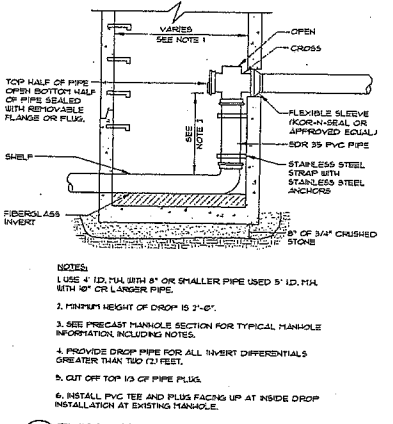
8 PLASTIC PIPE CONNECTION DETAIL
NOT TO SCALE



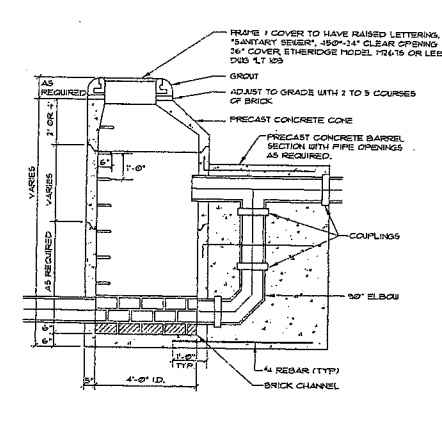
9 SEWER CLEANOUT
NOT TO SCALE



10 SEWER / FOUNDATION DRAIN SERVICE CONNECTION
NOT TO SCALE



11 TYPICAL PRECAST DROP MANHOLE (INSIDE DROP)
NOT TO SCALE



12 TYPICAL SANITARY DROP MANHOLE (OUTSIDE DROP)
NOT TO SCALE

No.	Drawing Issue Description	Date
A	Final Plan Submission to City	3-28-06

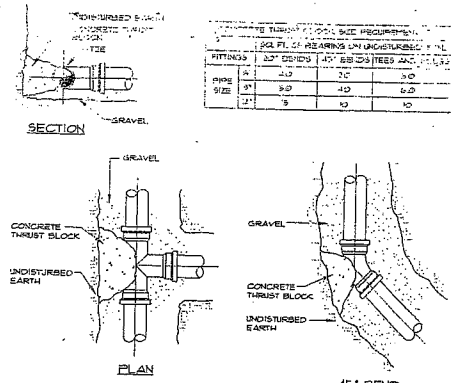
THE HOTEL & RESIDENCES
at
THE WESTIN
Portland, Maine
PME I Limited Partnership



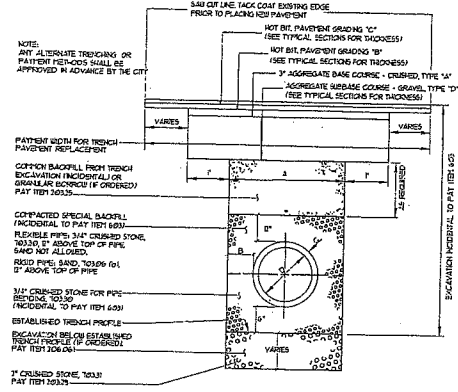
DETAILS

DLR	205042/STI 05090
DESIGN BY	Project Number
MAIL	AS SHOWN
DRAWN BY	DATE
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090D	
Revised	

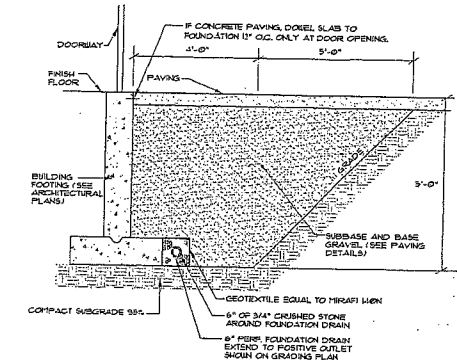
C4.1



1 TEE AND BEND DETAIL
NOT TO SCALE



2 TYPICAL PIPE INSTALLATION DETAIL
NOT TO SCALE



3 5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE

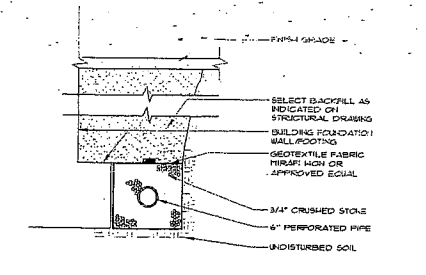
TABLE OF DIMENSIONS
E.V.C. TRUSS, CHIP, & POLYETHYLENE PIPE

B	A	C	W.C. BASE / 100'
10	3'-0"	0'-1 1/2"	12,450
12	3'-0"	0'-1 1/2"	12,450
14	3'-0"	0'-1 1/2"	12,450
16	3'-0"	0'-1 1/2"	12,450
18	3'-0"	0'-1 1/2"	12,450
20	3'-0"	0'-1 1/2"	12,450
22	3'-0"	0'-1 1/2"	12,450
24	3'-0"	0'-1 1/2"	12,450
26	3'-0"	0'-1 1/2"	12,450
28	3'-0"	0'-1 1/2"	12,450
30	3'-0"	0'-1 1/2"	12,450
32	3'-0"	0'-1 1/2"	12,450
34	3'-0"	0'-1 1/2"	12,450
36	3'-0"	0'-1 1/2"	12,450
38	3'-0"	0'-1 1/2"	12,450
40	3'-0"	0'-1 1/2"	12,450
42	3'-0"	0'-1 1/2"	12,450
44	3'-0"	0'-1 1/2"	12,450
46	3'-0"	0'-1 1/2"	12,450
48	3'-0"	0'-1 1/2"	12,450
50	3'-0"	0'-1 1/2"	12,450
52	3'-0"	0'-1 1/2"	12,450
54	3'-0"	0'-1 1/2"	12,450
56	3'-0"	0'-1 1/2"	12,450
58	3'-0"	0'-1 1/2"	12,450
60	3'-0"	0'-1 1/2"	12,450

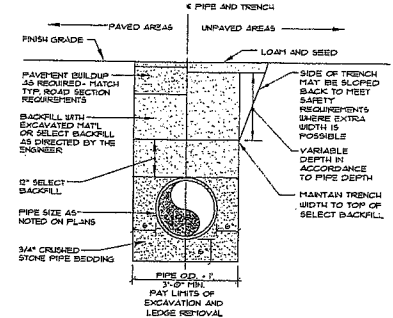
A = WIDTH OF UNSPECIFIED TRENCH

TABLE OF DIMENSIONS
REINFORCED CONCRETE PIPE

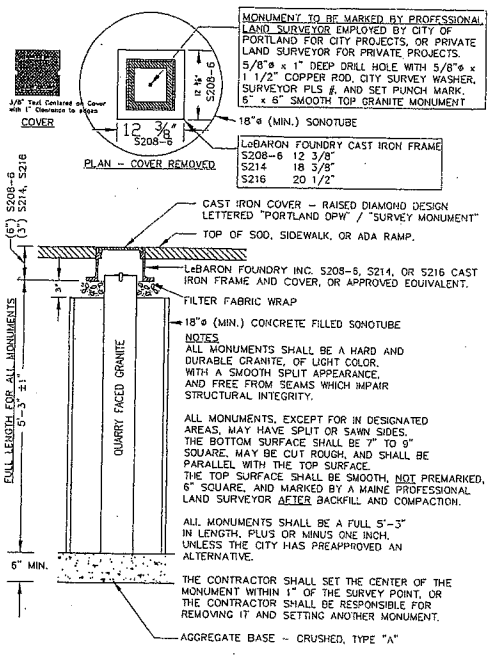
B	A	C	W.C. BASE / 100'
14	3'-0"	0'-2"	12,450
16	3'-0"	0'-2"	12,450
18	3'-0"	0'-2"	12,450
20	3'-0"	0'-2"	12,450
22	3'-0"	0'-2"	12,450
24	3'-0"	0'-2"	12,450
26	3'-0"	0'-2"	12,450
28	3'-0"	0'-2"	12,450
30	3'-0"	0'-2"	12,450
32	3'-0"	0'-2"	12,450
34	3'-0"	0'-2"	12,450
36	3'-0"	0'-2"	12,450
38	3'-0"	0'-2"	12,450
40	3'-0"	0'-2"	12,450
42	3'-0"	0'-2"	12,450
44	3'-0"	0'-2"	12,450
46	3'-0"	0'-2"	12,450
48	3'-0"	0'-2"	12,450
50	3'-0"	0'-2"	12,450
52	3'-0"	0'-2"	12,450
54	3'-0"	0'-2"	12,450
56	3'-0"	0'-2"	12,450
58	3'-0"	0'-2"	12,450
60	3'-0"	0'-2"	12,450



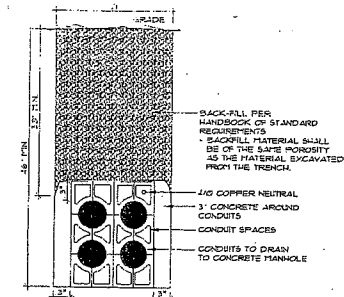
4 TYP. PERFORATED FOUNDATION DRAIN TRENCH SECTION
NOT TO SCALE



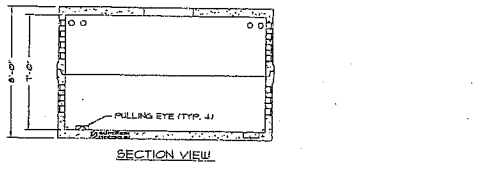
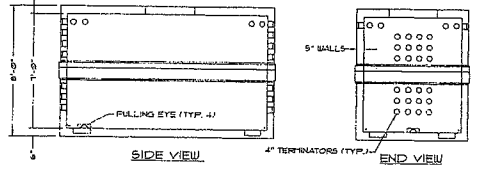
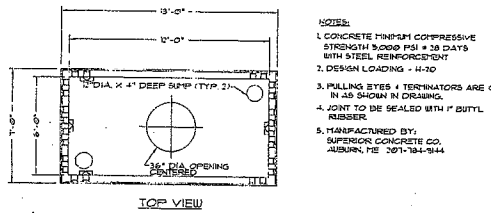
5 TYP. TRENCH SECTION
NOT TO SCALE



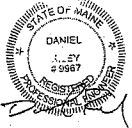
6 GRANITE STREET MONUMENT
NOT TO SCALE



7 2x2 5" CONDUIT BANK
NOT TO SCALE



8 TELECOMMUNICATIONS MANHOLE
NOT TO SCALE



CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DEFICIENCIES AND CORRECTING WHAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THOSE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT, AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS 3366-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- IMMEDIATELY UPON COMPLETION OF CUT/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL CONFIRM SETBACKS AND BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DIFFERENCES AFFECTING BUILDING OR SITE CONSTRUCTION.
- REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH SUITABLE INTERFACE FOR ALL FILLS.

- A. PRE-CONSTRUCTION PHASE**
- PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, FILTER FABRIC FENCING WILL BE STAKED ACROSS THE SLOPE(S) ON THE CONTIGUOUS "A" OR "B" BELOW THE LIMITS OF CLEARING OR GRUBBING AND REMOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN DETAILS IN THE PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES ARE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER AND CONSTRUCTION ACTIVITY IN THE AREA HAS BEEN COMPLETED.
- PRIOR TO ANY CLEARING, GRUBBING, STRIPPING OR FULLY VERIZING CONSTRUCTION ENTRANCE(S) SHALL BE CONSTRUCTED AT THE APPROVED ACCESS POINTS TO THE PROJECT SITE FROM THE EXISTING PUBLIC ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF, THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.
- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION OF THIS PROJECT.

- B. CONSTRUCTION AND POST-CONSTRUCTION PHASE**
- 1. A) AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, MULCH SHALL BE APPLIED AT THE RATE OF 3 BALES PER 1000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND, MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSSED WATERWAYS (IE, ROADWAY DITCHES) AND IN SLOPES WHICH EXCEED 15% AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS.**
- B) IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS/1000 SF. TO PROVIDE WINTER PROTECTION. WINTER SEEDINGS SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSSED WATERWAYS, ON SLOPES EQUAL TO OR GREATER THAN 15%, AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE APPLIED FOR ADDITIONAL WINTER PROTECTION ALONG SIDE SLOPES OF GRASSSED WATERWAYS AND IN ALL AREAS EQUAL TO OR GREATER THAN 8% SLOPE.**
- C) DURING WINTER CONDITIONS, AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN SEVEN (7) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, MULCH OR STRAW MULCH SHALL BE APPLIED TO PROVIDE A MINIMUM UNIFORM MULCH DEPTH OF 2". THE APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE.**
- 2. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3 LBS/1000 SF. AND MULCHED, AND RE-USED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND INSPECTING ENGINEER.**
- 3. ALL SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RAINFALL WATER. ALL THE SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSPECTED BEFORE AND AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.**
- 4. A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF THE EXISTING ROAD AND THE ACCESS DRIVE. ROADWAY AREAS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.**
- 5. CATCH BASIN INLET PROTECTION SHALL BE PLACED WITHIN EXISTING CATCH BASINS IN THE CONSTRUCTION AREA PRIOR TO CONSTRUCTION. INLET PROTECTION FOR PROPOSED CATCH BASINS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF THE OUTFALL PIPING.**
- 6. ALL AREAS SHALL BE SEEDING AND STABILIZED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.**
- C. VEGETATION PLAN. REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE ROADWAY IMPROVEMENTS. DISTURBED AREAS SHALL ALSO BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. SEE MULCHING REQUIREMENTS IN SECTION B(1A) ABOVE. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS/1000 SF. TO PROVIDE WINTER PROTECTION. SEEDING AREAS SHALL BE COVERED WITH EROSION CONTROL MESH. SEE WINTER PROTECTION REQUIREMENTS IN SECTION B (1B) ABOVE.**

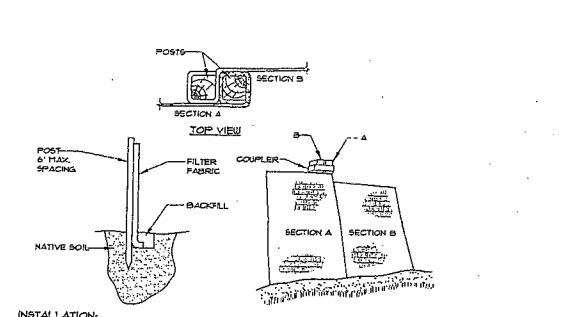
- REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:**
- FOUR INCHES OF LOAM SHALL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPES, STONES AND OTHER OBJECTS COVER 1" IN DIAMETER, AND WITHOUT SEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 - SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TEST SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14 DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:
 (T)FE²⁺ APPLICATION RATE
 10-20-20 FERTILIZER (N-P2O5-K2O) OR EQUAL 18.4 LBS/1000 SF
 GROUND LIMESTONE (50% CALCIUM + MAGNESIUM OXIDE) 138 LBS/1000 SF
 - SEEDING BED BED PREPARATION: SHALE AREAS, FILL AREAS AND BACK SLOPE SHALL BE SEEDING AT A RATE OF 3 LBS/1000 SF. WITH A MIXTURE OF 35% CREEPING RED FESCUE, 65% RED TOP, 24% KENTUCKY BLUEGRASS, OR PERENNIAL RYEGRASS, 30% ANNUAL RYEGRASS AND 5% WHITE DUTCH CLOVER.
 - EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISH SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
 - ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.
 - THE INSPECTING ENGINEER AT HIS/HER DISCRETION, MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AND/OR SUPPLEMENTAL VEGETATIVE PROVISIONS TO MAINTAIN STABILITY OF EARTHWORKS AND FINISH GRADED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY SUPPLEMENTAL MEASURES AS DIRECTED BY THE INSPECTING ENGINEER. FAILURE TO COMPLY WITH THE ENGINEER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.

D. CONSTRUCTION SCHEDULE
 SITE IMPROVEMENTS ARE SCHEDULED TO BEGIN IN FALL OF 2024. CONSTRUCTION DURATION IS ANTICIPATED TO BE 36 MONTHS TO TIME OF SUBSTANTIAL COMPLETION.

SCHEDULE	EROSION CONTROL MEASURES PLACED.	WEEK 1 - WEEK 2
1.	EROSION CONTROL MEASURES PLACED.	WEEK 1 - WEEK 2
2.	SITE CLEARING AND GRUBBING.	MONTH 1-ONGOING
3.	CONSTRUCTION OF SITE IMPROVEMENTS.	MONTH 1-MONTH 36
4.	MULCH SPREAD FOR WINTER EROSION CONTROL.	OCT. 15 OF CONSTRUCTION YEAR
5.	START FINAL SEEDINGS ON PREPARED AREAS (DURING GROWTH SEASON)	MONTH 15
6.	BIMBLEY MONITORING OF VEGETATIVE GROWTH.	MONTH 15
7.	RESEEDING OF AREAS, IF NEEDED.	MONTH 15
8.	REMOVAL OF EROSION CONTROL DEVICES.	UPON FINAL PROJECT COMPLETION

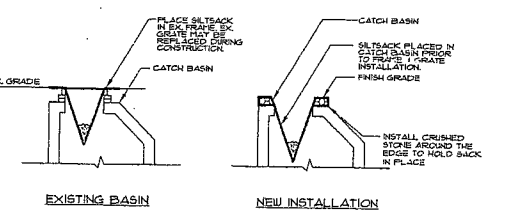
DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.

E. INSPECTIONS/MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL REPAIR AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND REQUIREMENTS OF THIS PLAN FOR DURING THE TEMPORARY AND/OR FINAL SEEDINGS. THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDINGS SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.



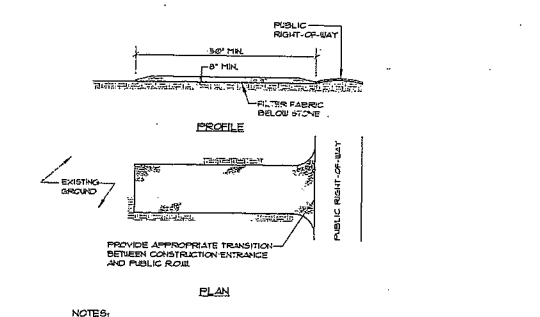
- INSTALLATION**
- EXCAVATE A 4" X 4" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 - UNROLL A SECTION OF THE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMPE THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILLING AND TAMMING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 - JOIN SECTIONS AS SHOWN ABOVE.
 - BARRIER SHALL BE MIRAP SILT FENCE OR EQUAL.

1 FILTER BARRIER NOT TO SCALE



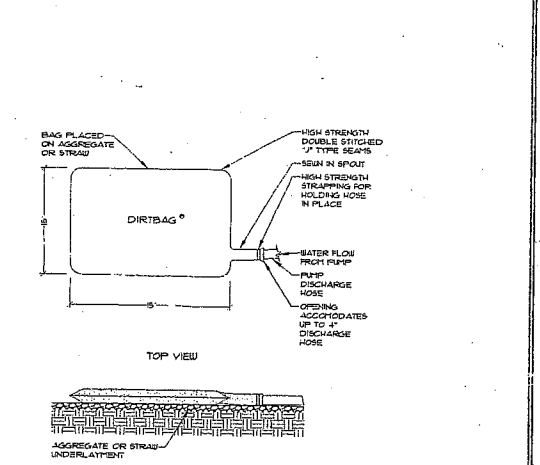
- INSTALLATION**
- INSTALL SILT BASK PRIOR TO CONSTRUCTION OF THE NEW CATCH BASIN.
 - INSTALL CRUMPLED STYRE-AROUND THE EDGE TO HOLD SACK IN PLACE.
- NOTES:**
 PRIOR TO FINAL GRADING AND PAVING OPERATIONS BEGIN A CATCH BASIN MUST BE INSTALLED IN EACH BASIN PER MANUFACTURER'S INSTRUCTIONS. HAY BALES SHOULD BE REMOVED ONCE INSERTS ARE INSTALLED.

2 CATCH BASIN PROTECTION DETAIL NOT TO SCALE



- NOTES:**
- STONE SIZE: ASTM DESIGNATION #43, SIZE NO. 2 (1/2" TO 1 1/2") USE CRUSHED STONE.
 - LENGTH: AS SHOWN ON PLANS, MIN 50 FEET.
 - THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
 - DEPTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOoding OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC CLEANING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP OF ANY REASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, CRUMPLED, BASKED OR TRACKED ON PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

3 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

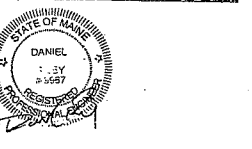


4 DIRTBAG PUMPED SILT CONTROL SYSTEM NOT TO SCALE

Sebago Technics
 Engineering Excellence You Can Build On
 One Chubbell Street
 Westbrook, Me 04092-1324
 Tel (207) 866-9777

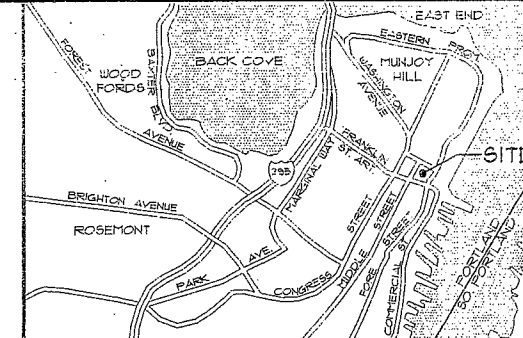
No.	Final Plan Submission to City	3-28-06

THE HOTEL & RESIDENCES
 at
THE WESTIN
 Portland, Maine
 PME I Limited Partnership



DETAILS

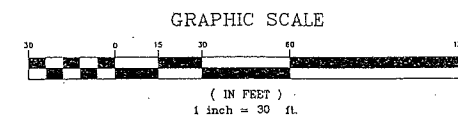
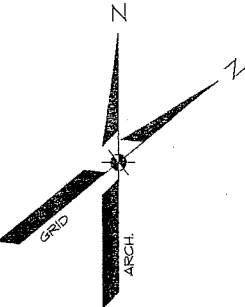
DLR	205042/STI 05090
DESIGN BY	Product Number
MAL	AS SHOWN
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090D	
Drawn	



LOCATION MAP N.T.S.

LEGEND

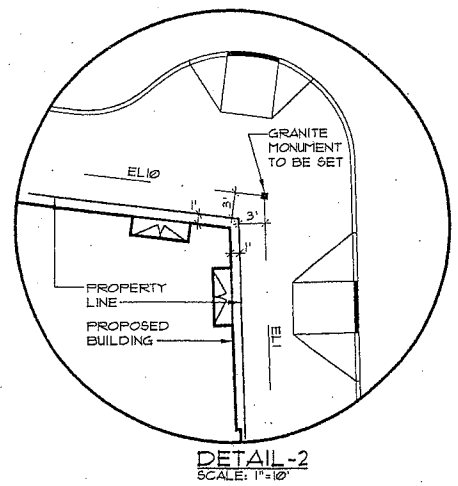
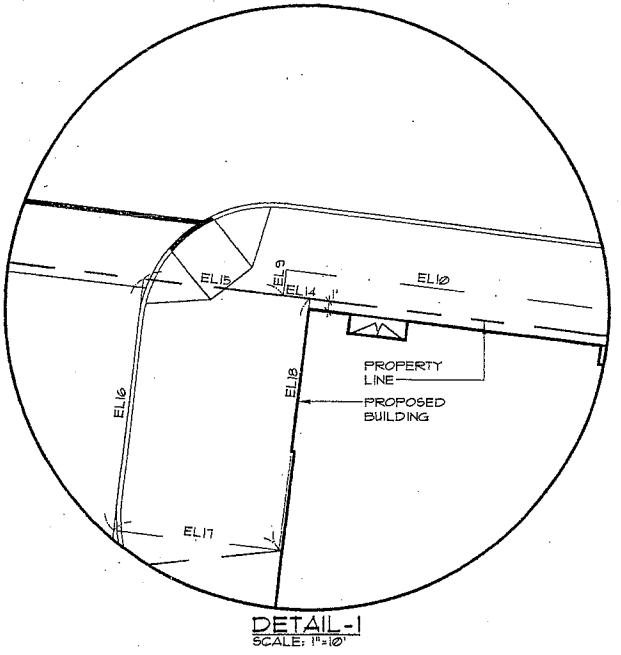
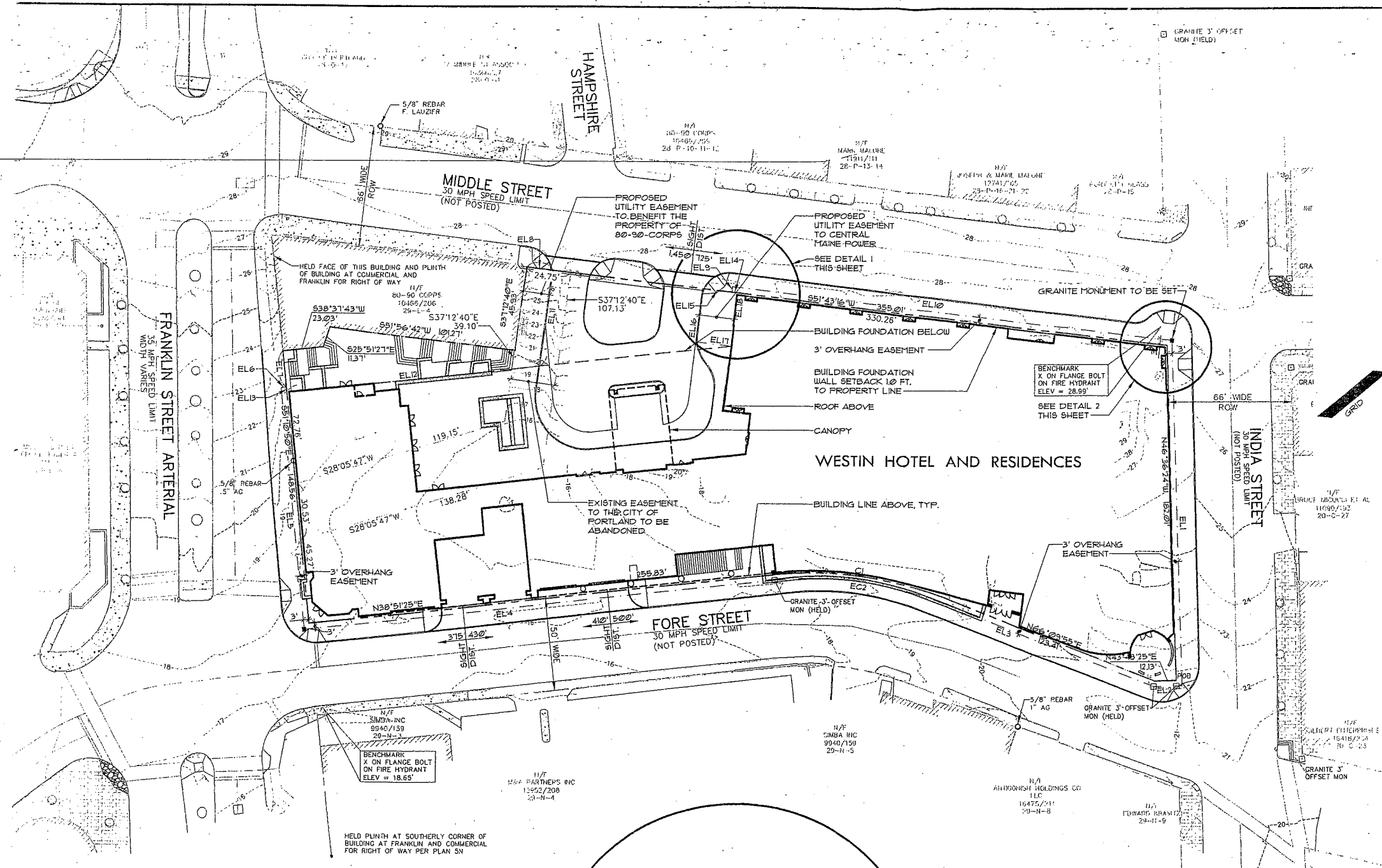
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
□	MONUMENT	---
▭	BUILDING	---
+	SIGN	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	CONCRETE	---
---	BRICK	---
---	GRANITE/COBBLE	---



NOTE:
SEE SUBDIVISION PLAN-SHEET 2 OF 2 FOR GENERAL NOTES AND EASEMENT AND PROPERTY LINE TABLES.

**APPROVAL-
CITY OF PORTLAND
PLANNING BOARD**

STATE OF MAINE
CUMBERLAND COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ 20____
AT _____ M _____ AND RECORDED IN
PLAN BOOK _____ PAGE _____
ATTEST _____ REGISTRAR



Handwritten notes and signatures in the top right corner.

REV.	BY:	DATE:	STATUS:
D	DLR	3-23-06	FINAL PLAN SUBMISSION TO CITY
C	DLR	3-6-06	FINAL PLAN/CITY CONDITION OF APPROVAL
B	DLR	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
A	DLR	10-18-05	SUBMIT SUBDIVISION PLAN TO CLIENT FOR REVIEW

THIS PLAN SHALL NOT BE USED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

Sebago Technics
Engineering Experience You Can Build On
One Church Street
Portland, ME 04108-1339
Tel: (207) 688-0277

PROJECT NO: FIELD BOOK DESIGN CHRD
05090 824 - MWE

SUBDIVISION PLAN-SHEET 1 OF 2
OF:
**WESTIN HOTEL AND RESIDENCES
PORTLAND**
FOR:
PME 1 LIMITED PARTNERSHIP
18 FIRST AVENUE, SUITE 110
NEEDHAM, MA 02464

FOR RECORD OWNER:
SEE NOTE 2 (SHEET 2)

DATE	SCALE
10-18-05	1" = 30'

SHEET 1 OF 2

GENERAL NOTES:

1. APPLICANT: PME I LIMITED PARTNERSHIP 220 TRS DEVELOPMENT, 140 RESERVOIR AVENUE, CRANSTON, RHODE ISLAND.
2. THE RECORD OWNERS OF THE PARCEL ARE:
PME I LIMITED PARTNERSHIP BY DEED DATED SEPTEMBER 23, 2005 RECORDED DEED BOOK 23899 PAGE 107
DEED REFERENCES ARE RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
3. THE PROPERTY IS SHOWN AS LOTS 1, 2, 43 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 75.
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 175 AC.
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY TITLED ALTA SURVEY OF JORDAN'S MEATS PROPERTY FOR PME I LIMITED PARTNERSHIP BY SEBAGO TECHNIQS, INC. PERFORMED DATED APRIL 23, 2005 REVISED THROUGH SEPTEMBER 22, 2005 TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
6. TOTAL AREA OF PARCEL TO BE LEFT NON-VEGETATED IS APPROXIMATELY 169 AC.
7. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
8. SPACE AND BULK CRITERIA PER B-3 DOWNTOWN BUSINESS DISTRICT
 - (a) MIN. LOT SIZE: 15 FT.
 - (b) MIN. STREET FRONTAGE: NONE
 - (c) STREET WALL TO BUILD LINE: SEE SEC. 14-22B, CHAPTER 14, OF CITY LAND USE ORDINANCE.
 - (d) MIN. YARD DIMENSIONS: NONE
 - (e) MIN. LOT WIDTH: NONE
 - (f) MAX. LENGTH UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY:
 - (i) PAD OVERLAY ZONE: 5 FT.
 - (ii) ALL OTHER AREAS: 30 FT.
 - (g) MAX. LOT COVERAGE: 100%
 - (h) MIN. BLDG. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 35 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK REMOTE TELLER FACILITIES.
 - (i) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-22D, CHAPTER 14, OF CITY LAND USE ORDINANCE.
9. THE SITE IS SUBJECT TO A CONDITIONAL REZONING AGREEMENT APPROVED BY THE PORTLAND CITY COUNCIL ON SEPTEMBER 19, 2005 TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS. SUCH AGREEMENT AMENDS THE UNDERLYING B-3 DOWNTOWN BUSINESS DISTRICT ZONING REQUIREMENTS AS FOLLOWS:
 - (A) PERMITTED USES, THE PROJECT PROPOSES, AND IS AUTHORIZED TO ACCOMMODATE UP TO NINETEEN "HOTEL/LODGING" FOR PURPOSES OF THIS AGREEMENT DEFINED AS PRIVATELY OWNED RESIDENTIAL CONDOMINIUM UNITS WHICH MAY, ON OCCASION BE RENTED TO THE PUBLIC THROUGH PRIVATE CONTRACTUAL ARRANGEMENT WITH THE OWNERS OF THE ADJACENT HOTEL. IS THE WESTIN OR ITS SUCCESSOR IN INTEREST. THE "HOTEL/LODGING" SHALL BE TAXED BY THE CITY AS PRIVATE RESIDENTIAL UNITS. ANY PORTION OF THE PROJECT THAT DOES NOT BECOME A "HOTEL/LODGING" SHALL BE A PART OF THE HOTEL AND SHALL BE TAXED IN ACCORDANCE WITH SUCH USE.
 - (B) STREET WALL BUILD TO LINE. THE DIMENSIONAL ZONING REQUIREMENTS OF SECTION 14-22B(C) OF THE ZONING ORDINANCE ARE HEREBY MODIFIED TO ALLOW THE TO HOTEL AND CONDOMINIUM RESIDENCES OFF OF MIDDLE STREET, PROVIDED THAT THE ENTRANCE SHALL NOT BE FURTHER BACK FROM MIDDLE STREET THAN AS SHOWN ON THE ATTACHED PLANS, BUT MAY BECOME NARROWER, WIDER OR RELOCATED NO MORE THAN FIVE (5) FEET AS MAY BE APPROVED BY THE PLANNING BOARD IN ITS DISCRETION AND
 - (1) CREATE OTHER ENTRANCES TO THE BUILDING AS SHOWN ON THE PLANS, PROVIDED, HOWEVER, THAT THE LOCATION AND/OR DIMENSIONS OF ENTRANCES TO THE BUILDING MAY BE FURTHER MODIFIED AS MAY BE APPROVED BY THE PLANNING BOARD IN ITS DISCRETION.
 - (C) HEIGHT LIMITS:
 - (1) THE MINIMUM STRUCTURE HEIGHT (MEASURED ACCORDING TO THE DEFINITION OF "BUILDING HEIGHT" OF SECTION 14-41 BUT NOT LESS THAN 25.72 FEET AS SHOWN ON THE PLAN) SHALL BE FIFTEEN (15) FEET FOR A PORTION OF THE BUILDING'S FRONTAGE ON FORE STREET AND SEVENTEEN (17) FEET FOR A PORTION OF THE BUILDING FRONTAGE ON INDIA STREET AS SHOWN ON THE PLAN.
 - (2) THE MAXIMUM STRUCTURE HEIGHT (AS MEASURED ACCORDING TO THE DEFINITION OF "BUILDING HEIGHT" OF SECTION 14-41 BUT NOT LESS THAN 25.72 FEET AS SHOWN ON THE PLAN) SHALL BE AS FOLLOWS:
 - (i) SEVENTY-EIGHT (78) FEET FOR THE WESTERLY WING OF THE BUILDING WITH FRONTAGE ON FRANKLIN ARTERIAL AND FORE STREET AS SHOWN ON THE PLAN.
 - (ii) SEVENTY-EIGHT (78) FEET FOR THE EASTERLY WING OF THE BUILDING WITH FRONTAGE ON MIDDLE STREET AS SHOWN ON THE PLAN AND
 - (iii) EIGHTY-EIGHT (88) FEET FOR THE EASTERLY WING OF THE BUILDING WITH FRONTAGE ON INDIA STREET AS SHOWN ON THE PLAN.
 - (D) PARKING REQUIREMENTS: A MINIMUM OF THREE HUNDRED AND TWENTY FOUR (324) ON SITE PARKING SPACES SHALL BE PROVIDED TO SERVICE THE NEEDS OF THE PROJECT AND THE TOTAL NUMBER OF PARKING SPACES REQUIRED TO SERVICE THE PROJECT (INCLUDING ANY OFF-SITE PARKING SPACES) SHALL BE DETERMINED BY THE PLANNING BOARD DURING SITE PLAN AND SUBDIVISION REVIEW.
10. THE WESTIN HOTEL AND RESIDENCES, PORTLAND IS A PRIVATE CONDOMINIUM DEVELOPMENT. FOR BUILDING UNIT DIMENSIONS, COMMON ELEMENT DIMENSIONS AND LIMITED COMMON ELEMENT DIMENSIONS REFER TO THE CONDOMINIUM PLAN OF THE WESTIN HOTEL AND RESIDENCES, PORTLAND TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
11. THE PROJECT INCLUDES UP TO 244 HOTEL ROOMS, UP TO 81 RESIDENTIAL CONDOMINIUMS AND UP TO 19 HOTEL/LODGING UNITS. THE RESIDENTIAL CONDOMINIUMS AND HOTEL/LODGING ARE TO BE LOCATED WITHIN THE BUILDING AS FOLLOWS:

FLOOR	RESIDENTIAL CONDOMINIUM UNITS	HOTEL/LODGING UNITS
1	NONE	NONE
2	NONE	NONE
3	NOT TO EXCEED 8	NONE
4	NOT TO EXCEED 16	NONE
5	NOT TO EXCEED 16	NONE
6	NOT TO EXCEED 16	NONE
7	NOT TO EXCEED 16	NONE
8	NOT TO EXCEED 16	NONE
9	NOT TO EXCEED 8	NONE
10	NONE	NOT TO EXCEED 19

GENERAL NOTES: (CONTINUED)

12. THE WESTIN HOTEL AND RESIDENCES, PORTLAND IS A PRIVATE DEVELOPMENT. LIGHTING TRASH REMOVAL SCHEDULE SHALL BE THE RESPONSIBILITY OF THE HOTEL AND RESIDENTIAL CONDOMINIUM ASSOCIATIONS.
13. THE USE OF THE OWNER'S PRIVATE PROPERTY BY THE PUBLIC IS BY PERMISSION FROM THE OWNER. THIS PERMISSION SHALL BE SUBJECT TO THE REASONABLE RULES AND REGULATIONS PROMULGATED IN AN AGREEMENT BETWEEN THE OWNER AND THE CITY OF PORTLAND TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS. THE OWNER SHALL NOT REVOKE ITS CONSENT TO THE PERMISSIVE USE OF ITS PROPERTY AS CONTEMPLATED BY THE CONDITIONAL ZONING AGREEMENT, DATED NOVEMBER 9, 2005, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 23886, PAGE 21, SO LONG AS THE PROPERTY IS BEING USED AND OCCUPIED PURSUANT TO SUCH AGREEMENT.
14. A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE WITHIN ANY FIVE-YEAR PERIOD. WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION INCLUDING SINGLE-FAMILY AND MULTI-FAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.
15. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T STANDARDS AND SPECIFICATIONS.
16. ALL CURBING SHALL BE DESIGNED AND BUILT WITH TIP-DOWNS AT ALL DRIVEWAYS AND CROSSWALKS, IN ACCORDANCE WITH THE PUBLIC WORKS, TECHNICAL STANDARDS AND GUIDELINES.
17. ALL ELECTRIC, TELEPHONE AND CABLE TV SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH THE STANDARDS OF CENTRAL MAINE POWER CO, VERIZON NEW ENGLAND, TIME WARNER CABLE TV, CO, OR OTHER UTILITIES PROVIDING SERVICE TO THE SITE.
18. ALL WATER MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS.
19. ALL NATURAL GAS MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH NORTHERN UTILITIES STANDARDS.
20. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1999 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
21. THE FACILITY IS SERVICED BY CITY SEWER, WATER, GAS, UNDERGROUND ELECTRIC, STORM DRAINAGE, TELEPHONE AND CABLE.
22. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS INSPECTION SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (014-8900 EXT. 8836). SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
23. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
24. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE EMPLOYED TO REGULATE TRAFFIC.
25. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
26. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
27. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
28. ALL SANITARY SERVICES AND AFFURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PARKS AND PUBLIC WORKS SEWER DIVISION.
29. ALL NEW CONNECTIONS, RECONNECTIONS, ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK. THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT TO ALLOW FOR INSPECTION.
30. A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PARKS DEPARTMENT AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
31. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
32. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
33. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
34. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES.
35. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
36. ALL DISTURBED AREA ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREA SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER MATERIALS AS REQUIRED BY BEST MANAGEMENT PRACTICES.
37. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE AT ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

EASEMENT LINE DATA

LINE	DIRECTION	DISTANCE
EL1	N46°36'24"W	187.62'
EL2	N43°43'25"E	15.74'
EL3	N66°09'55"E	14.01'
EL4	N38°51'25"E	258.83'
EL5	S51°10'50"E	131.01'
EL6	S38°49'10"W	3.00'
EL7	N51°10'50"W	19.54'
EL8	N51°43'16"E	15.00'
EL9	N38°16'44"W	3.00'
EL10	S51°43'16"W	244.19'
EL11	S37°12'40"E	52.84'
EL12	S38°51'25"W	139.46'
EL13	S51°10'50"E	2.67'
EL14	N51°43'16"E	3.02'
EL15	N51°43'16"E	15.98'
EL16	N38°16'45"W	29.33'
EL17	N51°43'16"E	19.00'
EL18	N38°16'45"W	29.33'

PROPERTY LINE CURVE DATA

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	95.17'	199.68'	S52°30'40"W	94.21'

EASEMENT LINE CURVE DATA

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
EC2	93.74'	196.68'	S52°30'40"W	92.86'

NO.	DATE	BY	STATUS
3-29-06			FINAL PLAN SUBMISSION TO CITY
3-8-06			FINAL PLAN/CITY CONDITION OF APPROVAL
10-25-05			SUBMITTED FOR SITE PLAN REVIEW
10-18-05			SUBMIT SUBDIVISION PLAN TO CLIENT FOR REVIEW

Sebago Technics
Engineering Expenses You Can Build On
One Chebot Street
Westbrook, ME 04098-1339
Tel (207) 895-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
05090 324 MVE JWE/ANL

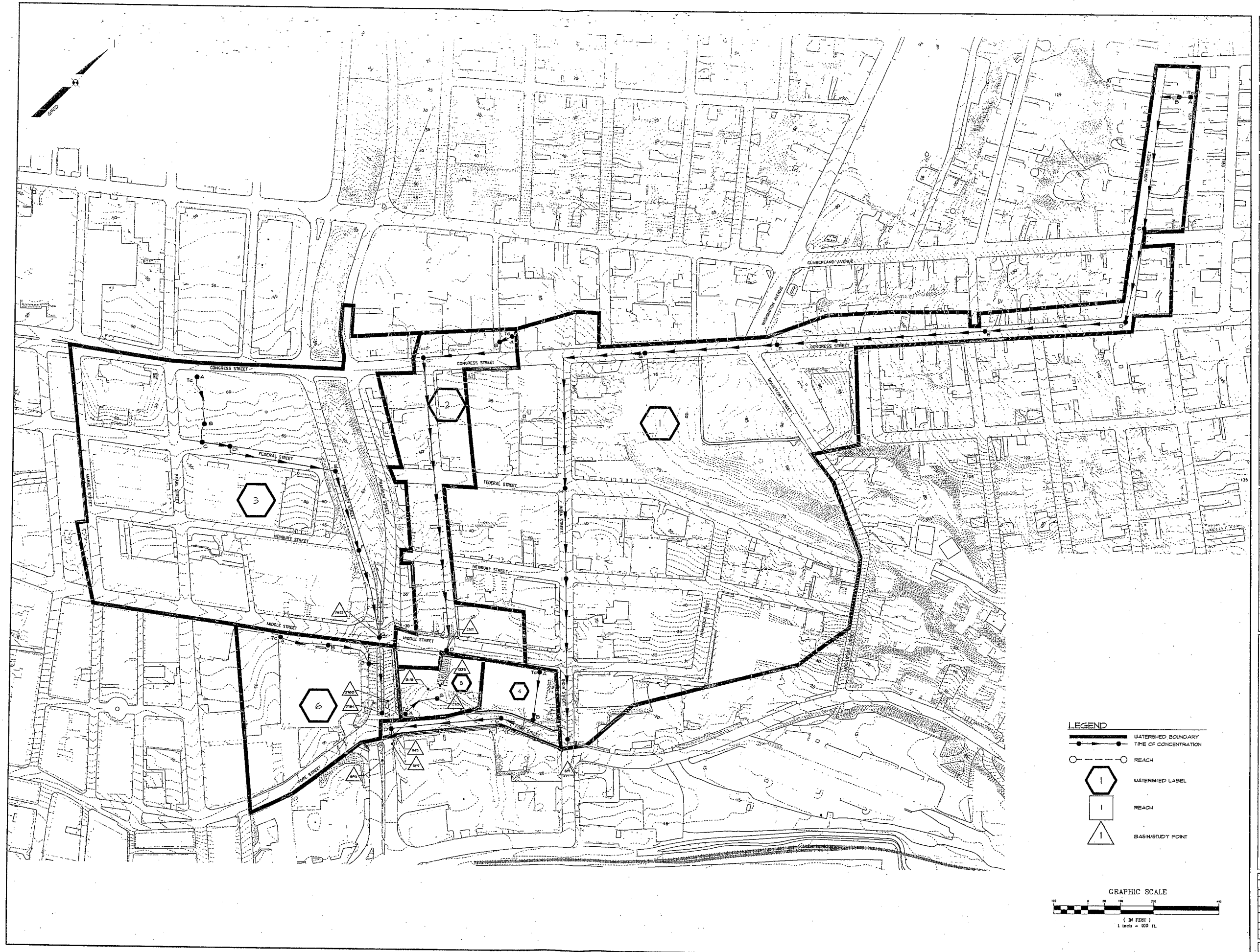
**APPROVAL -
CITY OF PORTLAND
PLANNING BOARD**

STATE OF MAINE
CUMBERLAND COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ 20____
AT _____ h _____ m _____ M. AND RECORDED IN
PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

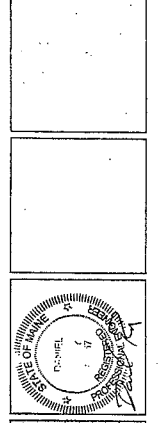
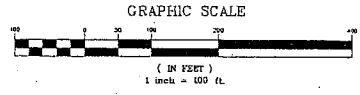
SUBDIVISION PLAN - SHEET 2 OF 2
OF: WESTIN HOTEL AND RESIDENCES PORTLAND
38 INDIA STREET
PORTLAND, MAINE
FOR: PME I LIMITED PARTNERSHIP
197 FIRST AVENUE, SUITE 110
NEEDHAM, MA 02449

FOR RECORD OWNER:
SEE NOTE 2



LEGEND

- WATERSHED BOUNDARY
- TIME OF CONCENTRATION
- REACH
- WATERSHED LABEL
- REACH
- BASIN/STUDY POINT



DATE: 7-1-05
 DRAWN BY: MTW
 CHECKED BY: CLR
 PROJECT NO: 05090
 FIELD BOOK: 05090SWP

THIS PLAN SHALL NOT BE CONSIDERED VALID UNLESS IT IS SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER. THE ENGINEER'S SIGNATURE AND SEAL SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

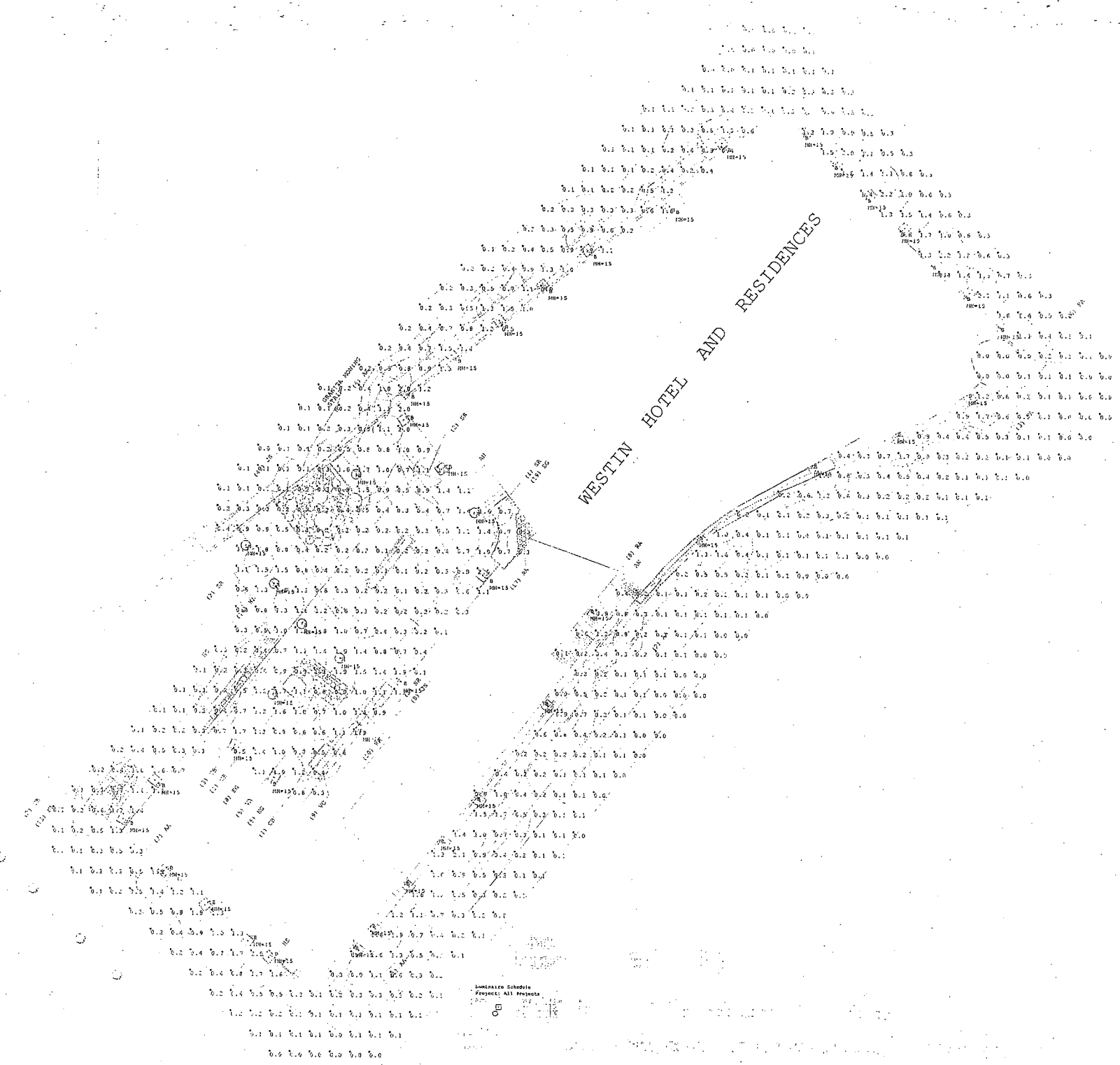
Sebago Technics
 Engineering Experts You Can Rely On
 One Church Street
 Portland, ME 04101
 Tel: (207) 854-9277

PRE DEVELOPMENT WATERSHED PLAN
 OF:
 WESTIN HOTEL AND RESIDENCES PORTLAND
 FOR:
 PME 1 LIMITED PARTNERSHIP
 1140 RESEARCH AVENUE
 CRANSTON, RI 02920

DATE	SCALE
7-1-05	1" = 100'
PROJ. NO.	DWG. NAME
05090	05090SWP
FIELD BOOK	DESIGN BY
	MTW
DRAWN BY	CHECKED BY
MTW/MAL	CLR

SHEET 1 OF 2

NOTES
 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY THE HOTEL BUILDING WITHIN THE AREA.
 3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AT GRADE.
 4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF DRAWING AND 90 IS TO THE TOP OF DRAWING AS SHOWN.
 5) TILT ANGLE IS THE RAISING AND LOWERING OF THE FIXTURE HEAD.
 6) THE LAYOUT DRAWING MUST BE COORDINATED WITH SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.

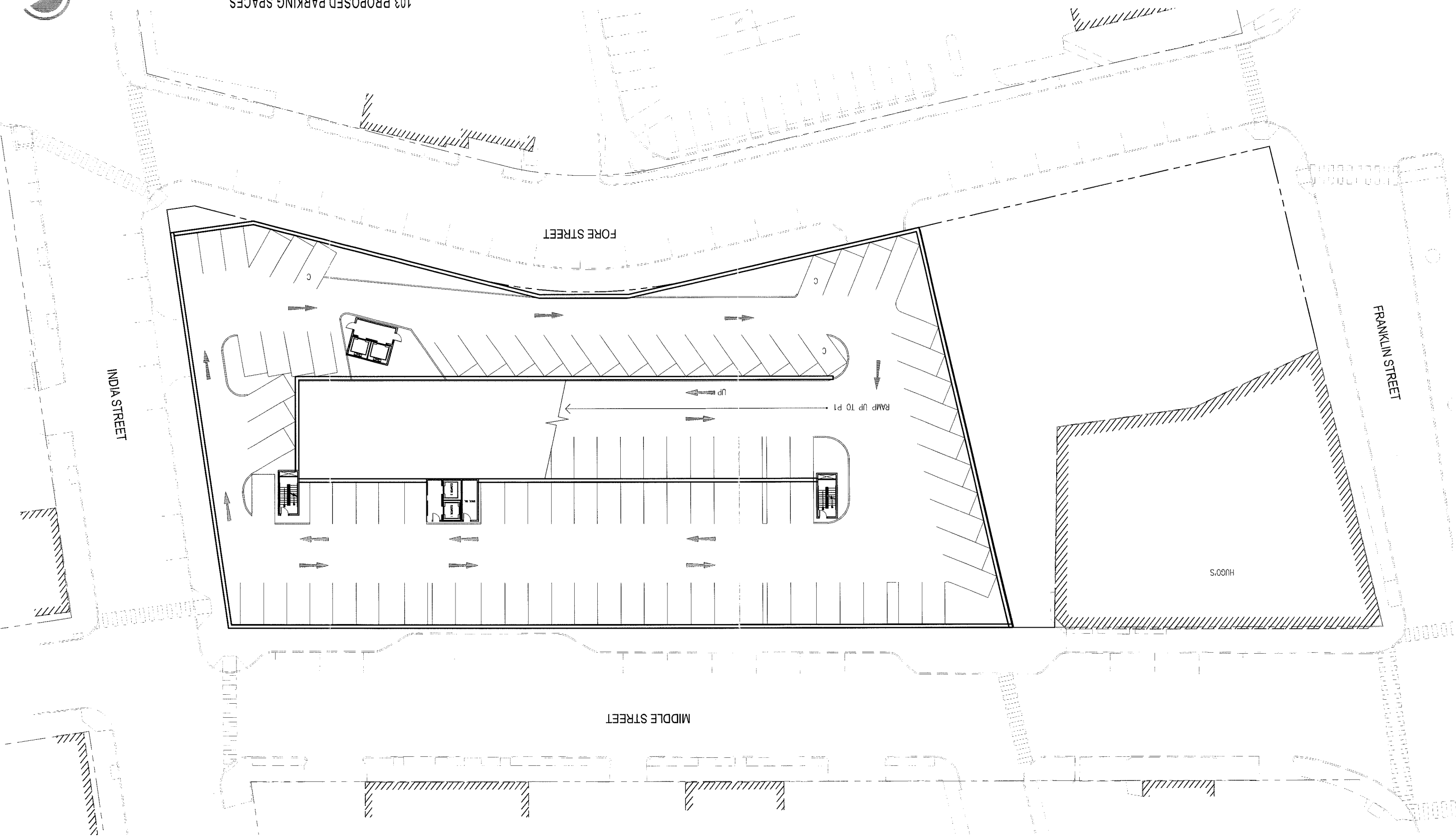


View 1: Plan Rotated 0 Tilted 0
 Scale: 1 inch= 30 Ft.

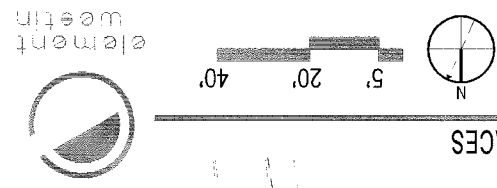


DESIGNED BY J. JACOBS		DATE 11/8/2005
SCALE AS SHOWN REFERENCE ALPHABET		SHEET 1 OF 1
WESTIN HOTEL SIDEWALK & LANDSCAPE REVISED LIGHTING LAYOUT		
LIGHTING LAYOUT GENERATED BY LIGHTING APPLICATION SCIENCES IN SAN FRANCISCO, CALIF.		

NOTICE: THIS DOCUMENT IS THE PROPERTY OF ARCHITECTURAL AREA LIGHTING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL AREA LIGHTING IS STRICTLY PROHIBITED. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR THE RESULTS OF ANY DESIGN OR CONSTRUCTION BASED ON THIS DOCUMENT. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR THE RESULTS OF ANY DESIGN OR CONSTRUCTION BASED ON THIS DOCUMENT.



103 PROPOSED PARKING SPACES



2007280.000
July 17, 2007

STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-099 BASEMENT PARKING PLAN

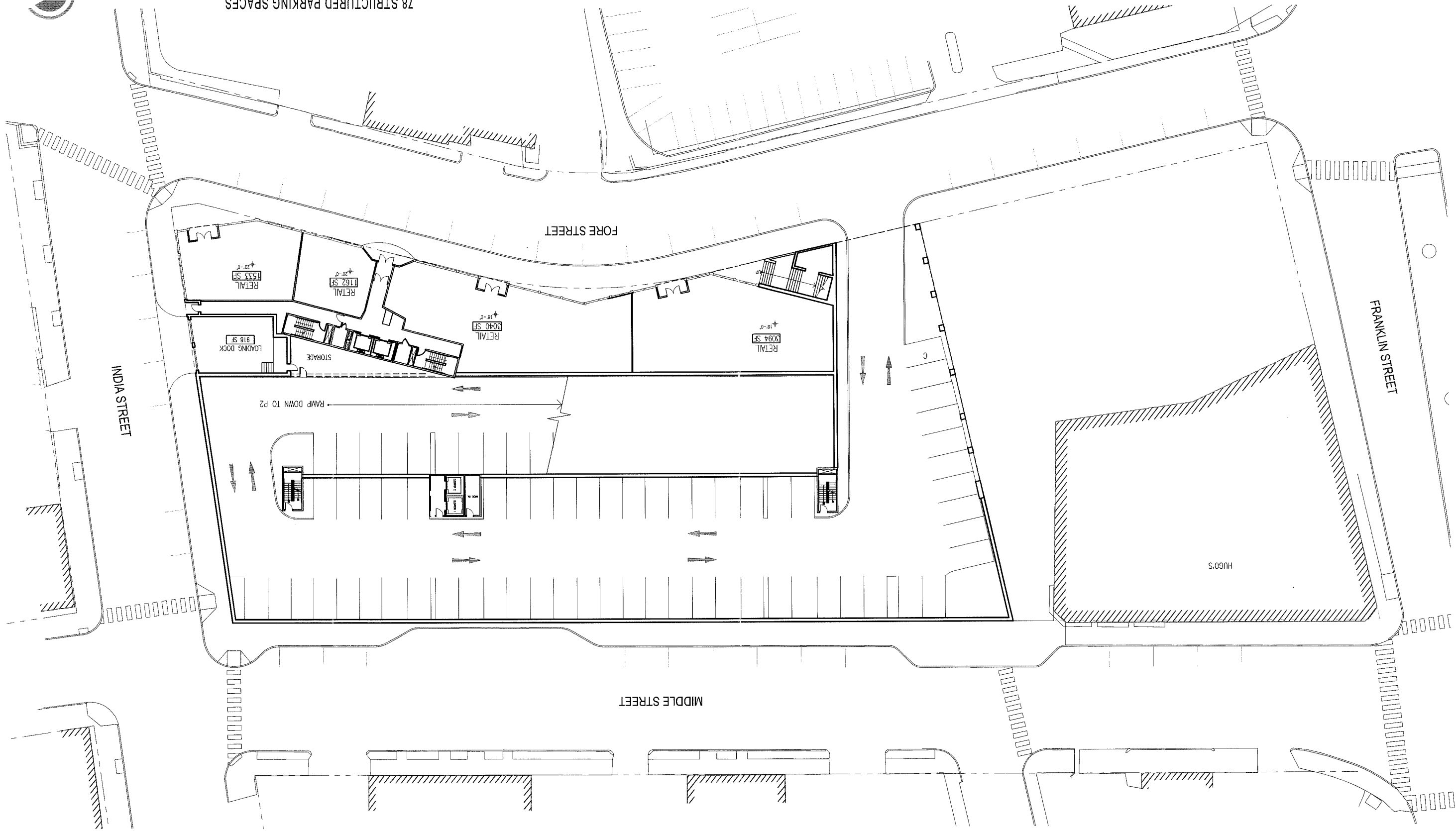


element
westin

2007280.000
July 17, 2007

A-100 FORE STREET GROUND FLOOR PLAN / PARKING PLAN
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

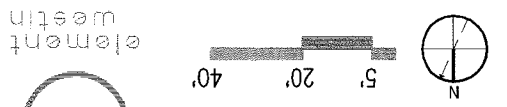
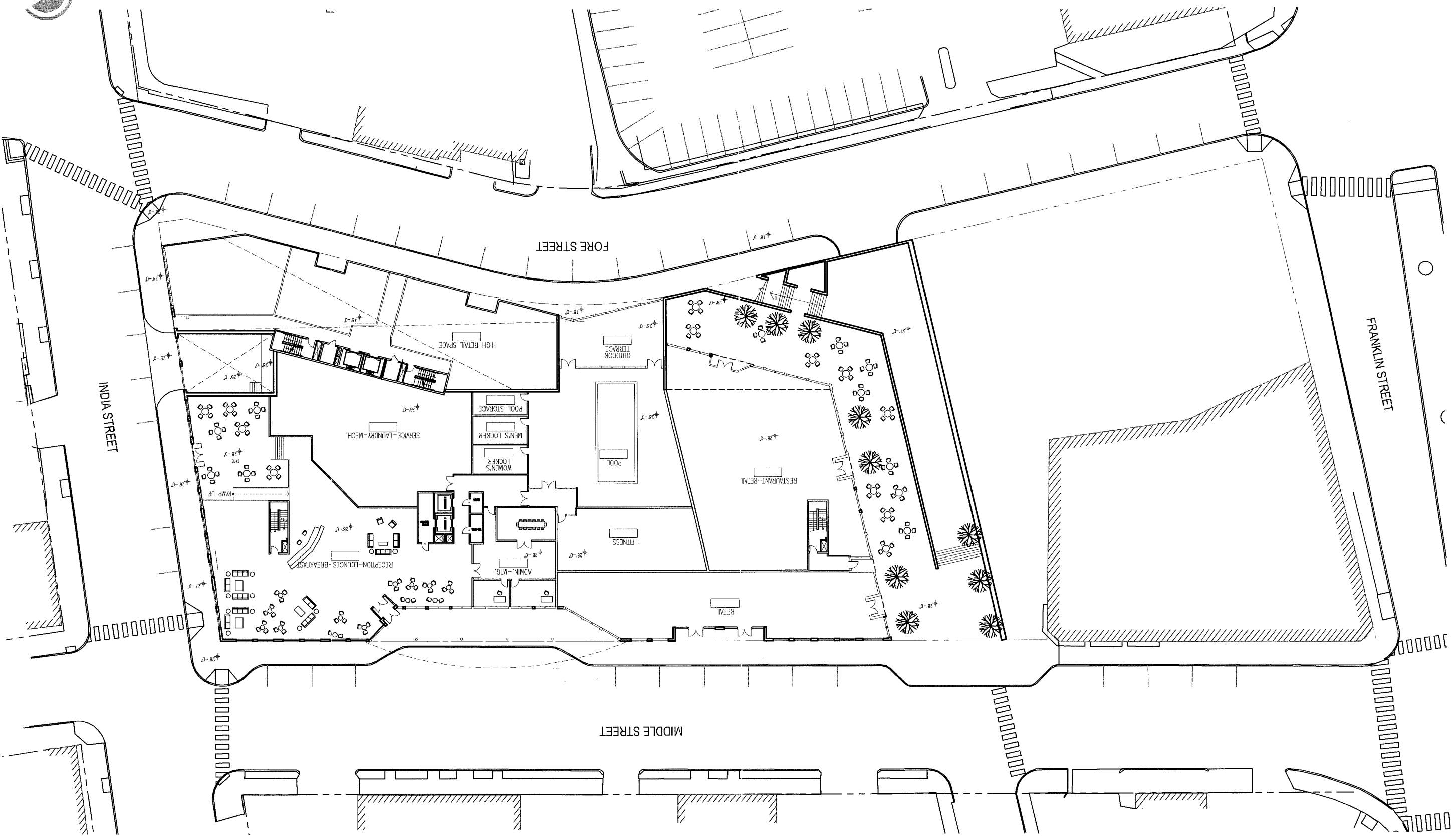
78 STRUCTURED PARKING SPACES



TR0 Jung|Brannen

A.2

PME I, L.P.



2007280.000
July 17, 2007

STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-101 MIDDLE STREET GROUND FLOOR PLAN

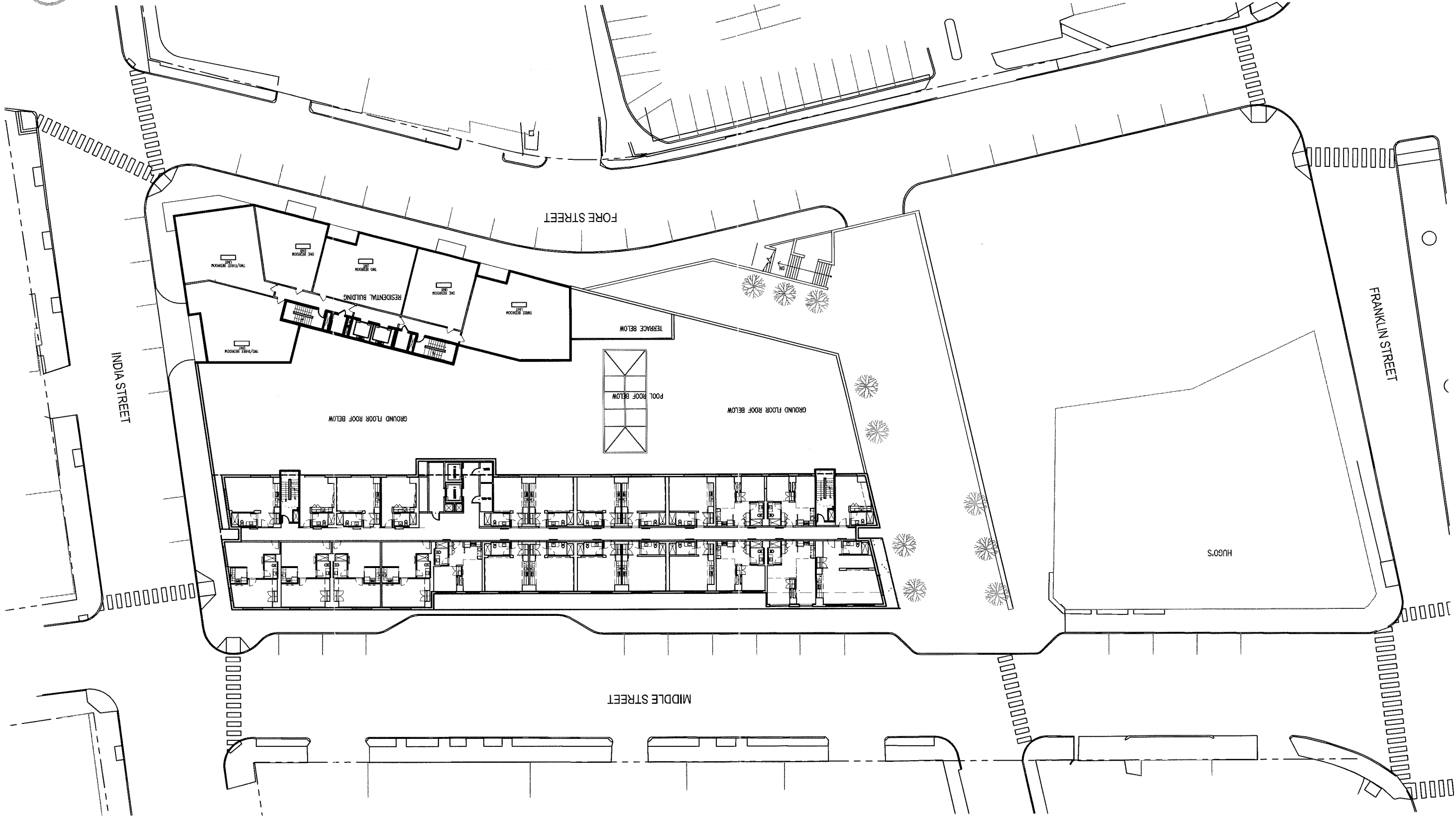


element
westin

2007280.000
July 17, 2007

STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-102 FIRST HOTEL / FIRST CONDO FLOOR PLAN



PME I, L.P.

TR0 Jung/Brannen

A.4

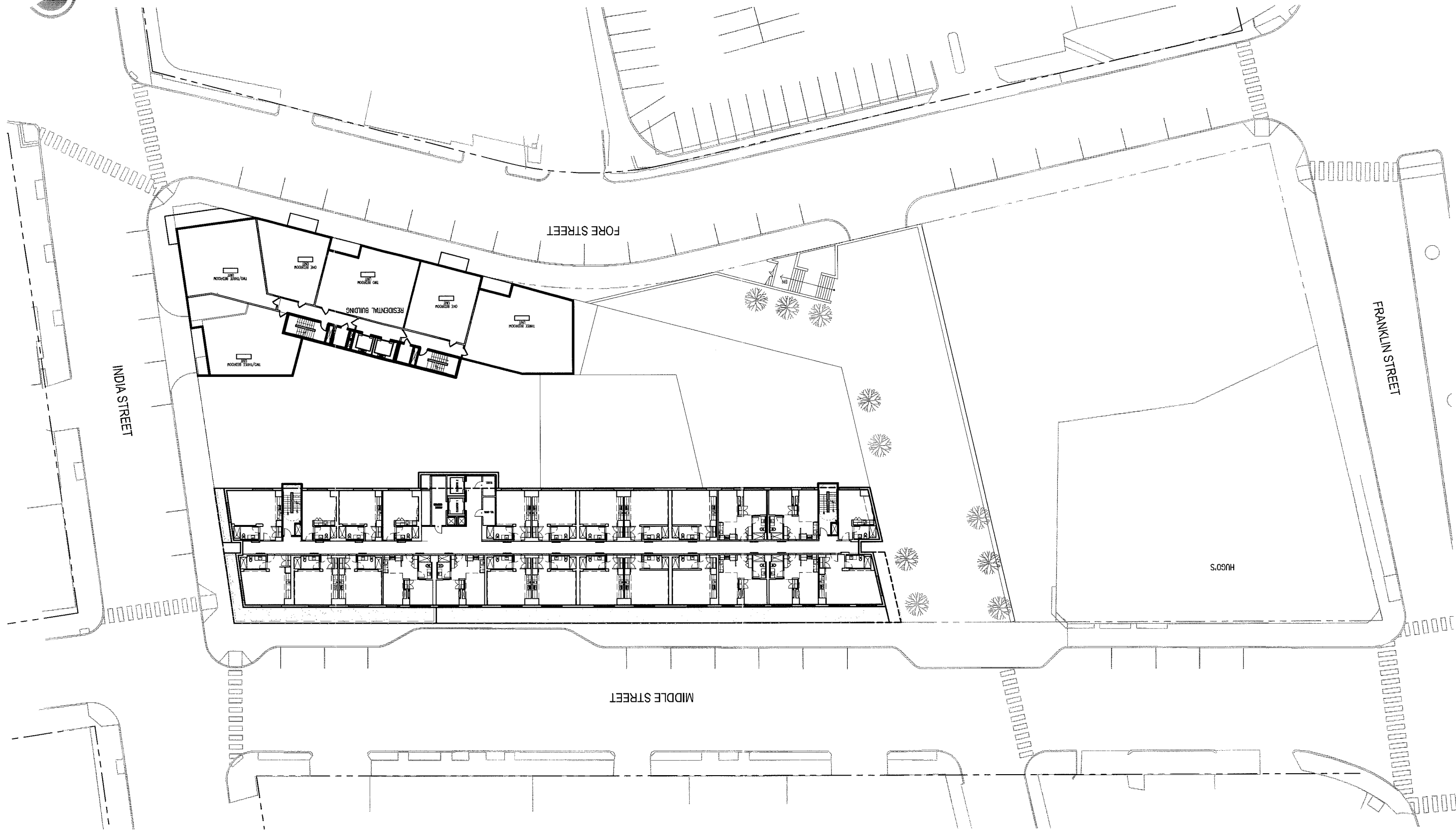
element
westin



July 17, 2007
2007280.000

STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-103 TYPICAL HOTEL GUESTROOM / TYPICAL CONDO FLOOR PLAN

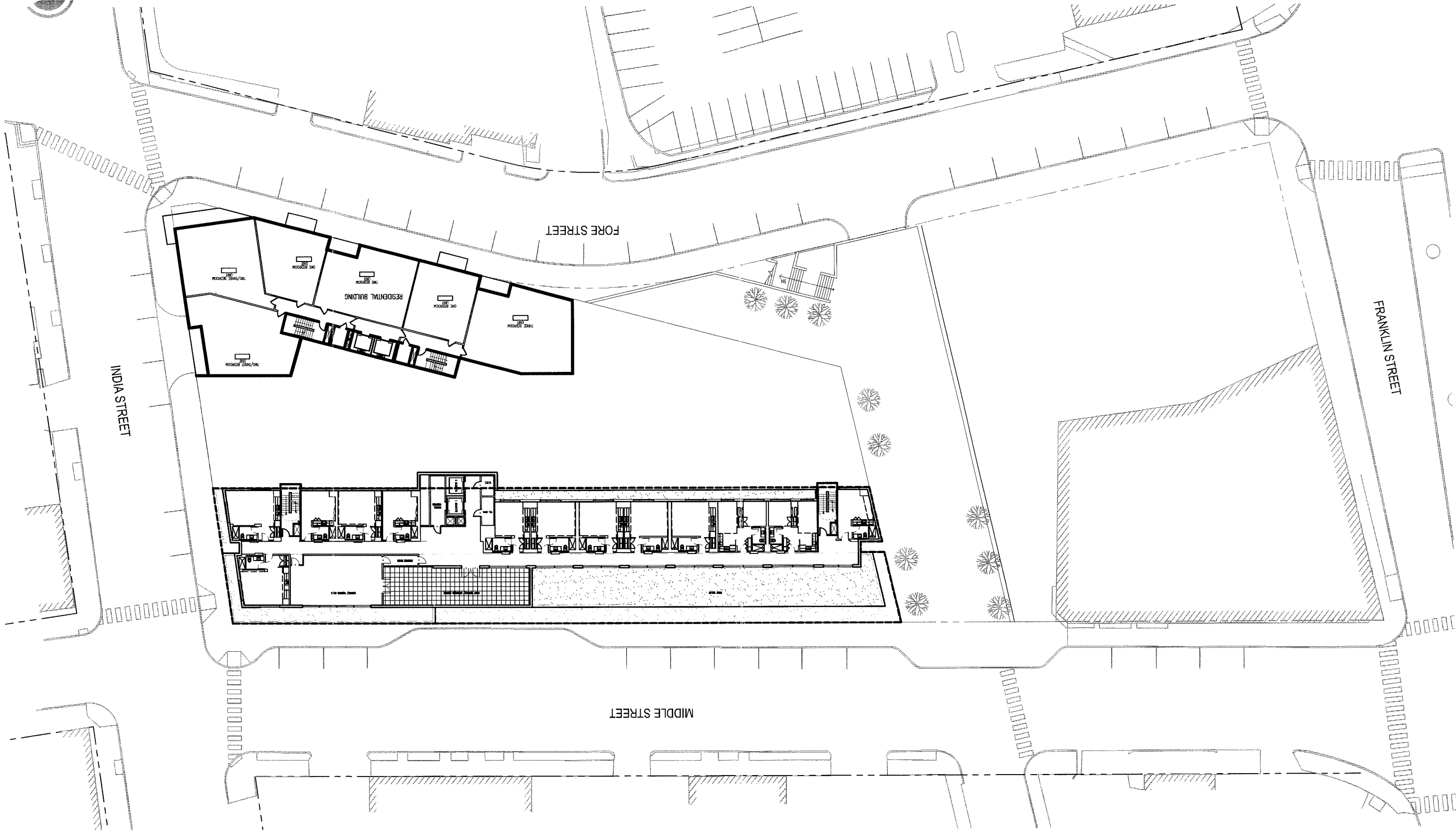




2007280.000
July 17, 2007

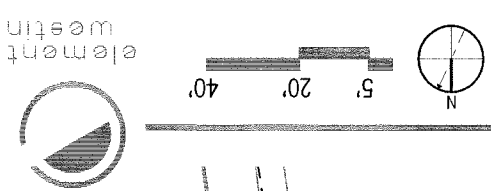
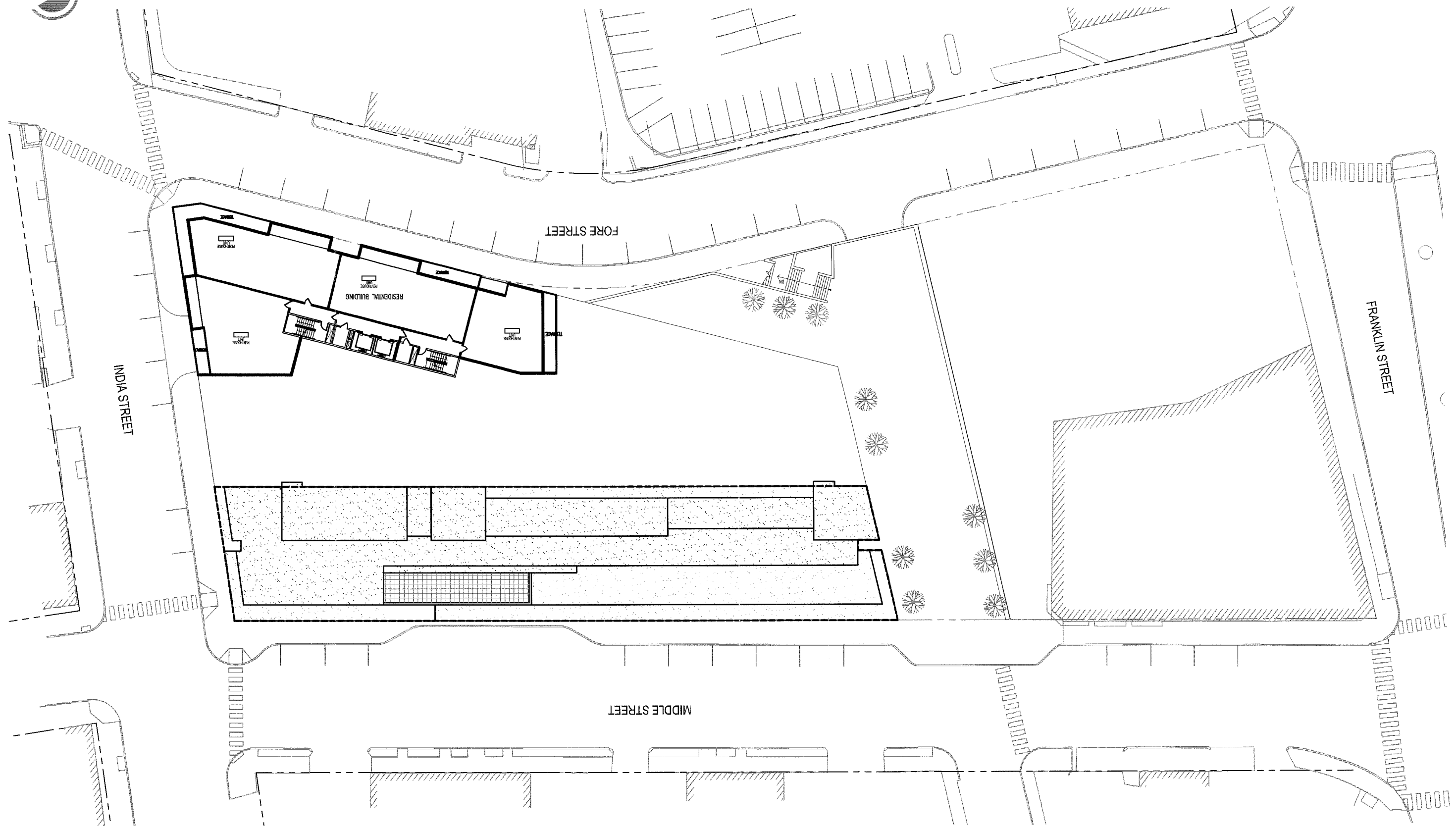
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

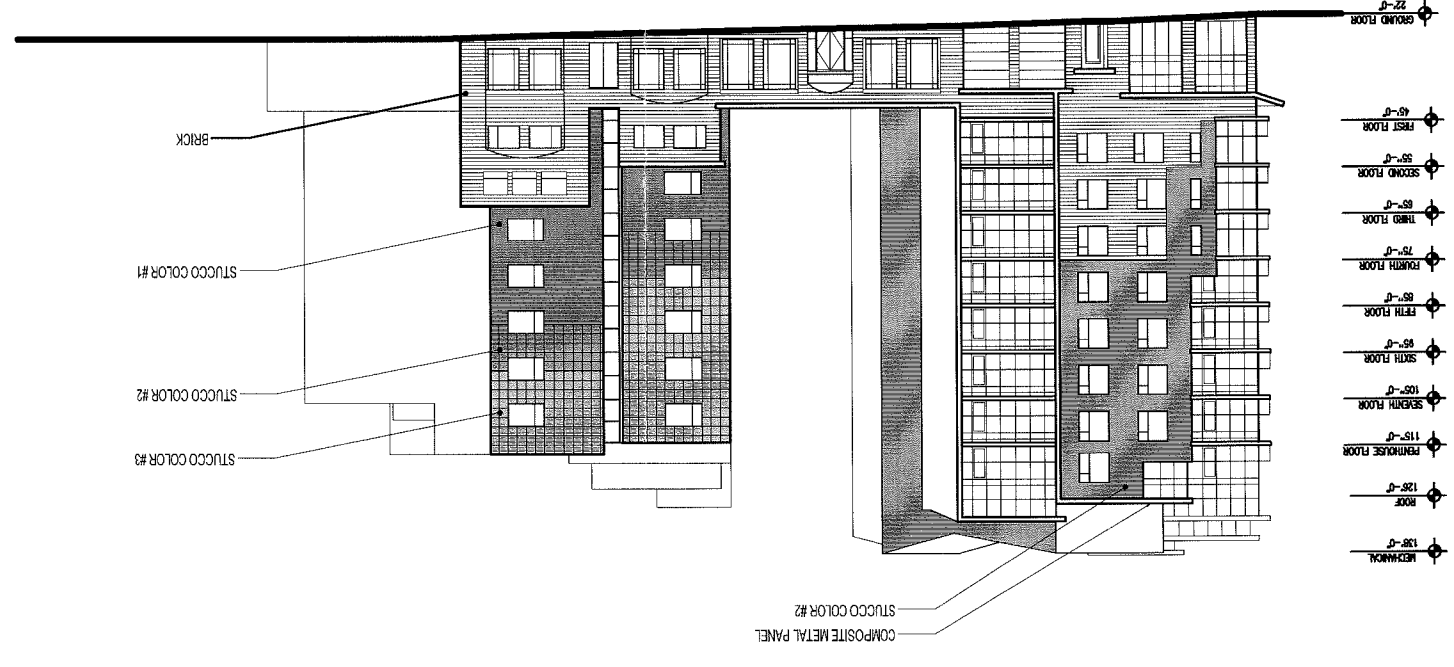
A-107 SEVENTH FLOOR HOTEL / TYPICAL CONDO PLAN

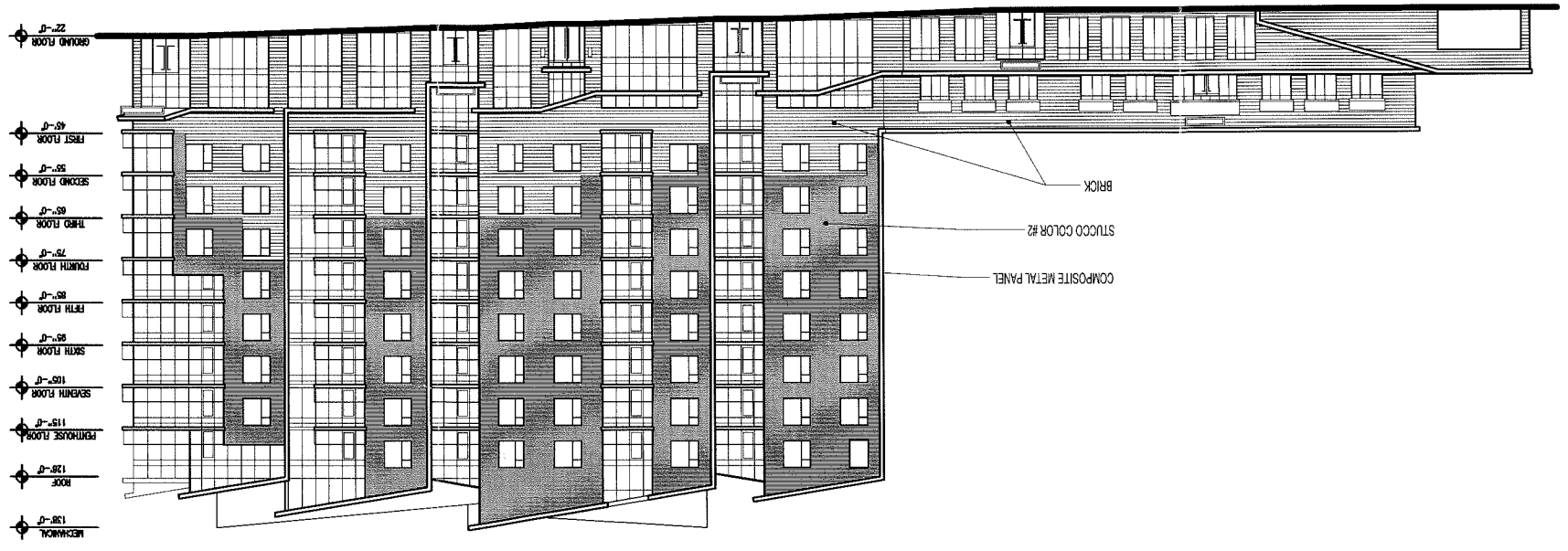


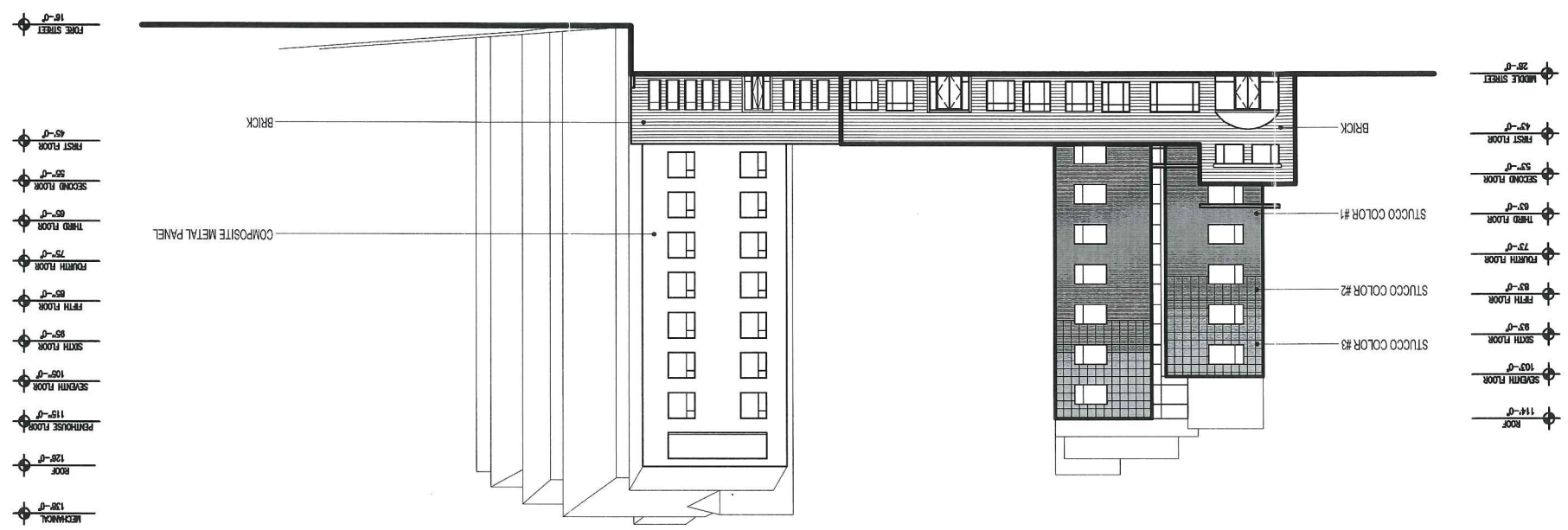
PME I, L.P.

TR0 Jung|Brannen



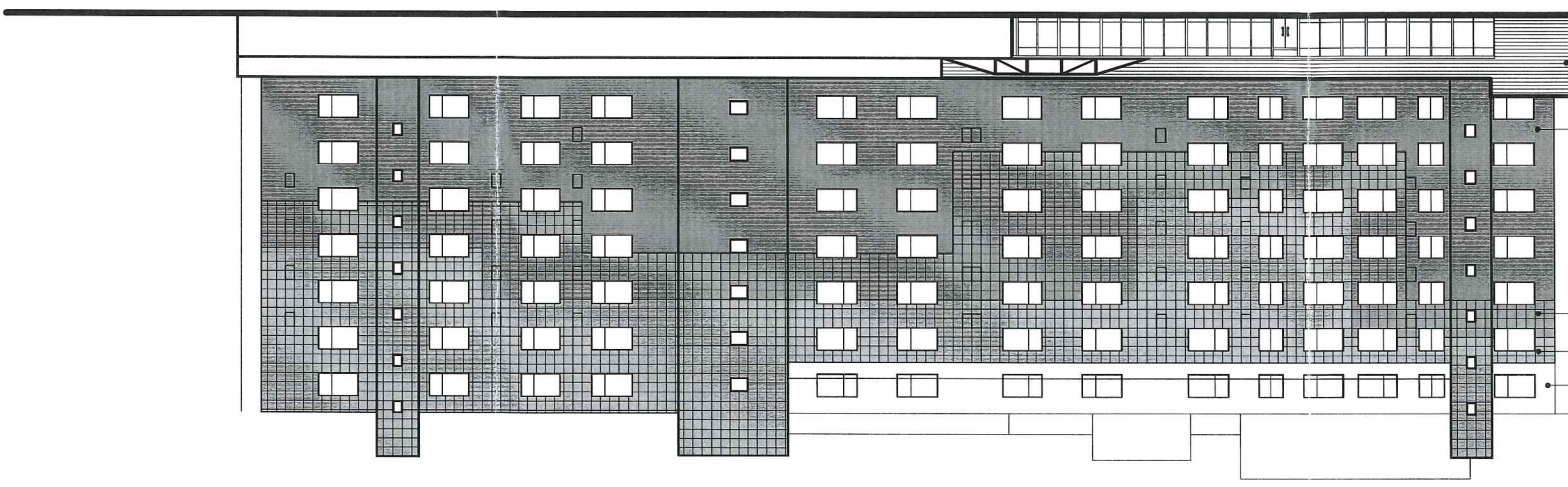








20'-0" GROUND FLOOR
 43'-0" FIRST FLOOR
 53'-0" SECOND FLOOR
 63'-0" THIRD FLOOR
 73'-0" FOURTH FLOOR
 83'-0" FIFTH FLOOR
 93'-0" SIXTH FLOOR
 103'-0" SEVENTH FLOOR
 114'-0" ROOF



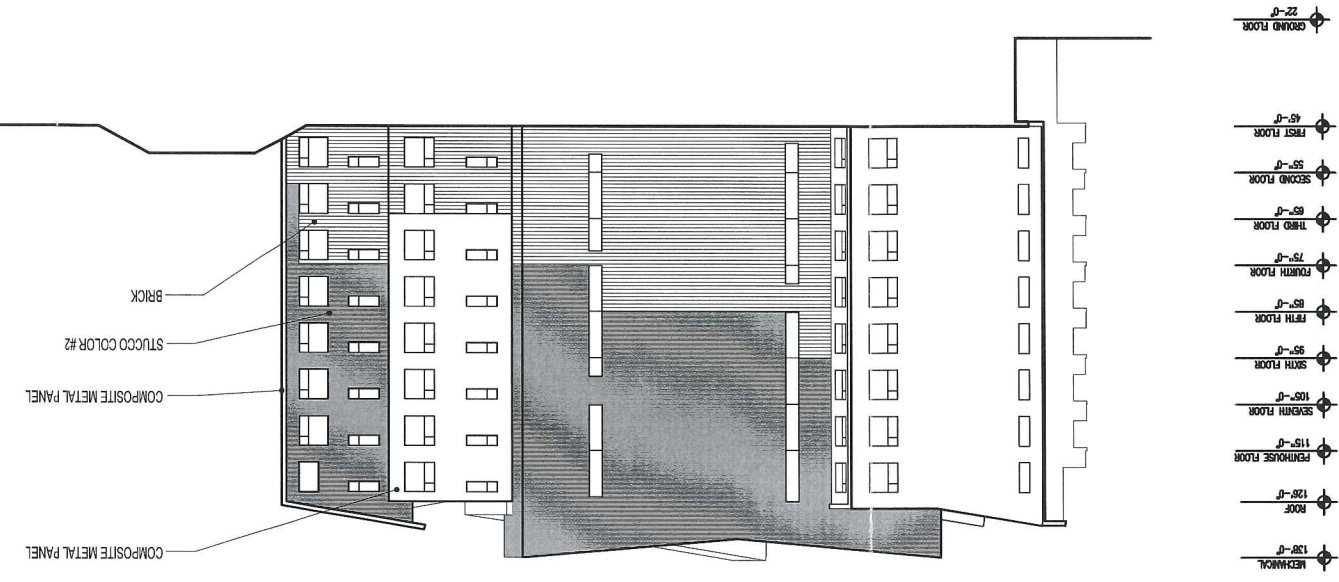
BRICK
 STUCCO COLOR #1
 STUCCO COLOR #2
 STUCCO COLOR #3
 METAL PANEL

20'-0" GROUND FLOOR
 43'-0" FIRST FLOOR
 53'-0" SECOND FLOOR
 63'-0" THIRD FLOOR
 73'-0" FOURTH FLOOR
 83'-0" FIFTH FLOOR
 93'-0" SIXTH FLOOR
 103'-0" SEVENTH FLOOR
 114'-0" ROOF

2007280.000
July 17, 2007

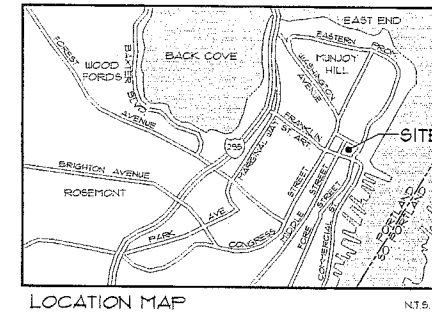
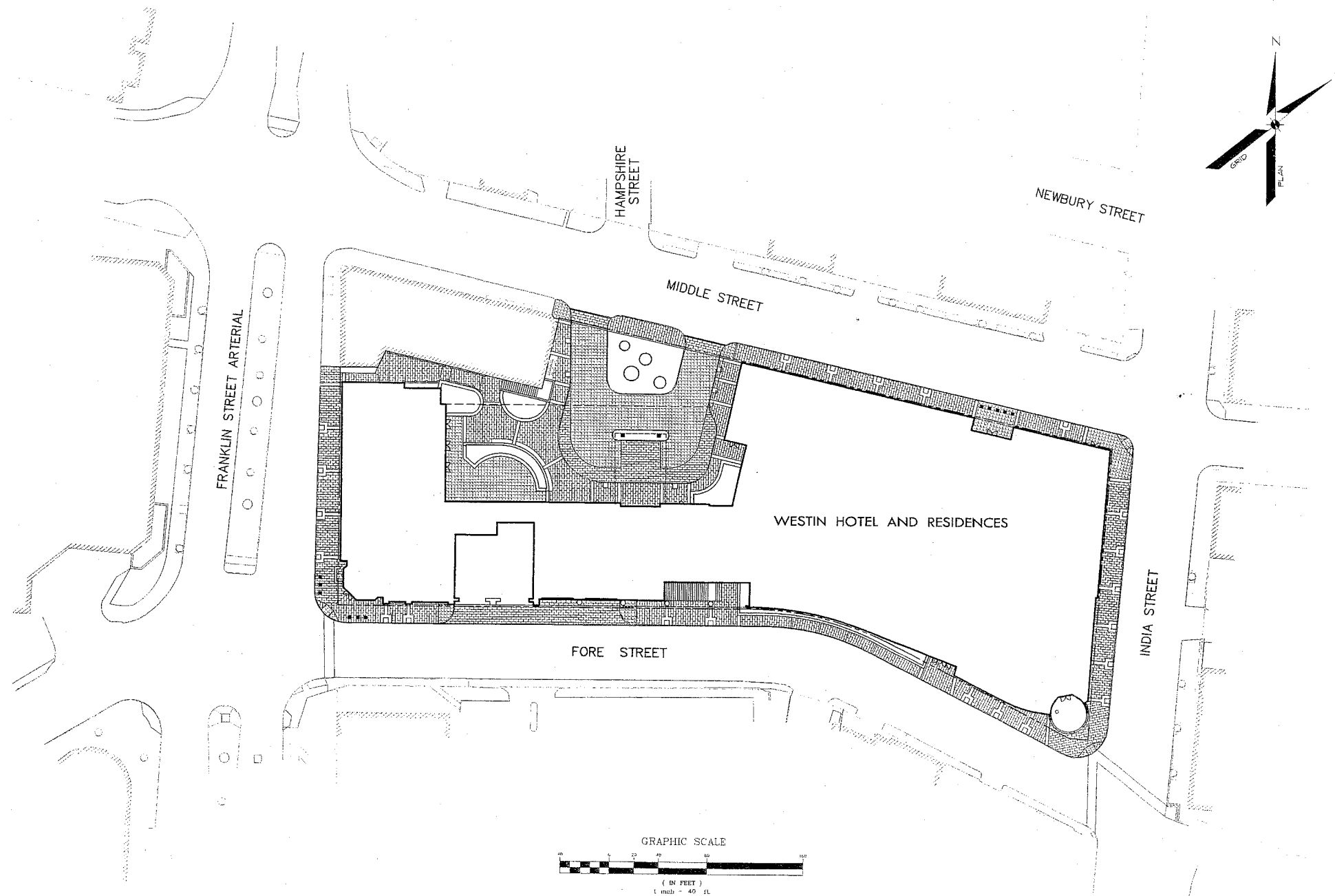
STARWOOD ELEMENT & RESIDENCES AT OLD PORT

A-205 SOUTH HOTEL ELEVATION



WESTIN HOTEL AND RESIDENCES PORTLAND

38 INDIA STREET, PORTLAND, MAINE



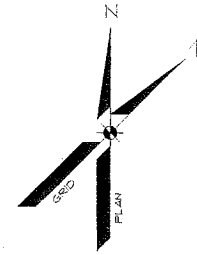
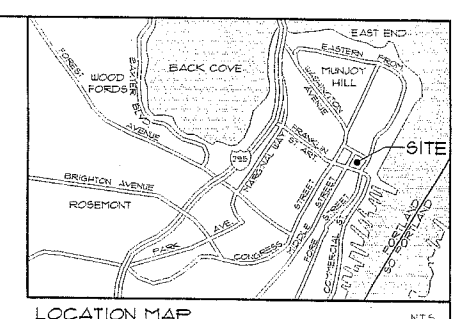
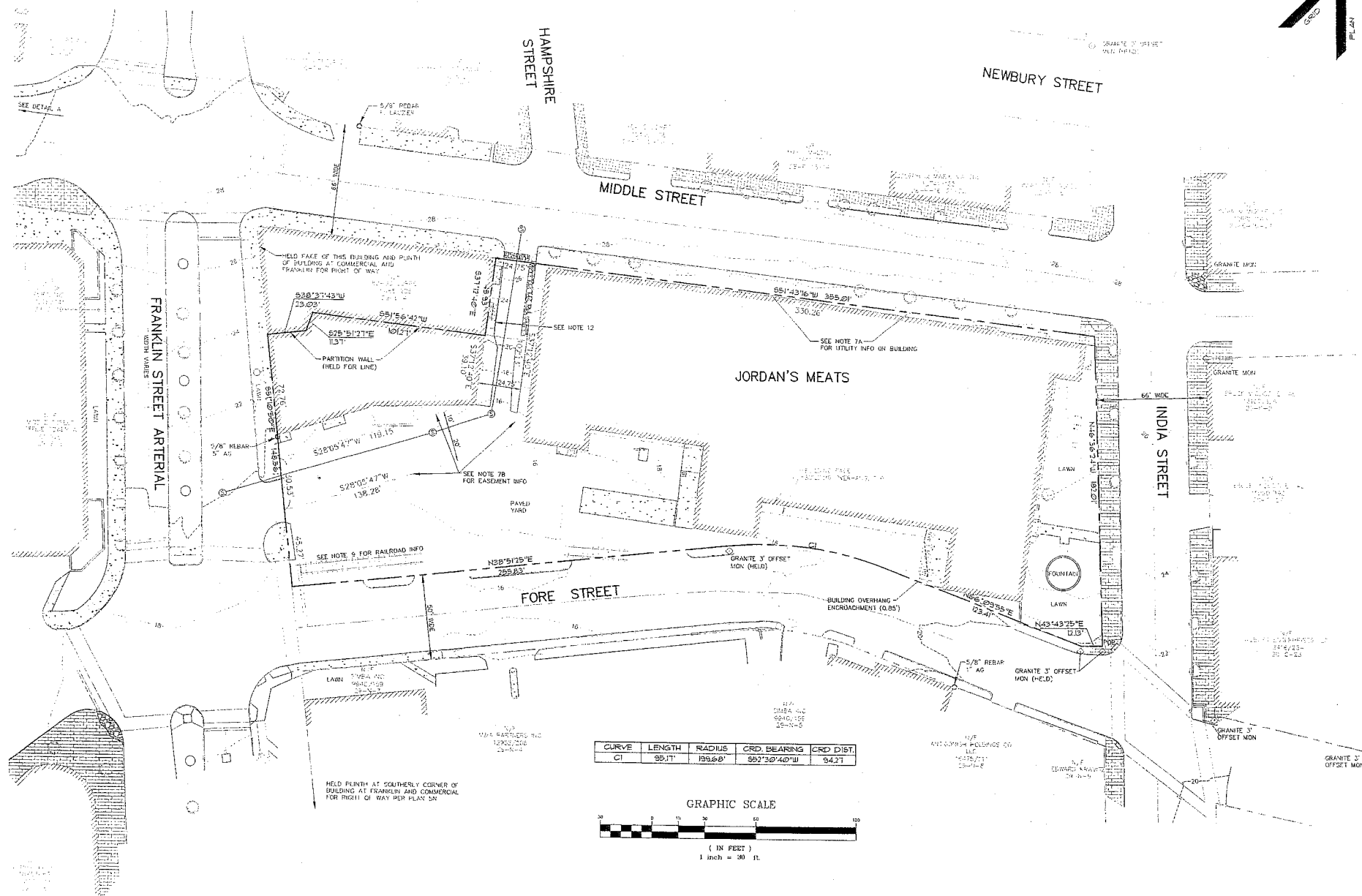
APPLICANT/DEVELOPER:
 PME 1 LIMITED PARTNERSHIP
 1140 RESERVOIR AVENUE
 CRANSTON, RI 02920

ENGINEER/SURVEYOR:

Sebago Technics 
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

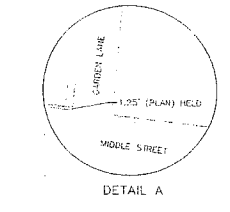
INDEX OF DRAWINGS:

SHEET NO.	SHEET NAME
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	EXISTING CONDITIONS PLAN
4	SITE PLAN
5	GRADING AND UTILITY PLAN
6	LANDSCAPE PLAN
7	DETAILS
8	DETAILS
9	DETAILS
10	DETAILS

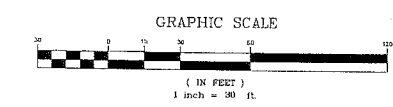


LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	CURV/LINE NO.	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	CONTOURS	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
○	DECIDUOUS TREE	---
○	CONIFEROUS TREE	---
---	RAILROAD	---
---	CONCRETE	---
---	BRICK	---
---	GRANITE/COBBLE	---



CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	99.17	1936.67	S87°29'42"W	94.21



GENERAL NOTES

- THE RECORD OWNERS OF THE PARCEL ARE:
JORDAN'S MEATS BY DEED DATED APRIL 26, 1975 IN DEED BOOK 440 PAGE 211
JORDAN'S READY TO EAT MEATS BY DEED DATED APRIL 3, 1973 IN DEED BOOK 208
DEED REFERENCES ARE RECORDED AT THE CLERK AND COUNTY REGISTRY OF DEEDS (CORD).
- THE PROPERTY IS SHOWN AS LOTS 1, 2, 43 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 75.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 76,250 SF.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN APRIL OF 2005.
- PLAN REFERENCES:
A. CITY OF PORTLAND ASSESSORS TAX MAPS 19, 20, 21 & 22.
B. PLAN OF LAND BELONGING TO GEO BARRON ESTATE BY EC JORDAN DATED JULY 1874 RECORDED AT CORD IN PLAN BOOK 4, PAGE 8.
C. PLAN OF LAND BELONGING TO GEO BARRON ESTATE BY EC JORDAN DATED JULY 1874 RECORDED AT CORD IN PLAN BOOK 3, PAGE 54.
D. PLAN OF PROPERTY IN PORTLAND, MAINE FOR SLURRY CLEARANCE AND REDEVELOPMENT AUTHORITY OF PORTLAND, MAINE BY H14 EC JORDAN DATED JAN 11, 1988 RECORDED AT CORD IN PLAN BOOK 41, PAGE 48 (TWO SHEETS).
E. PLAN OF PROPERTY IN PORTLAND, MAINE FOR SLURRY CLEARANCE AND REDEVELOPMENT AUTHORITY OF PORTLAND, MAINE BY H14 EC JORDAN DATED MAY 24, 1991 RECORDED AT CORD IN PLAN BOOK 41, PAGE 18.
F. PROPOSED SURFACE PARKING AREA FOR AIRPORT ASSOCIATES BY GANNON ARCHITECTS DATED 1985 ON FILE AT THE PORTLAND CITY VAULT 3103.
G. LAND TITLE SURVEY 1 SUBDIVISION PLAN IN PORTLAND, MAINE FOR THE TRUST FOR PUBLIC CANADIAN NATIONAL, A SUBSIDIARY COMPANY BY OSHEN HANCOCK INC. DATED FEB 15, 1993 ON FILE AT THE PORTLAND CITY VAULT 3038 AND RECORDED AT CORD IN PLAN BOOK 103, PAGE 81.
H. PLAN SINGING CHANGE OF LINE ON FORE STREET BETWEEN FRANKLIN AND HAMPSHIRE STREETS DATED MAY 1908 ON FILE AT THE PORTLAND CITY VAULT 3103.
I. PLAN OF JULY 1793, 1794 AT LOGAN CORNER OF MIDDLE & INDIA STREETS IN PORTLAND, MAINE DATED MAY 1988 ON FILE AT THE PORTLAND CITY VAULT 5712.
J. PLAN OF FRANKLIN STREET ENGINEERING DESIGN REPORT STATE 2 & 3 BY THE CITY OF PORTLAND DATED DEC 1981 ON FILE AT THE PORTLAND CITY VAULT 1000.
K. CITY OF PORTLAND PLANS DEPARTMENT OF PUBLIC WORKS, COMMERCIAL, INDIA FRANKLIN GUYTON HOUSE & PEARL STREETS, DATED FEB. 6, 1932 ON FILE AT THE PORTLAND CITY VAULT 1548.
L. CITY OF PORTLAND PLANS DEPARTMENT OF PUBLIC WORKS, COMMERCIAL, INDIA FRANKLIN GUYTON HOUSE & PEARL STREETS, DATED FEB. 6, 1932 ON FILE AT THE PORTLAND CITY VAULT 1548.
M. CITY OF PORTLAND PLANS DEPARTMENT OF PUBLIC WORKS, COMMERCIAL, INDIA FRANKLIN GUYTON HOUSE & PEARL STREETS, DATED FEB. 6, 1932 ON FILE AT THE PORTLAND CITY VAULT 1548.

GENERAL NOTES CONTINUED

- CITY OF PORTLAND PLANS DEPARTMENT OF PUBLIC WORKS INDIA ST. REB. SEWER COMMERCIAL ST. TO MIDDLE ST., DATED DEC. 30, 1940, ON FILE AT THE PORTLAND CITY VAULT 3038 (TWO SHEETS).
- PORTLAND WATER DISTRICT, PORTLAND SEWER SYSTEM MITIGATION-INFLOW ANALYSIS SYSTEM BAYE TREATMENT AREA W. 100-100, DATED OCT. 2004 ON FILE AT THE PORTLAND CITY VAULT 1144.
- CITY OF PORTLAND PLANS DEPARTMENT OF PUBLIC WORKS, COMMERCIAL, INDIA FRANKLIN GUYTON HOUSE & PEARL STREETS, DATED FEB. 6, 1932 ON FILE AT THE PORTLAND CITY VAULT 1548.
- CITY OF PORTLAND PLANS DEPARTMENT OF PUBLIC WORKS, COMMERCIAL, INDIA FRANKLIN GUYTON HOUSE & PEARL STREETS, DATED FEB. 6, 1932 ON FILE AT THE PORTLAND CITY VAULT 1548.
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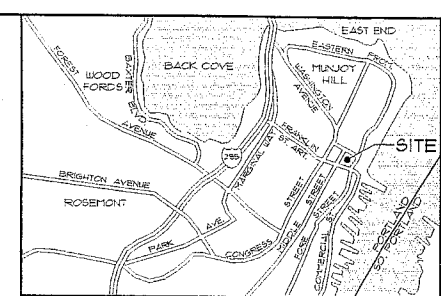
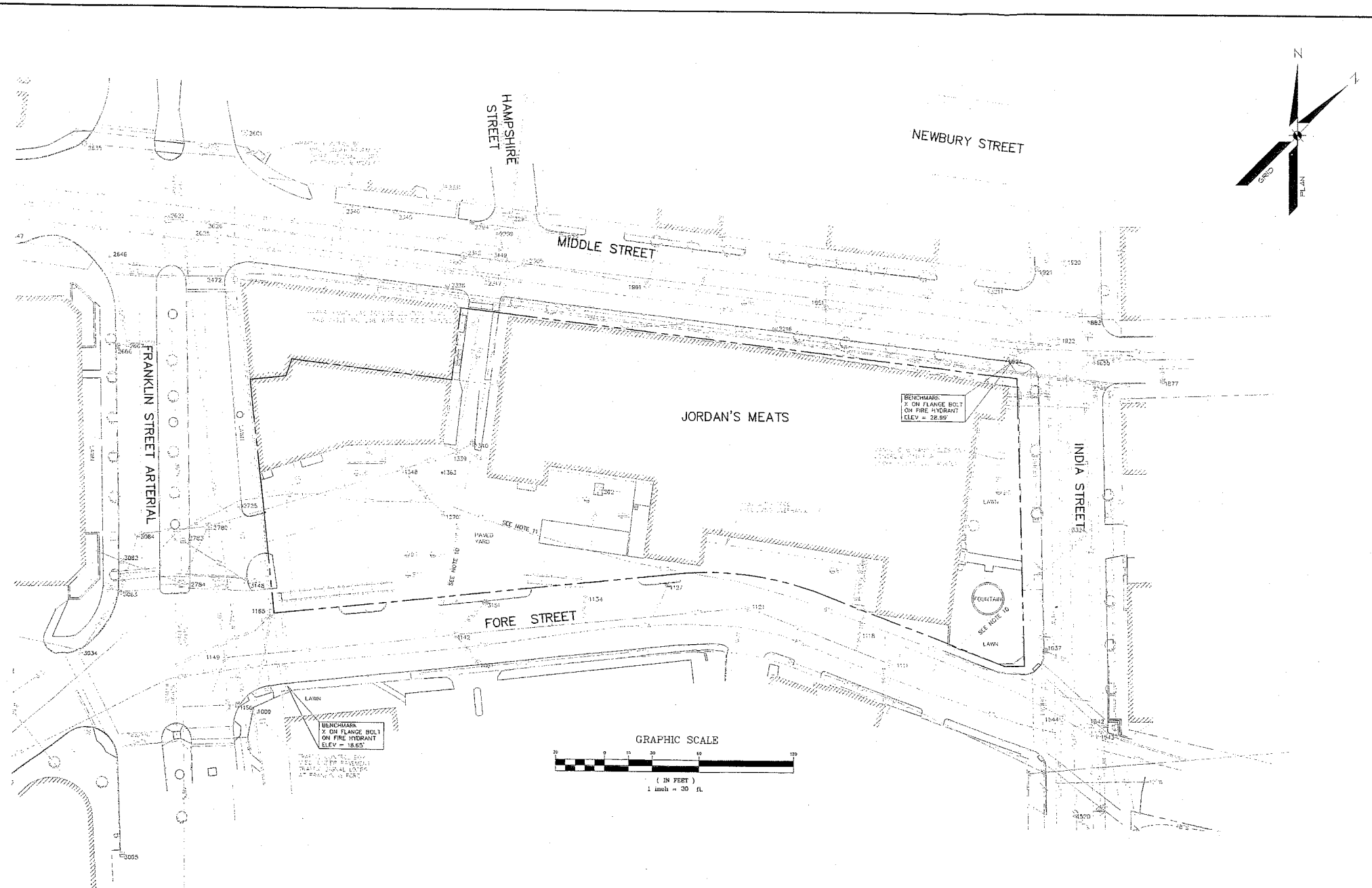
GENERAL NOTES CONTINUED

- EASEMENT REFERENCES:
A. EASEMENT FROM CITY OF PORTLAND TO JORDAN'S MEATS GRANTING RIGHTS TO THE EXISTING HVAC AND OTHER UTILITIES ENCROACHING INTO THE MIDDLE STREET RIGHT OF WAY, DEED BOOK 3891 PAGE 48 DATED JULY 1, 1994.
B. SEWER EASEMENT GRANTED TO THE CITY OF PORTLAND IN DEED BOOK 2438 PAGE 256, SACHON AS EASEMENT F AND EASEMENT E ON PLAN INFORMATION D.
- STREET RECORDS:
A. HAMPSHIRE STREET MAY 10, 1864, DESCRIPTION BETWEEN MIDDLE AND FORE STREETS P.V. 101.
B. HAMPSHIRE STREET JULY 4, 1790 A.K.A. CHUB LANE USE OF THE TOWN AS A PRIVATE WAY ON LANE 110 RECORDS P.V. 144.
C. HAMPSHIRE STREET MARCH 22, 1824 CHUB LANE RENAMED HAMPSHIRE STREET P.V. 144.
D. HAMPSHIRE STREET MAPS OF 1840S COVERED P.V. 1205, (DATE NOT LEGIBLE).
E. HAMPSHIRE STREET JULY 1, 1866 DISCONTINUE AS A PUBLIC STREET OR WAY IN THE CITY OF PORTLAND.
F. MIDDLE STREET JANUARY 1, 1870 LAYOUT OF MIDDLE ST. DEDICATED AS 66 FEET WIDE EXCHANGE P.V. 1.
G. MIDDLE STREET APRIL 1, 1874 LAYOUTS FROM HANCOCK TO HAMPSHIRE AND HAMPSHIRE TO M. FORE STREET APRIL 1, 1874, LAYOUTS FROM HANCOCK TO HAMPSHIRE AND HAMPSHIRE TO M. FORE STREET DECEMBER 3, 1866, DANFORTH STREET RENAMED AS FORE STREET P.V. 10.
H. FORE STREET MAY 1, 1898 CHANGE OF LINE ON FORE STREET (HONOR ANGLE POINT NEAR HAMPSHIRE) P.V. 10.
I. FORE STREET JULY 1, 1898 RELOCATE FORE STREET AS A PUBLIC STREET OR WAY IN THE CITY OF PORTLAND (HONOR CHANGE TO EXISTING LOCATION) P.V. 200.
J. FORE STREET CONSTRUCTION EASEMENT SHOWN OVER LOCUS LOT P.V. 100 'S'.
K. P.V. REFERS TO THE PORTLAND PUBLIC WORKS VAULT VOLUMES.
- RIGHTS IN THE RAIL ROAD EASEMENT CROSSING THE SOUTHWEST CORNER OF THE LOCUS PROPERTY NEAR FORE AND FRANKLIN WERE RELEASED TO JORDAN'S MEATS BY THE PARKON CORPORATION IN DEED BOOK 410 PAGE 101 ON DECEMBER 19, 1980 AND BY THE CITY OF PORTLAND IN DEED BOOK 474 PAGE 308 ON DECEMBER 19, 1982.
- NO EASEMENT WAS FOUND FOR THE OVERHEAD ELECTRICAL LINES CROSSING THROUGH AND OVER THE LOCUS PROPERTY.
- NO EASEMENT WAS FOUND FOR THE GAS LINE CROSSING THE PROPERTY. NORTHWEST UTILITIES WAS CONTACTED AND DID NOT PRODUCE WRITTEN EVIDENCE OF LICENSE OR EASEMENT DURING THIS SURVEY.
- LAND TITLE SURVEY PLAN OF PROPERTY PORTLAND, MAINE FOR JORDAN'S MEATS BY THE BEARINGS, COORDINATES AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANS COORDINATE GRID, BEST JOBS, 1827 ON MAPS AND THE CITY OF PORTLAND SURVEY BENCHMARK, BEING A DRILL HOLE LOCATED IN THE GRANITE STEPS OF THE GUYTON HOUSE ON COMMERCIAL STREET. THE CITY ELEVATION IS 142.01 THE NAVD 29 ELEVATION IS 142.01.
- SEE SHEET 2 OF 2 FOR UTILITY INFORMATION.

Sebago Technics
Engineering Expertise You Can Build On
1140 RESERVOR AVENUE
PORTLAND, MAINE 04108-1339
TEL: (207) 856-0027

EXISTING CONDITIONS PLAN
WESTIN HOTEL AND RESIDENCES PORTLAND
338 PEARL STREET
PORTLAND, MAINE
PME 1 LIMITED PARTNERSHIP
CORVALLIS, RI 02829

DATE	SCALE
7-12-05	1"=20'
PROJ. NO.	DWG. NAME
05090	05090EC
FILED BY	DESIGN BY
DRAWN BY	CHECKED BY
ML/UPH	MWE



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROAD	---
---	EASEMENT	---
---	CENTERLINE	---
○	MONUMENT	○
○	IRON PIPE/ROD	○
C/L/L	CURVE/LINE NO.	C/L/L
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
○	BORING	○
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERDRAIN	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	CROSS WALK SIGNAL	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---
---	RAILROAD	---
---	BENCHMARK	---

REV.	BY	DATE	STATUS
C	DLR	8-1-05	CONDITIONAL REZONE PUBLIC HEARINGS
B	DLR	7-22-05	SUBMITTED FOR PLANNING BOARD WORKSHOP
A	DLR	7-12-05	CONDITIONAL REZONING SUBMITTAL

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Sebago Technics
 Engineers, Planners, Surveyors & Builders
 One Charles Street
 Westbrook, Me. 04092-1308
 Tel: (207) 886-0277

EXISTING CONDITIONS PLAN
 OF
 WESTIN HOTEL AND RESIDENCES PORTLAND
 58 PEARL STREET
 PORTLAND, MAINE
 FOR
 P/M E LIMITED PARTNERSHIP
 1140 RESERVUAR AVENUE
 CRANSTON, RI 02920

UTILITY STRUCTURE CHART

STRUCTURE #	TYPE	INVERT ELEVATION (FEET)	OUTLET ELEVATION (FEET)	TO/FROM	STRUCTURE #	SIZE (DIAMETER)	MISCELLANEOUS NOTE
11009	CB	17.03	0	0	11044	12"	11" BY TOP TRAP (11.5) WATER LEVEL
11010	SMH	16.35	17.13	0	1123	18"	END IS
11011	SMH	16.64	17.37	0	1124	18"	PROPOSED
11012	SMH	11.13	0	SE	10	12"	MAIN IS LN
11013	CB	16.28	9.28	0	1125	12"	
11014	SMH	18.7	0	SE	12"	18"	TOP TRAP 13.7' WATER LEVEL 12.40'
11015	SMH	18.24	9.85	0	1126	12"	
11016	CB	16.52	6.67	0	1127	12"	
11017	SMH	16.22	10.92	0	1128	12"	
11018	SMH	6.68	1.93	0	1129	12"	MAIN IS LN
11019	SMH	2.98	0.81	0	1130	12"	GRASS
11020	SMH	2.96	0	1131	12"	12"	
11021	SMH	17.43	5.1	0	1132	12"	
11022	SMH	6.46	1.26	0	1133	12"	
11023	SMH	10.25	1	0	1134	12"	
11024	SMH	2.83	0	SE	6"	6"	
11025	CB	16.42	4.22	0	1135	12"	11" BY TOP TRAP (10.9) WATER LEVEL
11026	SMH	16.31	13.27	0	1136	18"	TOP PIPE FROM MANHOLE
11027	SMH	15.15	0	SE	6"	6"	TOP PIPE FROM MANHOLE
11028	SMH	17.71	0	SE	12"	12"	12" OF CONCRETE
11029	SMH	14.92	11.81	0	1138	18"	CONCRETE
11030	SMH	15.27	10.26	0	1139	18"	CONCRETE
11031	SMH	3.22	0	1140	18"	18"	
11032	SMH	5.23	0	1141	30"	30"	
11033	SMH	19.92	5.83	0	1142	30"	30"
11034	SMH	18.24	5.28	0	1143	30"	30"
11035	SMH	5.83	1.87	0	1144	30"	30"
11036	SMH	6.84	1.20	0	1145	10"	10"
11037	SMH	20.06	10.31	0	1200	24"	ABANDONED
11038	SMH	19.28	9	0	1201	24"	ABANDONED
11039	SMH	1.2	11.93	0	1146	18"	18"
11040	SMH	5.86	1.92	0	1147	18"	18"
11041	SMH	3.72	0	SE	18"	18"	

UTILITY STRUCTURE CHART

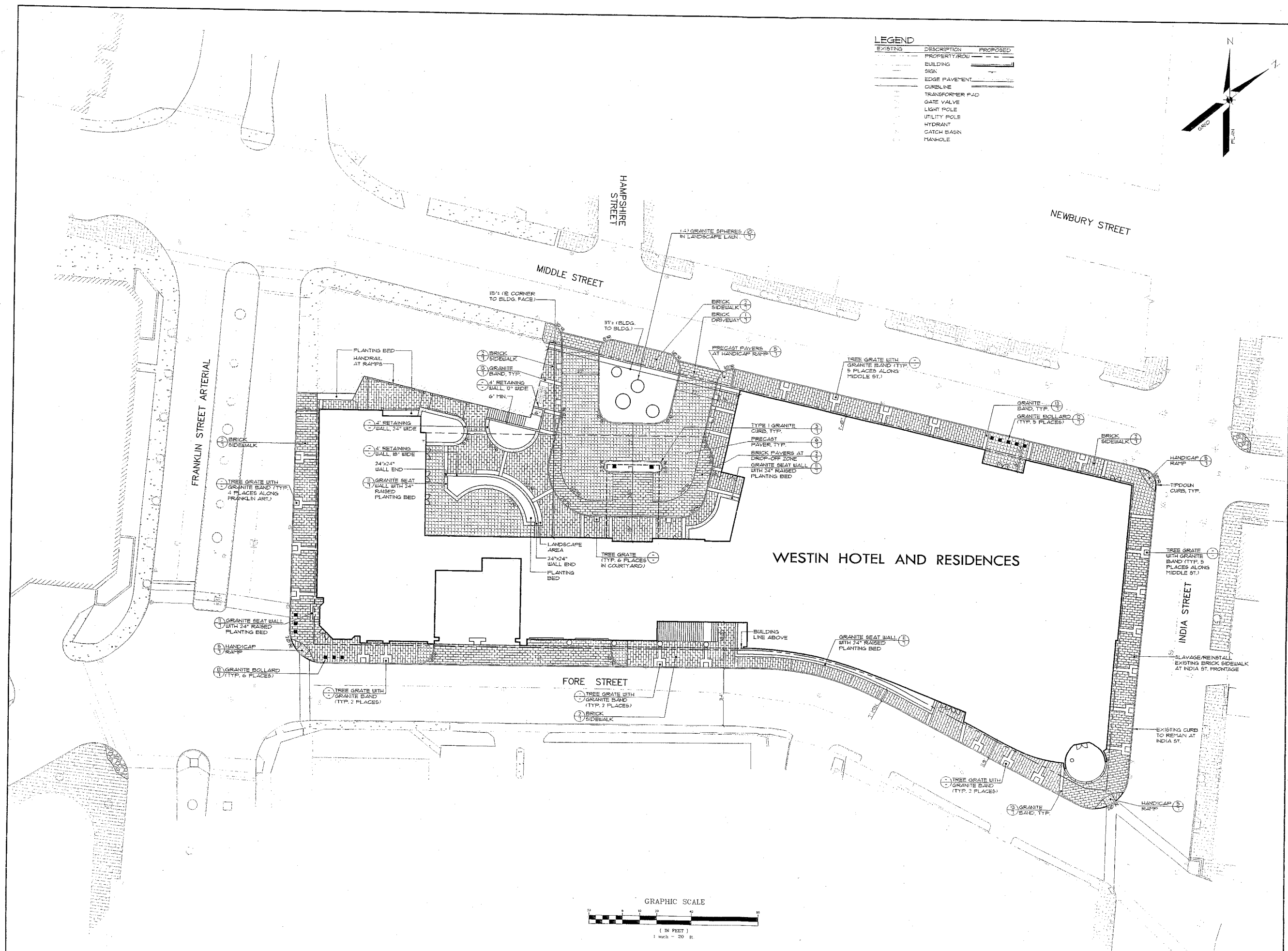
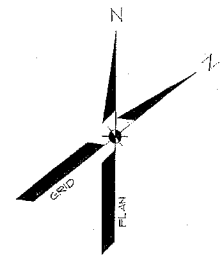
STRUCTURE #	TYPE	INVERT ELEVATION (FEET)	OUTLET ELEVATION (FEET)	TO/FROM	STRUCTURE #	SIZE (DIAMETER)	MISCELLANEOUS NOTE
11042	SMH	20.3	18.73	0	1123	24"	24"
11043	SMH	18.91	0	SE	12"	12"	
11044	CB	18.56	18.82	0	1129	12"	12"
11045	SMH	17.31	17.92	0	1130	12"	12"
11046	SMH	15.27	0	SE	12"	12"	
11047	SMH	15.27	15.88	0	1131	18"	
11048	SMH	18.24	15.88	0	1132	12"	
11049	SMH	18.77	18.24	0	1133	18"	
11050	CB	18.61	19.74	0	1134	18"	TOP TRAP 19.35' WATER LEVEL 18.83'
11051	SMH	20.06	18.61	0	1135	18"	
11052	SMH	20.06	18.61	0	1136	18"	
11053	SMH	18.77	17.8	0	1137	18"	TOP TRAP 23.35' WATER LEVEL 23.47'
11054	SMH	18.24	17.66	0	1138	18"	TOP TRAP 23.35' WATER LEVEL 23.47'
11055	SMH	18.24	17.66	0	1139	18"	TOP TRAP 23.35' WATER LEVEL 23.47'
11056	SMH	18.24	17.66	0	1140	18"	
11057	SMH	18.24	17.66	0	1141	18"	
11058	SMH	18.24	17.66	0	1142	18"	TOP TRAP 23.35' WATER LEVEL 23.47'
11059	SMH	18.24	17.66	0	1143	18"	
11060	SMH	18.24	17.66	0	1144	18"	
11061	SMH	18.24	17.66	0	1145	18"	
11062	SMH	18.24	17.66	0	1146	18"	
11063	SMH	18.24	17.66	0	1147	18"	
11064	SMH	18.24	17.66	0	1148	18"	
11065	SMH	18.24	17.66	0	1149	18"	
11066	SMH	18.24	17.66	0	1150	18"	
11067	SMH	18.24	17.66	0	1151	18"	
11068	SMH	18.24	17.66	0	1152	18"	
11069	SMH	18.24	17.66	0	1153	18"	
11070	SMH	18.24	17.66	0	1154	18"	
11071	SMH	18.24	17.66	0	1155	18"	
11072	SMH	18.24	17.66	0	1156	18"	
11073	SMH	18.24	17.66	0	1157	18"	
11074	SMH	18.24	17.66	0	1158	18"	
11075	SMH	18.24	17.66	0	1159	18"	
11076	SMH	18.24	17.66	0	1160	18"	
11077	SMH	18.24	17.66	0	1161	18"	
11078	SMH	18.24	17.66	0	1162	18"	
11079	SMH	18.24	17.66	0	1163	18"	
11080	SMH	18.24	17.66	0	1164	18"	
11081	SMH	18.24	17.66	0	1165	18"	
11082	SMH	18.24	17.66	0	1166	18"	
11083	SMH	18.24	17.66	0	1167	18"	
11084	SMH	18.24	17.66	0	1168	18"	
11085	SMH	18.24	17.66	0	1169	18"	
11086	SMH	18.24	17.66	0	1170	18"	
11087	SMH	18.24	17.66	0	1171	18"	
11088	SMH	18.24	17.66	0	1172	18"	
11089	SMH	18.24	17.66	0	1173	18"	
11090	SMH	18.24	17.66	0	1174	18"	
11091	SMH	18.24	17.66	0	1175	18"	
11092	SMH	18.24	17.66	0	1176	18"	
11093	SMH	18.24	17.66	0	1177	18"	
11094	SMH	18.24	17.66	0	1178	18"	
11095	SMH	18.24	17.66	0	1179	18"	
11096	SMH	18.24	17.66	0	1180	18"	
11097	SMH	18.24	17.66	0	1181	18"	
11098	SMH	18.24	17.66	0	1182	18"	
11099	SMH	18.24	17.66	0	1183	18"	
11100	SMH	18.24	17.66	0	1184	18"	

UTILITY STRUCTURE CHART

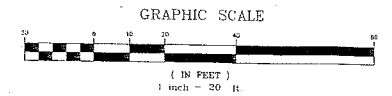
STRUCTURE #	TYPE	INVERT ELEVATION (FEET)	OUTLET ELEVATION (FEET)	TO/FROM	STRUCTURE #	SIZE (DIAMETER)	MISCELLANEOUS NOTE
11099	SMH	23.12	20.43	11.23	1124	24"	24"
11100	SMH	23.12	20.43	11.23	1125	24"	24"
11101	SMH	23.12	20.43	11.23	1126	24"	24"
11102	SMH	23.12	20.43	11.23	1127	24"	24"
11103	SMH	23.12	20.43	11.23	1128	24"	24"
11104	SMH	23.12	20.43	11.23	1129	24"	24"
11105	SMH	23.12	20.43	11.23	1130	24"	24"
11106	SMH	23.12	20.43	11.23	1131	24"	24"
11107	SMH	23.12	20.43	11.23	1132	24"	24"
11108	SMH	23.12	20.43	11.23	1133	24"	24"
11109	SMH	23.12	20.43	11.23	1134	24"	24"
11110	SMH	23.12	20.43	11.23	1135	24"	24"
11111	SMH	23.12	20.43	11.23	1136	24"	24"
11112	SMH	23.12	20.43	11.23	1137	24"	24"
11113	SMH	23.12	20.43	11.23	1138	24"	24"
11114	SMH	23.12	20.43	11.23	1139	24"	24"
11115	SMH	23.12	20.43	11.23	1140	24"	24"
11116	SMH	23.12	20.43	11.23	1141	24"	24"
11117	SMH	23.12	20.43	11.23	1142	24"	24"
11118	SMH	23.12	20.43	11.23	1143	24"	24"
11119	SMH	23.12	20.43	11.23	1144	24"	24"
11120	SMH	23.12	20.43	11.23	1145	24"	24"
11121	SMH	23.12	20.43	11.23	1146	24"	24"
11122	SMH	23.12	20.43	11.23	1147	24"	24"
11123	SMH	23.12	20.43	11.23	1148	24"	24"
11124	SMH	23.12	20.43	11.23	1149	24"	24"
11125	SMH	23.12	20.43	11.23	1150	24"	24"
11126	SMH	23.12	20.43	11.23	1151	24"	24"
11127	SMH	23.12	20.43	11.23	1152	24"	24"
11128	SMH	23.12	20.43	11.23	1153	24"	24"
11129	SMH	23.12	20.43	11.23	1154	24"	24"
11130	SMH	23.12	20.43	11.23	1155	24"	24"
11131	SMH	23.12	20.43	11.23	1156	24"	24"
11132	SMH	23.12	20.43	11.23			

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROAD	---
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	TRANSFORMER PAD	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---



WESTIN HOTEL AND RESIDENCES



REV.	DATE	DESCRIPTION	STATUS
C	8-11-05	CONDITIONAL RESUBMIT FOR PERMITS	RESUBMITTED FOR PERMITS
B	7-22-05	SUBMITTED FOR PLANNING BOARD, WORKSTOP	CONDITIONAL REZONING SUBMITTAL
A	7-12-05	CONDITIONAL REZONING SUBMITTAL	CONDITIONAL REZONING SUBMITTAL

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 Engineers, Architects, Planners
 1140 PRESERVOR AVENUE
 CRANSTON, RI 02906-1339
 TEL: (401) 888-0277

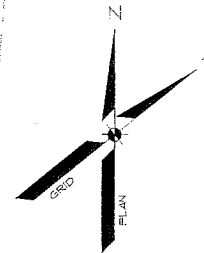
SITE PLAN
 OF: **WESTIN HOTEL AND RESIDENCES PORTLAND**
 38 INDIA STREET
 PORTLAND, MAINE

PME 1 LIMITED PARTNERSHIP
 1140 PRESERVOR AVENUE
 CRANSTON, RI 02906

DATE	SCALE
7-12-05	1"=20'
PROJ. NO. 05090	DWG. NAME 05090CS
FIELD BOOK	DESIGN BY WTC
DRAWN BY MAL	CHECKED BY DEP

SET	BOTANICAL NAME	COMMON NAME	SIZE	CONTENTS
AA	ACER F. 'ARMSTRONG'	ARMSTRONG MAPLE	3" CAL.	
BH	BETULA NIGRA	RIVER BEACH	8'-10' CLUMP	
CB	CAROLINA B. 'FASTIGIATA'	EUROPEAN HORSEBEAN	2 1/2" CAL.	
EG	EUONYMUS 'GREENLAW'	GROUNDCOVER EUONYMUS	#	30" O.C.
FA	FRAXINUS F. 'CIMPZAM'	CIMPZAM ASH	2 1/2" CAL.	18" O.C.
HC	HEMEROCALLIS CV. 'STELLA D'ORO'	DAYLILLY	#	30" O.C.
HE	HOSTA CV.	HONEYBELLS	#	24" O.C.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	36"-48"	
RA	RHODODENDRON CV. 'WILSON'	RHODODENDRON	24"-30"	
SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	2 1/2" CAL.	
AN	ANNUAL FLOWERS	ANNUAL FLOWERS	4" POTS	12" O.C.

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY BOUNDARY	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	LANDSCAPE TREE	(X)



FRANKLIN STREET ARTERIAL

HAMPSHIRE STREET

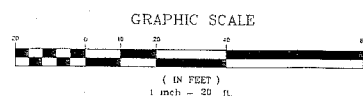
NEWBURY STREET

MIDDLE STREET

INDIA STREET

FORE STREET

WESTIN HOTEL AND RESIDENCES



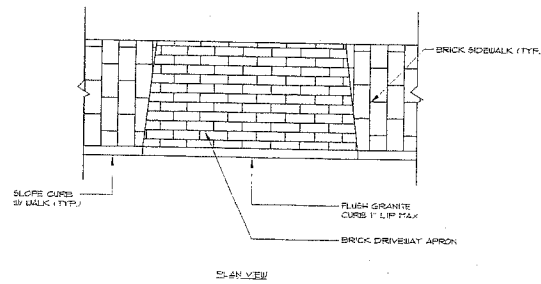
REV.	DATE	DESCRIPTION
C	8-3-05	CONDITIONAL REZONE PUBLIC HEARING SUBMITTED FOR PLAYING BOARD WORKSHOP
B	7-12-05	CONDITIONAL REZONING SUBMITTAL
A	7-12-05	CONDITIONAL REZONING SUBMITTAL

STATUS:
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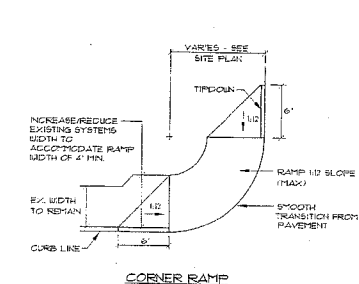
Sebago Technics
 Engineering Expense You Can Build On
 1111 W. Main Street
 Westbrook, ME 04095-1338
 Tel: (207) 896-0277

LANDSCAPE PLAN
 OF
 WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
 P1ME 1 LIMITED PARTNERSHIP
 111 W. Main Street
 Westbrook, ME 04095-1338
 CRANSTON, RI 02920

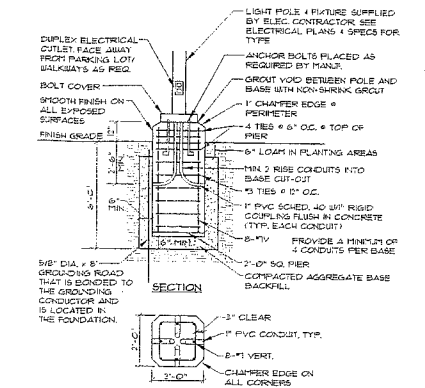
DATE	SCALE
7-12-05	1" = 20'
PROJ. NO.	DWS. NAME
05090	05090L
FIELD BOOK	DESIGN BY
	WTC
DRAWN BY	CHECKED BY
FCL	WTC



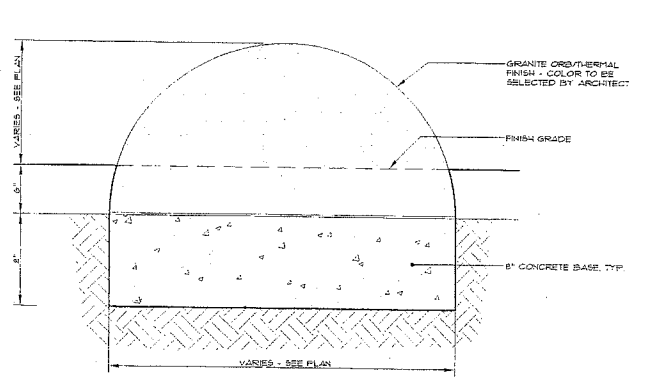
1 SECTION AT BRICK DRIVEWAY
NOT TO SCALE



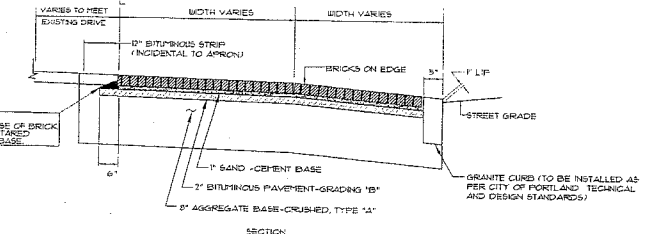
5 HANDICAP RAMP
NOT TO SCALE



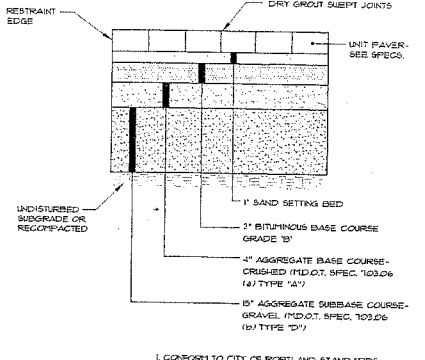
9 TYPICAL LIGHT POLE BASE
NOT TO SCALE



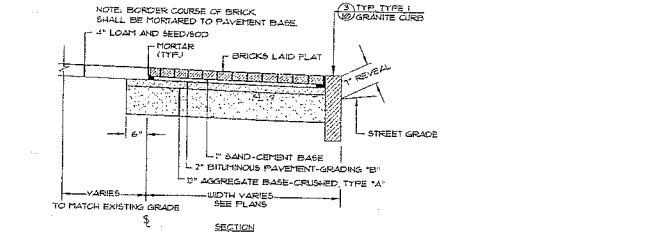
10 GRANITE ORB INSTALLATION
NOT TO SCALE



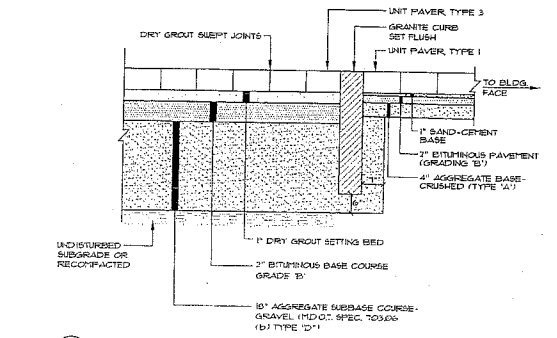
2 BRICK SIDEWALK DETAIL-NO ESPLANADE
NOT TO SCALE



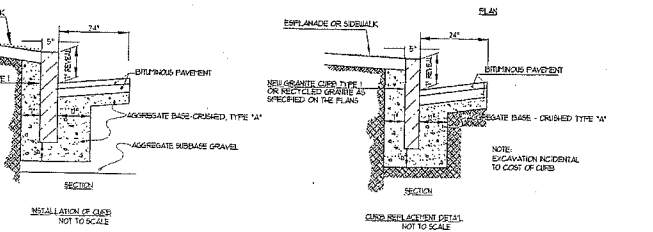
6 UNIT PAVEMENT
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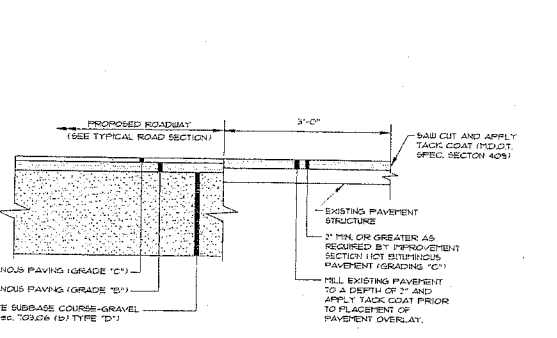
3 TYP. INSTALLATION OF CURB TYPE I
NOT TO SCALE



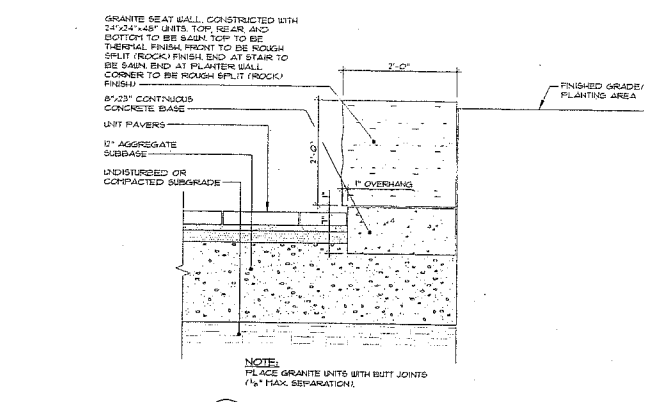
7 CONCRETE PAVEMENT W/ FLUSH GRANITE CURB
NOT TO SCALE



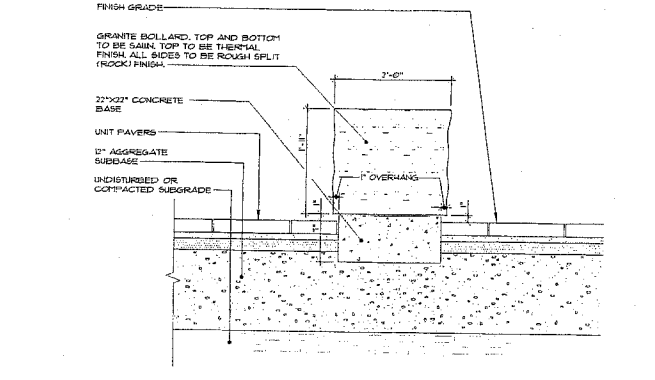
4 CORNER DETAIL
NOT TO SCALE



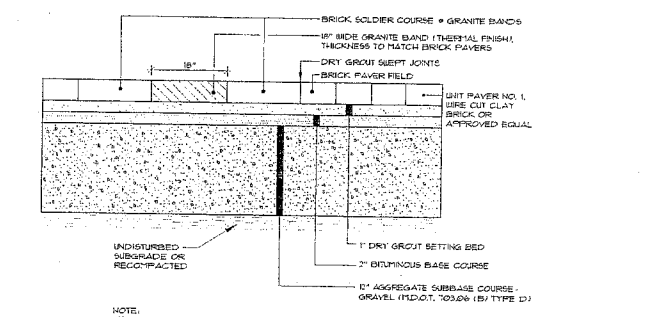
8 PAVEMENT SAW CUT DETAIL
NOT TO SCALE



11 GRANITE SEAT WALL
NOT TO SCALE

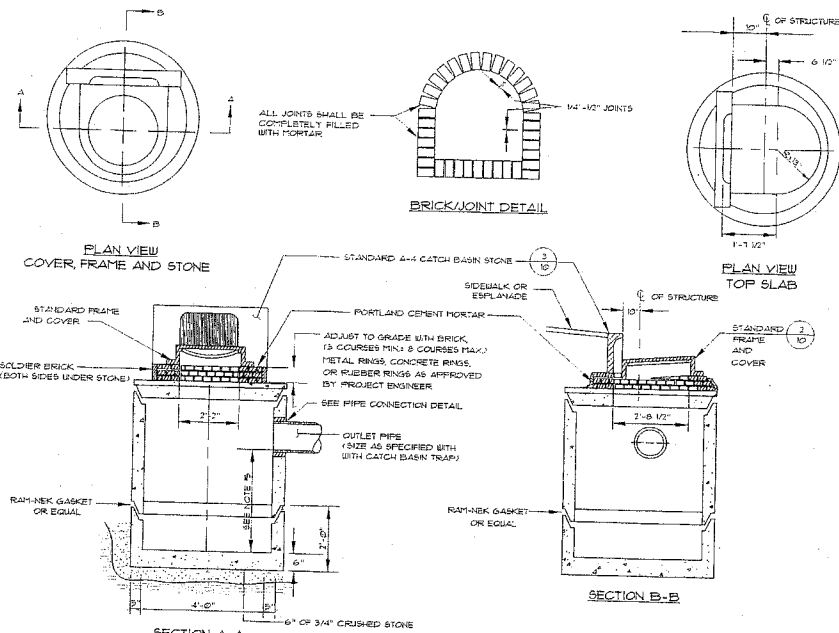


12 GRANITE BOLLARD
NOT TO SCALE



13 BRICK PAVEMENT / GRANITE BANDS
NOT TO SCALE

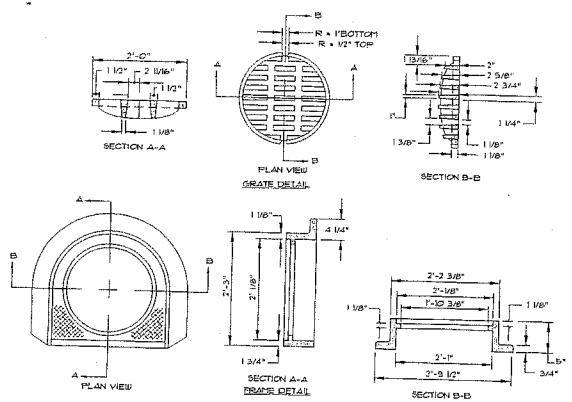
<p>Sebago Technics Engineers Architects Planners 1140 Reservoir Avenue Portland, ME 04108-1339 Tel: (207) 885-0277</p>													
<p>DATE: 7-12-05 SCALE: AS SHOWN PROJ. NO: 05090 DWG. NAME: 05090D DESIGN BY: WTC CHECKED BY: DLR</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>7-12-05</td> <td>CONVENTIONAL RELEASE BARS: 4# BARS SUBMITTED FOR PLANTING BOARD APPROVAL</td> </tr> <tr> <td>2</td> <td>7-12-05</td> <td>CONVENTIONAL RELEASE BARS: 4# BARS SUBMITTED FOR PLANTING BOARD APPROVAL</td> </tr> <tr> <td>3</td> <td>7-12-05</td> <td>CONVENTIONAL RELEASE BARS: 4# BARS SUBMITTED FOR PLANTING BOARD APPROVAL</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	7-12-05	CONVENTIONAL RELEASE BARS: 4# BARS SUBMITTED FOR PLANTING BOARD APPROVAL	2	7-12-05	CONVENTIONAL RELEASE BARS: 4# BARS SUBMITTED FOR PLANTING BOARD APPROVAL	3	7-12-05	CONVENTIONAL RELEASE BARS: 4# BARS SUBMITTED FOR PLANTING BOARD APPROVAL
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<p>DETAILS OF WESTIN HOTEL AND RESIDENCES PORTLAND PME 1 LIMITED PARTNERSHIP 1140 RESERVOIR AVENUE PORTLAND, ME 04108</p>													



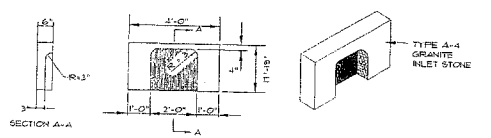
NOTES:

- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS FOR APPROVAL.
- DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
- PIPE SIZES AND INVERTS AS NOTED ON PLANS.
- CATCH BASIN FRAME AND GRATE TO ACCOMMODATE 2" MIN GRATE (H-20 LOADING & BICYCLE SAFE). PROVIDE SHOP DRAWINGS FOR ENGINEER'S / OWNER REPRESENTATIVE'S APPROVAL.
- SMPS TO BE 3" WITHIN CITY OF PORTLAND RIGHT-OF-WAY AND 2" MIN. IN ALL OTHER LOCATIONS.

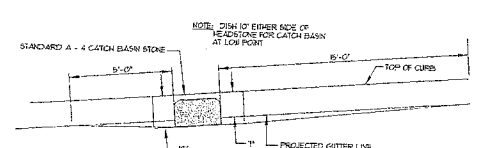
1 PRECAST CONCRETE CATCH BASIN - TYPE "E"
NOT TO SCALE



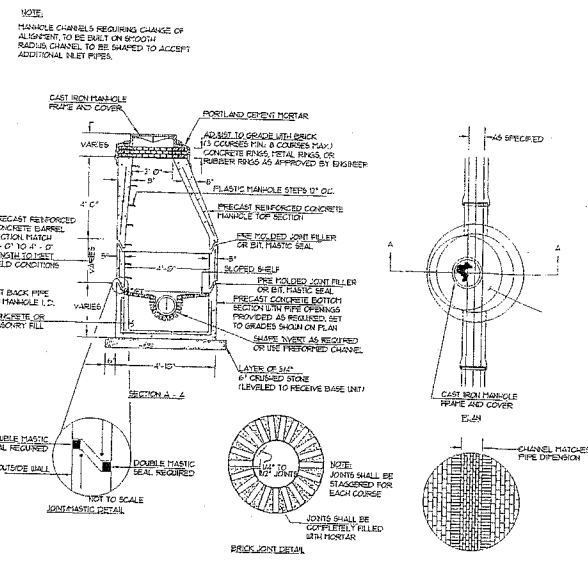
2 CATCH BASIN TYPE "D" - FRAME & COVER DETAIL
NOT TO SCALE



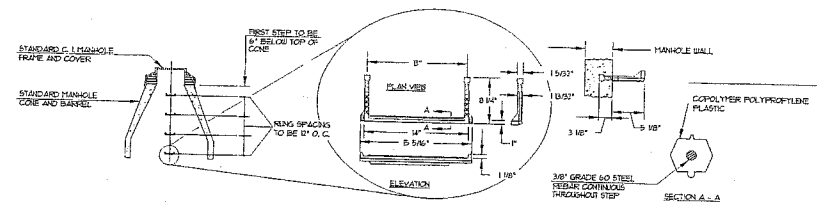
3 TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL
NOT TO SCALE



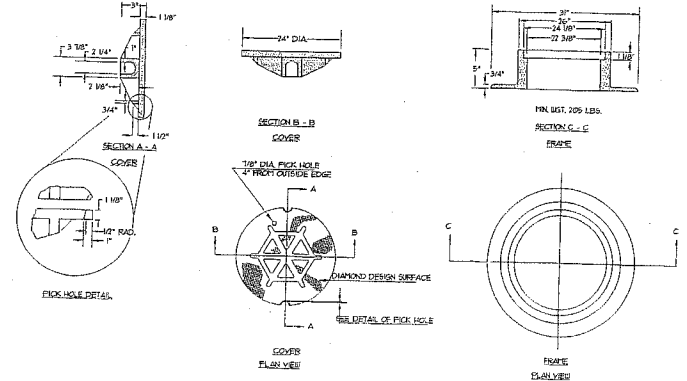
4 TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET
NOT TO SCALE



5 PRECAST CONCRETE MANHOLE TYPE "A"
NOT TO SCALE



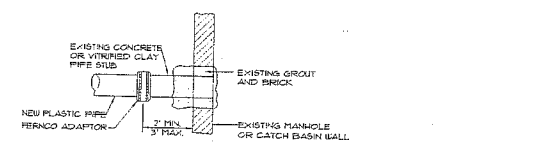
6 PLASTIC MANHOLE STEPS
NOT TO SCALE



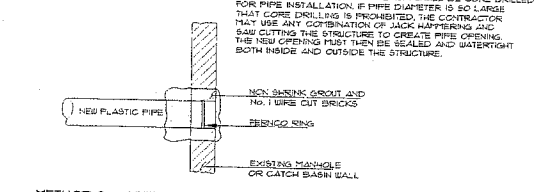
7 TYPE "A" CAST IRON MANHOLE COVER AND FRAME
NOT TO SCALE

GENERAL NOTES FOR MANHOLES AND CATCH BASINS

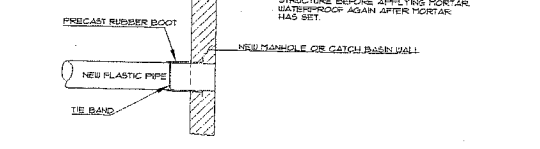
- ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 50 MCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- PRECAST REINFORCED CONE BARREL MANHOLES MANUFACTURED PER ASTM SPEC. C-1318-01.
- SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATION ON C-1318-01, GRADE "A" AND "B".
- ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE IF CONSTRUCTED OF BRICK MASONRY. SURFACE SHALL BE FLASHEDED WITH A SMOOTH MORTAR FINISH 1/4" THICK. AFTER THE MORTAR HAS SET THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48 CLASS 35.
- ALL PARTS OF CASTINGS EXCEPT FINISHED SURFACE SHALL RECEIVE A COAT OF EQUAL TAR PITCH VARNISH OR AN EQUIVALENT PAINT WHICH SHALL BE SMOOTH AND TIGHT BUT NOT BRITTLE.
- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY SIGN AND CHECKED PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- STORM AND SEWER MANHOLES SHALL HAVE SLOTTED COVERS WITH ONE DRILLED PUNCH HOLE.
- EXISTING MANHOLES, CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



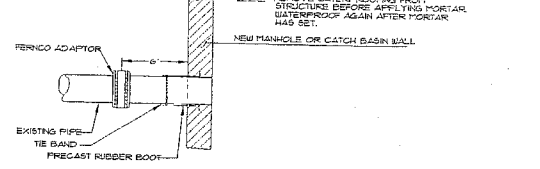
METHOD 4 - NEW PIPE TO EXISTING STRUCTURE STUB



METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE

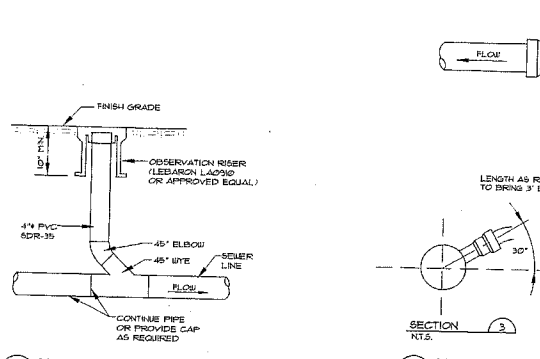


METHOD 2 - NEW CONSTRUCTION

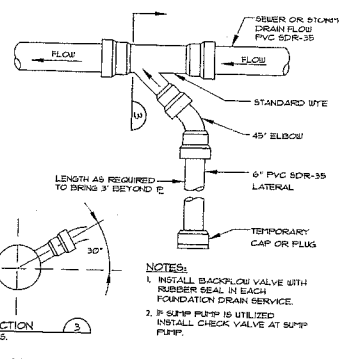


METHOD 1 - EXISTING PIPE INTO NEW STRUCTURE

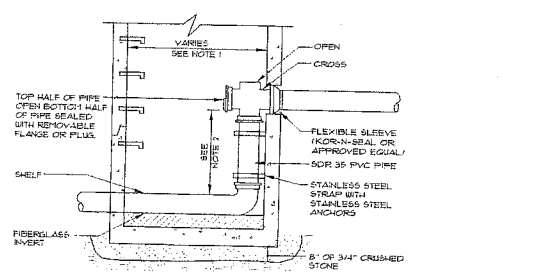
8 PLASTIC PIPE CONNECTION DETAIL
NOT TO SCALE



9 SEWER CLEANOUT
NOT TO SCALE



10 SEWER / FOUNDATION DRAIN SERVICE CONNECTION
NOT TO SCALE



11 TYPICAL PRECAST DROP MANHOLE (INSIDE DROP)
NOT TO SCALE

- NOTES:**
- USE 4' I.D. WITH 6" OR SMALLER PIPE USED 6' I.D. WITH 8" OR LARGER PIPE.
 - MINIMUM HEIGHT OF DROP IS 2'-0".
 - SEE PRECAST MANHOLE SECTION FOR TYPICAL MANHOLE INFORMATION INCLUDING NOTES.
 - PROVIDE DROP PIPE FOR ALL INVERT DIFFERENTIALS GREATER THAN TWO (2) FEET.
 - CUT OFF TOP 12" OF PIPE PLUS.
 - INSTALL PVC TIE AND PLUS PACING UP AT INSIDE DROP INSTALLATION AT EXISTING MANHOLE.

<p>Sebago Technics Engineering & Construction Services Our Office is located at 1000 Washington Ave. Portland, ME 04101 Tel: (207) 761-0277</p>	
<p>DETAILS WESTIN HOTEL AND RESIDENCES PORTLAND FOR PME 1 LIMITED PARTNERSHIP 1140 RESERVATION AVENUE PORTLAND, ME 04108</p>	
<p>DATE: 7-12-05 SCALE: AS SHOWN PROJ. NO.: 05060 DWG. NAME: 05060 FIELD BOOK: 050900 DESIGN BY: WTC CHECKED BY: MAL DRAWN BY: DLR</p>	<p>CONDITIONAL REVISION PUBLIC HEARING APPROVED FOR PLANNING BOARD WORKSHOP DATE: 7-12-05 STATUS: SUBMITTAL</p>

CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS 'EXISTING' WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIS SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS. 3360-A IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
11. IMMEDIATELY UPON COMPLETION OF CUT/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
12. PRIOR TO CONSTRUCTION THE SITE CONTRACTOR SHALL CONFIRM SETBACKS AND BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DIFFERENCES AFFECTING BUILDING OR SITE CONSTRUCTION.
13. REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH SUITABLE INTERFACE FOR ALL FILLS.

A. PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION FILTER FABRIC FENCING WILL BE STAKED ACROSS THE SLOPE(S) ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES SHALL BE COMPLETED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN. DETAILS IN THE PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER AND CONSTRUCTION ACTIVITY IN THE AREA HAS BEEN COMPLETED.

PRIOR TO ANY CLEARING, GRUBBING, STRIPPING OR FULVERIZING CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT THE APPROVED ACCESS POINTS TO THE PROJECT SITE FROM THE EXISTING PUBLIC ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION OF THIS PROJECT.

B. CONSTRUCTION AND POST-CONSTRUCTION PHASE

1. AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED AT THE RATE OF 2 BALES PER 1000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS (I.E. ROADWAY DITCHES) AND IN SLOPES WHICH EXCEED 8% AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS.

2. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1000 SF. TO PROVIDE WINTER PROTECTION. WINTER SEEDINGS SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS, ON SLOPES EQUAL TO OR GREATER THAN 8%, AND ANY WITHIN 100' OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE APPLIED FOR ADDITIONAL WINTER PROTECTION ALONG SIDE SLOPES OF GRASSED WATERWAYS AND IN ALL AREAS EQUAL TO OR GREATER THAN 8% SLOPE.

3. DURING WINTER CONDITIONS, AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN SEVEN (7) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED TO PROVIDE A MINIMUM UNIFORM MULCH DEPTH OF 4". THE APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE.

4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3 LBS./1000 SF. AND MULCHED, AND RE-USED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND INSPECTING ENGINEER.

5. ALL SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSPECTED BEFORE AND AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.

6. A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF THE EXISTING ROAD AND THE ACCESS DRIVE. ROADWAY AREAS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.

7. CATCH BASIN INLET PROTECTION SHALL BE PLACED WITHIN EXISTING CATCH BASINS IN THE CONSTRUCTION AREA PRIOR TO CONSTRUCTION. INLET PROTECTION FOR PROPOSED CATCH BASINS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF THE OUTFALL PIPING.

8. ALL AREAS SHALL BE SEEDING AND STABILIZED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.

C. VEGETATION PLAN. REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE ROADWAY IMPROVEMENTS. DISTURBED AREAS SHALL ALSO BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. SEE MULCHING REQUIREMENTS IN SECTION B(1A) ABOVE. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1000 SF. TO PROVIDE WINTER PROTECTION. SEEDING AREAS SHALL BE COVERED WITH EROSION CONTROL MESH. SEE WINTER PROTECTION REQUIREMENTS IN SECTION B (1B) ABOVE.

REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

1. FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.

2. SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TEST SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14 DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:

ITEM	APPLICATION RATE
10-20-20 FERTILIZER	10.1 LB./1000 SF
(N-P2O5-K2O) OR EQUAL	
GROUND LIME STONE (80% CALCAPI + MAGNESIUM OXIDE)	138 LB./1000 SF

3. FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEEDING AT A RATE OF 3 LBS./1000 SF. WITH A MIXTURE OF 35% CREEPING RED BERGIE 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 5% WHITE DUTCH CLOVER.

4. EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISH SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.

5. ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

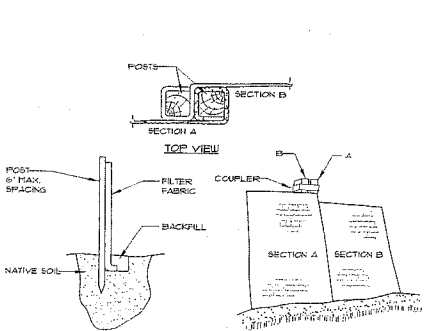
6. THE INSPECTING ENGINEER AT HIS/HER DISCRETION MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AND/OR SUPPLEMENTAL VEGETATIVE PROVISIONS TO MAINTAIN STABILITY OF EARTHWORKS AND FINISH GRADED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY SUPPLEMENTAL MEASURES AS DIRECTED BY THE INSPECTING ENGINEER. FAILURE TO COMPLY WITH THE ENGINEER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.

D. CONSTRUCTION SCHEDULE
SITE IMPROVEMENTS ARE SCHEDULED TO BEGIN IN FALL OF 2004. CONSTRUCTION DURATION IS ANTICIPATED TO BE 36 MONTHS TO THE OF SUBSTANTIAL COMPLETION.

SCHEDULE	
1. EROSION CONTROL MEASURES PLACED.	WEEK 1- WEEK 2
2. SITE CLEARING AND GRUBBING.	MONTH 1-ONGOING
3. CONSTRUCTION OF SITE IMPROVEMENTS.	MONTH 1-MONTH 36
4. MULCH SPREAD FOR WINTER EROSION CONTROL.	OCT. 15 OF CONSTRUCTION YEAR
5. START FINAL SEEDINGS ON PREPARED AREAS (DURING GROWTH SEASON)	MONTH 15
6. BIWEEKLY MONITORING OF VEGETATIVE GROWTH.	MONTH 15
7. RESEEDING OF AREAS, IF NEEDED.	MONTH 15
8. REMOVAL OF EROSION CONTROL DEVICES.	UPON FINAL PROJECT COMPLETION

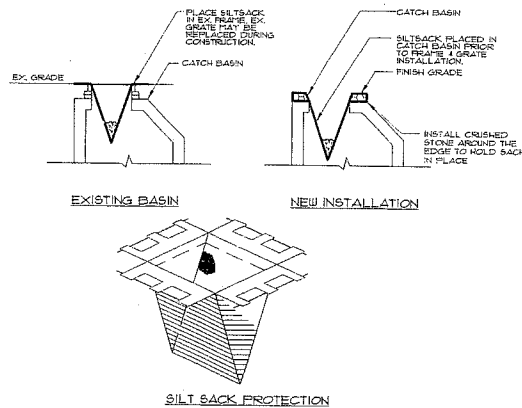
* DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER DEPENDING ON CONSTRUCTION PROGRESS.

E. INSPECTIONS/MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.



- INSTALLATION:**
1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAPPING PILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 5. JOIN SECTION AS SHOWN ABOVE.
 6. BARRIER SHALL BE TYPICAL SILT FENCE OR EQUAL.

1 FILTER BARRIER
NOT TO SCALE



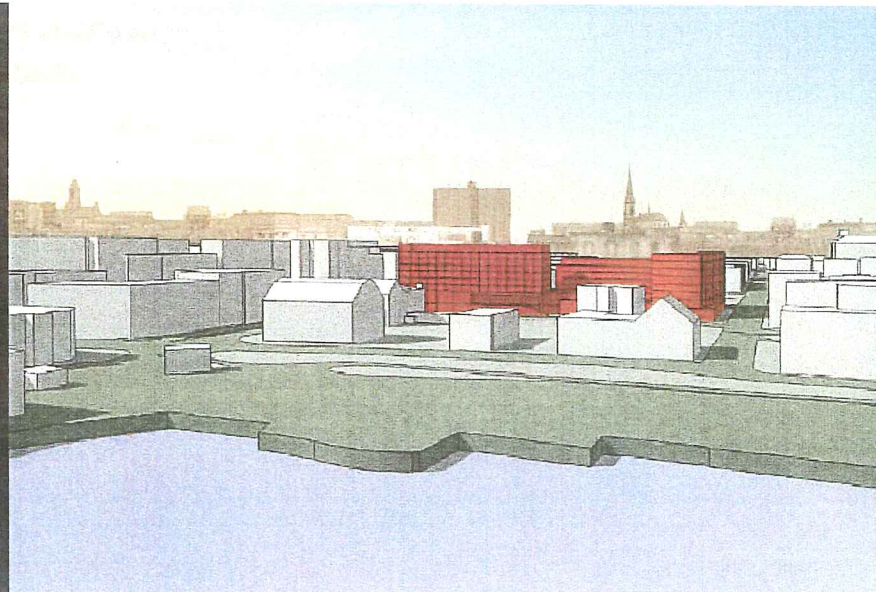
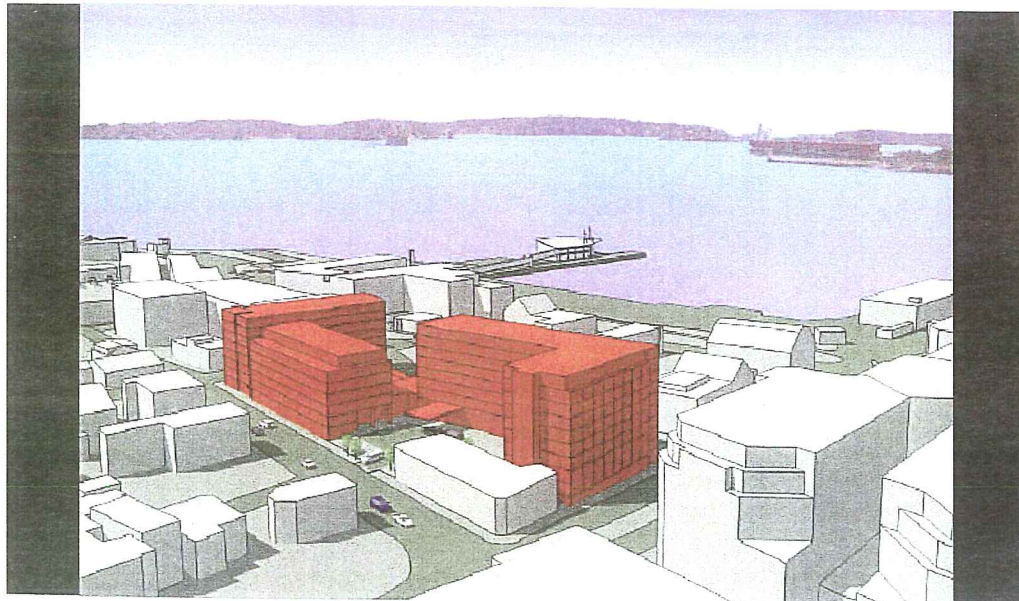
NOTES:
PRIOR TO FINAL GRADING AND PAVING OPERATIONS BEGIN A CATCH BASIN INLET (SUCH AS A SILT SACK) FOR A DAILY CHECK. INSTALL IN EACH BASIN PER MANUFACTURER'S INSTRUCTIONS. HAY BALES SHOULD BE REMOVED ONCE WEEDS ARE INSTALLED.

2 CATCH BASIN PROTECTION DETAIL
(FOR PAVED AREAS)
NOT TO SCALE

DATE	SCALE	REVISION
7-12-05	AS SHOWN	
05090	050900	
FIELD BOOK	DESIGN BY	
	WTC	
DRAWN BY	CHECKED BY	
MAL	DLR	

Sebago Technics
Engineering Expertise You Can Build On
One Chesnut Street
Portland, Maine 04101
Tel: (207) 854-0277

DETAILS
WESTIN HOTEL AND RESIDENCES PORTLAND
345 TUDOR STREET
PORTLAND, MAINE
FOR: **PME 1 LIMITED PARTNERSHIP**
150 WASHINGTON AVENUE
PORTLAND, ME 04103



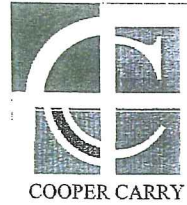
WESTIN HOTEL & RESIDENCES PORTLAND, ME

City of Portland
Conditional Rezoning
Application

July 20, 2005

Developer |
PME 1 Limited Partnership

Planning and Design |
Cooper Carry Architects
Winton Scott Architects
Sebago Technics



COOPER CARRY

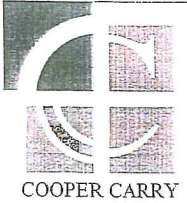
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

VIEW FROM FRANKLIN ARTERIAL





WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

VIEW ALONG FORE STREET

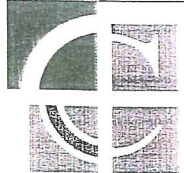
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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

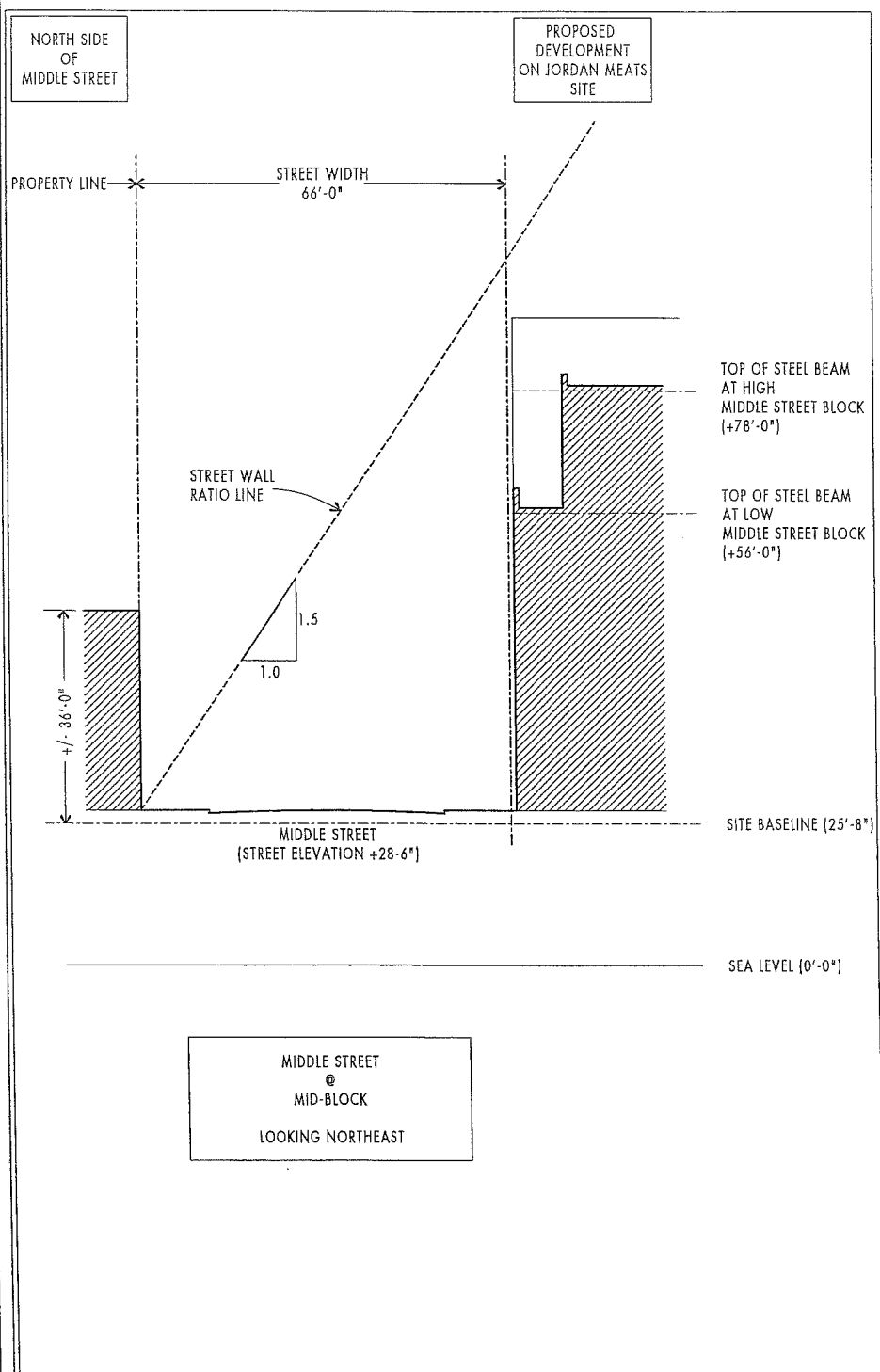
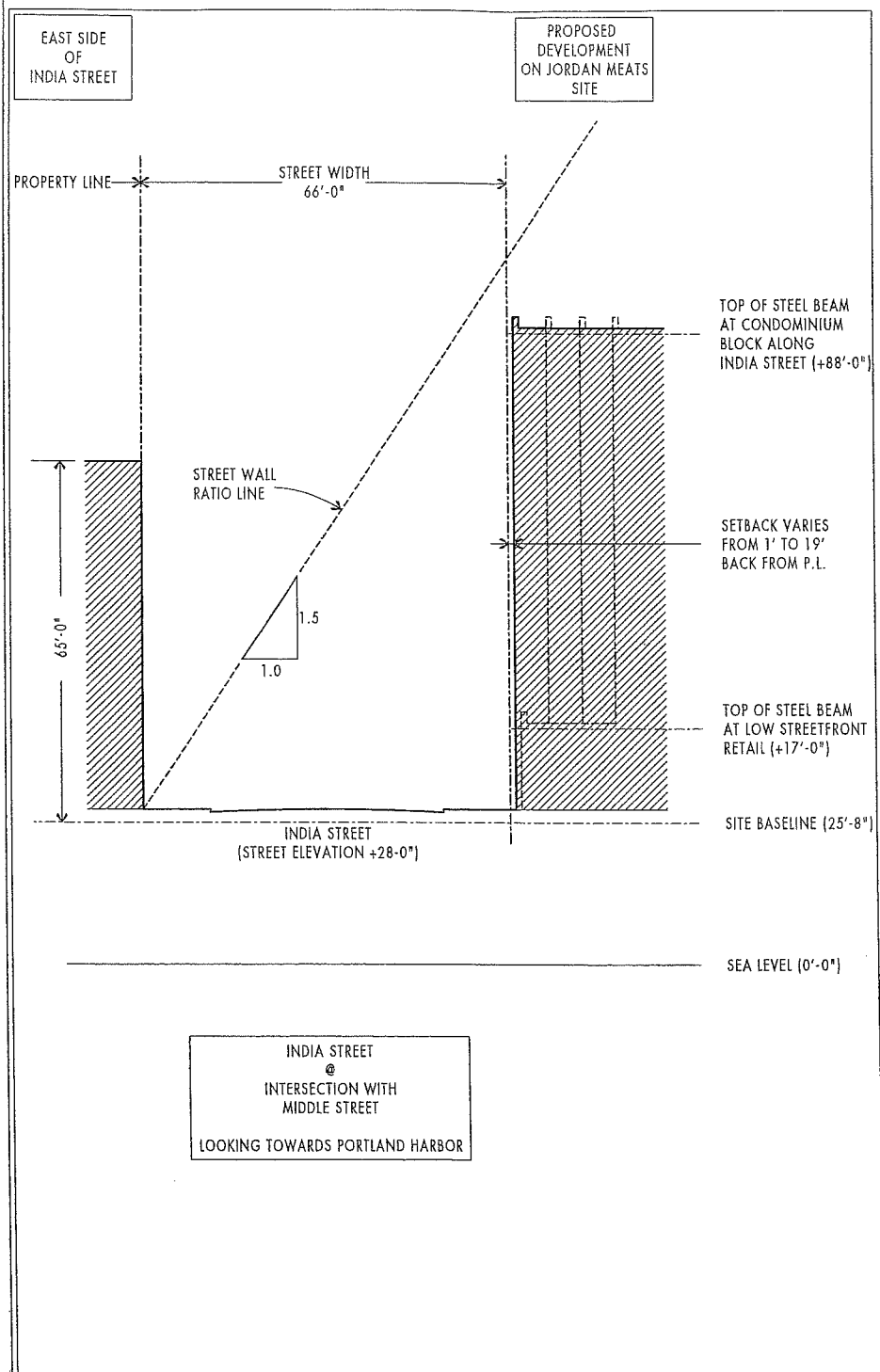
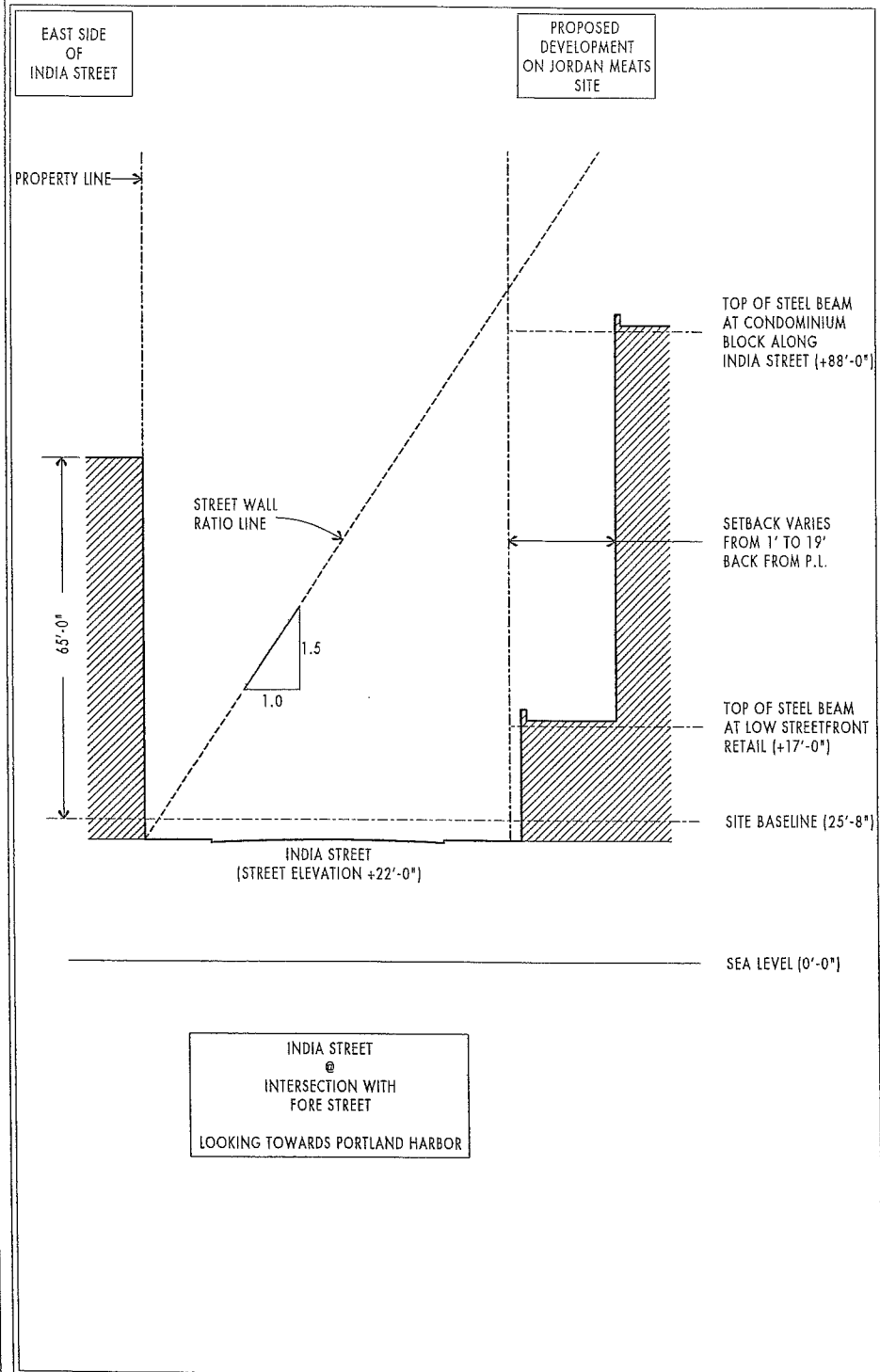
VIEW FROM INDIA STREET
LOOKING NORTH



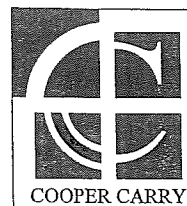
COOPER CARRY

WINTON SCOTT
ARCHITECTS

P



NOTE: THESE SECTIONS ARE BASED ON FIGURE 32 FROM THE "PORTLAND MAINE DOWNTOWN HEIGHT STUDY", DATED FEBRUARY 1989

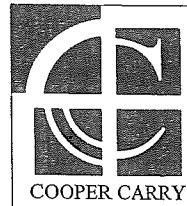
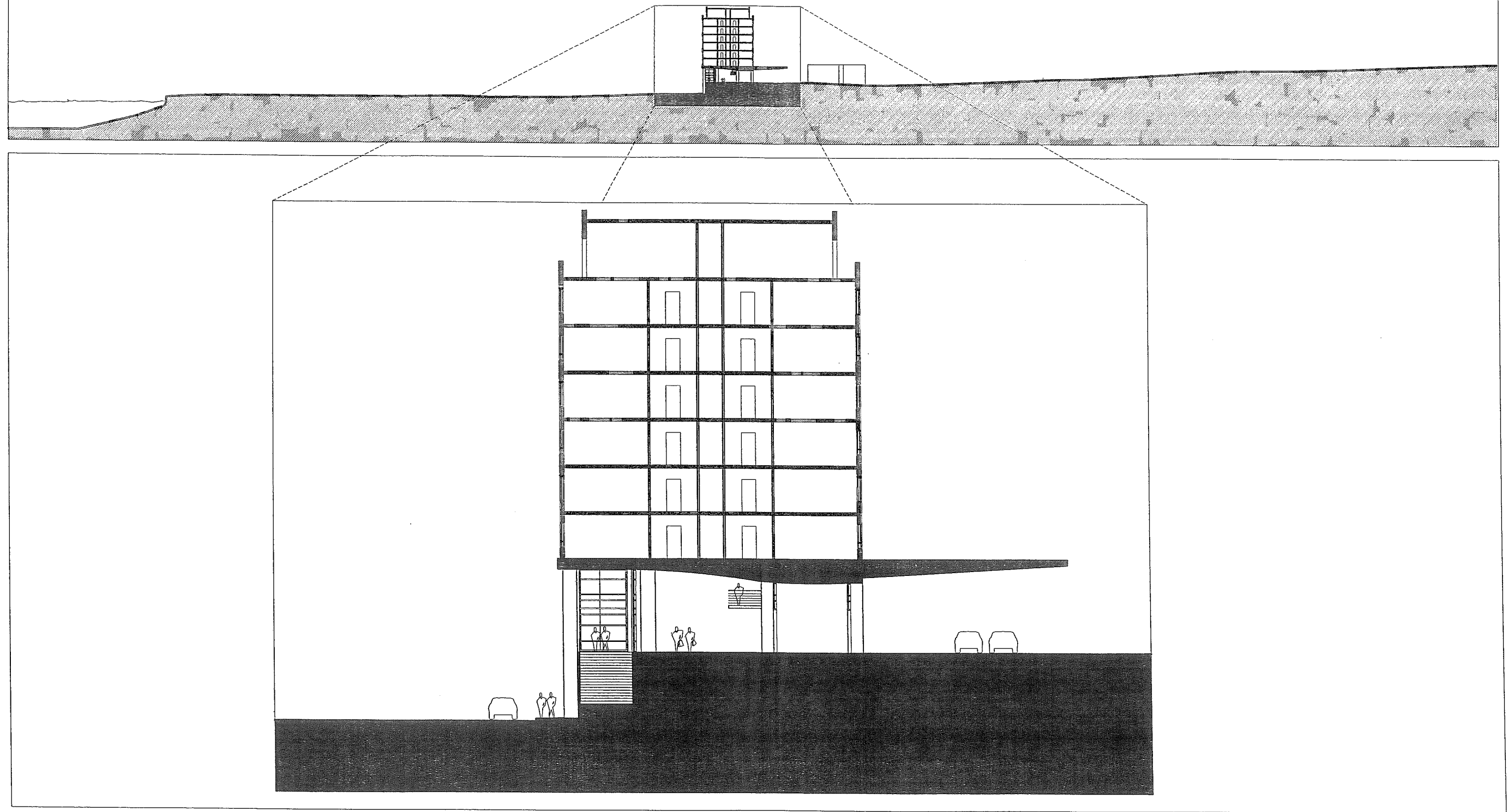


WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

STREET WALL SECTIONS





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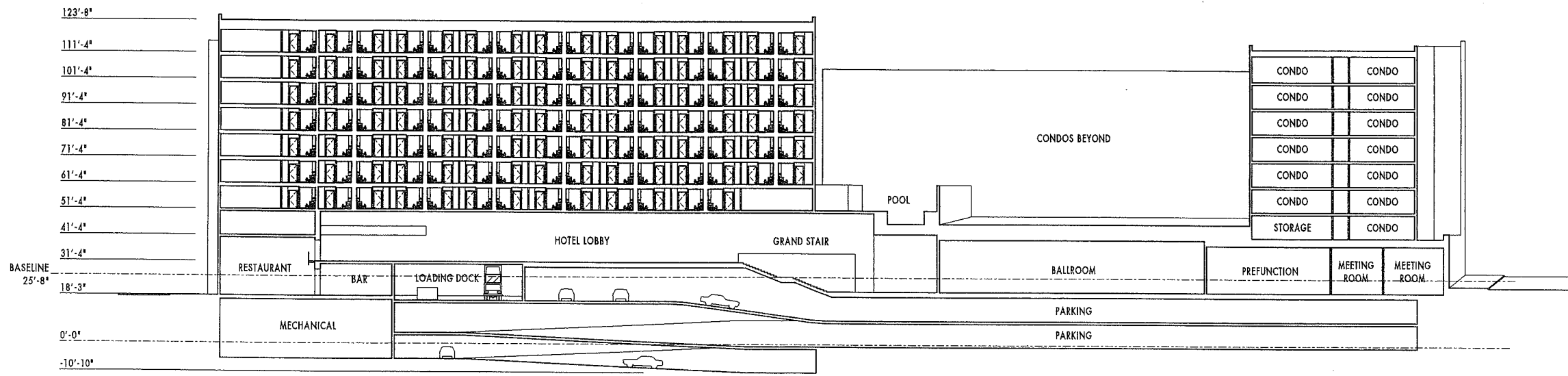
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

SITE SECTION

1/8" = 1'-0"

S



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ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LONGINTUDINAL SITE SECTION

1/16" = 1'-0"

SS

TOP OF STEEL AT HOTEL BLOCK
 TOP OF STEEL AT INDIA STREET CONDO BLOCK
 TOP OF STEEL AT HIGH MIDDLE STREET PIECE
 TOP OF STEEL AT LOW MIDDLE STREET PIECE
 LOBBY FINISH FLOOR 31'-4"
 BASELINE 25'-8"

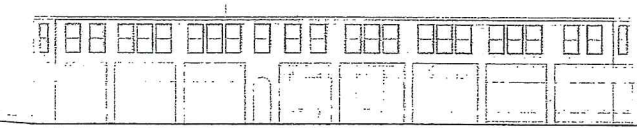
98'-0"
 88'-0"
 78'-0"
 58'-0"



ELEVATION 0'-0"

TOP OF STEEL AT HOTEL BLOCK
 TOP OF STEEL AT INDIA STREET CONDO BLOCK
 TOP OF STEEL AT HIGH MIDDLE STREET PIECE
 TOP OF STEEL AT LOW MIDDLE STREET PIECE
 LOBBY FINISH FLOOR 31'-4"
 BASELINE 25'-8"

98'-0"
 88'-0"
 78'-0"
 58'-0"

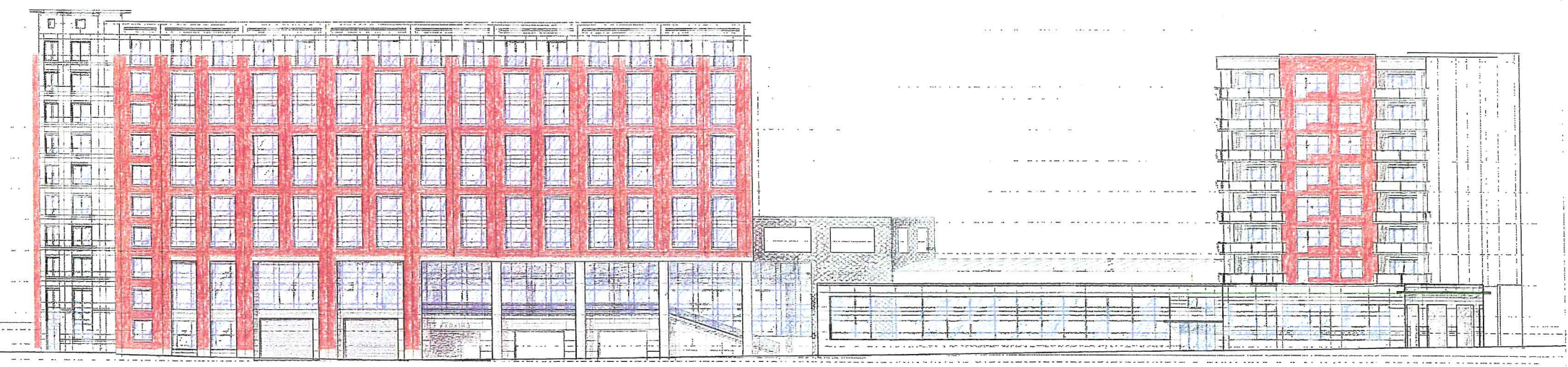


ELEVATION 0'-0"

BUILDING ELEVATION ALONG MIDDLE STREET

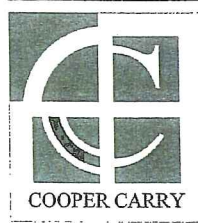
TOP OF STEEL AT HOTEL BLOCK
 TOP OF STEEL AT INDIA STREET CONDO BLOCK
 TOP OF STEEL AT HIGH MIDDLE STREET PIECE
 TOP OF STEEL AT LOW MIDDLE STREET PIECE
 LOBBY FINISH FLOOR 31'-4"
 BASELINE 25'-8"

98'-0"
 88'-0"
 78'-0"
 58'-0"



ELEVATION 0'-0"

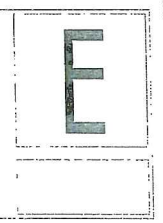
BUILDING ELEVATION ALONG FORE STREET

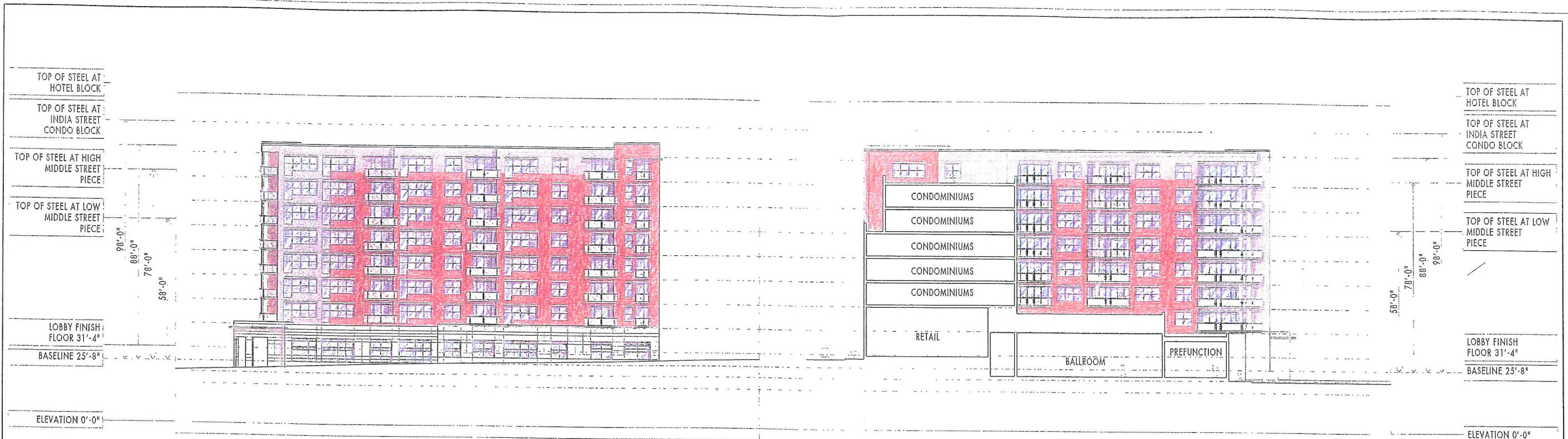


WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
 Portland, Maine

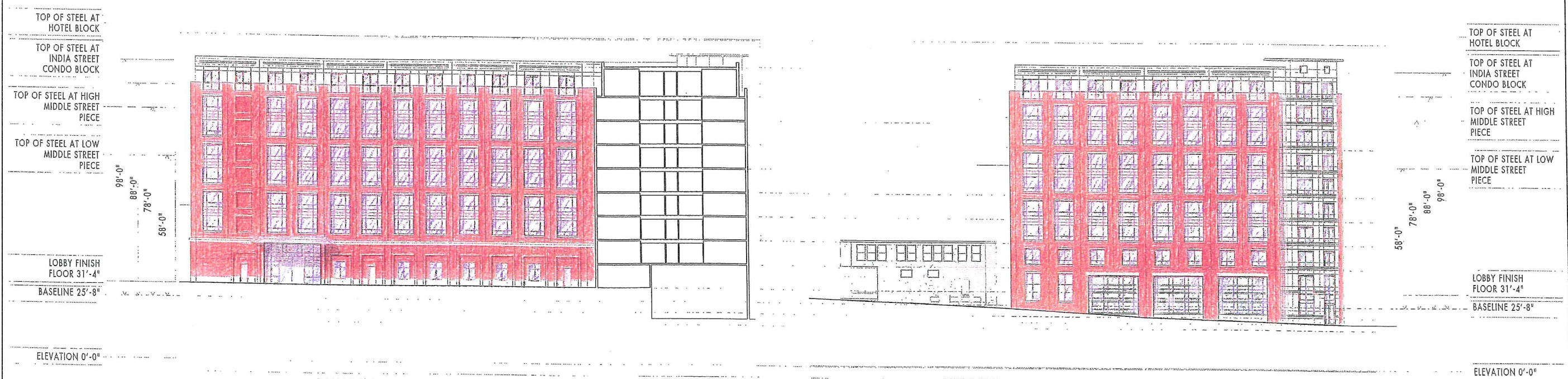
BUILDING ELEVATIONS
 1/16" = 1'-0"





BUILDING ELEVATION ALONG INDIA STREET

BUILDING ELEVATION AT INTERIOR LIGHT COURT (LOOKING EAST)



BUILDING ELEVATION AT ENRTY COURT

BUILDING ELEVATION ALONG FRANKLIN ARTERIAL



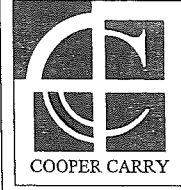
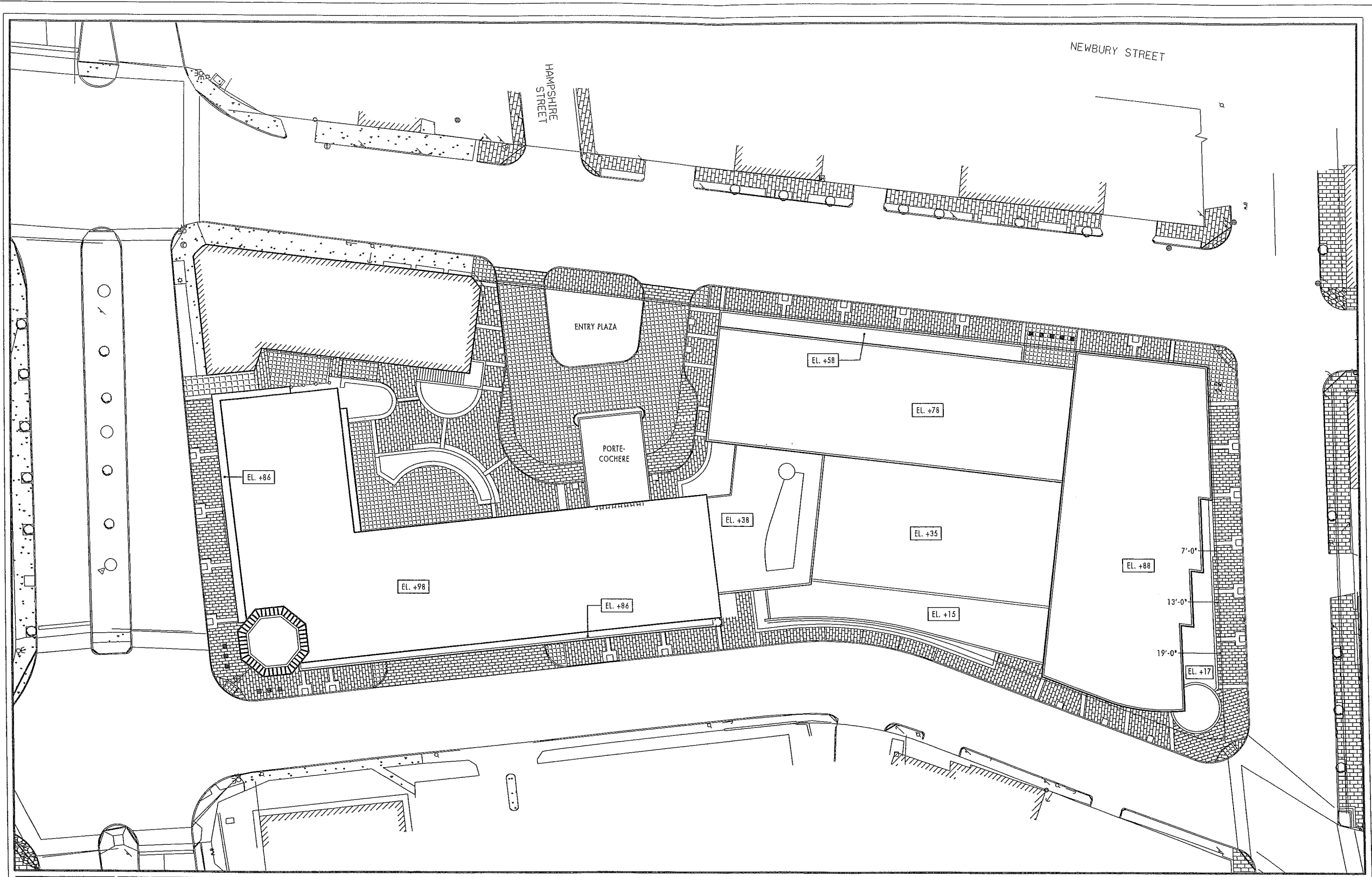
WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

BUILDING ELEVATIONS

1/16" = 1'-0"

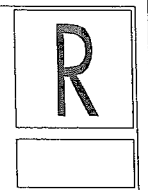


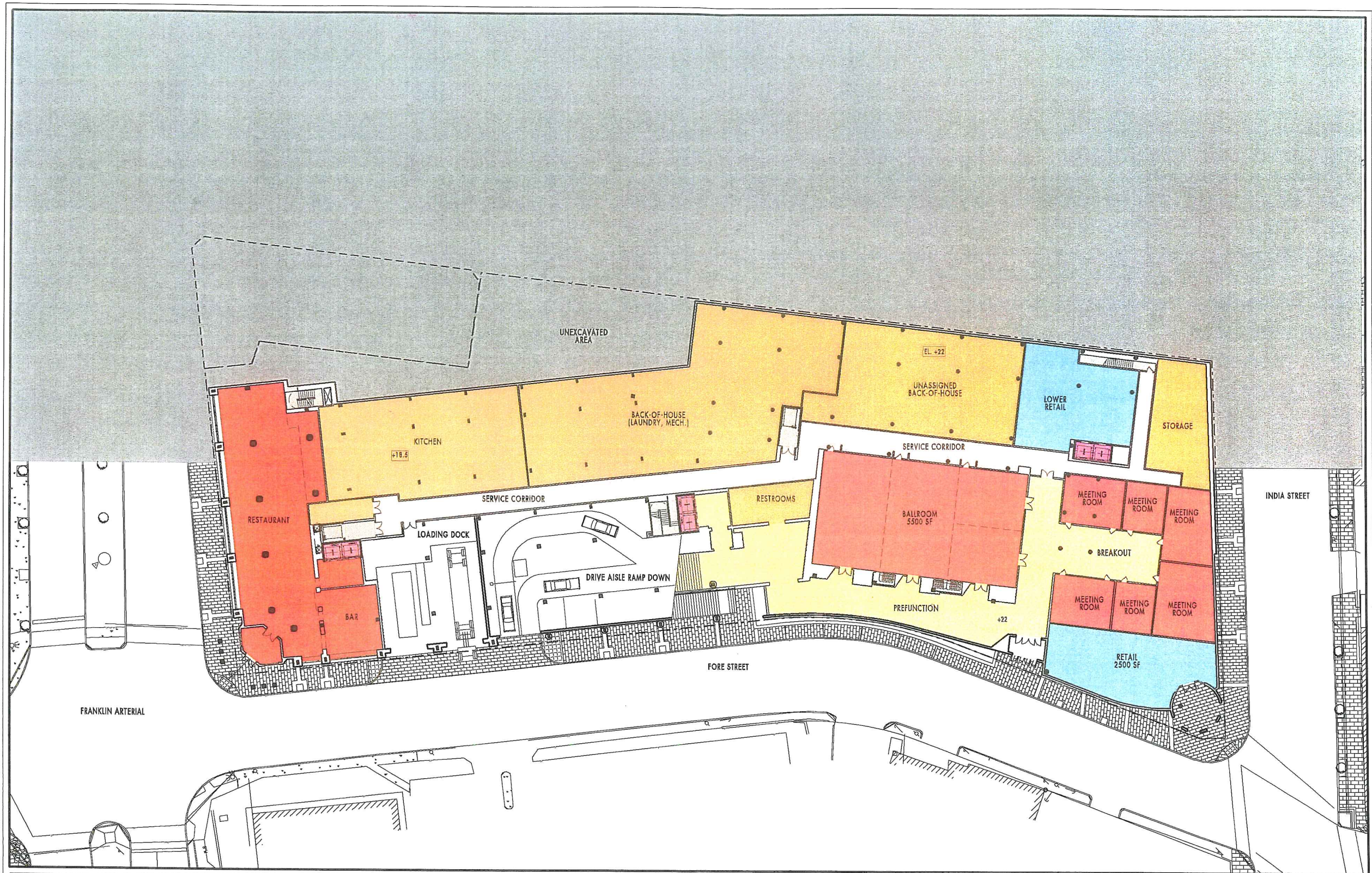


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

ROOF PLAN
1/16" = 1'-0"





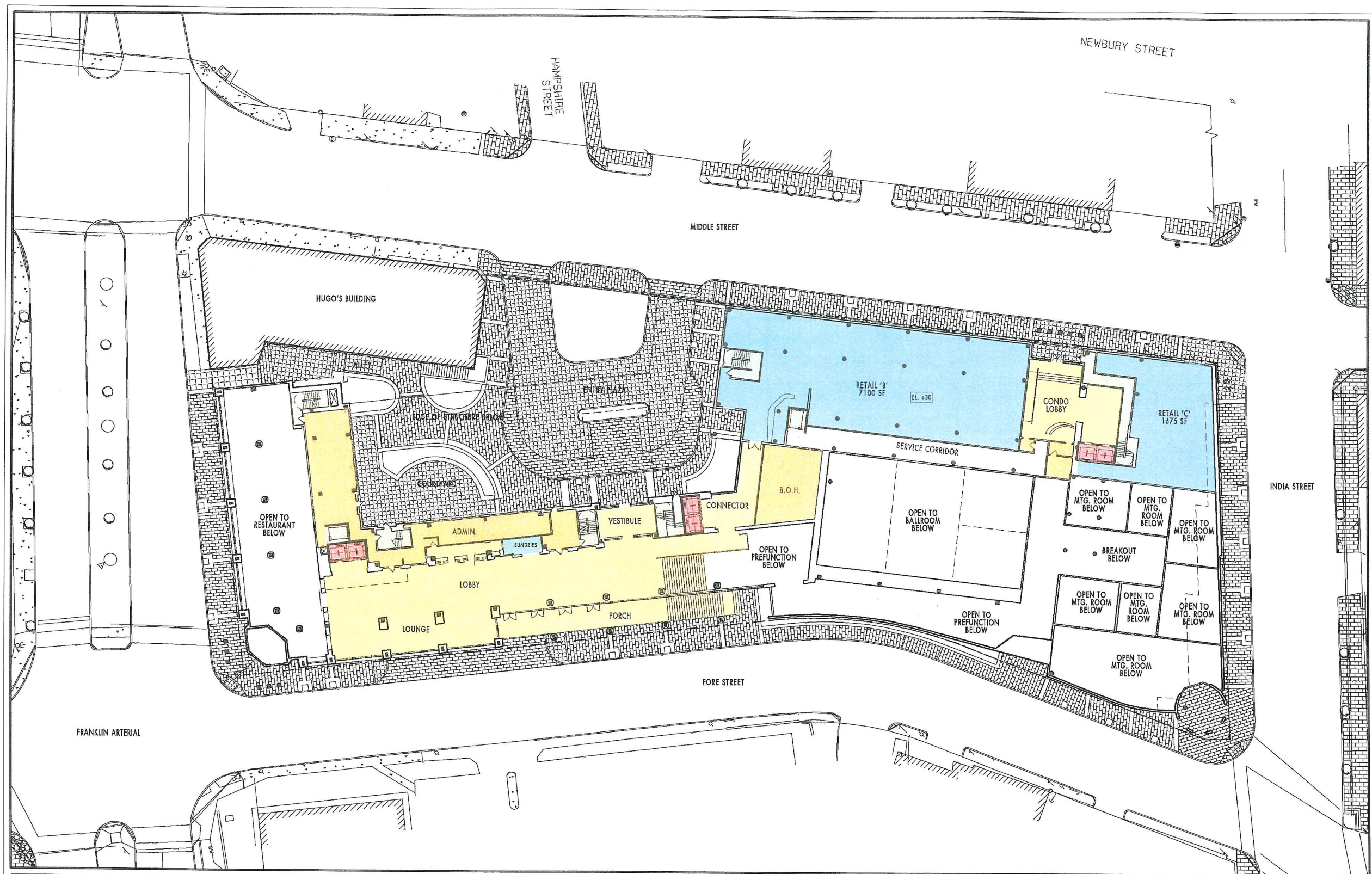
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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

RESTAURANT ENTRY LEVEL

1/16" = 1'-0"

1
+18'-4"



COOPER CARRY

WINTON SCOTT
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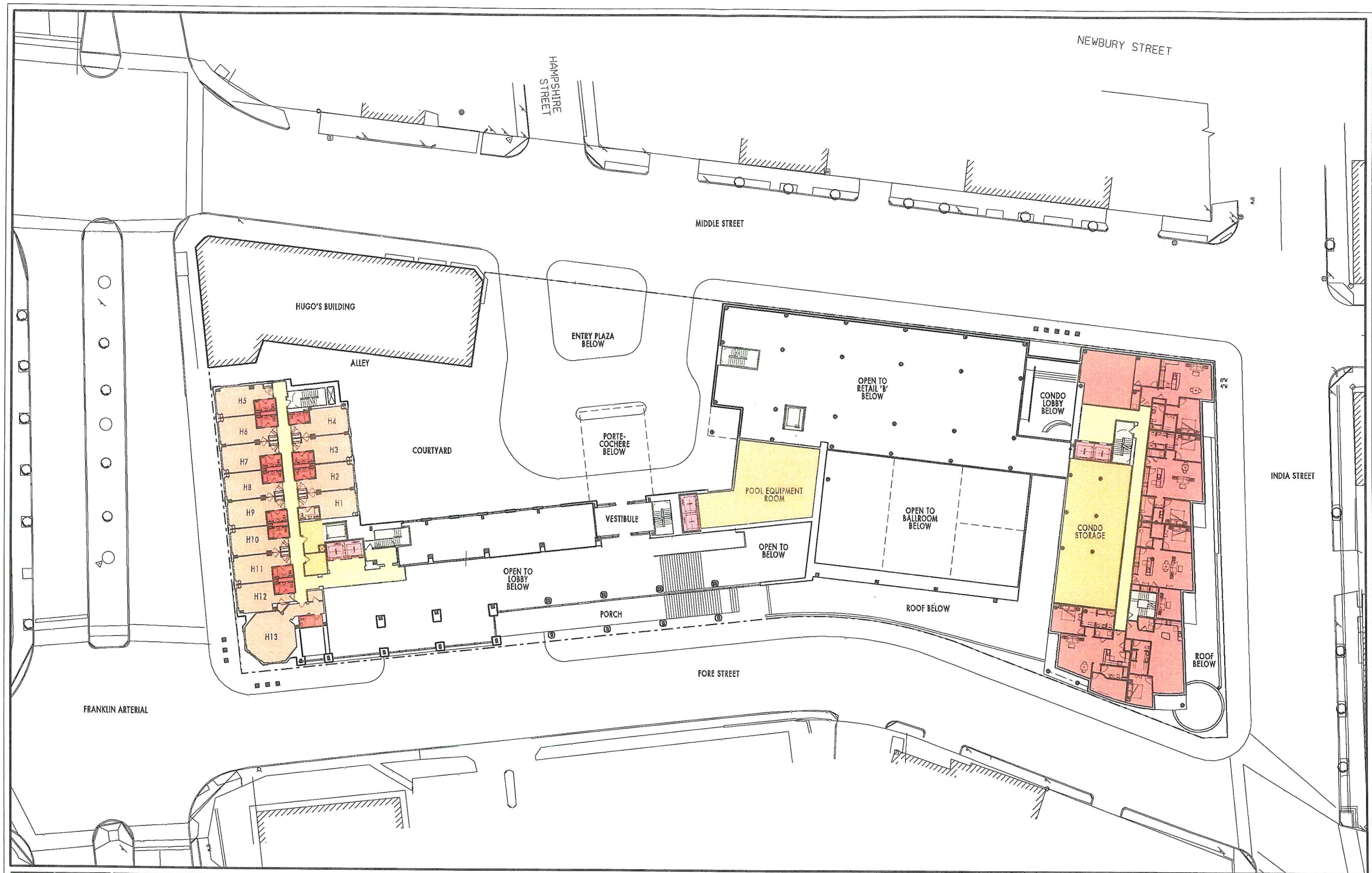
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

HOTEL LOBBY LEVEL

1/16" = 1'-0"

2

+31'-4"

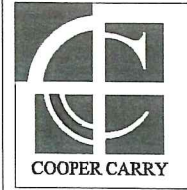
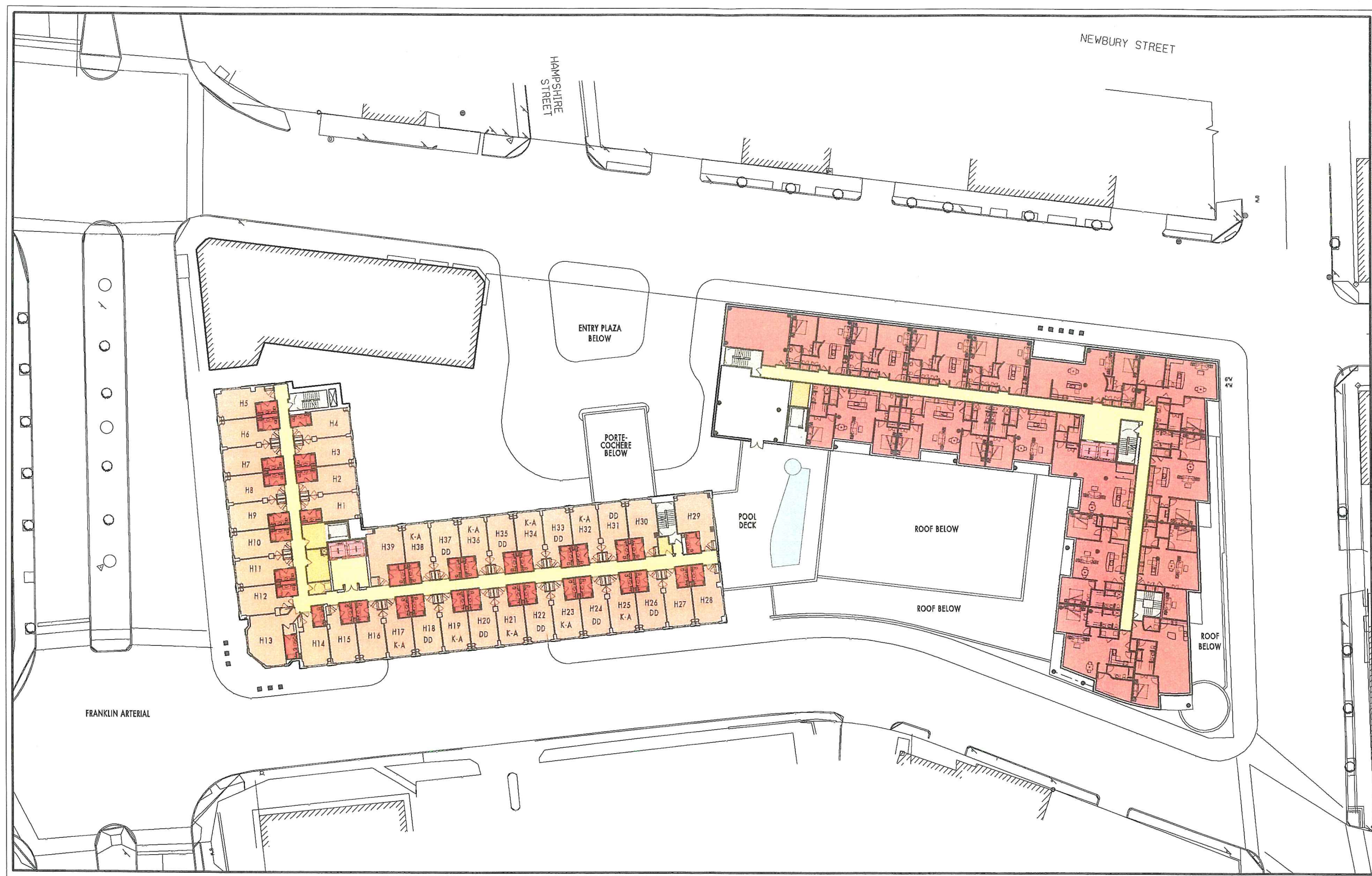


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

INTERSTITIAL LEVEL /
FIRST FLOOR OF CONDOS
1/16" = 1'-0"

3
+41'-4"

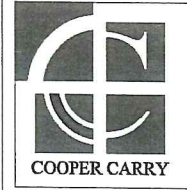


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

FIRST GUESTROOM LEVEL /
POOL TERRACE
1/16" = 1'-0"

4
+51'-4"



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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVELS 5 AND 6
1/16" = 1'-0"

5-6
+61'-4" & +71'-4"



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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVELS 7 AND 8

1/16" = 1'-0"

7-8

+81'-4" & +91'-4"

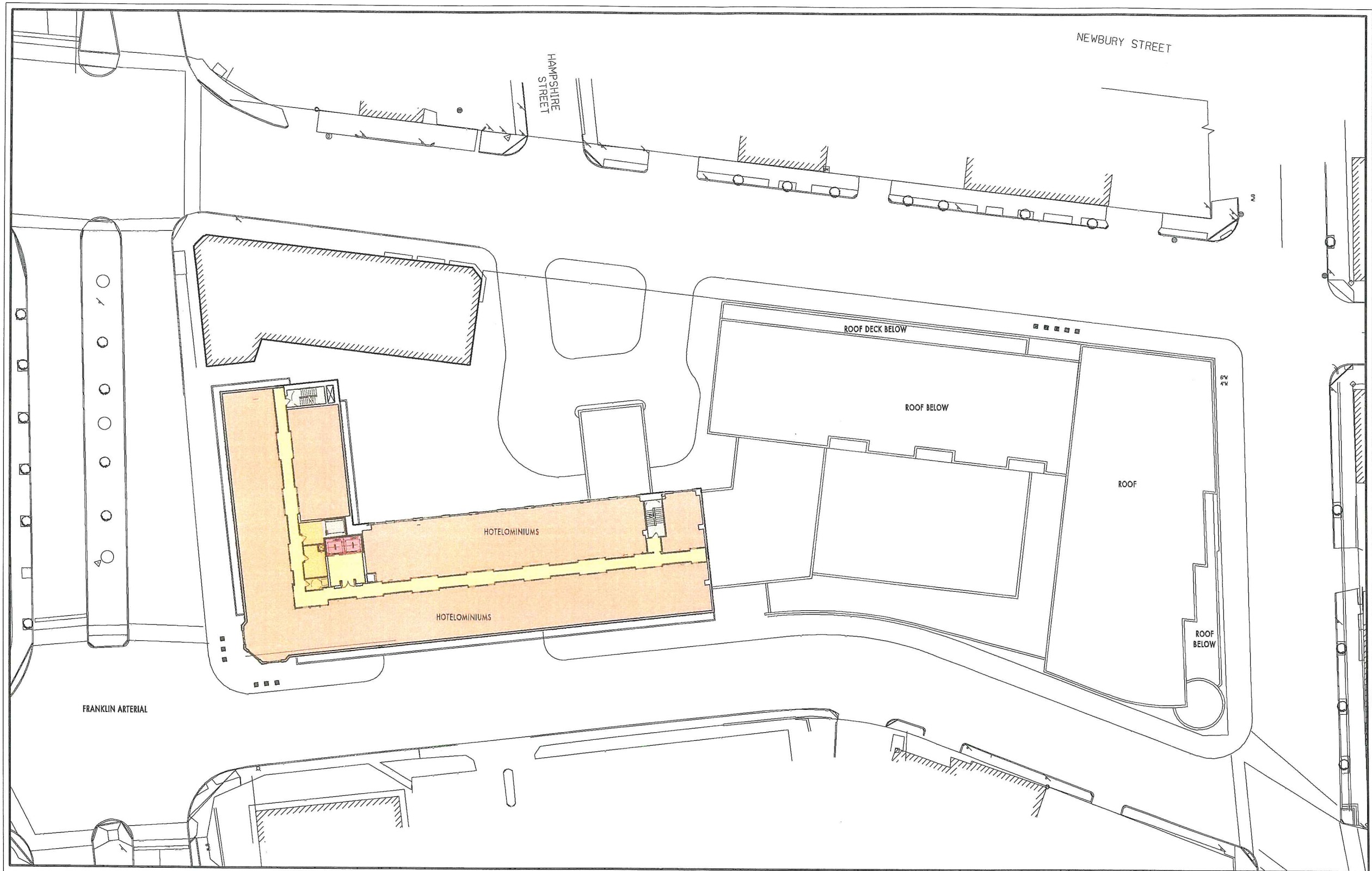


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVEL 9
1/16" = 1'-0"

9
+101'-4"

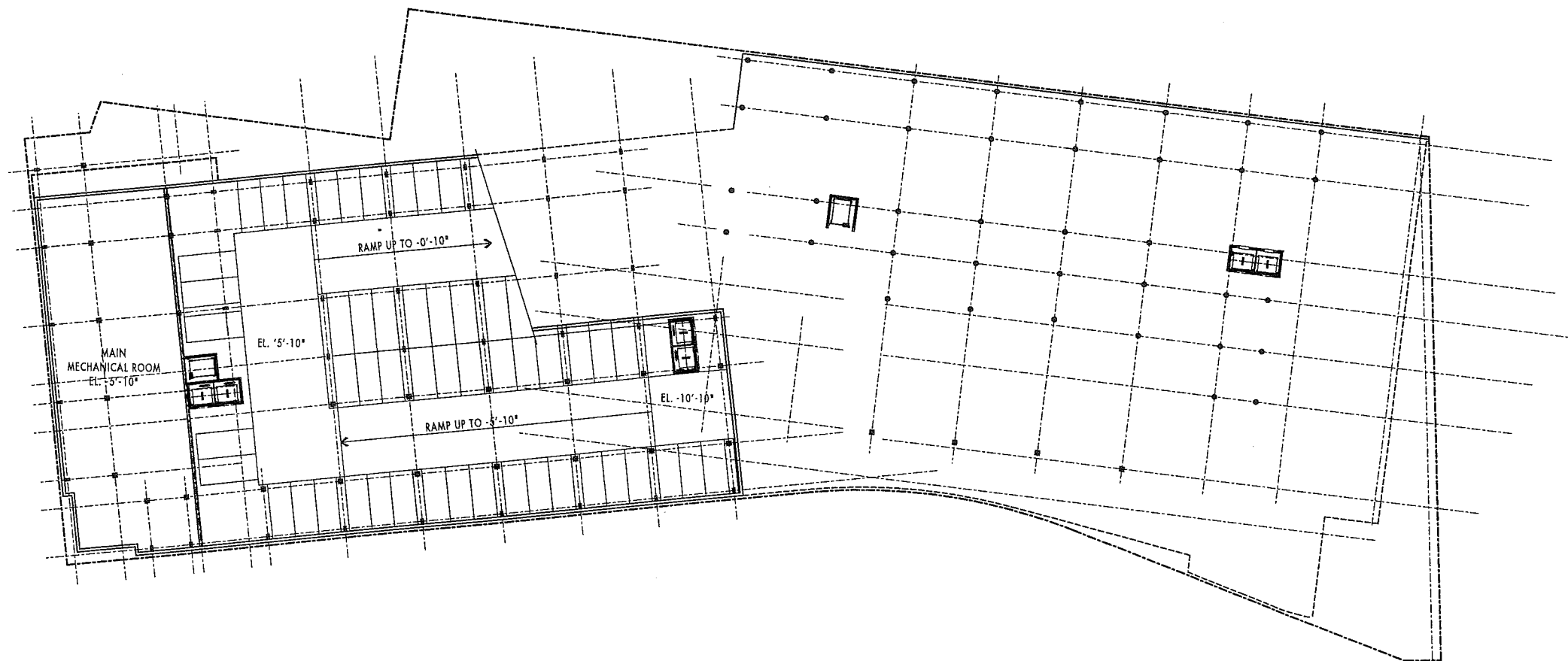


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

HOTELOMINIUM LEVEL
1/16" = 1'-0"

10
+111'-4"



COOPER CARRY

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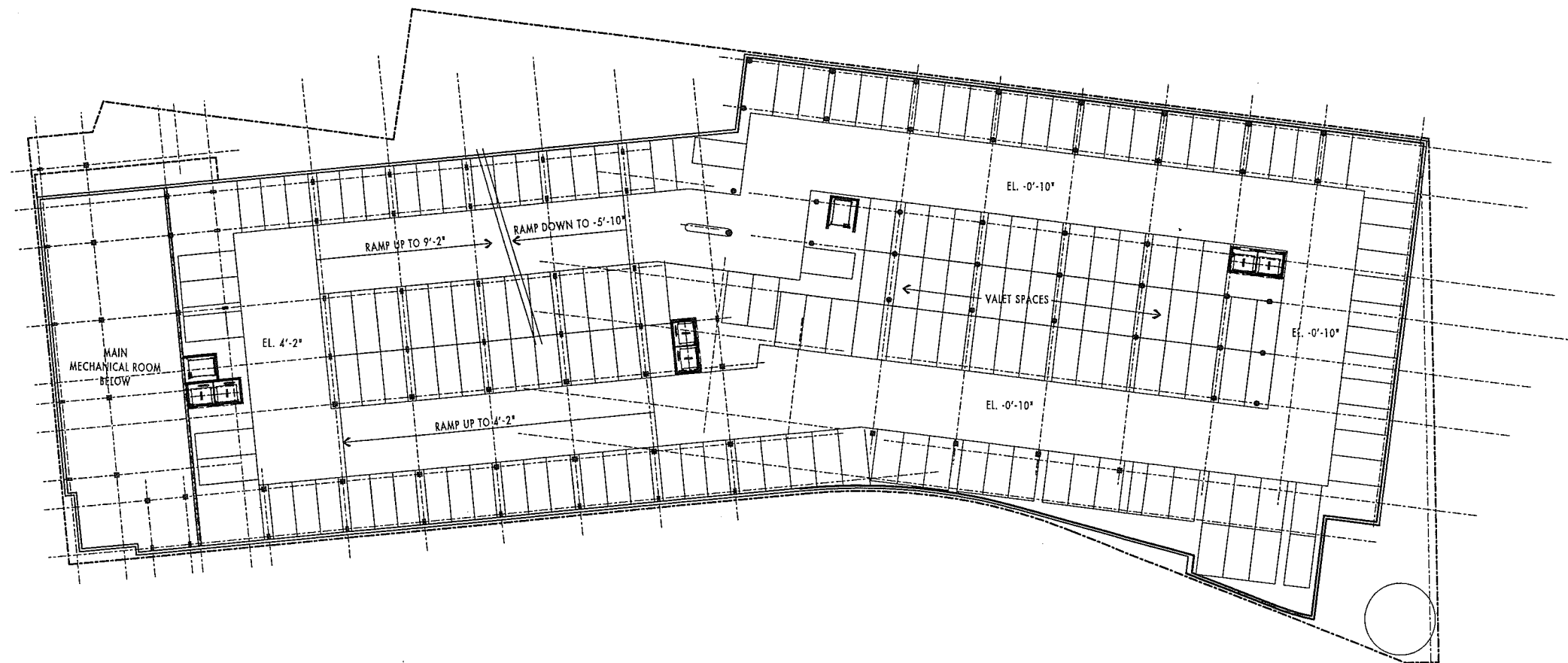
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

TYP. PARKING LAYOUT

1/16" = 1'-0"

P1



COOPER CARRY

WINTON SCOTT
ARCHITECTS

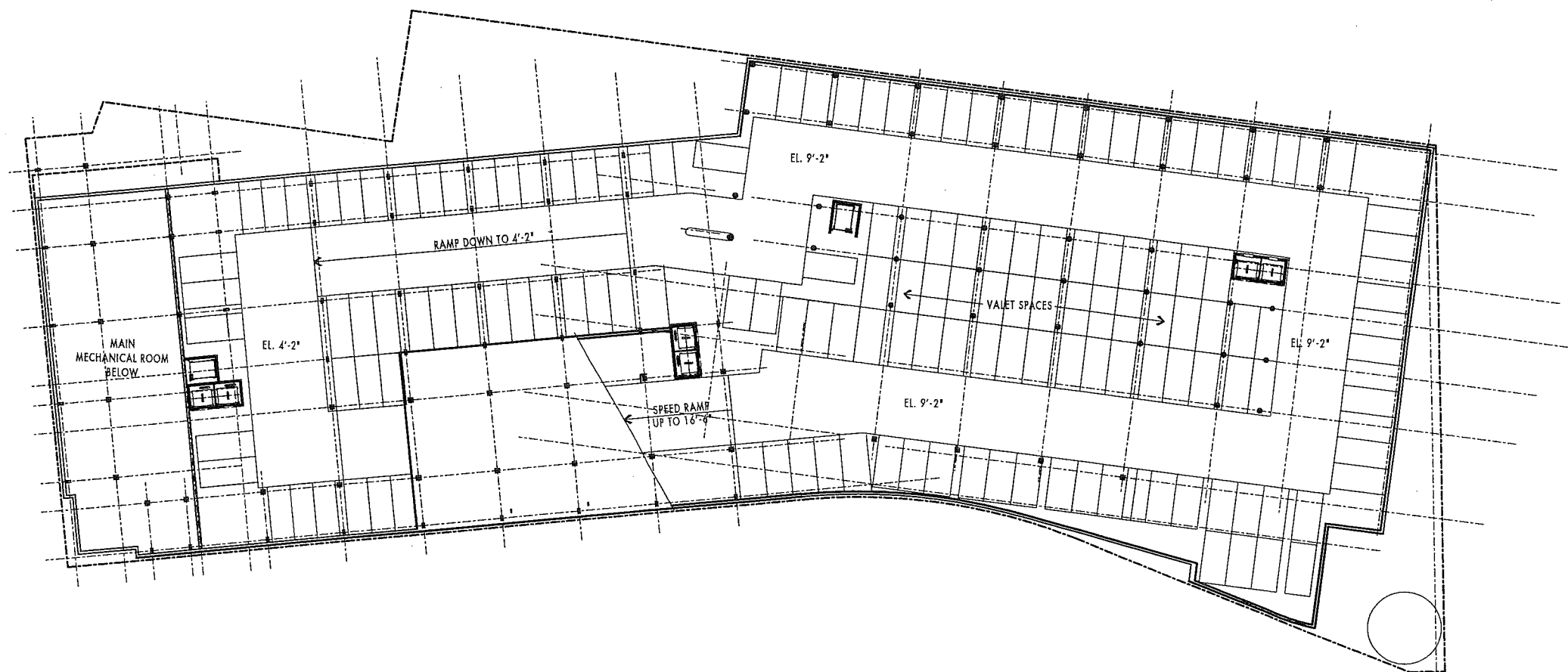
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

TYP. PARKING LAYOUT

1/16" = 1'-0"

P2



COOPER CARRY

WINTON SCOTT
ARCHITECTS

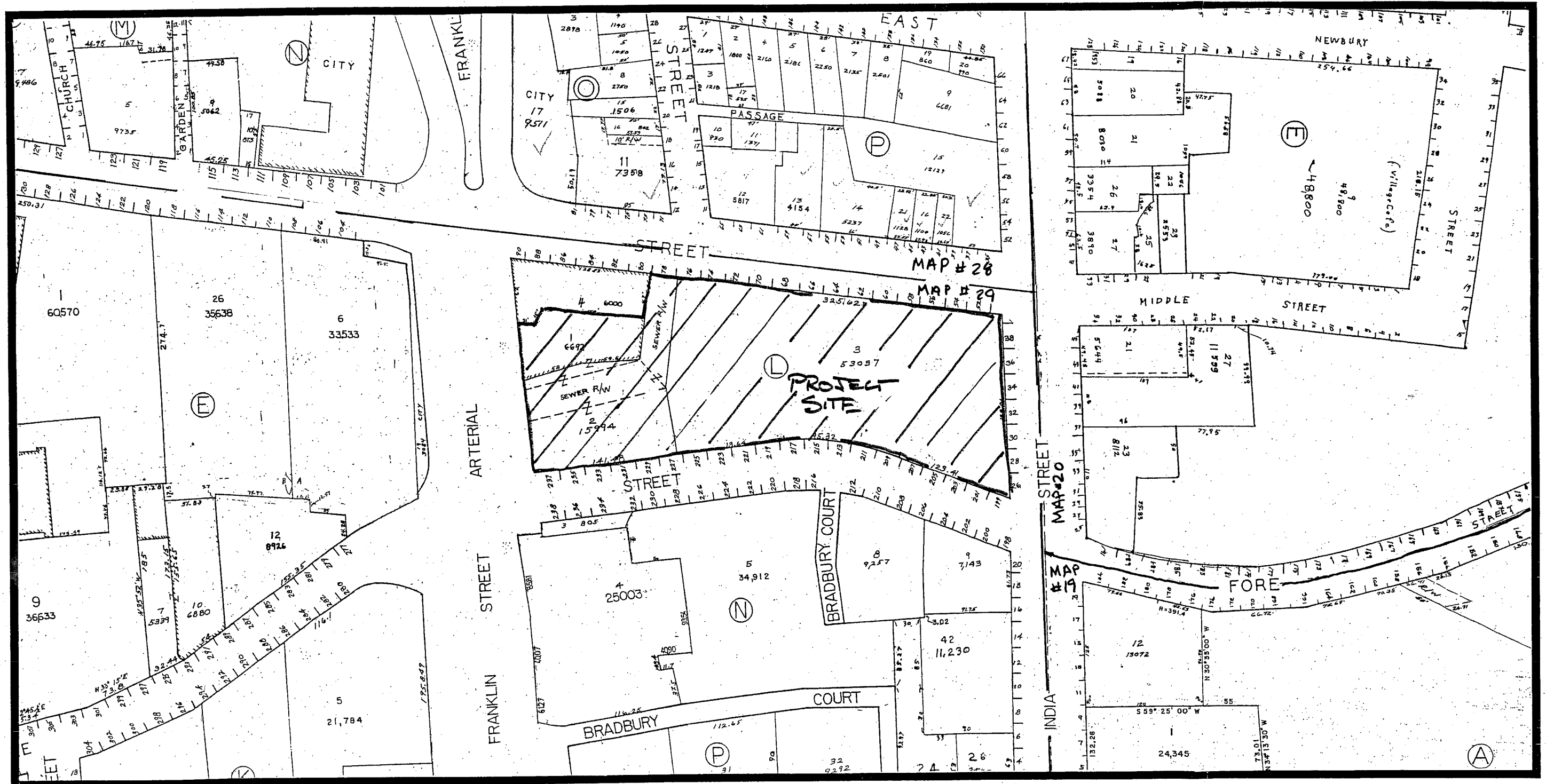
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

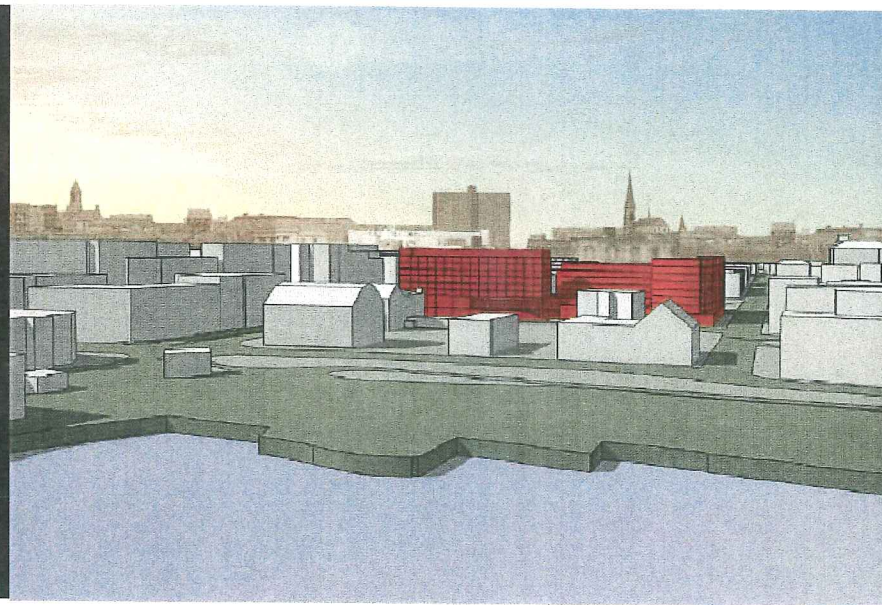
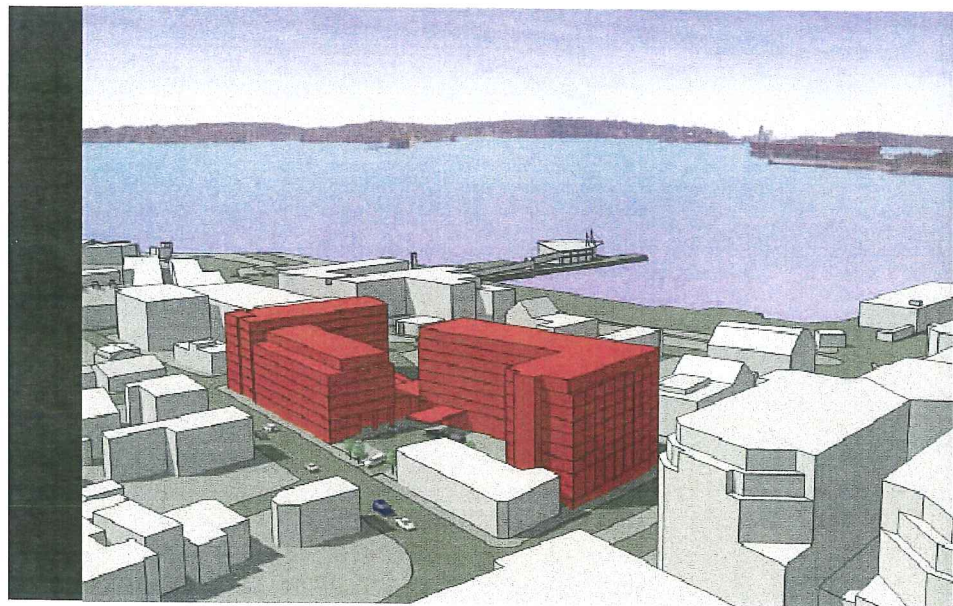
PARKING LEVEL 3

1/16" = 1'-0"

P3



VICINITY MAP
 PORTLAND, ME
 MAP # 19, 20, 28 & 29
 SCALE 1" = 50'±



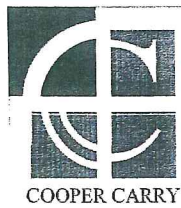
WESTIN HOTEL & RESIDENCES PORTLAND, ME

City of Portland
Conditional Rezoning
Application

July 20, 2005

Developer |
PME 1 Limited Partnership

Planning and Design |
Cooper Carry Architects
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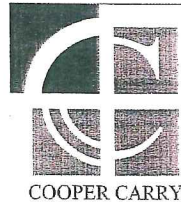
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

VIEW FROM FRANKLIN ARTERIAL

P



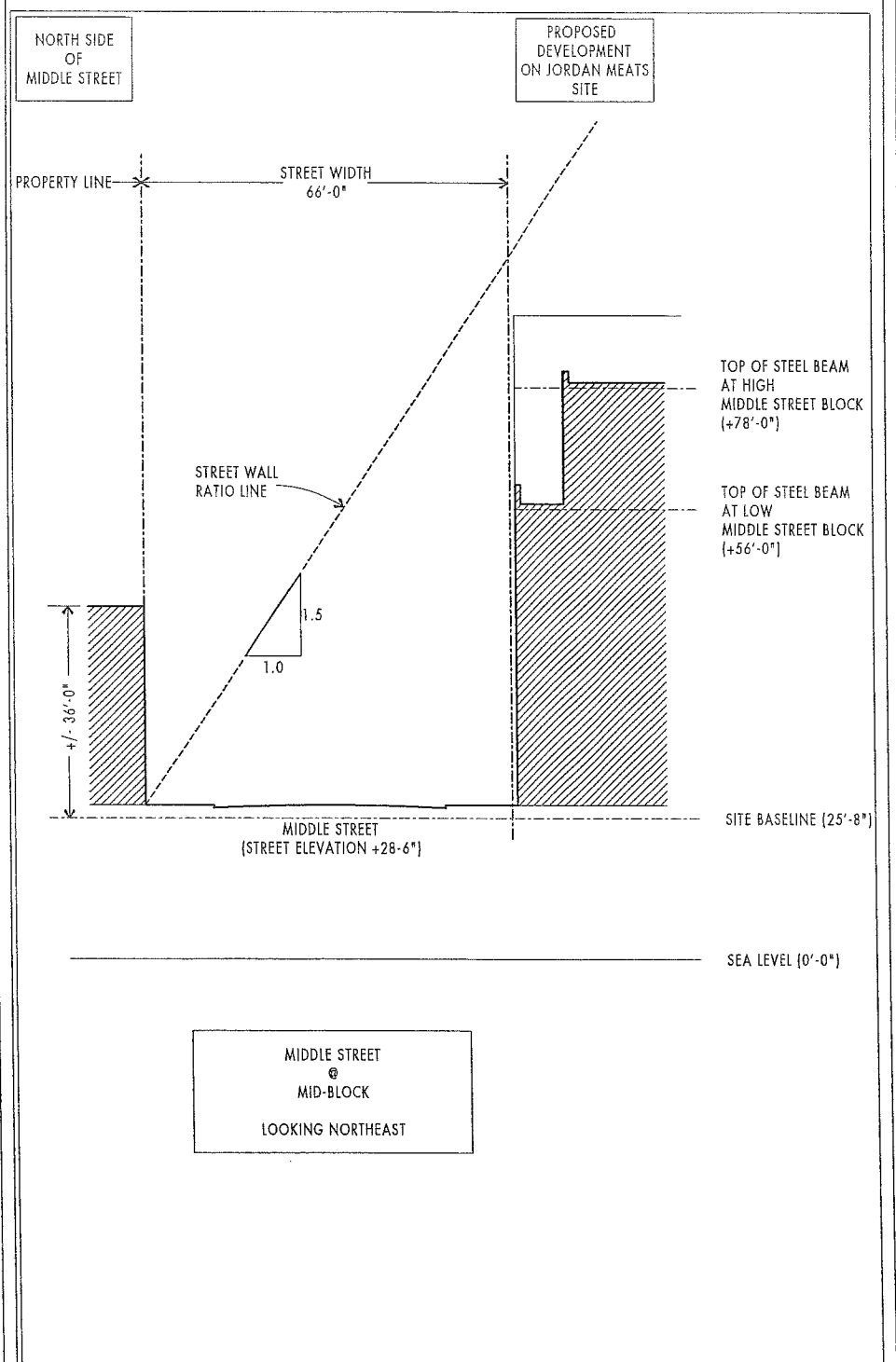
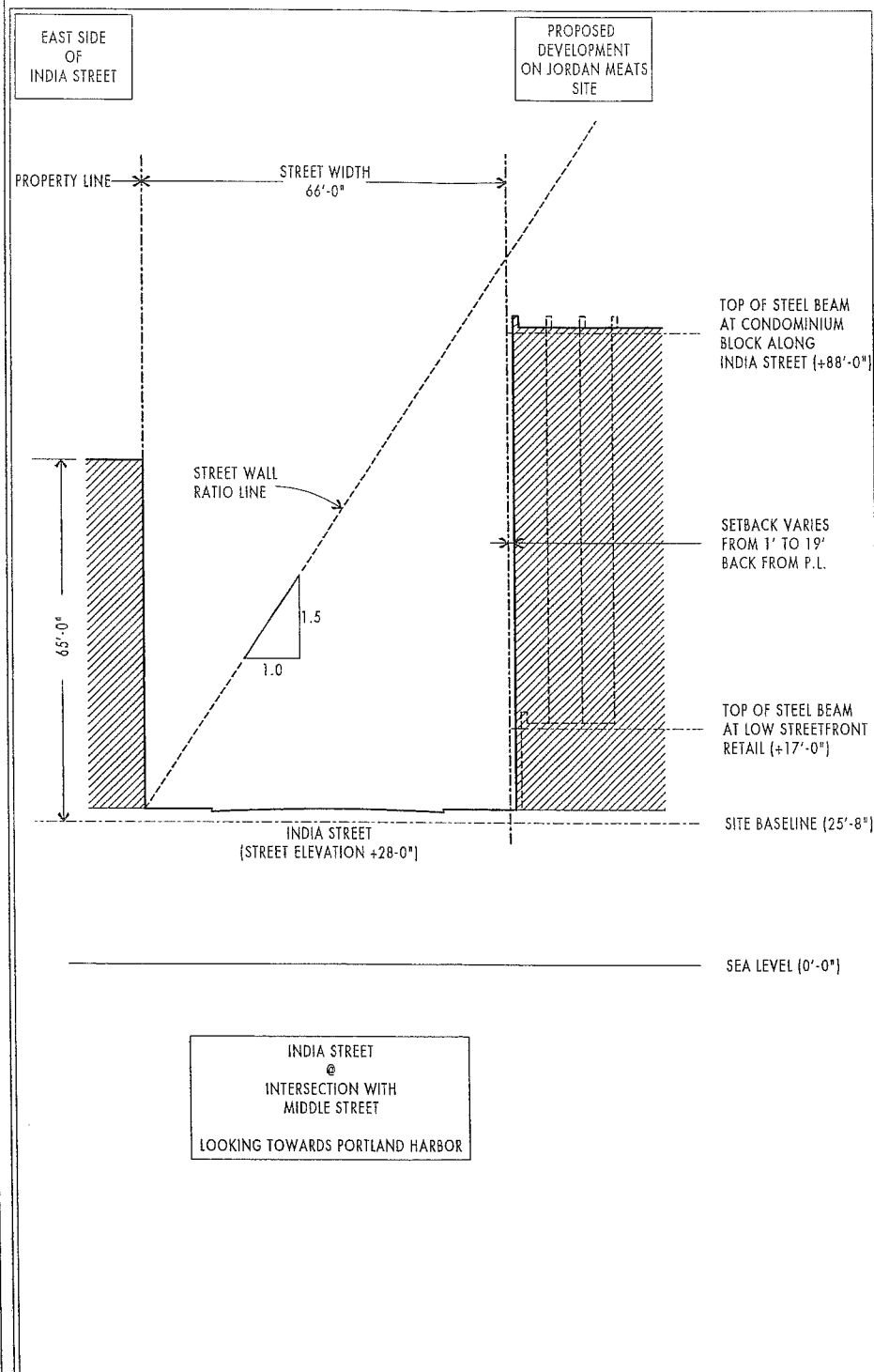
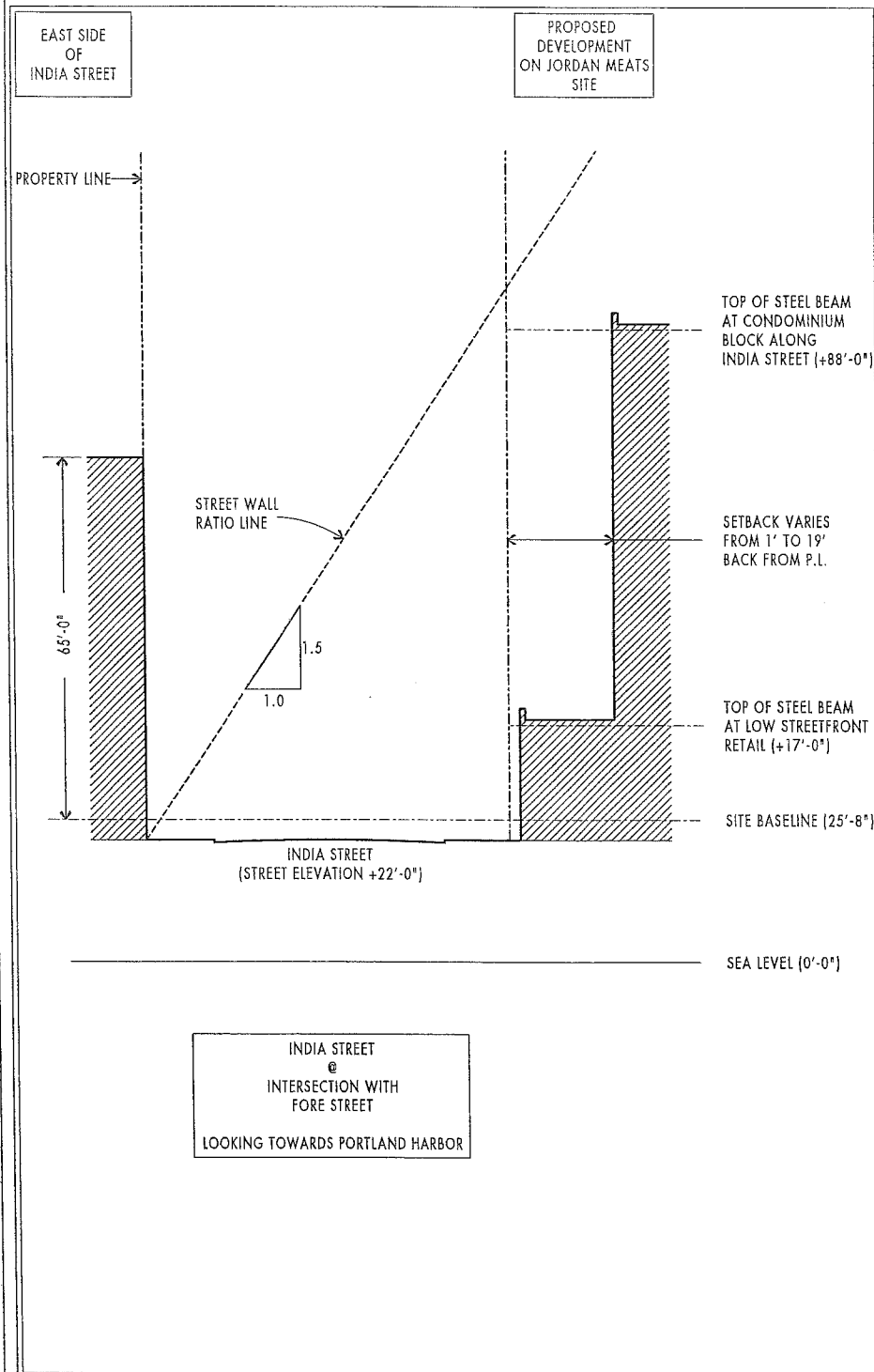
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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

VIEW FROM INDIA STREET
LOOKING NORTH

P



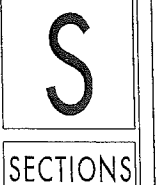
NOTE: THESE SECTIONS ARE BASED ON FIGURE 32 FROM THE "PORTLAND MAINE DOWNTOWN HEIGHT STUDY", DATED FEBRUARY 1989

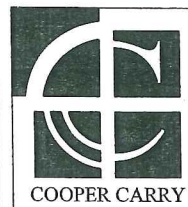
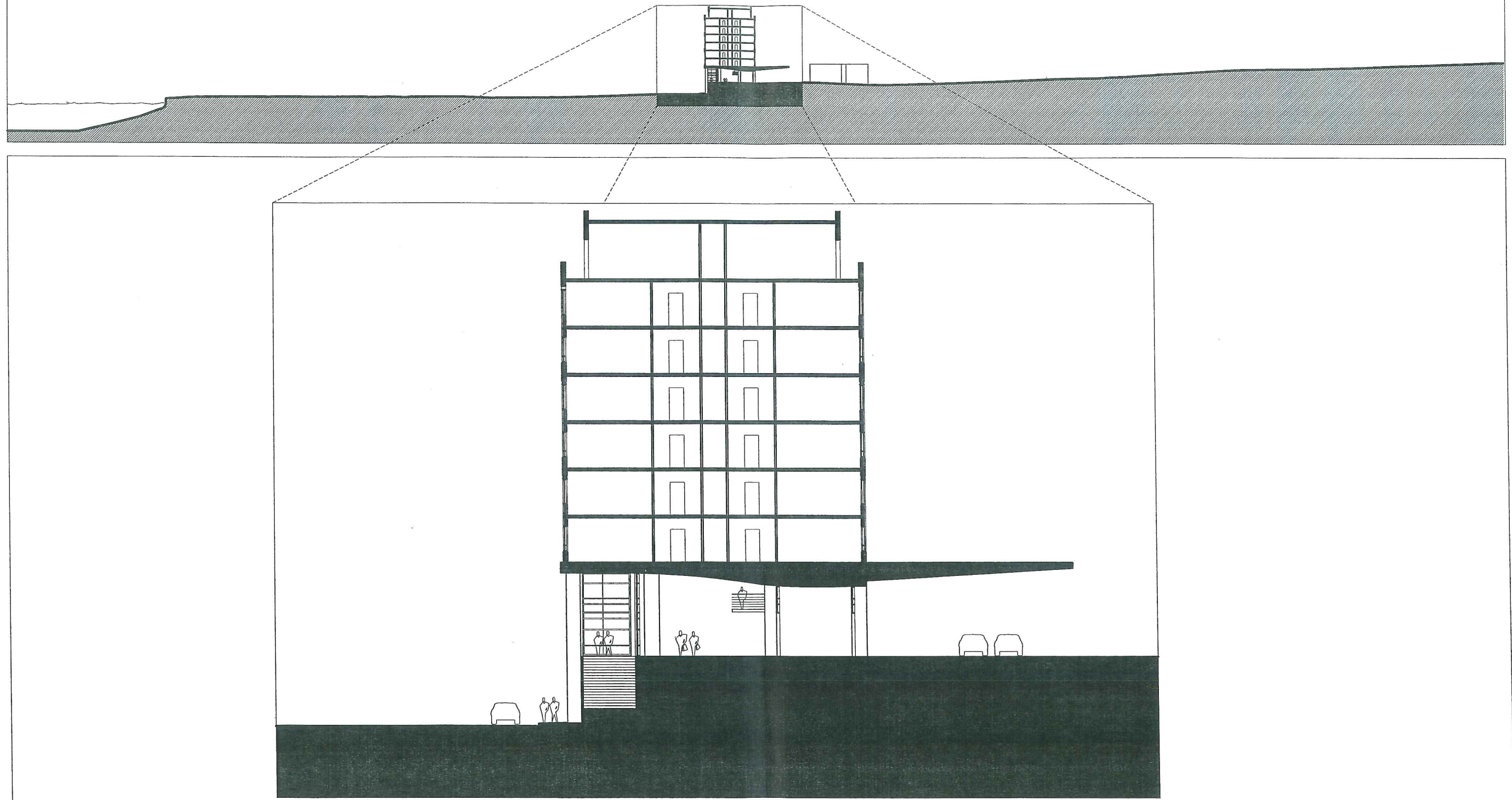


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

STREET WALL SECTIONS





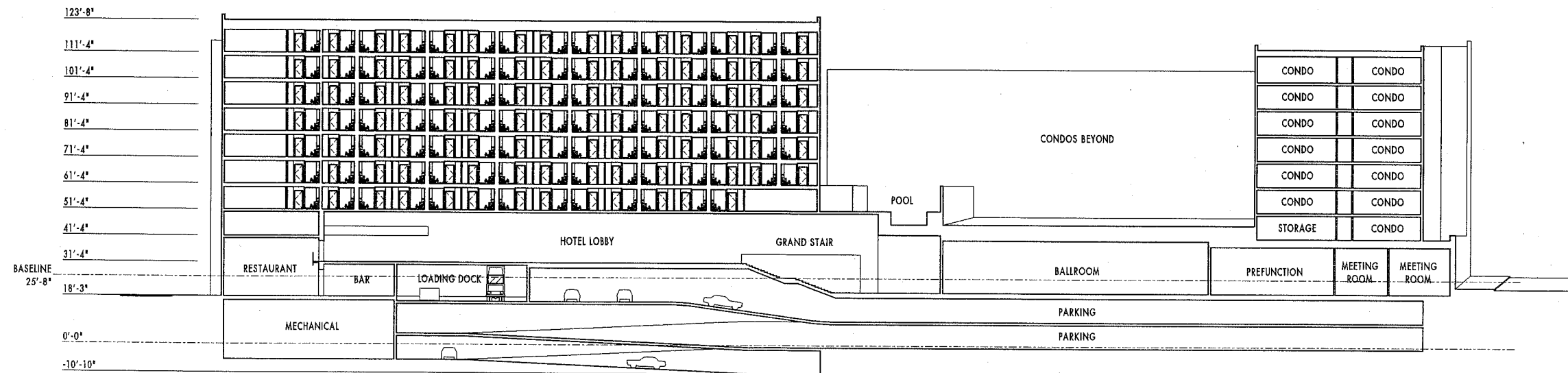
WINTON SCOTT
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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

SITE SECTION

1/8" = 1'-0"

S



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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LONGINTUDINAL SITE SECTION

SS

1/16" = 1'-0"

TOP OF STEEL AT HOTEL BLOCK
 TOP OF STEEL AT INDIA STREET CONDO BLOCK
 TOP OF STEEL AT HIGH MIDDLE STREET PIECE
 TOP OF STEEL AT LOW MIDDLE STREET PIECE
 LOBBY FINISH FLOOR 31'-4"
 BASELINE 25'-8"



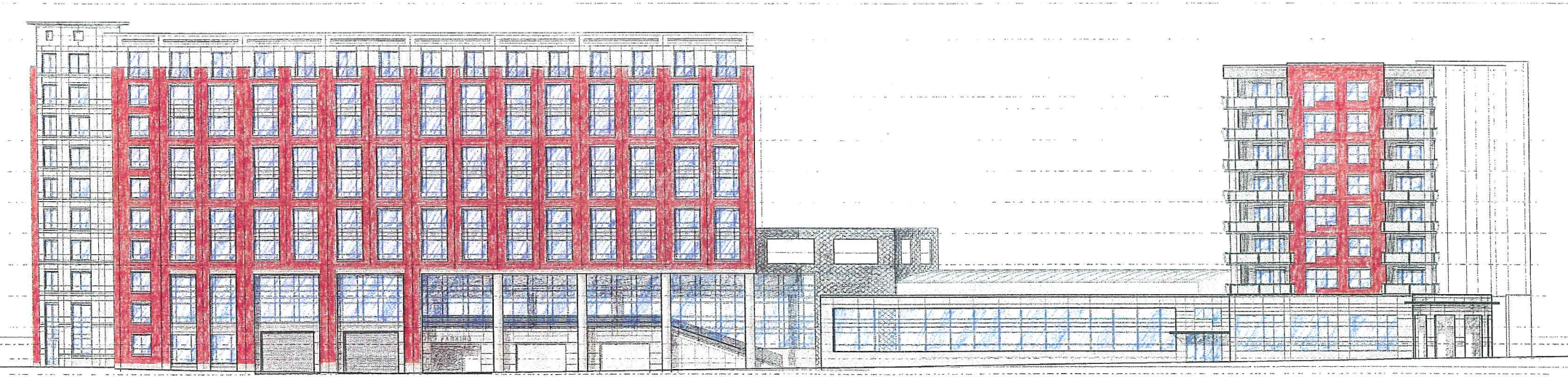
TOP OF STEEL AT HOTEL BLOCK
 TOP OF STEEL AT INDIA STREET CONDO BLOCK
 TOP OF STEEL AT HIGH MIDDLE STREET PIECE
 TOP OF STEEL AT LOW MIDDLE STREET PIECE
 LOBBY FINISH FLOOR 31'-4"
 BASELINE 25'-8"

ELEVATION 0'-0"

ELEVATION 0'-0"

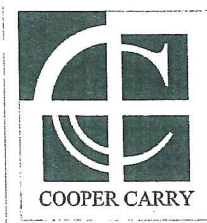
BUILDING ELEVATION ALONG MIDDLE STREET

TOP OF STEEL AT HOTEL BLOCK
 TOP OF STEEL AT INDIA STREET CONDO BLOCK
 TOP OF STEEL AT HIGH MIDDLE STREET PIECE
 TOP OF STEEL AT LOW MIDDLE STREET PIECE
 LOBBY FINISH FLOOR 31'-4"
 BASELINE 25'-8"



ELEVATION 0'-0"

BUILDING ELEVATION ALONG FORE STREET



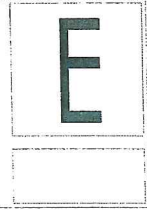
WINTON SCOTT ARCHITECTS

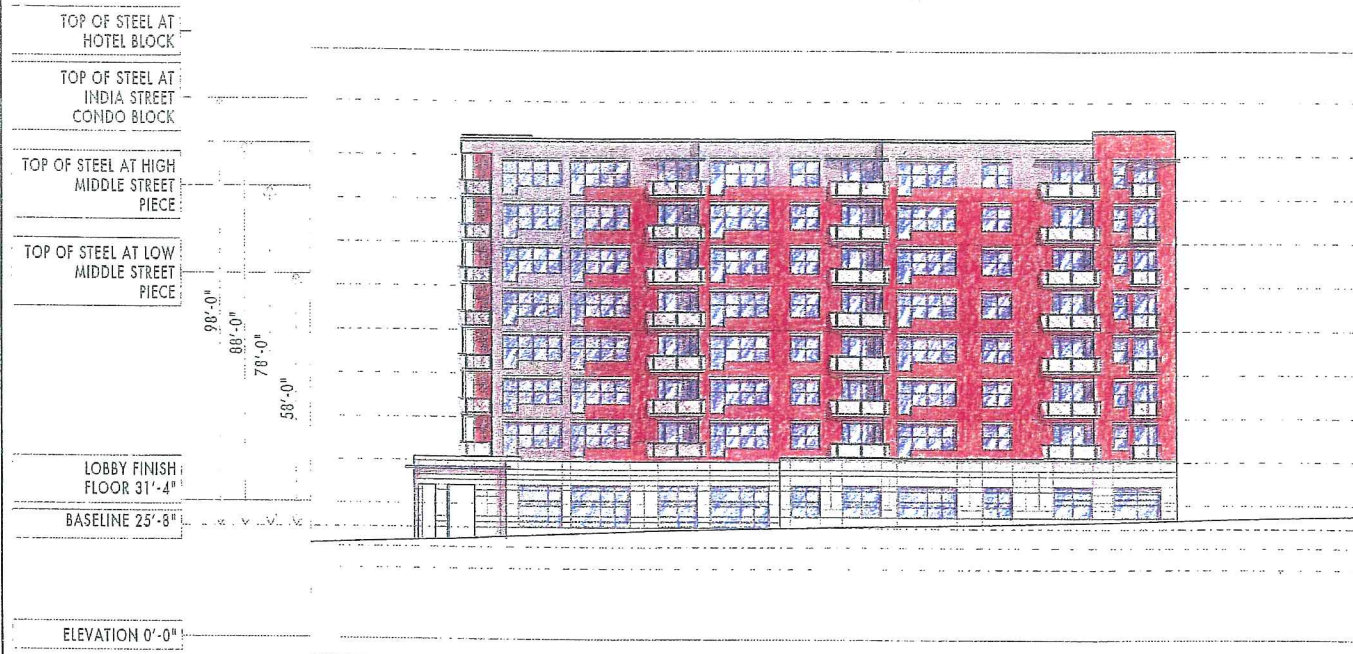
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

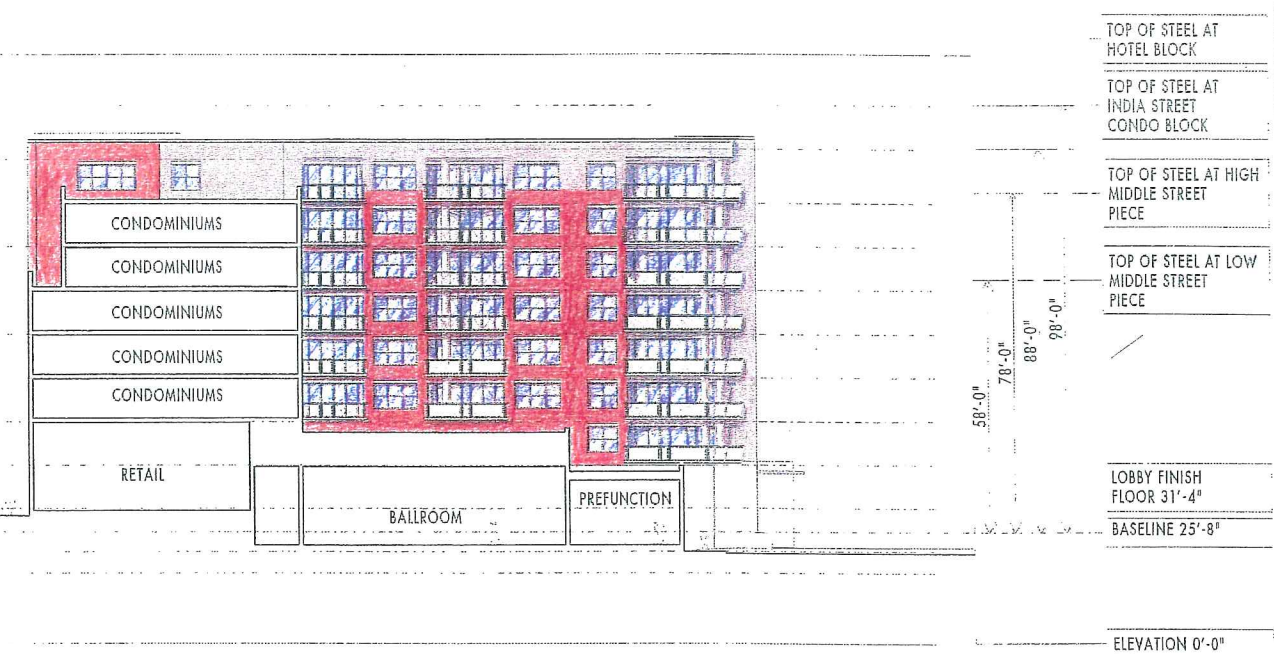
BUILDING ELEVATIONS

1/16" = 1'-0"





BUILDING ELEVATION ALONG INDIA STREET



BUILDING ELEVATION AT INTERIOR LIGHT COURT (LOOKING EAST)



BUILDING ELEVATION AT ENRTY COURT



BUILDING ELEVATION ALONG FRANKLIN ARTERIAL



COOPER CARRY

WINTON SCOTT ARCHITECTS

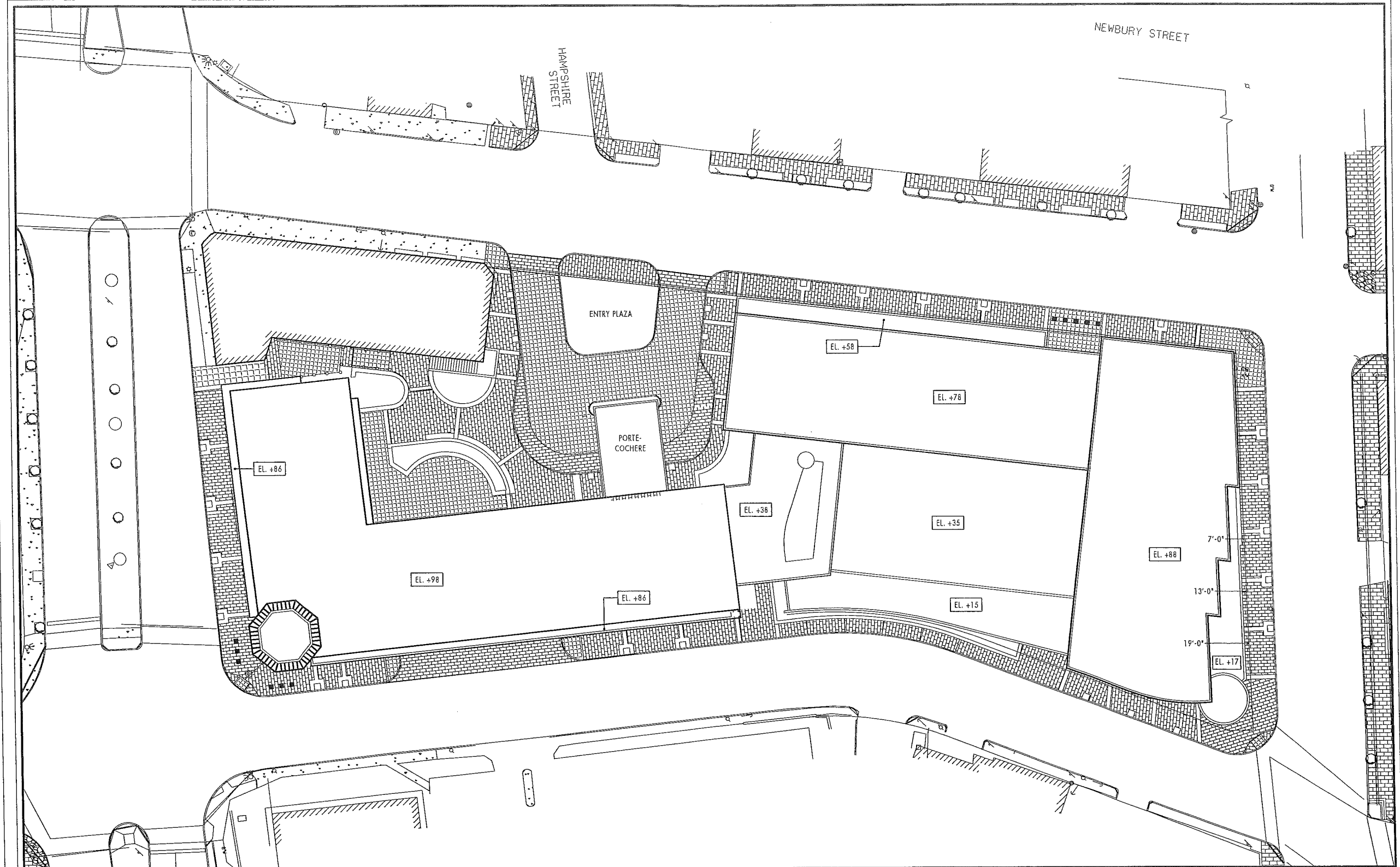
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

BUILDING ELEVATIONS

1/16" = 1'-0"





COOPER CARRY

WINTON SCOTT
ARCHITECTS

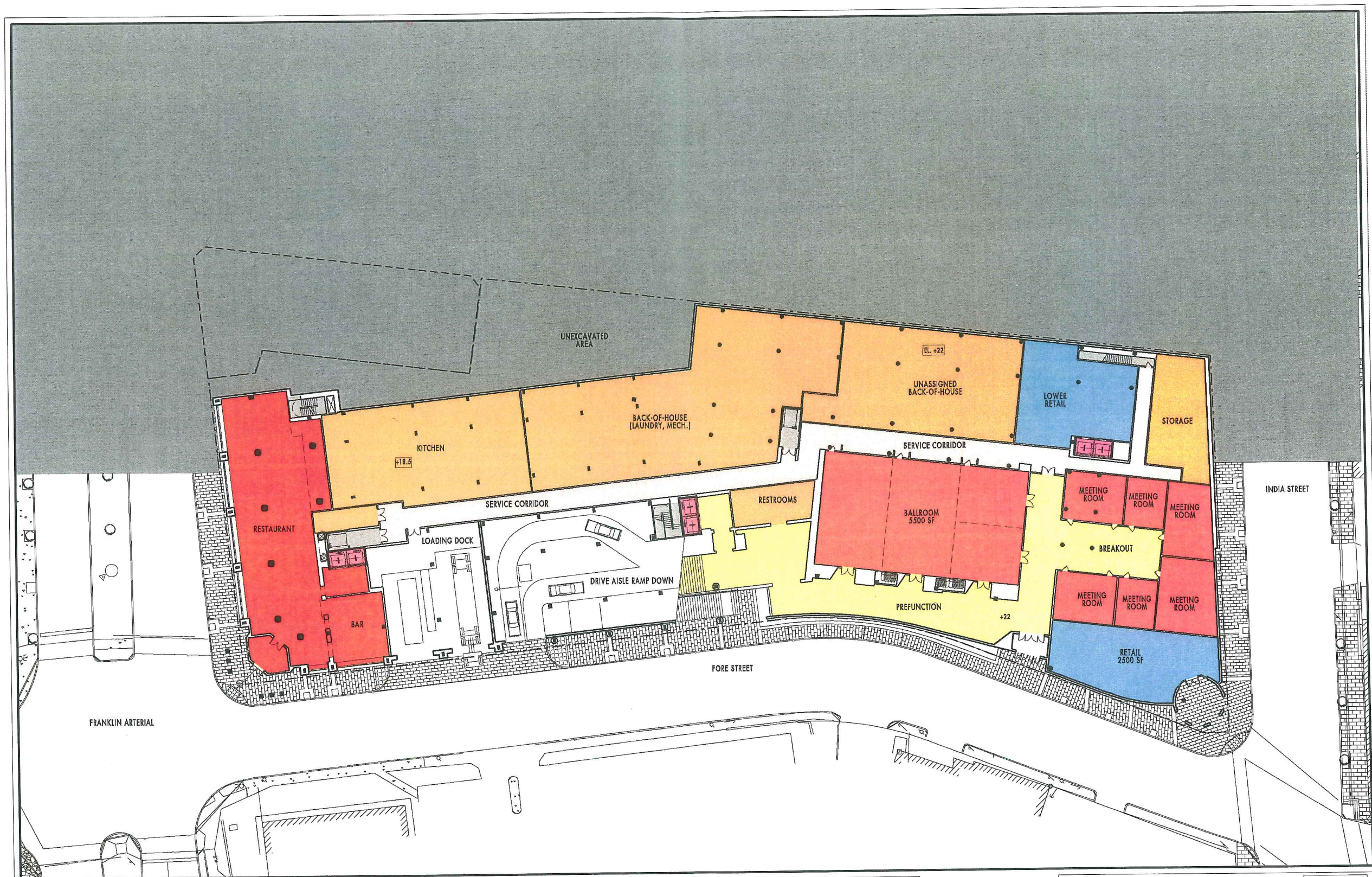
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

ROOF PLAN

1/16" = 1'-0"

R



COOPER CARRY

WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

RESTAURANT ENTRY LEVEL

1/16" = 1'-0"

1
+18'-4"



WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

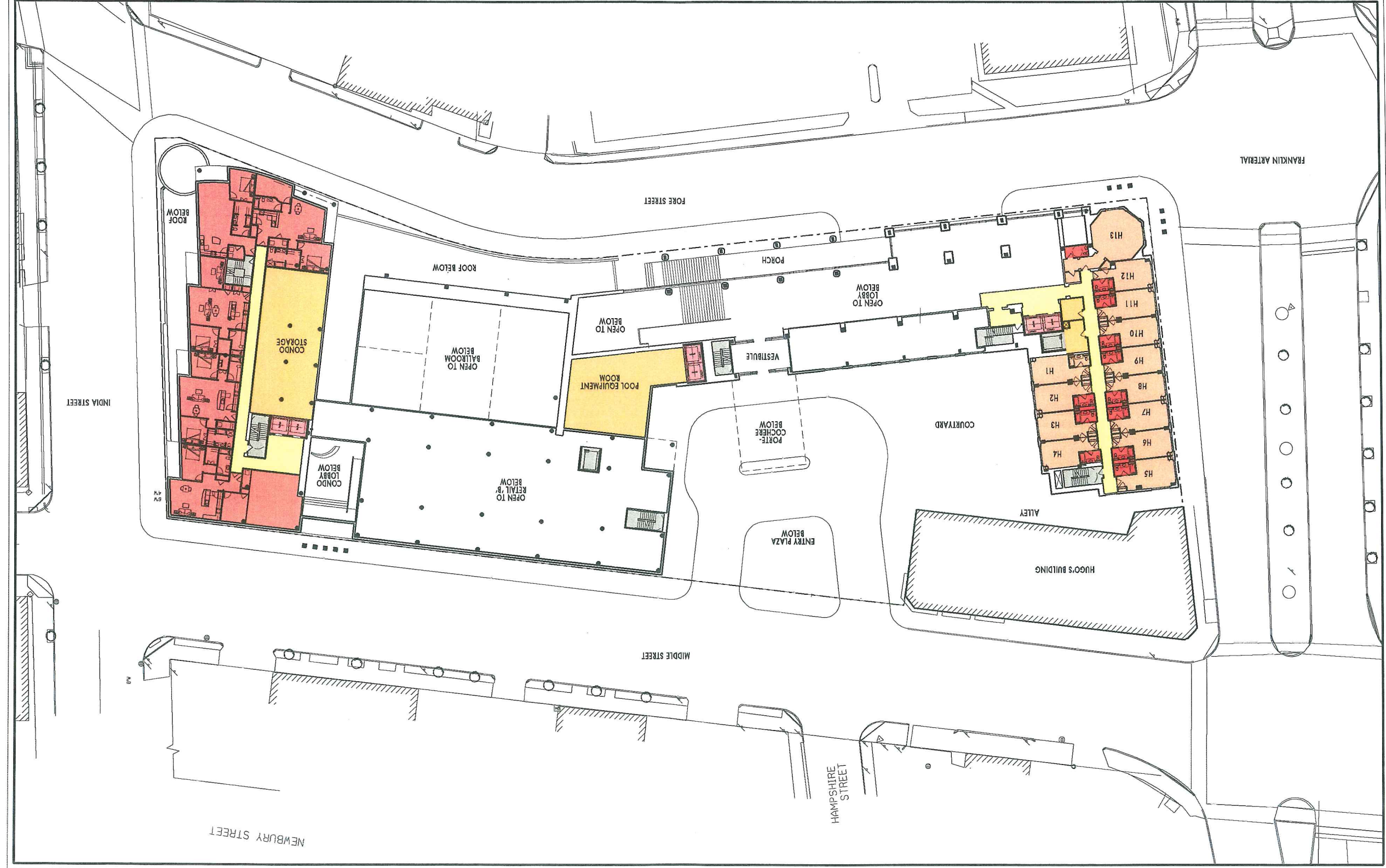
Portland, Maine

INTERSTITIAL LEVEL /
FIRST FLOOR OF CONDOS

1/16" = 1'-0"

3

+41'-4"



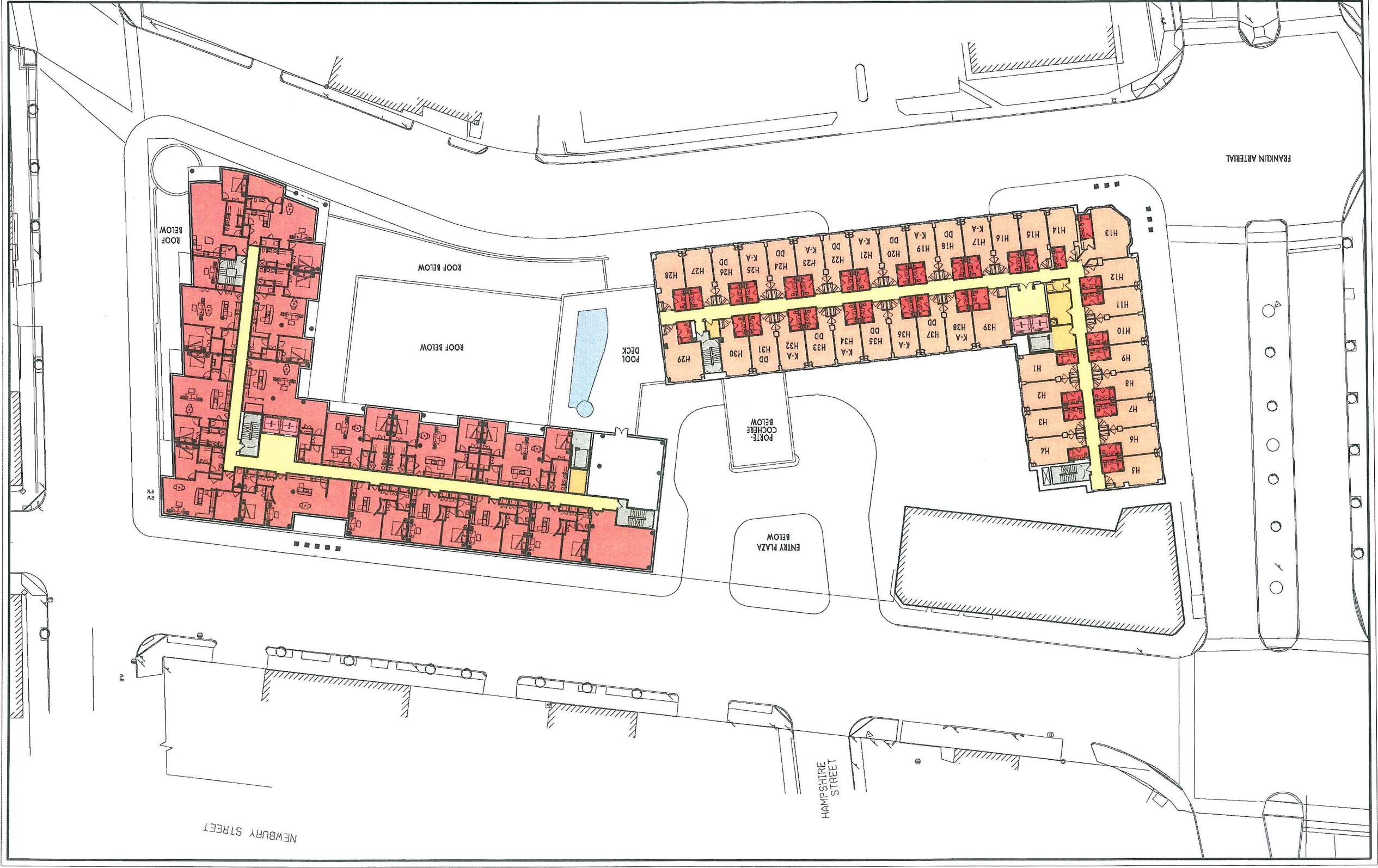


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

FIRST GUESTROOM LEVEL /
POOL TERRACE
1/16" = 1'-0"
+51'-4"





WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

LEVELS 5 AND 6
1/16" = 1'-0"

5-6
+61'-4" & +71'-4"





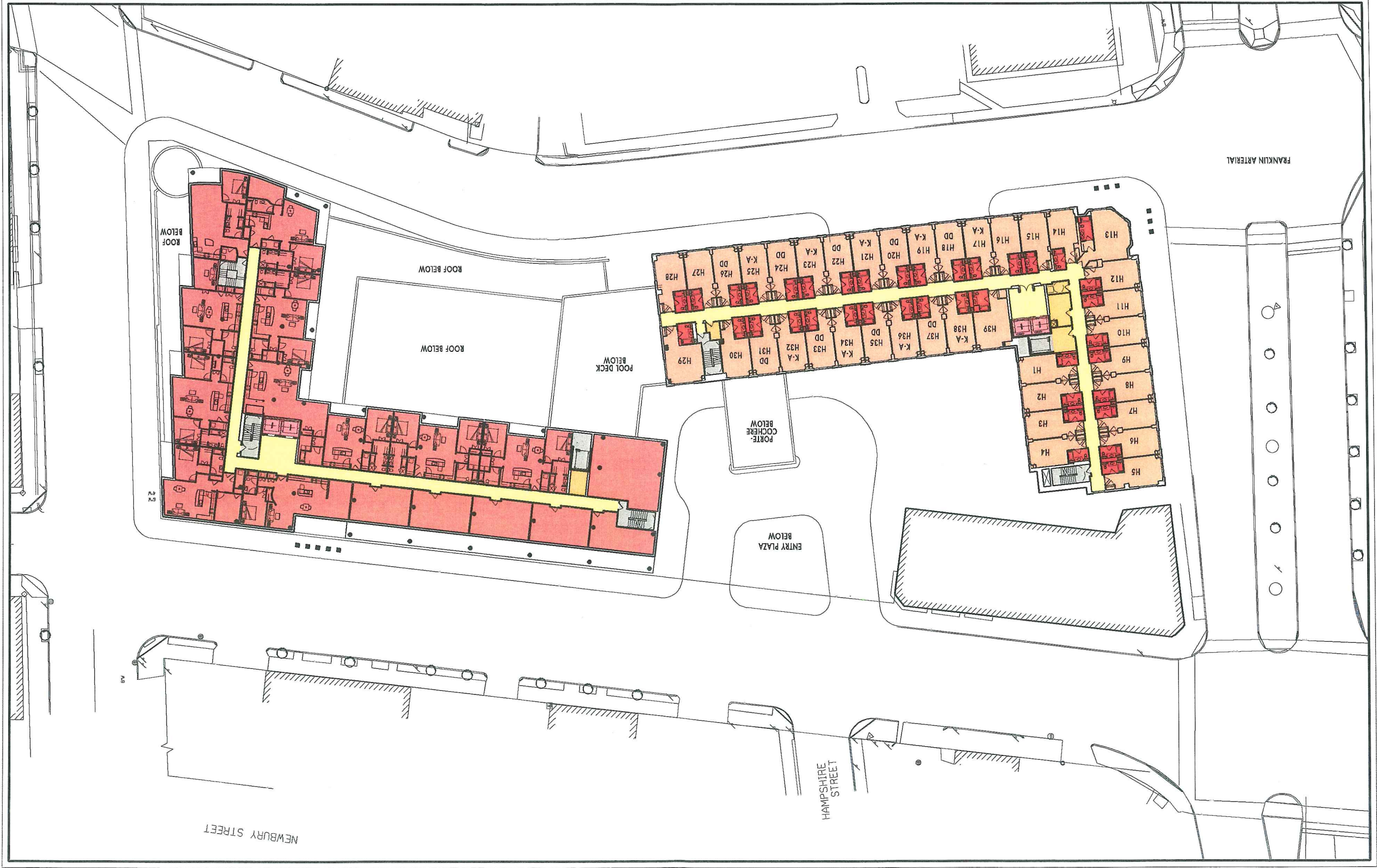
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

LEVELS 7 AND 8

7-8
+81'-4" & +91'-4"



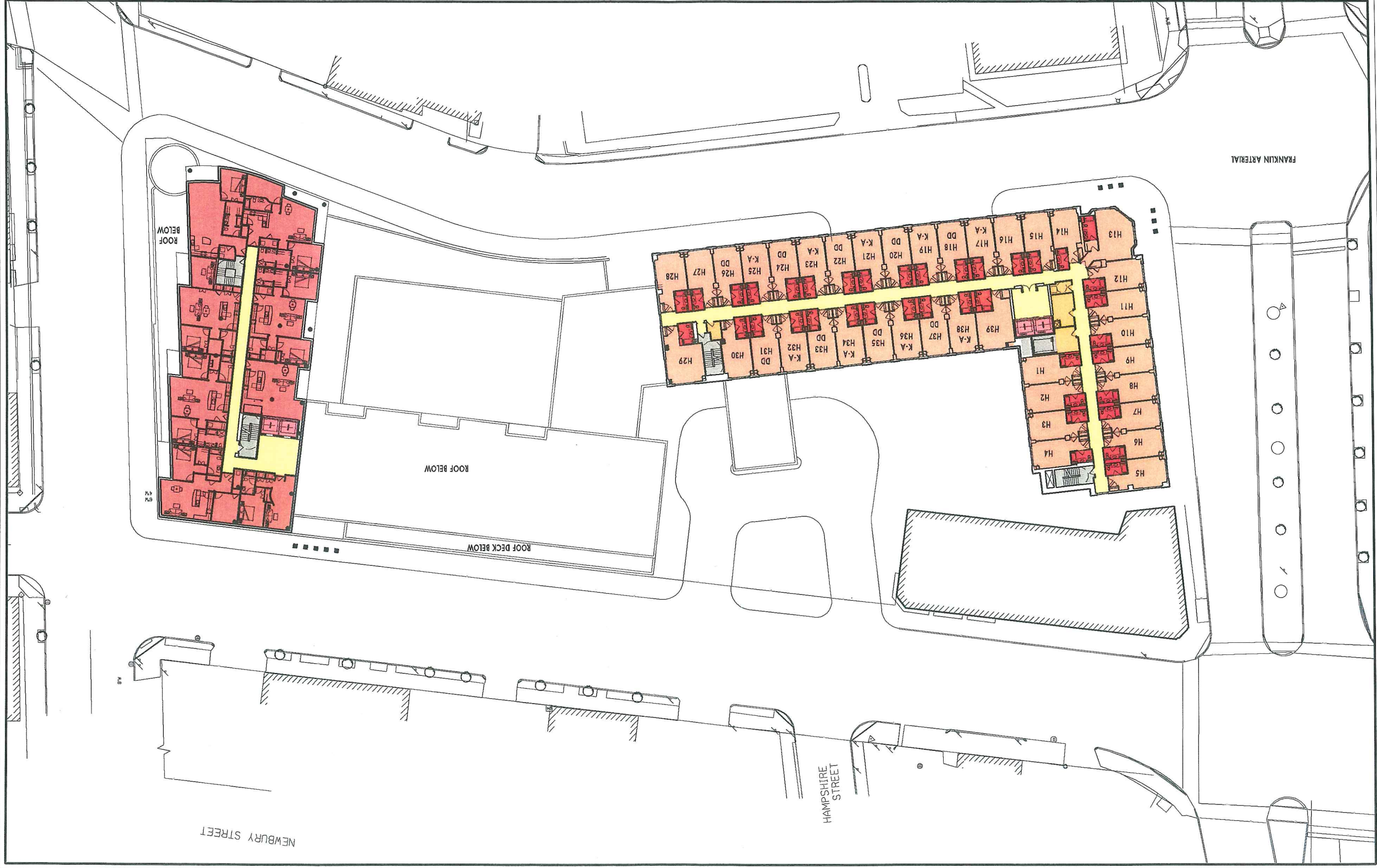


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVEL 9
1/16" = 1'-0"

6
+101'-4"



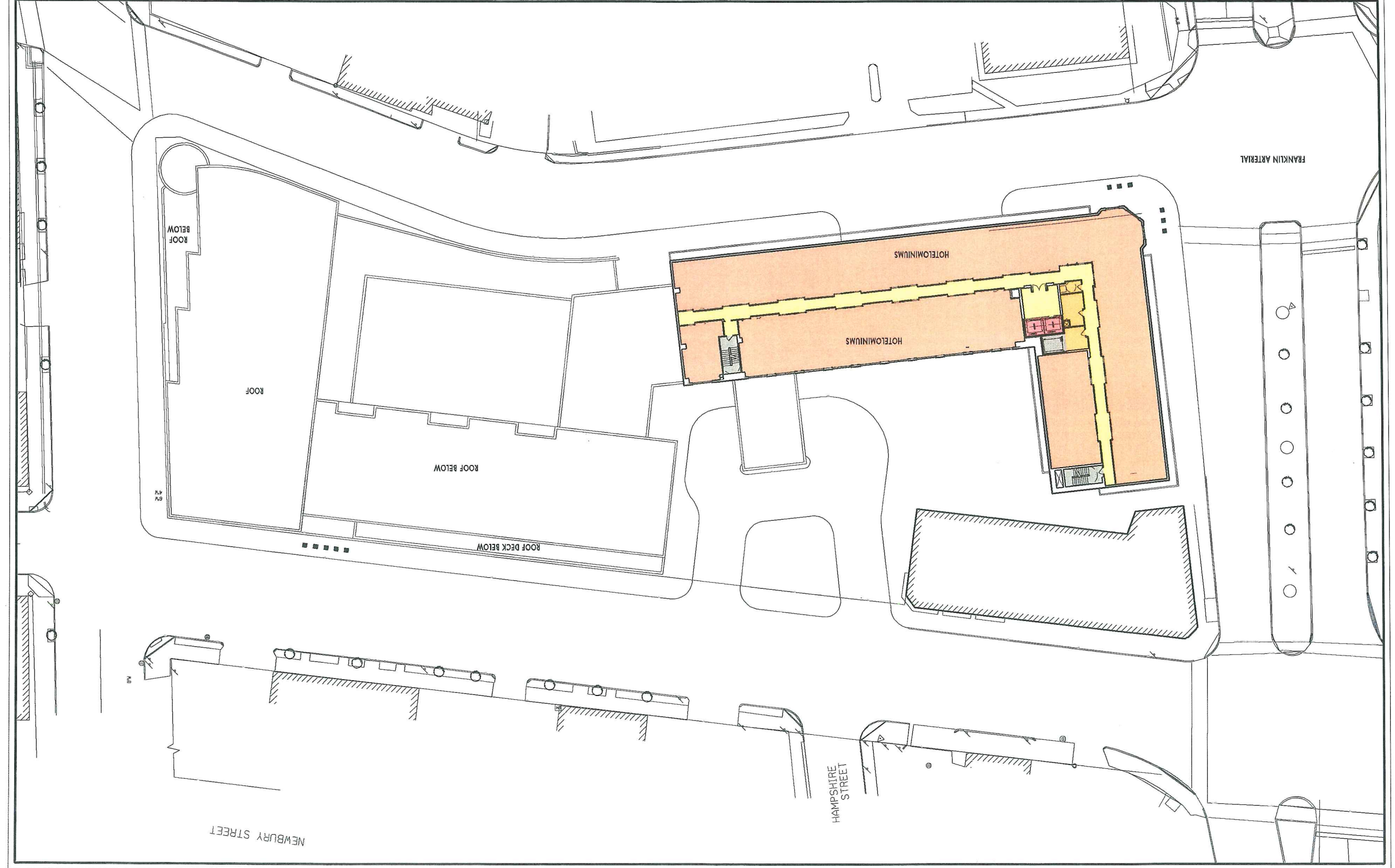


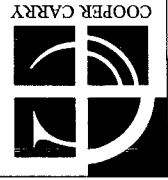
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

HOTELMINIUM LEVEL
1/16" = 1'-0"

10
+1117'-4"



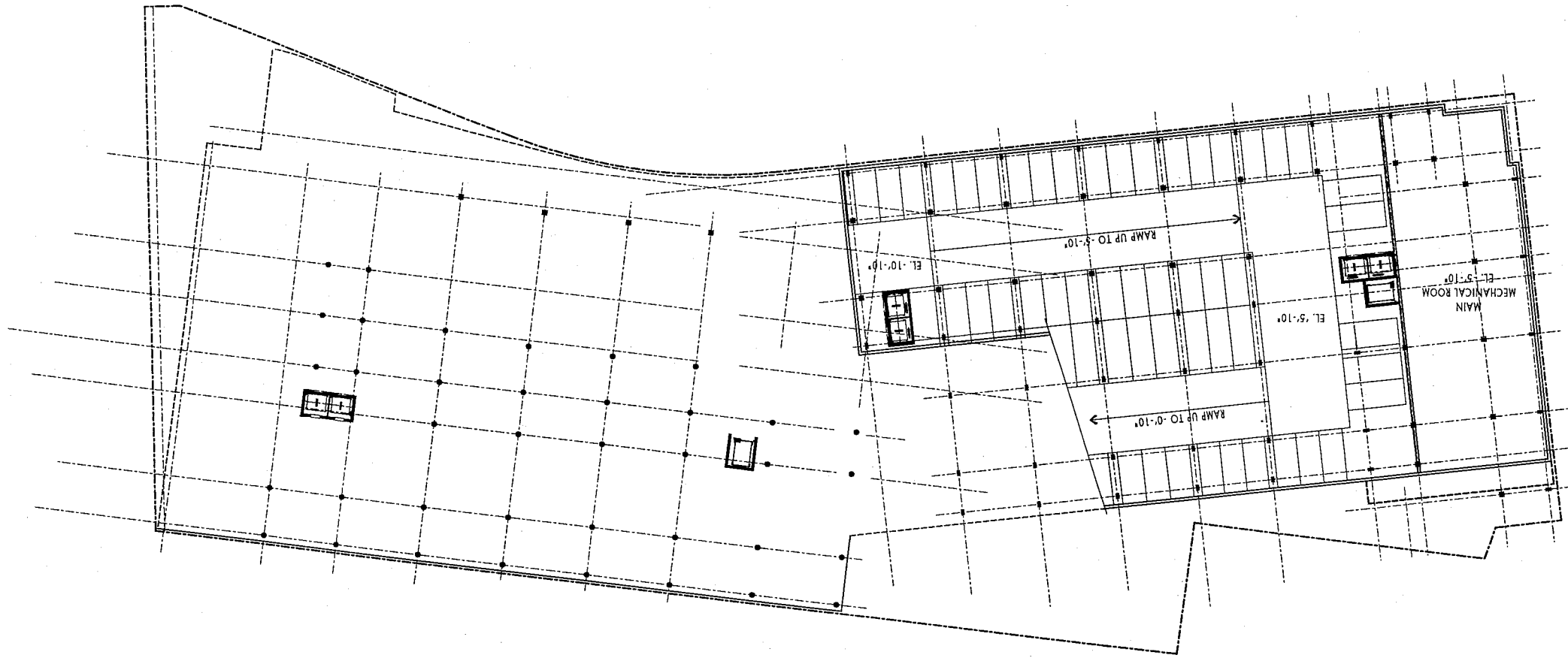


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1/16" = 1'-0"
TYP. PARKING LAYOUT

P1



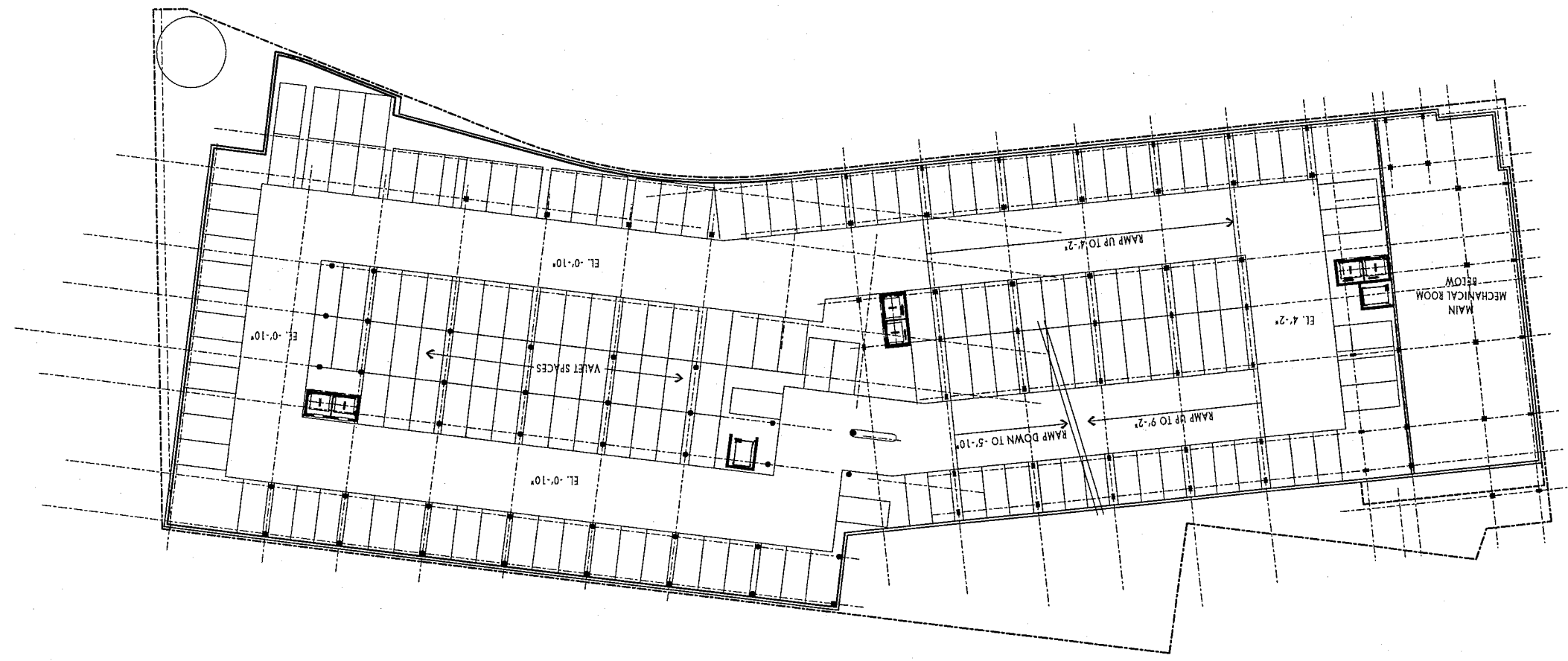


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1/16" = 1'-0"
TYP. PARKING LAYOUT

P2



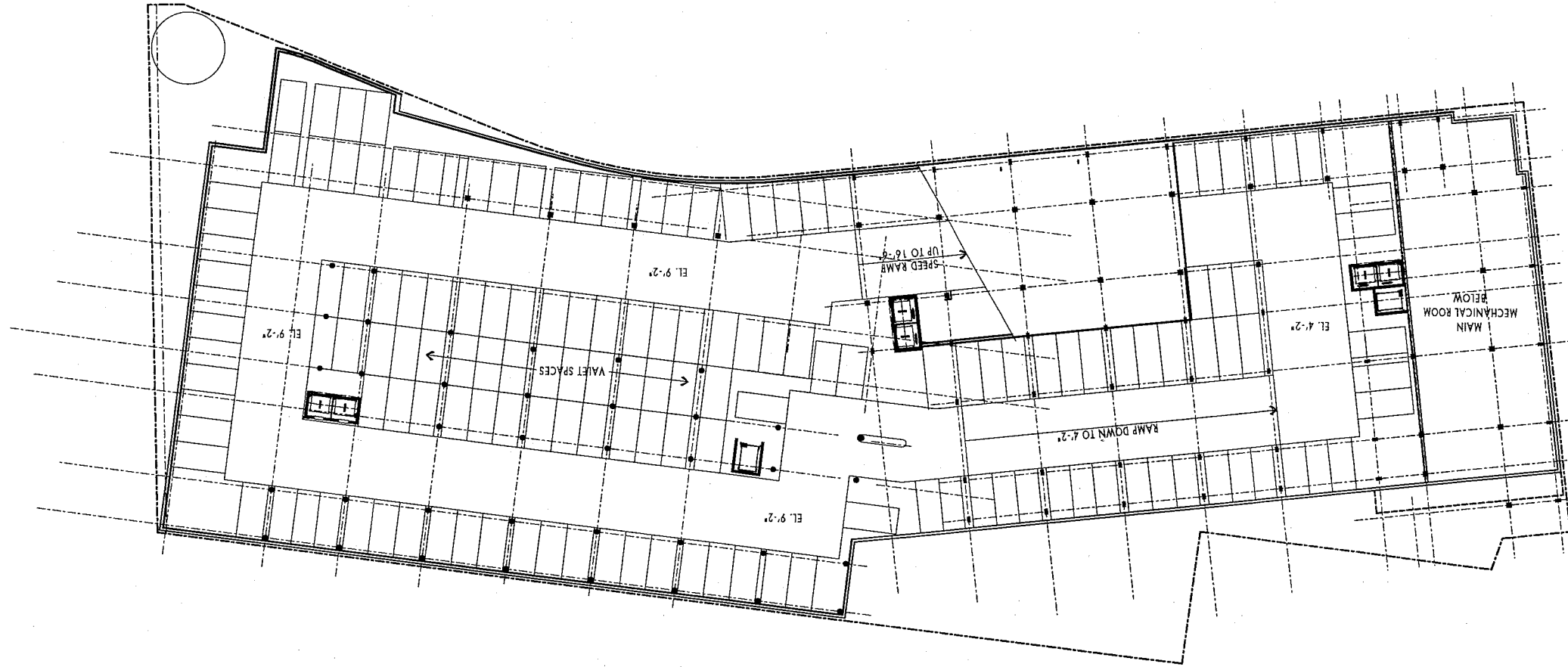
P3

1/16" = 1'-0"
PARKING LEVEL 3

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS

COOPER CARRRY



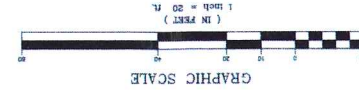
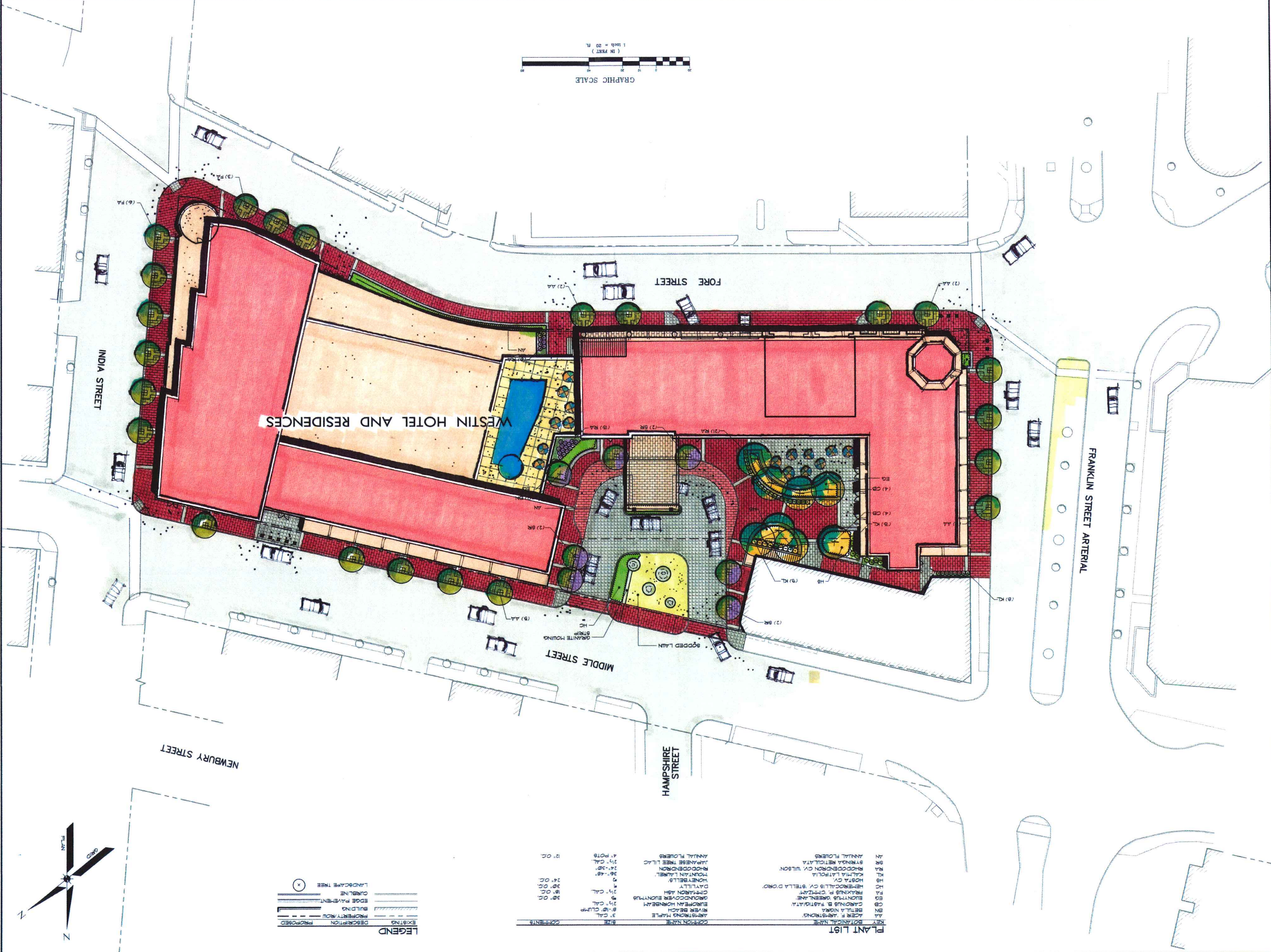
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PROJ. NO.	05090L	DWG. NAME	
DESIGN BY	WTC	CHECKED BY	WTC
FIELD BOOK		DESIGN BY	
05090L			
WTC			

LANDSCAPE PLAN
 OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
PME 1 LIMITED PARTNERSHIP
 1140 RESERVOR AVENUE
 CRANSTON, RI 02920

Sebago Technics
 Engineering Experts You Can Build On
 One Grand Street
 Portland, ME 04101
 Tel: (207) 866-0277

REV.	DATE	STATUS	DESCRIPTION
B	7-22-05	SUBMITTED FOR PLANNING BOARD WORKSHOP	
A	7-12-05	FINAL REVIEWING SUBMITTAL	

THIS PLAN SHALL NOT BE LOANED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR UNAUTHORIZED, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



LEGEND

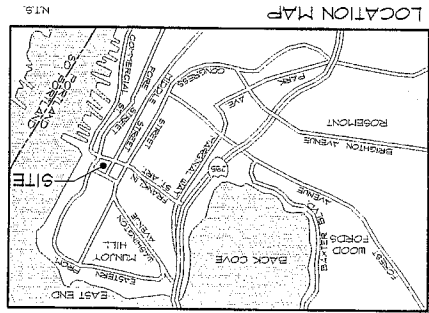
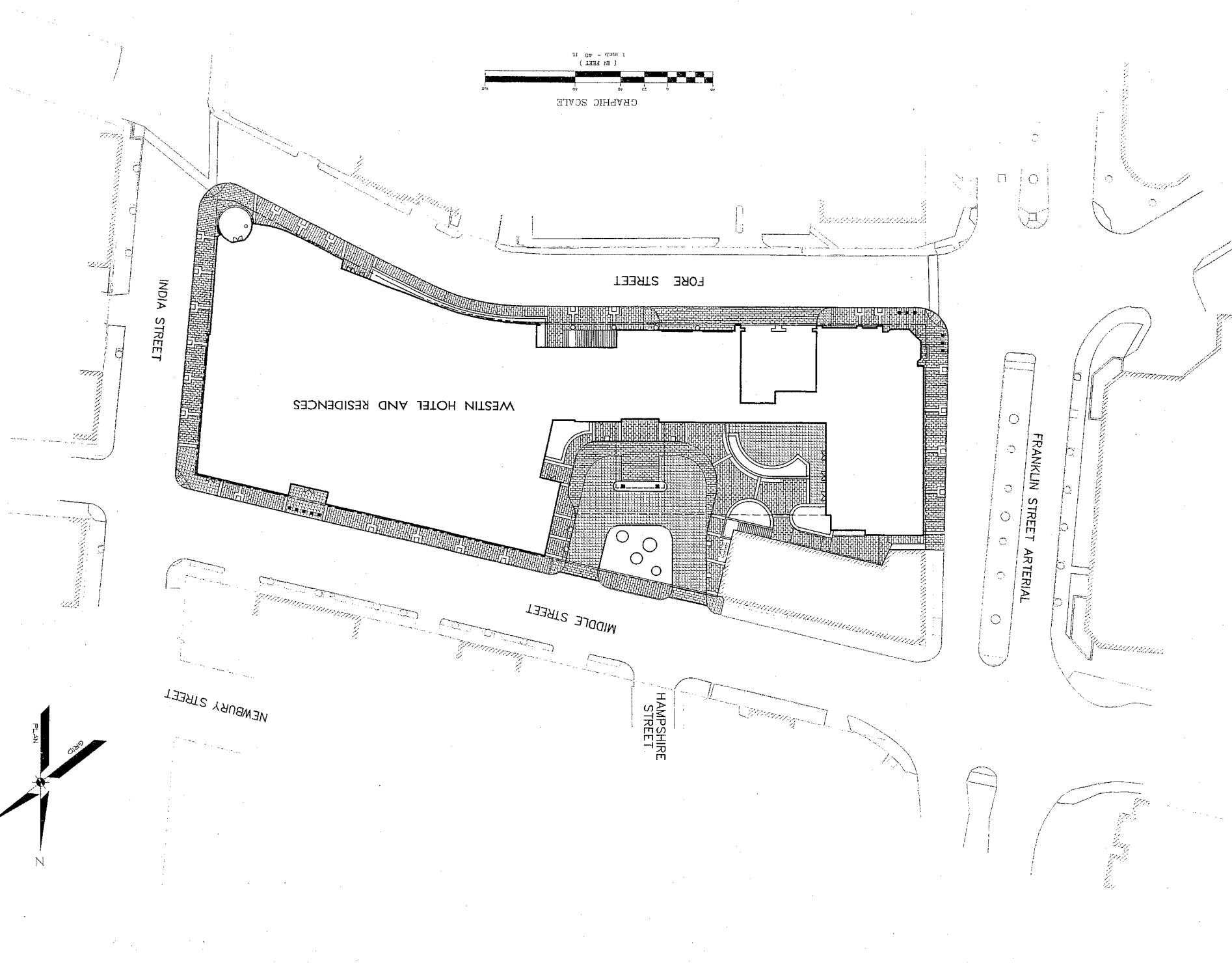
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	LANDSCAPE TREE	(X)

PLANT LIST

KEY	BOTANICAL NAME	SIZE	COMMENTS
AA	ACER F. ARGENTEA	3" CAL.	
BA	BETULA NIGRA	3" CAL.	
CB	CRABAPPLE B. PARVIFLORA	3" CAL.	
CA	CRABAPPLE B. PARVIFLORA	3" CAL.	
EA	EUONYMUS GREENLANDI	3" CAL.	
FA	FRAXINUS B. CRATAEGI	3" CAL.	
HA	HEDERA HELIX	3" CAL.	
IA	IRIS B. BEAUFORTI	3" CAL.	
KA	KALIA LATIFOLIA	3" CAL.	
LA	LARIX KORBICHI	3" CAL.	
MA	MORUS ALBA	3" CAL.	
NA	NANUS B. VILBONI	3" CAL.	
PA	PRUNUS B. VILBONI	3" CAL.	
QA	QUERCUS B. VILBONI	3" CAL.	
RA	RHODOCODENDRON	3" CAL.	
SA	SALIX B. VILBONI	3" CAL.	
TA	TAXUS B. VILBONI	3" CAL.	
UA	ULMUS B. VILBONI	3" CAL.	
VA	VIBURNUM B. VILBONI	3" CAL.	
WA	WILLOW B. VILBONI	3" CAL.	
YA	YUCCA B. VILBONI	3" CAL.	
ZA	ZELKOVIA B. VILBONI	3" CAL.	
AA	ANNUAL FLOWERS		
BA	BIRCH		
CA	CEDAR		
DA	DOGWOOD		
EA	ELM		
FA	FERN		
GA	GINKGO		
HA	HOLLY		
IA	IRIS		
JA	JASMINE		
KA	KALIA		
LA	LARIX		
MA	MORUS		
NA	NANUS		
OA	OSYRIS		
PA	PRUNUS		
QA	QUERCUS		
RA	RHODOCODENDRON		
SA	SALIX		
TA	TAXUS		
UA	ULMUS		
VA	VIBURNUM		
WA	WILLOW		
YA	YUCCA		
ZA	ZELKOVIA		

WESTIN HOTEL AND RESIDENCES PORTLAND

38 INDIA STREET, PORTLAND, MAINE



APPLICANT/DEVELOPER:
 PME 1 LIMITED PARTNERSHIP
 1 140 RESERVOIR AVENUE
 CRANSTON, RI 02920

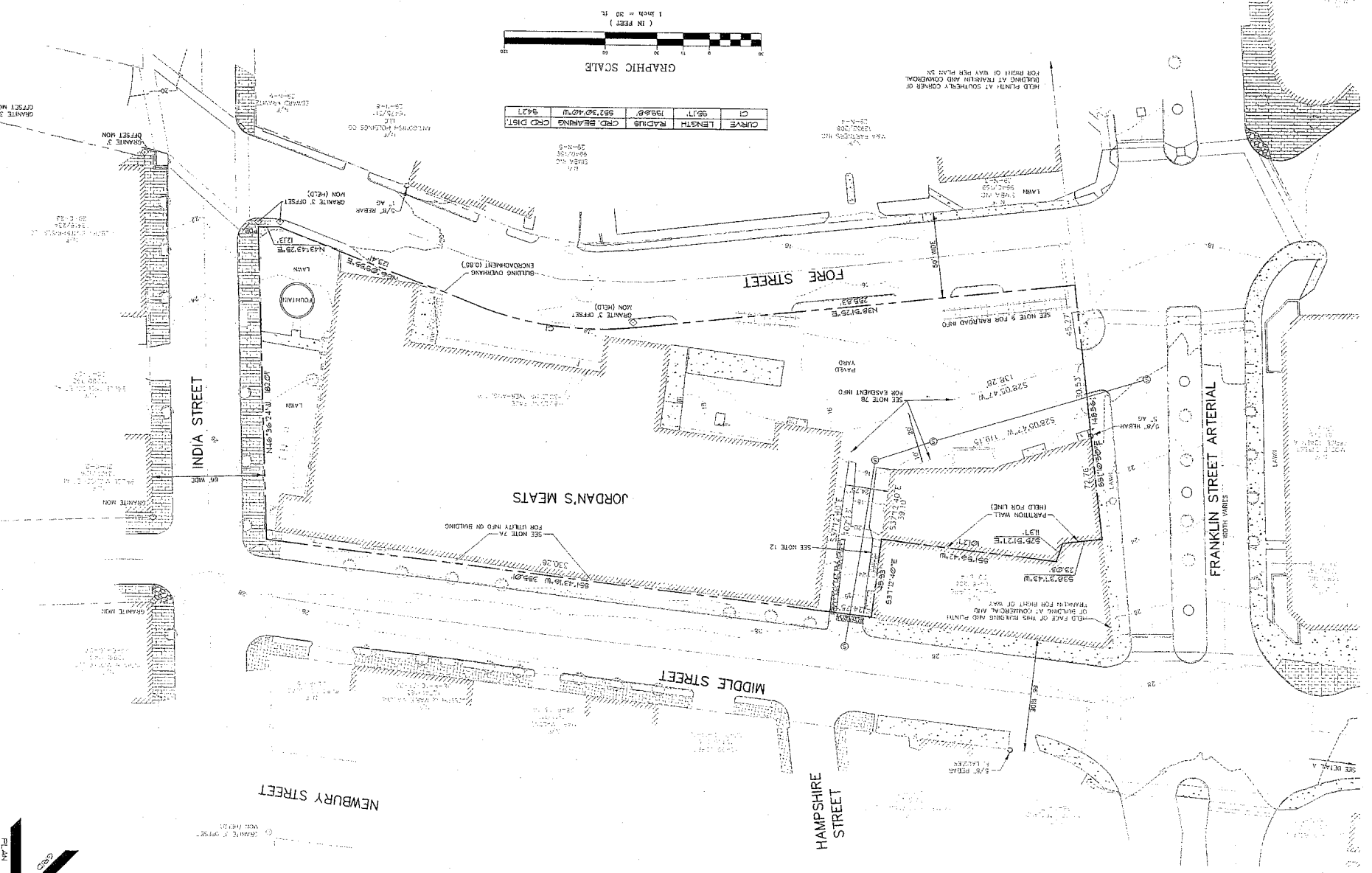
ENGINEER/SURVEYOR:



Sebago Technics
 Engineering Expertise You Can Build On
 One Chobot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

INDEX OF DRAWINGS:

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
EXISTING CONDITIONS PLAN	3
SITE PLAN	4
GRADING AND UTILITY PLAN	5
LANDSCAPE PLAN	6
DETAILS	7
DETAILS	8
DETAILS	9
DETAILS	10



GENERAL NOTES:

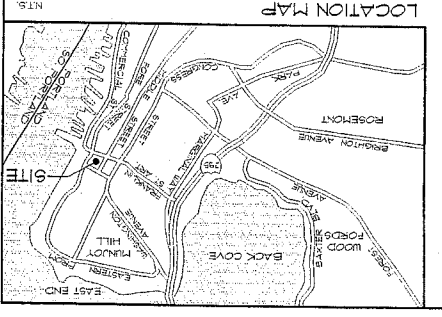
1. THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON, THAT THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON, THAT THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON...

GENERAL NOTES CONTINUED

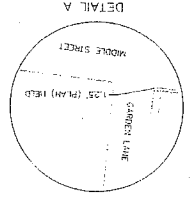
2. THE PROPERTY IS SHOWN AS LOTS 1, 2, 3 AND 4 ON THE CITY OF PORTLAND, OREGON, MAP NO. 24727, DATED FEBRUARY 14, 1923, AND RECORDED IN BOOK 124, PAGE 171.
3. THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON, THAT THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON...

GENERAL NOTES CONTINUED

4. THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON, THAT THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON...
5. THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON, THAT THE RECORD OWNER OF THIS PARCEL AND JORDAN'S MEATS HAS BEEN ADVISED BY THE CITY OF PORTLAND, OREGON...



- LEGEND**
- | | |
|--|--------------------|
| | GRANITE COBBLE |
| | BRICK |
| | CONCRETE |
| | RAILROAD |
| | CONIFEROUS TREE |
| | DECIDUOUS TREE |
| | CHAIN LINK FENCE |
| | SPOT GRADE |
| | CONTOURS |
| | CURBS |
| | GRAVEL ROAD |
| | EDGE PAVEMENT |
| | BUILDING |
| | CURBSIDE NO. C/L 1 |
| | IRON PIPE ROAD |
| | EASEMENT |
| | EASEMENT |
| | EASEMENT |
| | EASEMENT |



EXISTING CONDITIONS PLAN

28 INDIA STREET
PORTLAND, MAINE
WESTIN HOTEL AND RESIDENCES PORTLAND

DATE: 7-12-05
SCALE: 1"=20'
Dwg. Name: P1ME
Proj. No.: 05090
Checked By: J.M./P.H.
Designed By: J.M./P.H.

Sebago Technics
Engineering Excellence You Can Build On
140 State Street, Portland, ME 04102
Phone: 603-655-0277

REVISIONS

NO.	DATE	DESCRIPTION
1	7-22-05	SCHEMATIC DESIGN SUBMITTAL
2	7-22-05	SCHEMATIC DESIGN SUBMITTAL
3	7-22-05	SCHEMATIC DESIGN SUBMITTAL
4	7-22-05	SCHEMATIC DESIGN SUBMITTAL
5	7-22-05	SCHEMATIC DESIGN SUBMITTAL

STRUCTURE #	STRUCTURE TYPE	STRUCTURE	DATE	SCALE	DATE	SCALE	DATE	SCALE
1187	WATER TOWER	1187 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1188	WATER TOWER	1188 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1189	WATER TOWER	1189 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1190	WATER TOWER	1190 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1191	WATER TOWER	1191 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1192	WATER TOWER	1192 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1193	WATER TOWER	1193 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1194	WATER TOWER	1194 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1195	WATER TOWER	1195 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1196	WATER TOWER	1196 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1197	WATER TOWER	1197 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1198	WATER TOWER	1198 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1199	WATER TOWER	1199 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'
1200	WATER TOWER	1200 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'	7-12-05	1"=20'

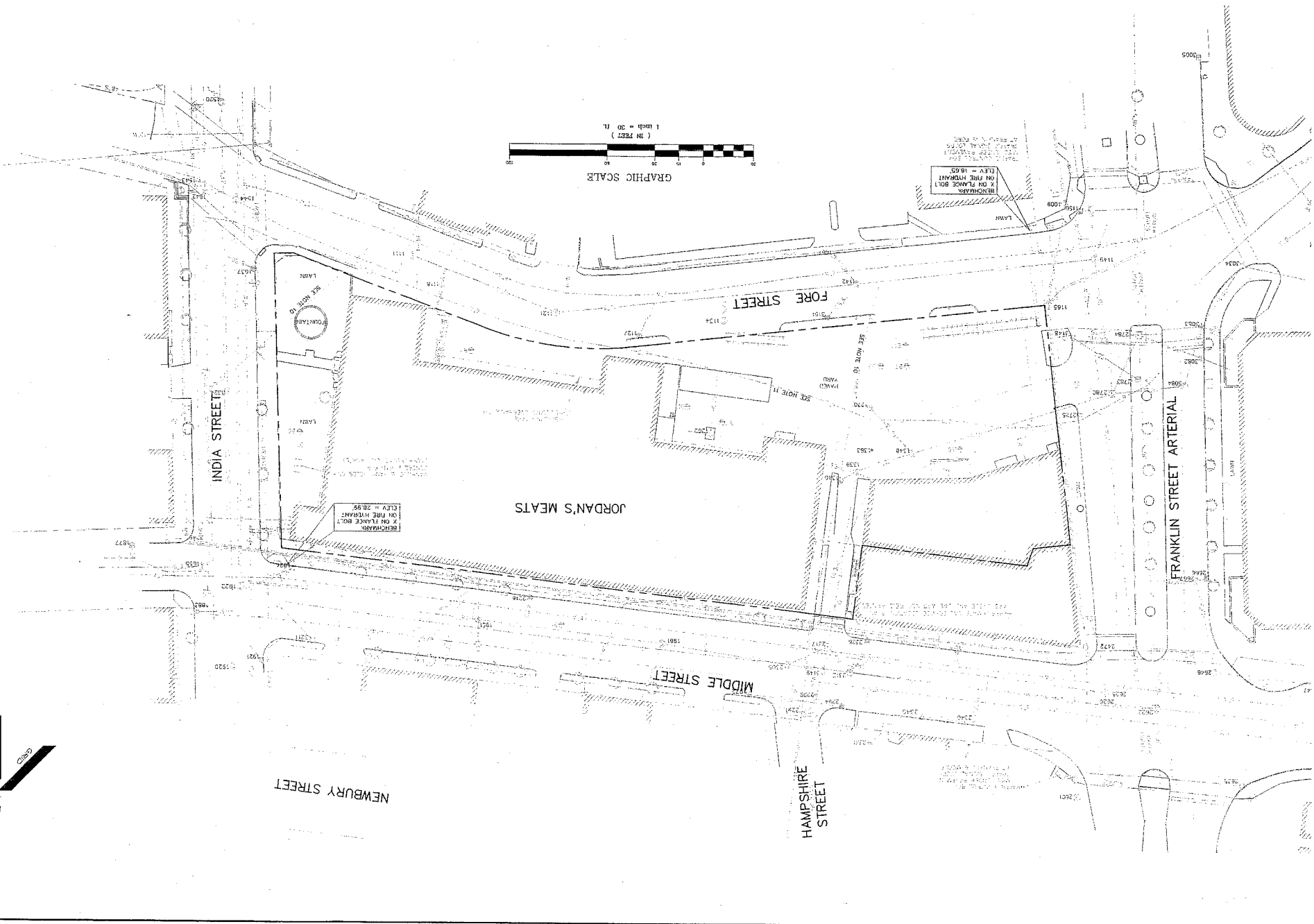
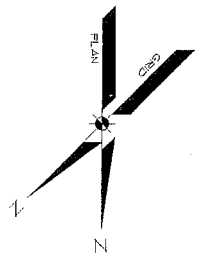
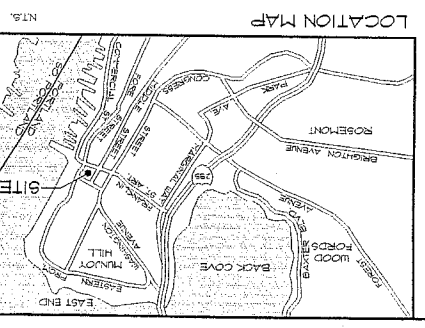
EXISTING CONDITIONS PLAN
WESTIN HOTEL AND RESIDENCES PORTLAND
 35 UNION STREET
 PORTLAND, ME 04101
PME 1 LIMITED PARTNERSHIP
 1140 RESERVUE AVENUE
 CHALSTON, RI 02820

Sebago Technics
 Engineers/Architects/Planners
 One Ocean Street
 Portland, ME 04101-1232
 Tel: (207) 888-0277

REV	DATE	DESCRIPTION
C	8-1-05	CONDITIONAL REGIONAL REVIEW LETTERING
B	7-22-05	SUBMITTED FOR PLANNING BOARD PARTNERSHIP
A	7-12-05	CONDITIONAL REGIONAL SUBMITTAL

LEGEND

DESCRIPTION	PROPOSED
PROPOSED	(Symbol)
EXISTING	(Symbol)
PROPOSED	(Symbol)
EXISTING	(Symbol)
PROPOSED	(Symbol)
EXISTING	(Symbol)



UTILITY STRUCTURE CHART

STRUCTURE #	STRUCTURE TYPE	STRUCTURE	DATE	SCALE	DATE	SCALE
1201	WATER TOWER	1201 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'
1202	WATER TOWER	1202 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'
1203	WATER TOWER	1203 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'

UTILITY STRUCTURE CHART

STRUCTURE #	STRUCTURE TYPE	STRUCTURE	DATE	SCALE	DATE	SCALE
1204	WATER TOWER	1204 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'
1205	WATER TOWER	1205 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'
1206	WATER TOWER	1206 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'

UTILITY STRUCTURE CHART

STRUCTURE #	STRUCTURE TYPE	STRUCTURE	DATE	SCALE	DATE	SCALE
1207	WATER TOWER	1207 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'
1208	WATER TOWER	1208 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'
1209	WATER TOWER	1209 TOP TANK (11.5' WATER LEVEL)	11/15/02	1"=20'	7-12-05	1"=20'

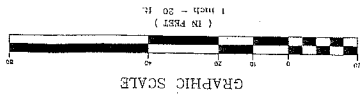
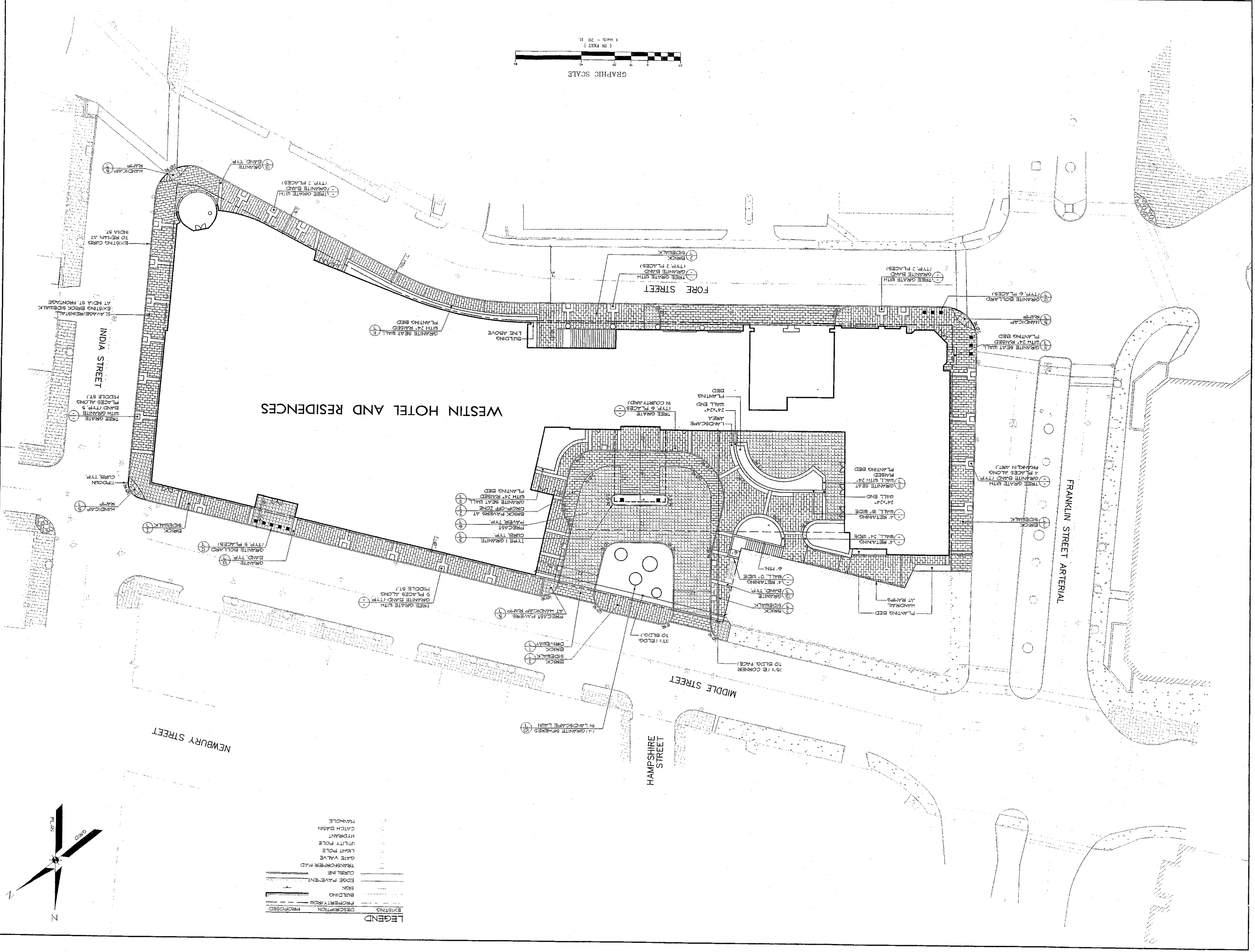
DATE	7-11-05	SCALE	1"=20'
PROJ. NO.	DWG. NAME	05090	05090S
FIELD BOOK	DESIGN BY	WTC	
CHKD BY	CHKD BY	CHFC/ED	BV
MAIL	DATE		

SITE PLAN
OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 28 BROAD STREET
 PORTLAND, MAINE
PME 1 LIMITED PARTNERSHIP
 1140 RESERVUAR AVENUE
 ORANSTON, RI 02920

Sebago Technics
 Registered Professional Engineer
 One Seabrook Road
 Westbrook, ME 04092-1139
 Tel: (207) 886-8277

REV.	DATE	STATUS	DESCRIPTION
A	7-12-05	CONDITIONAL	RE-ZONING SUBMITTAL
B	7-12-05	CONDITIONAL	RE-ZONING SUBMITTAL
C	8-3-05	CONTRIBUTORIAL	PUBLIC HEARING
D	8-11-05	FINAL	FINAL PLAN

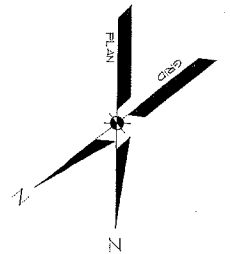
THIS PLAN SHALL NOT BE LOCATED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



WESTIN HOTEL AND RESIDENCES

LEGEND

---	EXISTING
- - - -	PROPOSED
---	PROPERTY ROW
---	BUILDING
---	SIGN
---	EDGE PAVEMENT
---	CURBLINE
---	TRANSFER P.D.
---	LIGHT POLE
---	UTILITY POLE
---	HYDRANT
---	CATCH BASIN
---	MANHOLE



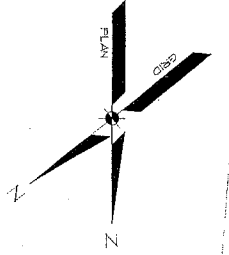
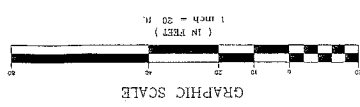
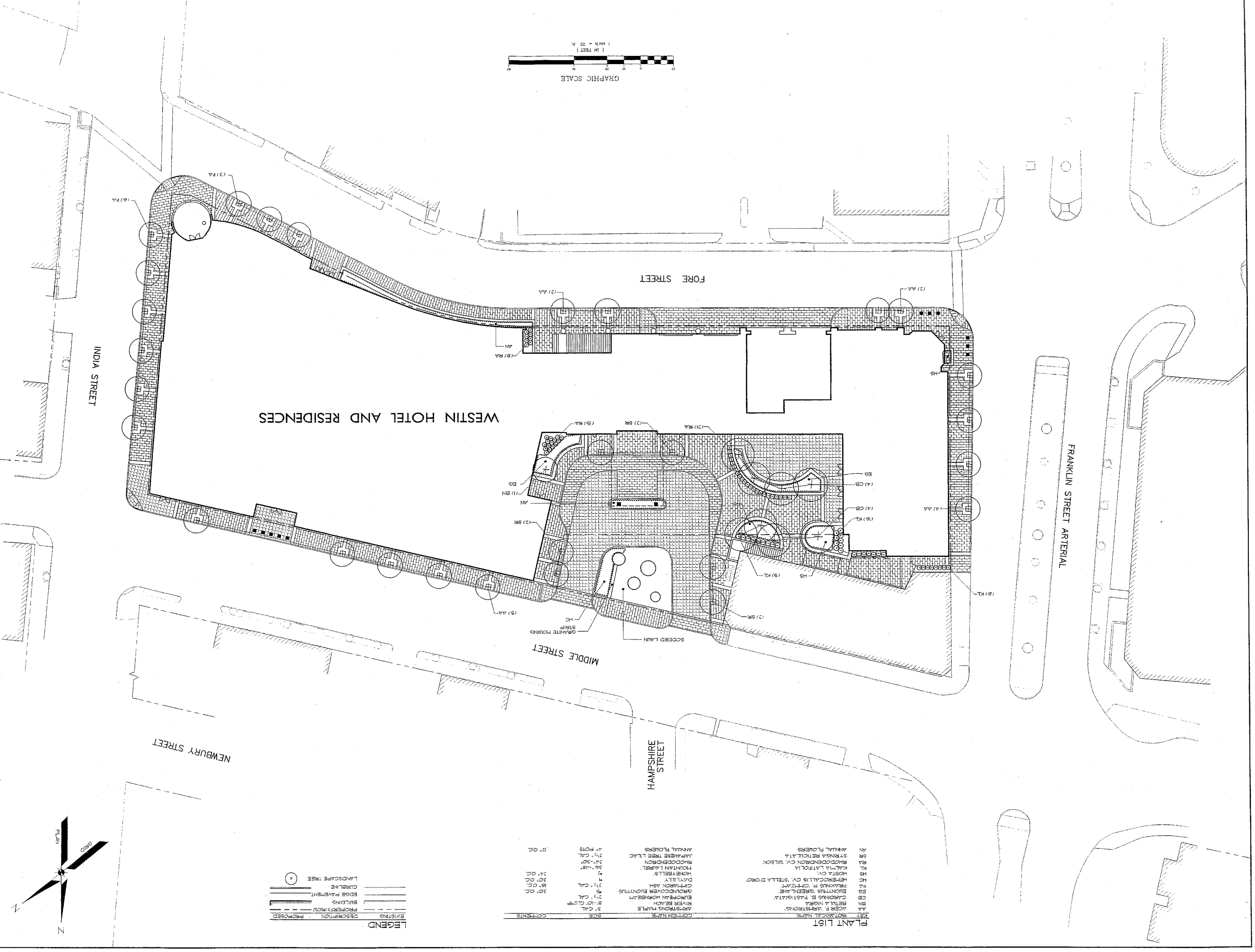
DATE	SCALE
7-12-05	1"=20'
PHO. NO.	DWG. NAME
05090	05090L
FIELD BOOK	DESIGN BY
WTC	WTC
DRAWN BY	CHECKED BY
WTC	WTC
FCL	WTC

LANDSCAPE PLAN
WESTIN HOTEL AND RESIDENCES PORTLAND
 PORTLAND, OREGON
 FOR: **PME 1 LIMITED PARTNERSHIP**
 1140 RESERVOIR AVENUE
 CRAWFORD, IN 47929

Sebago Technics
 Engineering Engineers You Can Build On
 One Ocean Street
 Portland, Oregon 97204
 Tel (503) 858-0277

REV.	DATE	STATUS
0	8-3-05	CONDITIONAL BEFORE PERMITS BEING OBTAINED
1	7-27-05	REVISION FOR PERMITS BOARD WORKSHOP
2	8-3-05	FINAL REVISION SUBMITTED

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

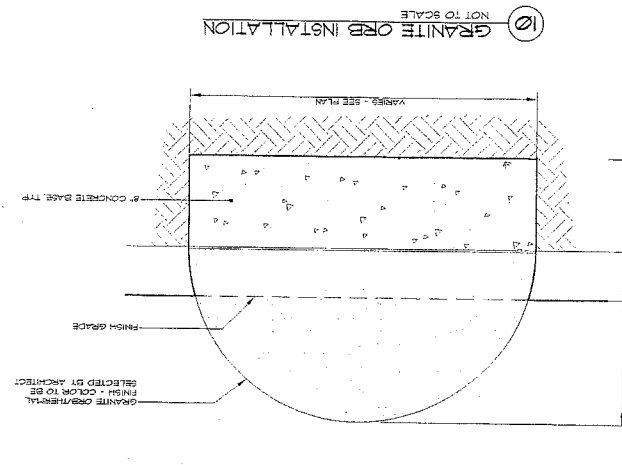
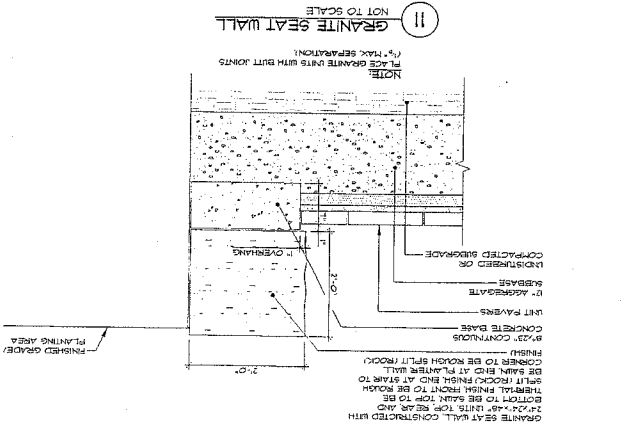
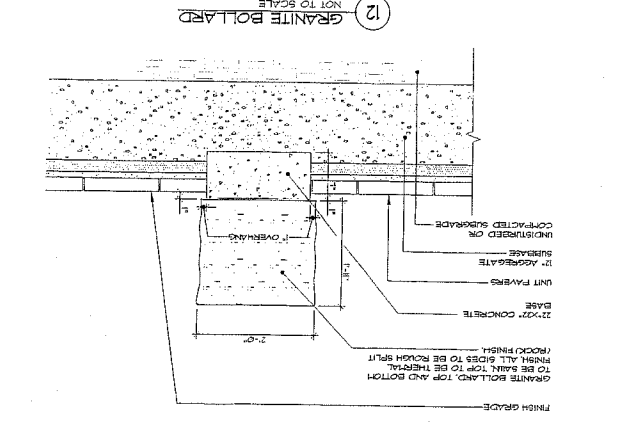
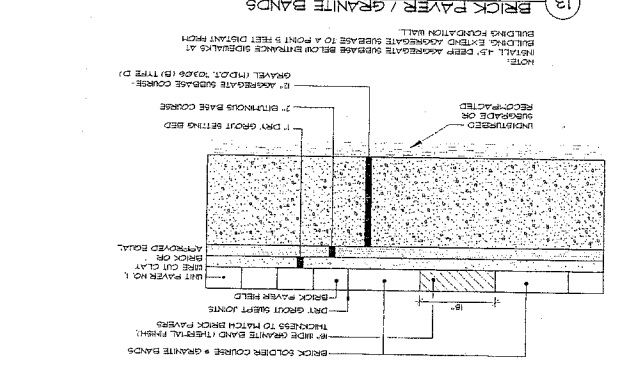
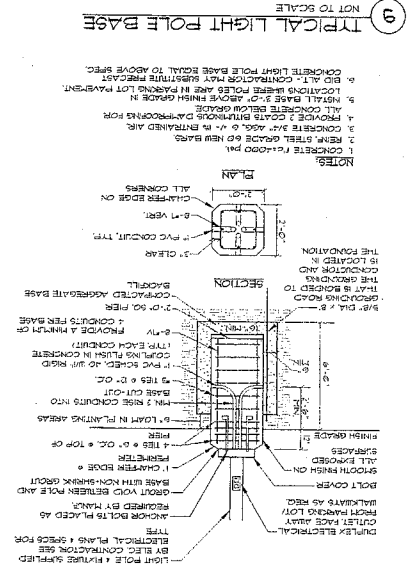
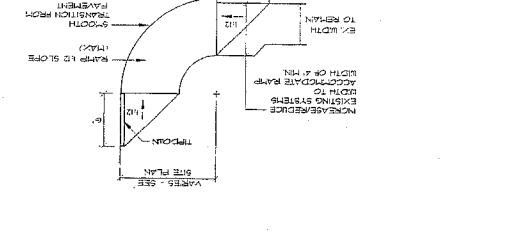
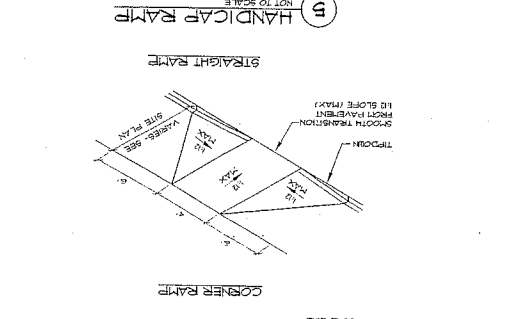
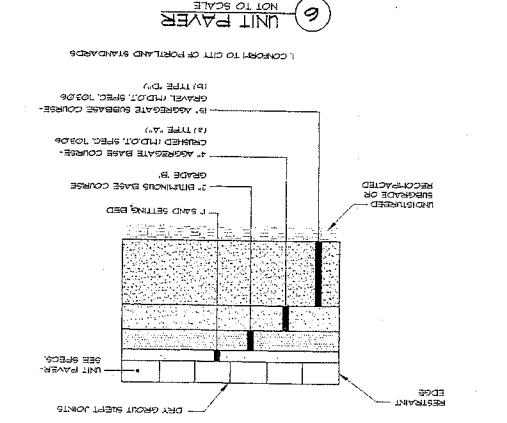
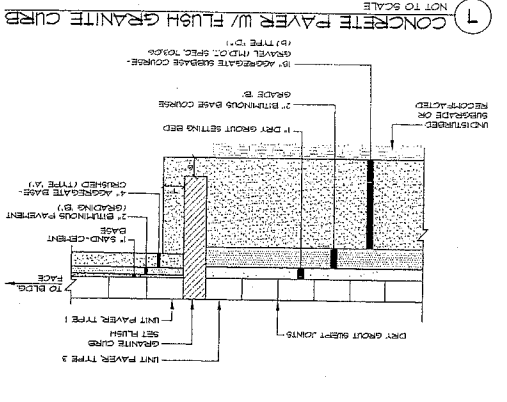
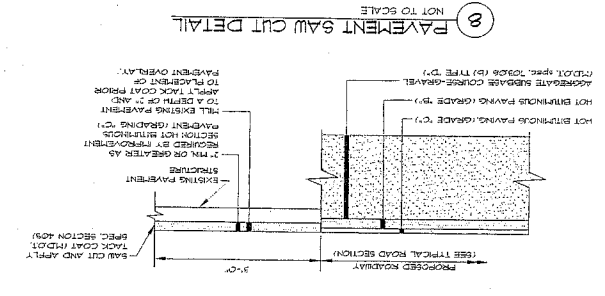
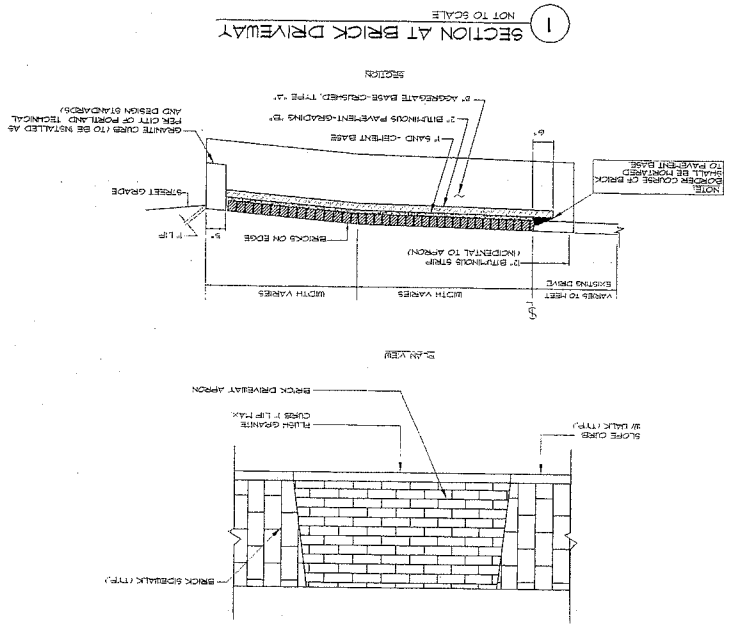
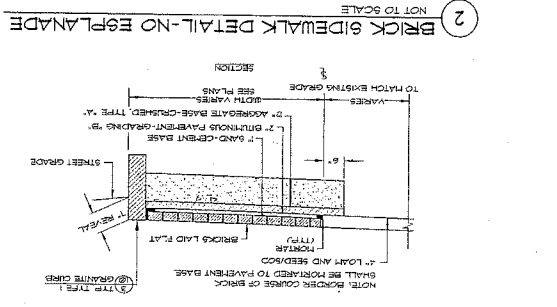
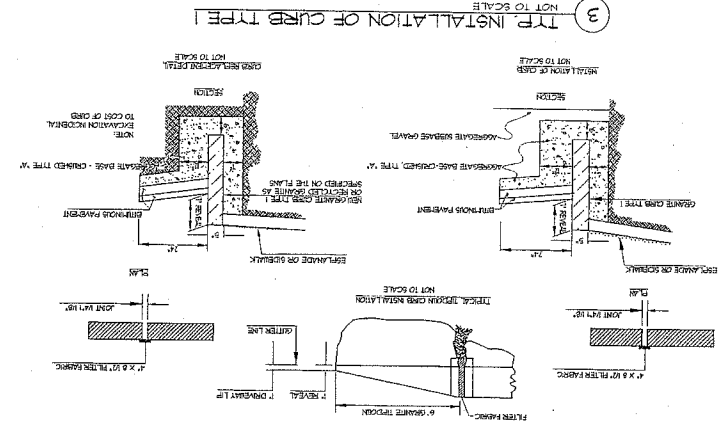
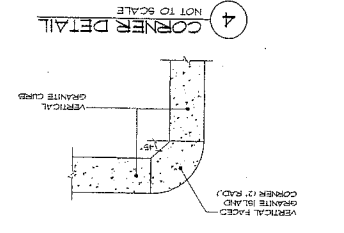


LEGEND

---	EXISTING
---	PROPOSED
---	PROPERTY ROW
---	BUILDING
---	EDGE PAVEMENT
---	CURBLINE
---	LANDSCAPE TREES

PLANT LIST

SYM.	POTENTIAL NAME	SIZE	CONTENTS
AA	ACER F. VARSIGONIA	3" CAL.	10' CLUMP
BA	BETULA NIGRA	3" CAL.	10' CLUMP
CB	CAROLINUS B. FRAGRANT	3" CAL.	10' CLUMP
EB	ERICACEAE	3" CAL.	10' CLUMP
FA	FRAXINUS P. CUNEATA	3" CAL.	10' CLUMP
GA	GEOCARPUS	3" CAL.	10' CLUMP
HA	HEDERA	3" CAL.	10' CLUMP
IA	IRIS	3" CAL.	10' CLUMP
JA	JAPANESE	3" CAL.	10' CLUMP
KA	KALIMERIS	3" CAL.	10' CLUMP
LA	LARIX	3" CAL.	10' CLUMP
MA	MALVA	3" CAL.	10' CLUMP
NA	NANDINA	3" CAL.	10' CLUMP
OA	ORNITHOGALUM	3" CAL.	10' CLUMP
PA	PANICUM	3" CAL.	10' CLUMP
QA	QUERCUS	3" CAL.	10' CLUMP
RA	RIBES	3" CAL.	10' CLUMP
SA	SALIX	3" CAL.	10' CLUMP
TA	TAXUS	3" CAL.	10' CLUMP
UA	ULMUS	3" CAL.	10' CLUMP
VA	VIBURNUM	3" CAL.	10' CLUMP
WA	WALNUT	3" CAL.	10' CLUMP
XA	XANTOXYPHYLLIS	3" CAL.	10' CLUMP
YA	YUCCA	3" CAL.	10' CLUMP
ZA	ZONARIS	3" CAL.	10' CLUMP



DATE	SCALE
7-12-05	AS SHOWN
PROJ. NO.	DWG. NAME
000090	000090
FIELD BOOK	DESIGN BY
WTC	
DRAWN BY	CHECKED BY
DLR	

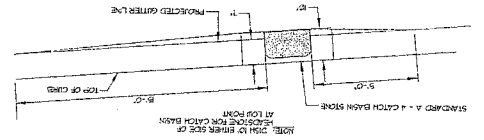
DETAILS
 WESTIN HOTEL AND RESIDENCES PORTLAND
 330 N. W. 5TH STREET
 PORTLAND, OREGON
 PAVE 1 LIMITED PARTNERSHIP
 11407 COLUMBIAN AVENUE
 PORTLAND, OR 97202

Sebago Technics
 Engineering Engineers You Can Build On
 11407 COLUMBIAN AVENUE
 PORTLAND, OR 97202
 TEL (503) 856-0277

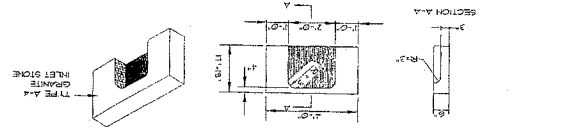
NO.	DATE	DESCRIPTION
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2	7-12-05	REVISED PER PERMITS
3	7-12-05	REVISED PER PERMITS
4	7-12-05	REVISED PER PERMITS
5	7-12-05	REVISED PER PERMITS
6	7-12-05	REVISED PER PERMITS
7	7-12-05	REVISED PER PERMITS
8	7-12-05	REVISED PER PERMITS
9	7-12-05	REVISED PER PERMITS
10	7-12-05	REVISED PER PERMITS
11	7-12-05	REVISED PER PERMITS
12	7-12-05	REVISED PER PERMITS
13	7-12-05	REVISED PER PERMITS

NO.	DATE	DESCRIPTION
1	7-12-05	ISSUED FOR PERMITS
2	7-12-05	REVISED PER PERMITS
3	7-12-05	REVISED PER PERMITS
4	7-12-05	REVISED PER PERMITS
5	7-12-05	REVISED PER PERMITS
6	7-12-05	REVISED PER PERMITS
7	7-12-05	REVISED PER PERMITS
8	7-12-05	REVISED PER PERMITS
9	7-12-05	REVISED PER PERMITS
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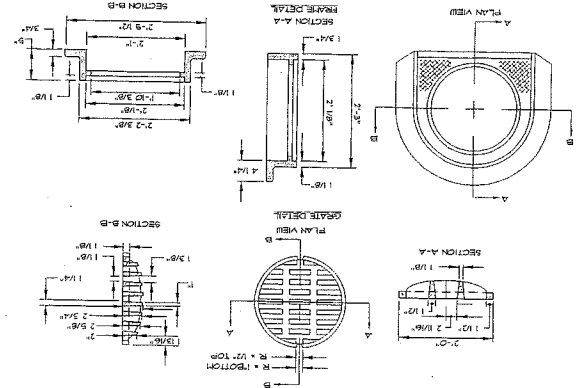
4 TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET



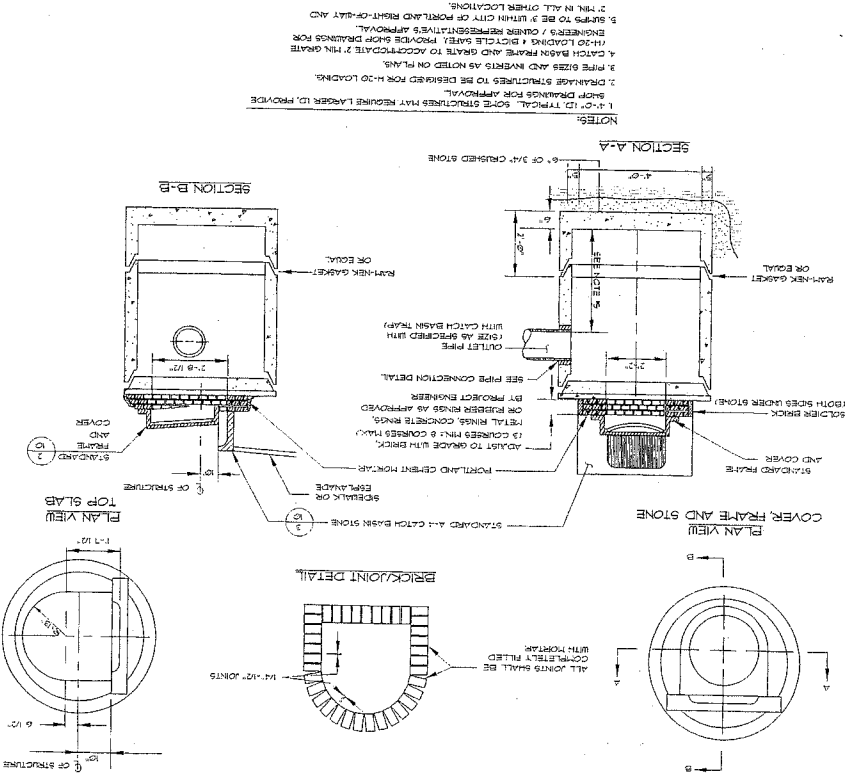
3 TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL



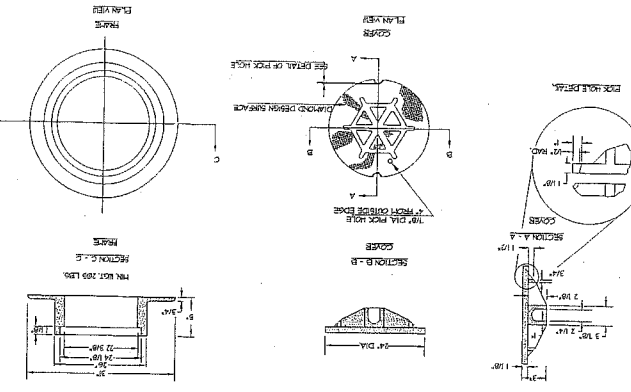
2 CATCH BASIN TYPE 'D'-FRAME & COVER DETAIL



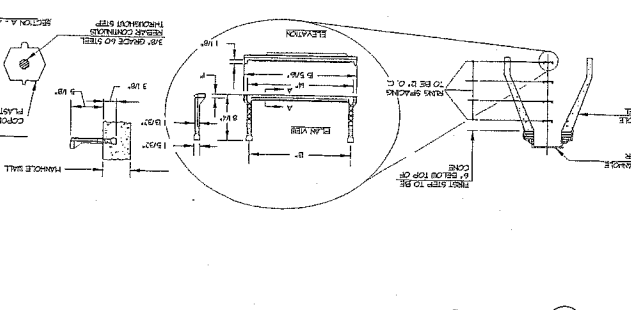
1 PRECAST CONCRETE CATCH BASIN - TYPE 'E'



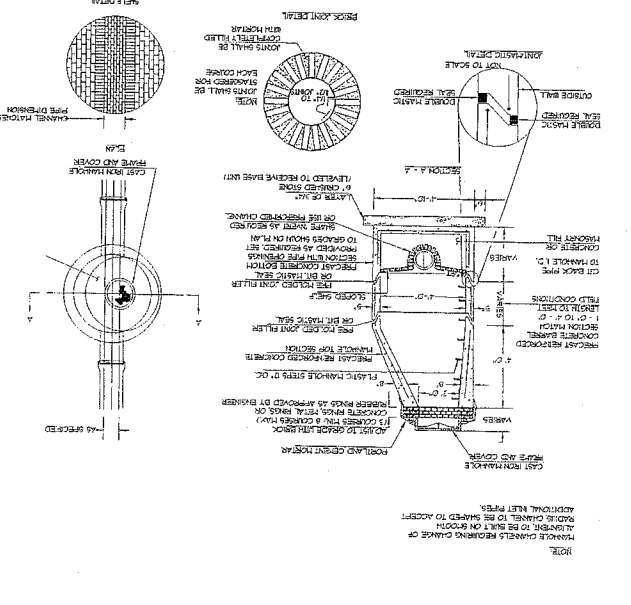
7 TYPE 'A' CAST IRON MANHOLE COVER AND FRAME



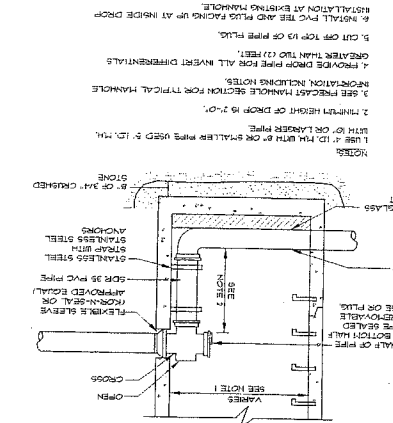
6 PLASTIC MANHOLE STEPS



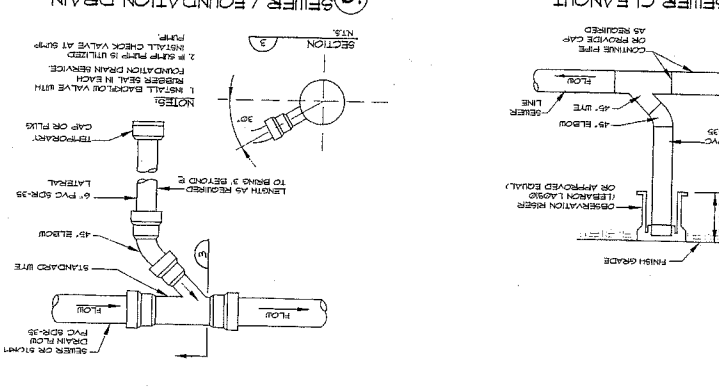
5 PRECAST CONCRETE MANHOLE TYPE 'A'



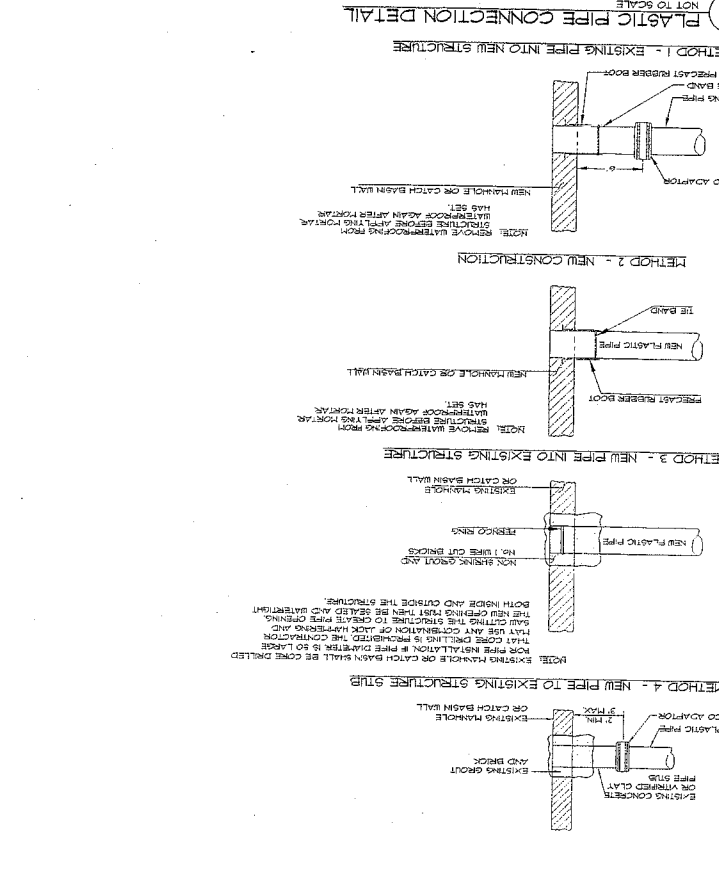
11 TYPICAL PRECAST DROP MANHOLE



9 SEWER CLEANOUT



8 PLASTIC PIPE CONNECTION DETAIL



DATE	SCALE
7-12-05	AS SHOWN
PROJECT NO.	050900
DESIGN BY	050900
FIELD BOOK	
WTC	
BY	
CHKD BY	
DATE	

DETAILS
WESTIN HOTEL AND RESIDENCES PORTLAND
 PORTLAND, OREGON
PME 1 LIMITED PARTNERSHIP
 1140 RESERVOR AVENUE
 CLAVESVILLE, IN 47520

Sebago Technics
 Equipment Specialist
 4400 West 12th Street
 Vancouver, WA 98664
 (509) 586-2277

NO.	REV.	DATE	BY	CHKD.	DESCRIPTION
1		7-12-05	WMC	DJR	CONSTRUCTION DRAWING
2		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
3		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
4		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
5		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
6		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
7		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
8		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
9		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP
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11		7-12-05	WMC	DJR	REVISED FOR PERMANENT BOARD WORKSHOP



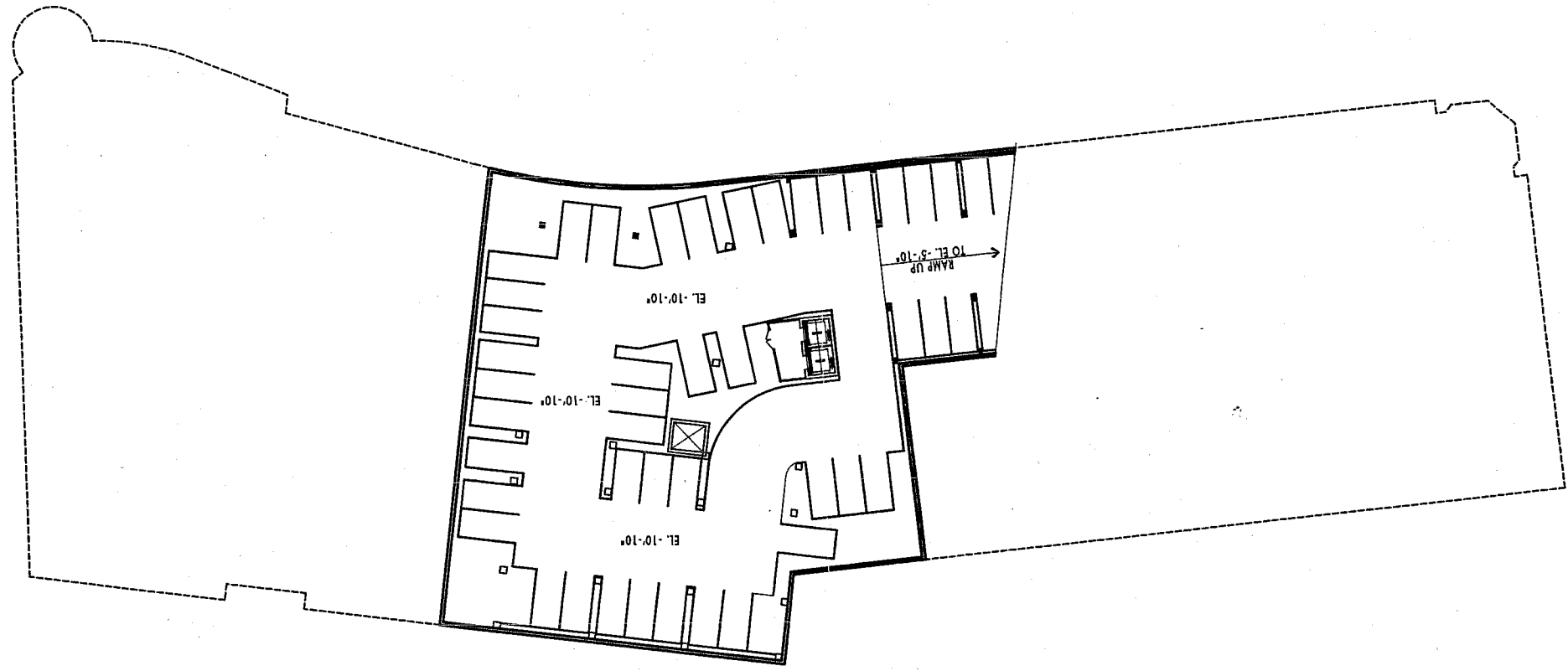
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

PARKING LEVEL 1
1"=50'-0"

11.30.2005

P1



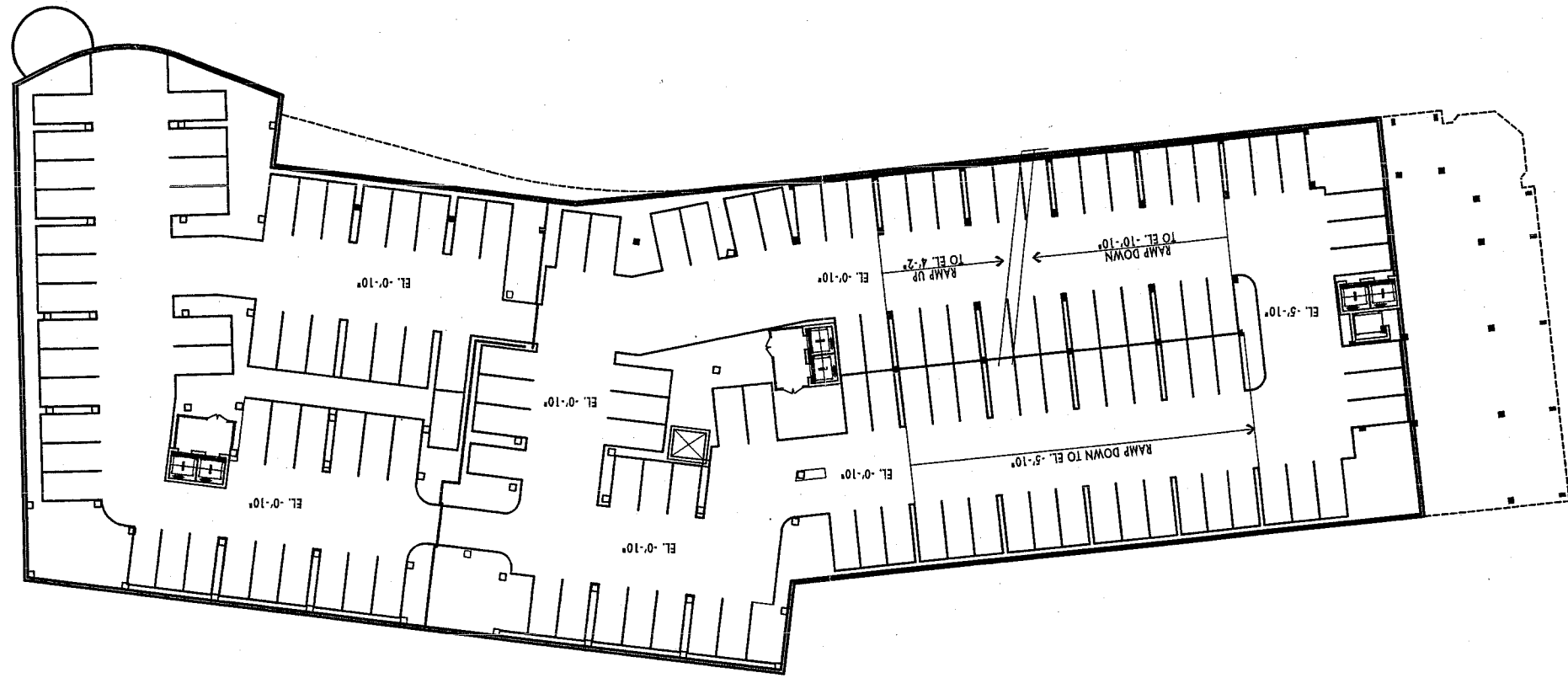
11.30.2005

P2

1"=50'-0"
PARKING LEVEL 2

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS





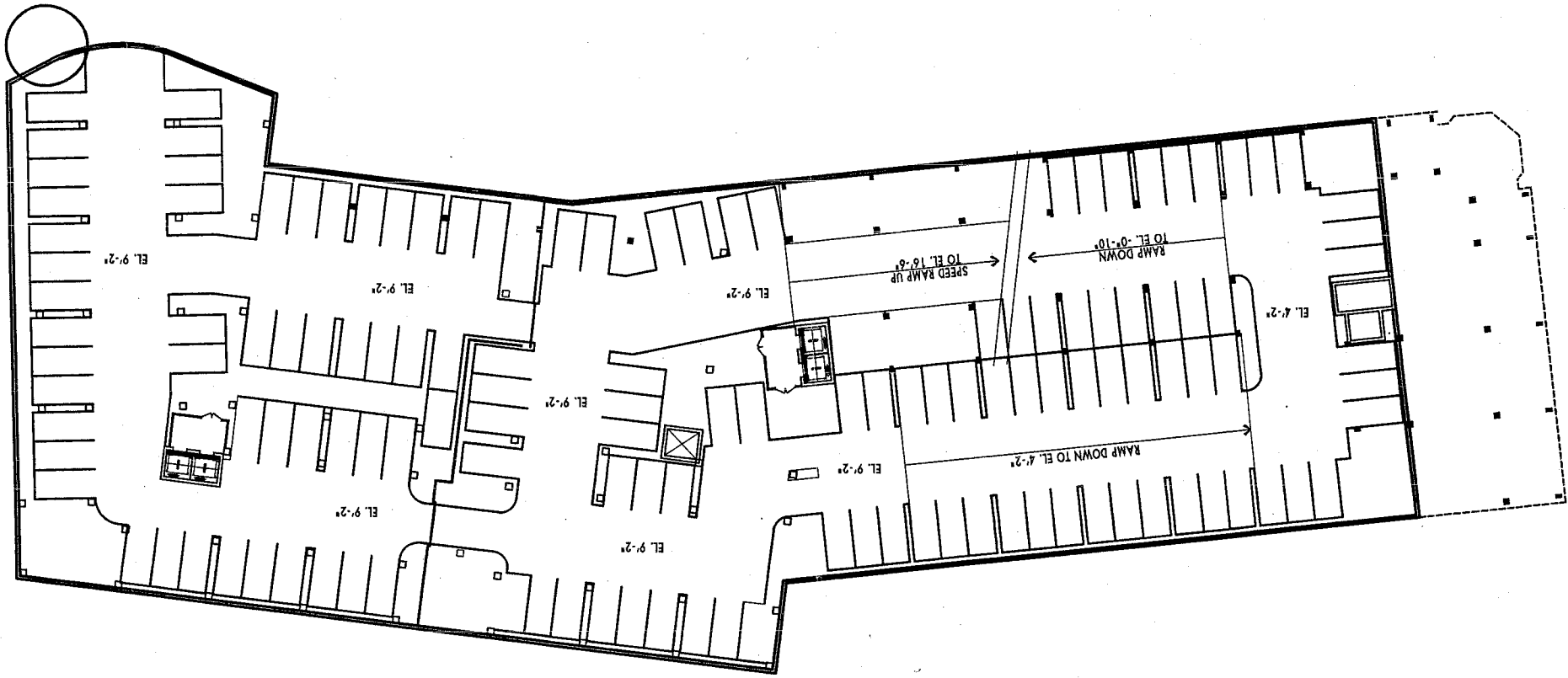
COOPER CARRY

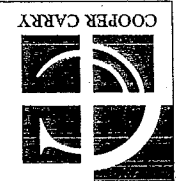
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1"=50'-0"
PARKING LEVEL 3

11.30.2005
P3





WINTON SCOTT
ARCHITECTS

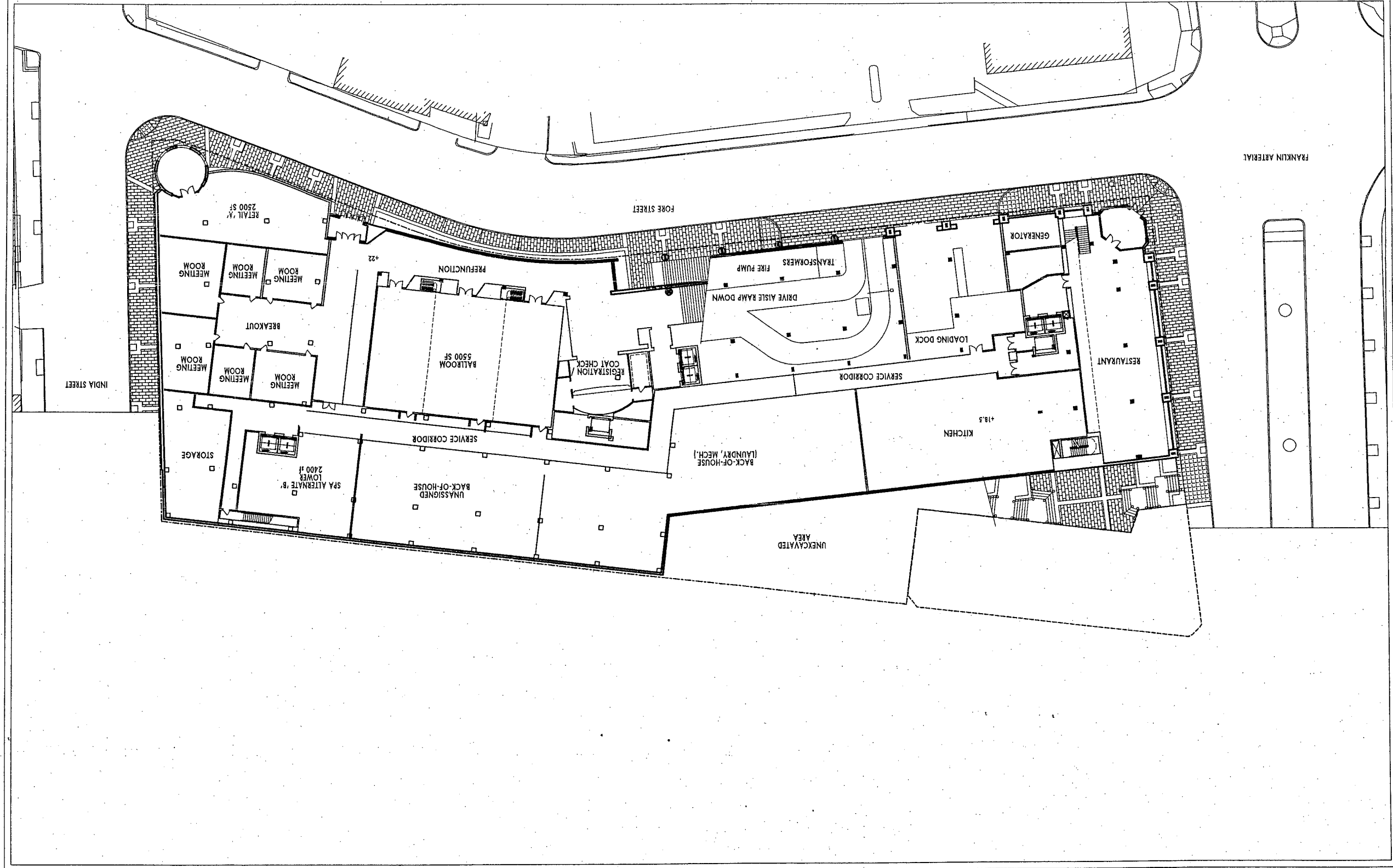
Portland, Maine

WESTIN HOTEL and RESIDENCES PORTLAND

1"=50'-0"

11.30.2005

RESTAURANT ENTRY LEVEL



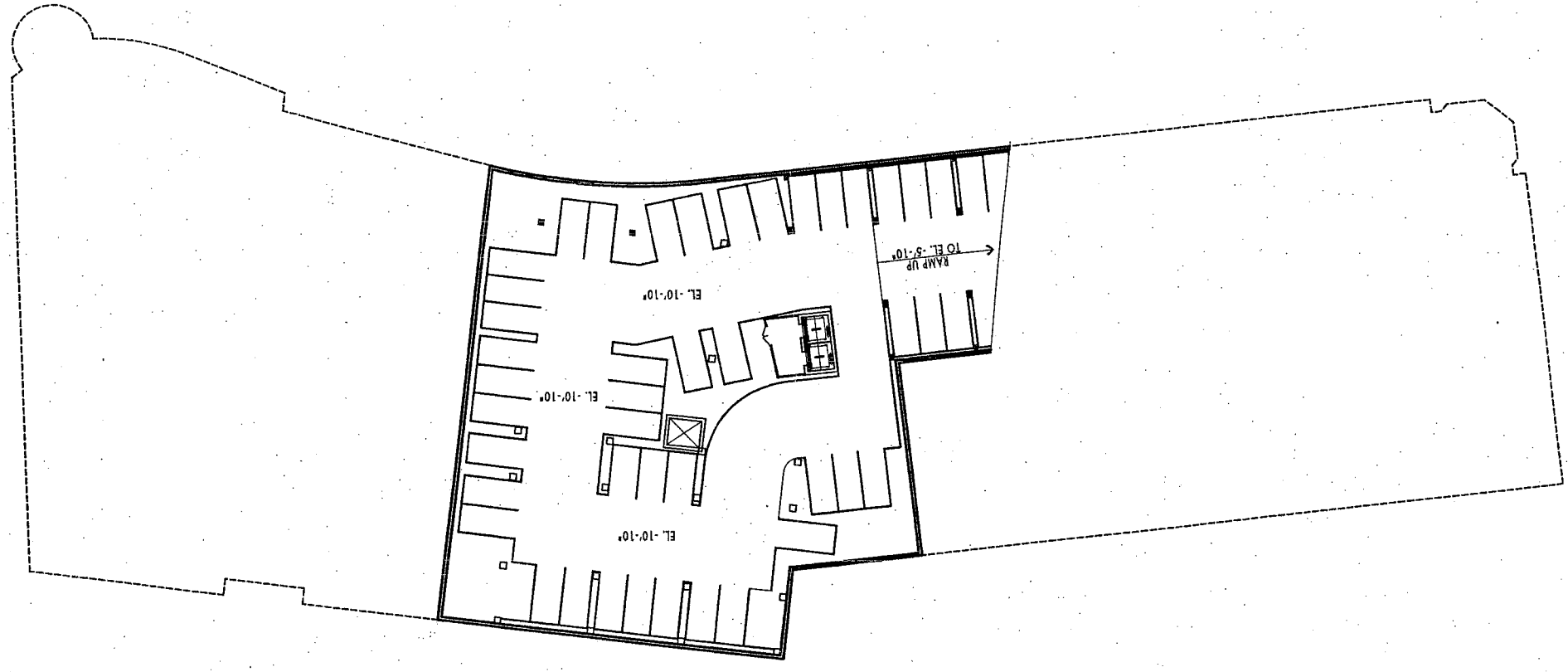


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

PARKING LEVEL 1
1"=50'-0"

11.30.2005
P1



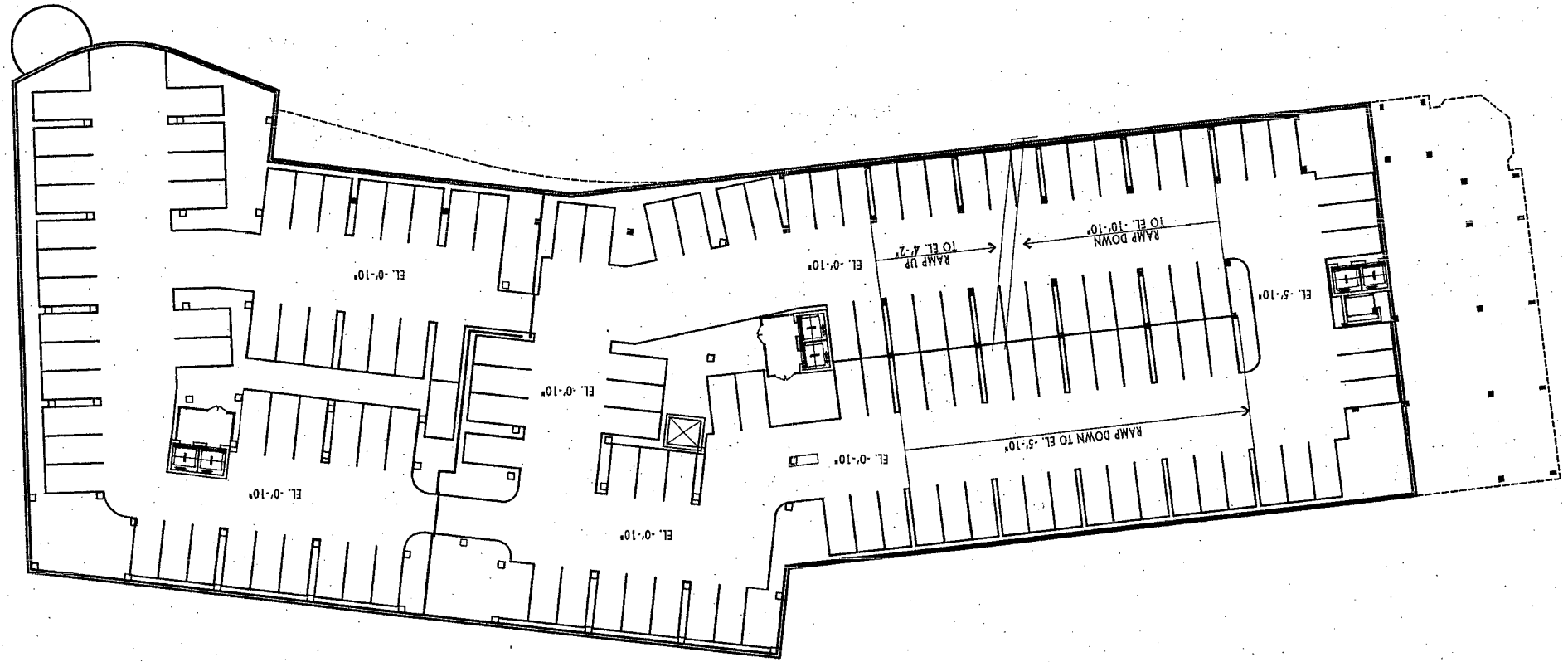
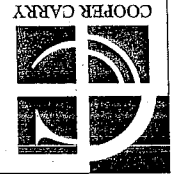
11.30.2005

P2

PARKING LEVEL 2
1"=50'-0"

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS





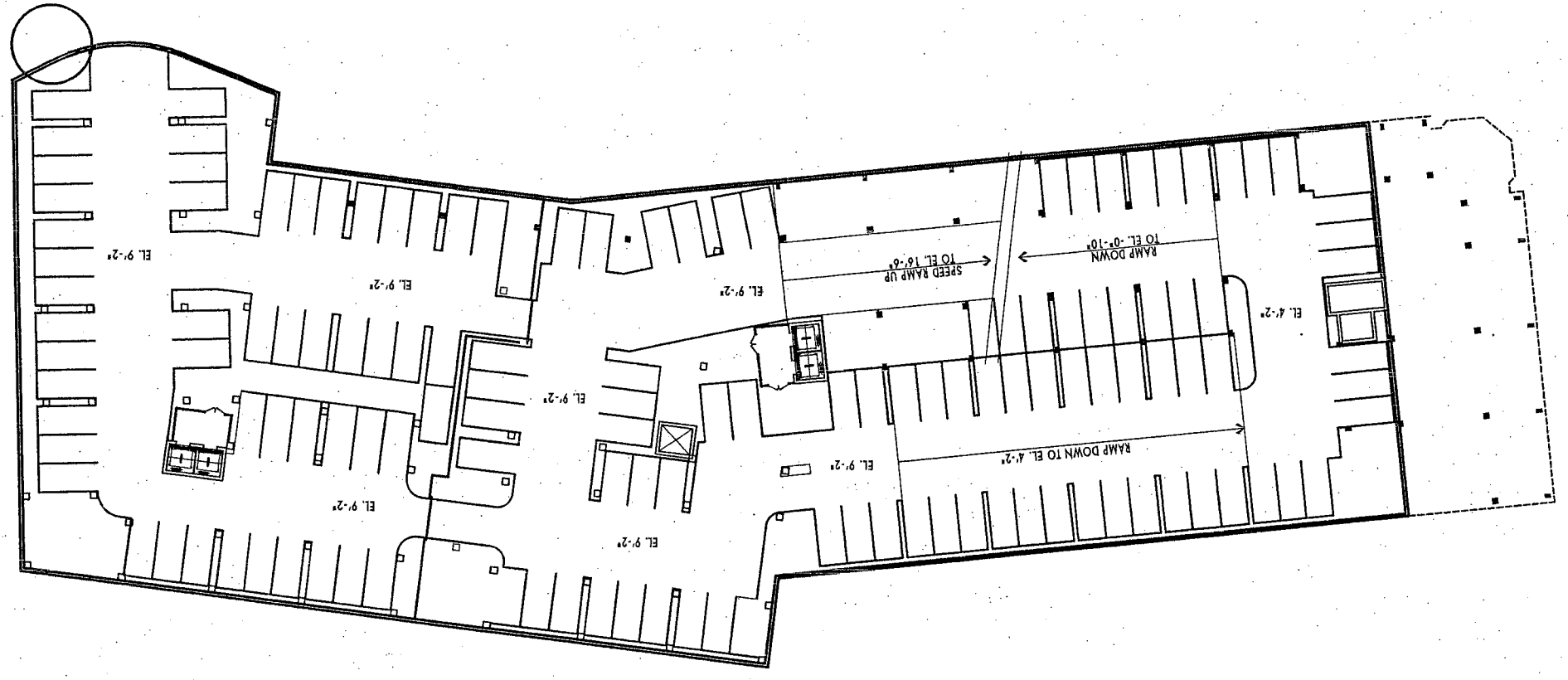
WINTON SCOTT
ARCHITECTS

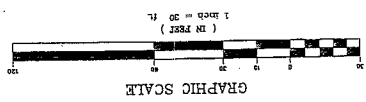
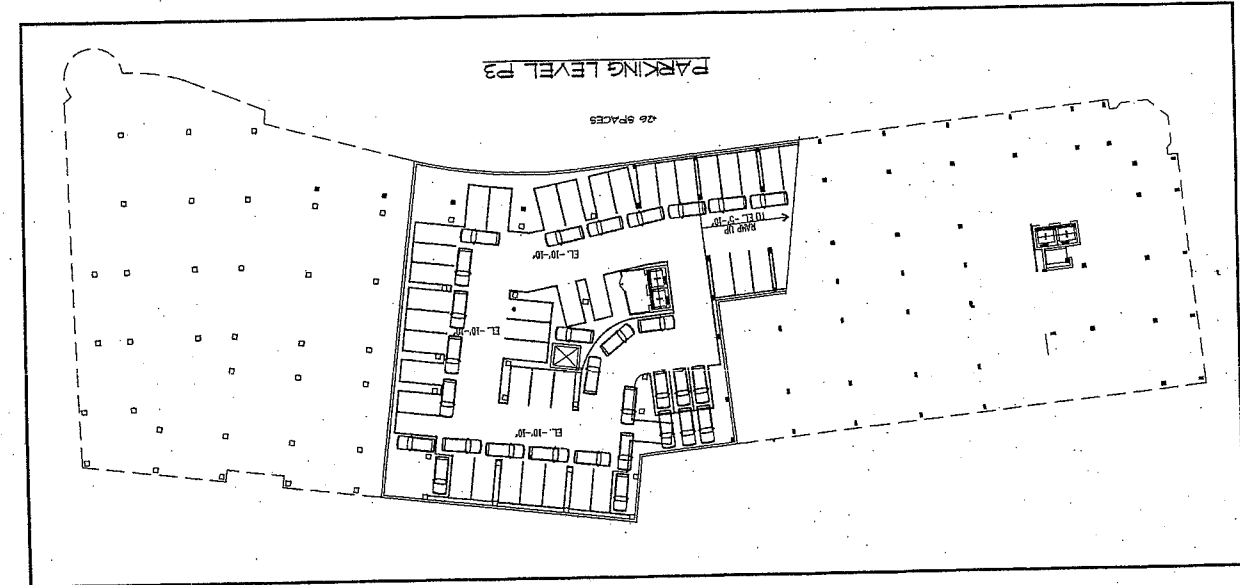
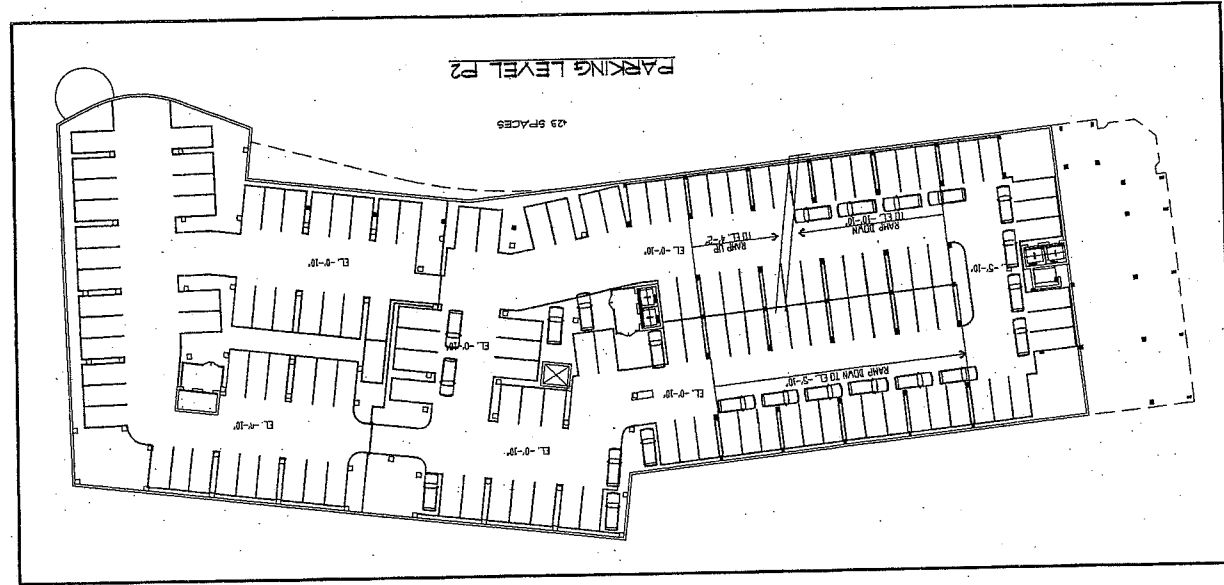
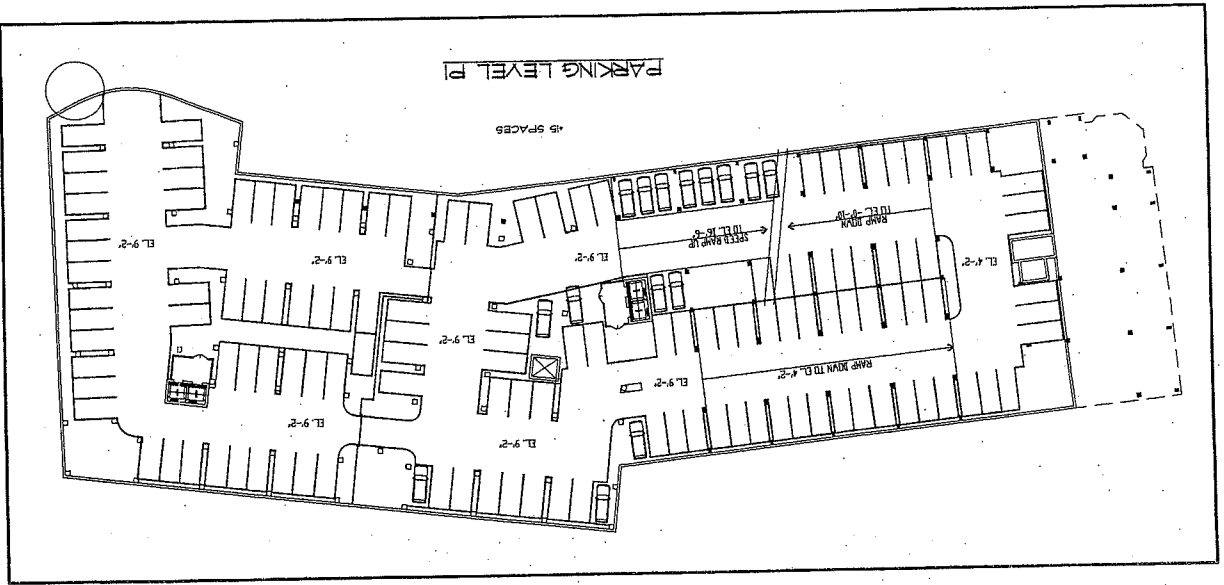
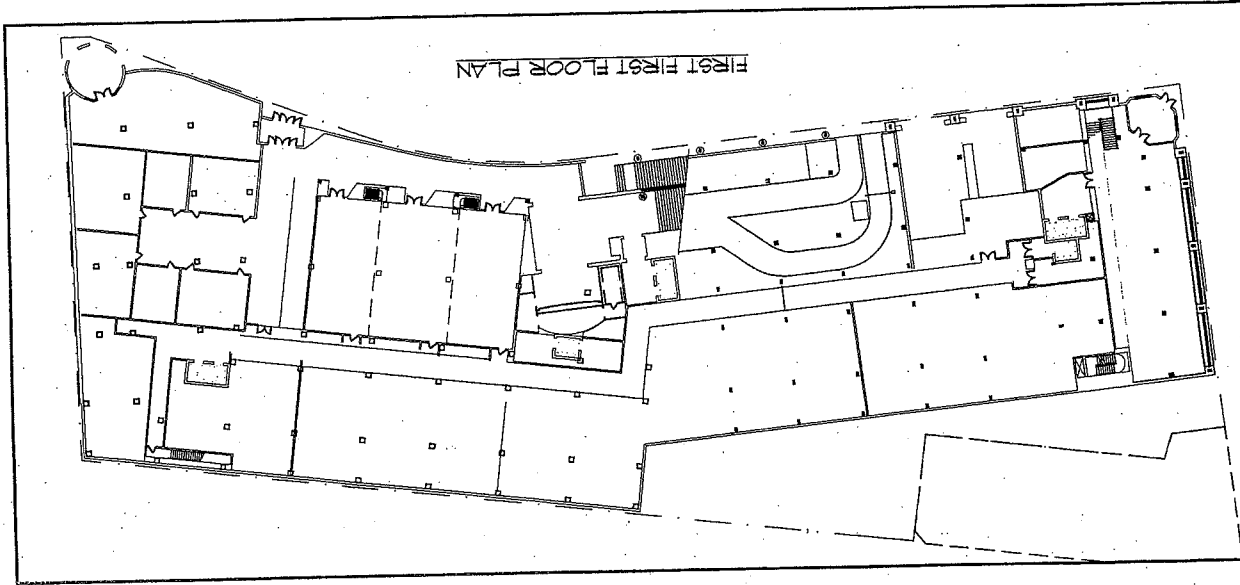
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

PARKING LEVEL 3
1"=50'-0"

11.30.2005

P3





SHEET 1 OF 1

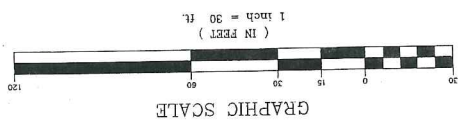
DATE	7-12-05
SCALE	1"=20'
PROJ. NO.	050905
DESIGN BY	DJR
CHECKED BY	DJR
DRAWN BY	MTM

VALET PARKING STUDY
WESTIN HOTEL AND RESIDENCES PORTLAND
 1000 MARKET STREET
 PORTLAND, MAINE
 FOR: **PME 1 LIMITED PARTNERSHIP**
 1000 MARKET STREET
 PORTLAND, MAINE 04259

Sebago Technics
 Engineering Experts You Can Build On
 One Grand Street
 Portland, ME 04101
 Tel: (207) 866-0777

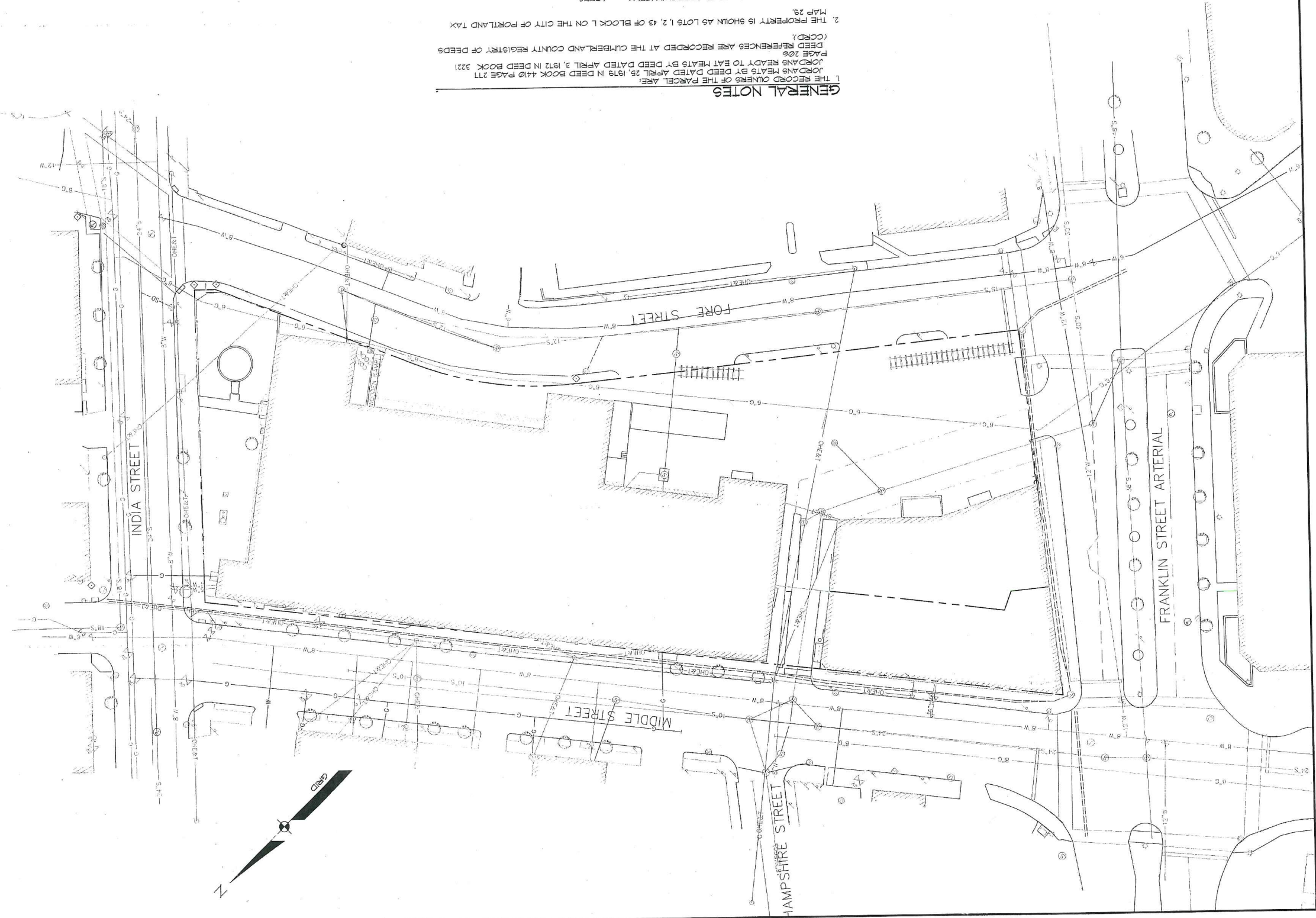
REV.	DATE	STATUS
F	12-8-05	SUBMITTED FOR SITE PLAN REVIEW
E	10-25-05	SUBMITTED FOR MOU REVIEW
D	8-30-05	SUBMITTED FOR MOU REVIEW
C	8-3-05	GRAND OPENING FOR PLANNING BOARD WORKSHOP
B	7-12-05	CONDITIONAL REZONING SUBMITTAL
A		

BY: [Signature]
 DATE: [Signature]
 THIS PLAN SHALL NOT BE LOANED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



GENERAL NOTES

1. THE RECORD OWNERS OF THE PARCEL ARE JORDAN MEATS BY DEED DATED APRIL 25, 1972 IN DEED BOOK 410 PAGE 271 JORDAN MEATS BY DEED DATED APRIL 3, 1972 IN DEED BOOK 221 PAGE 206 DEED REFERENCES ARE RECORDED AT THE CLIMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. THE PROPERTY IS SHOWN AS LOTS 1, 2, & 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY ---- ACRES.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY BY SEBAGO TECHNIQS, INC. PERFORMED IN APRIL OF 2025.
5. A LAND TITLE SURVEY FOR JORDAN'S MEATS, BY TITCOMB ASSOCIATES, DATED FEBRUARY 2, 1990 AND LAST REVISED JULY 16, 1998.
6. THE BEARINGS, COORDINATE, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD88 IN US FEET.



LEGEND

DESCRIPTION	PROPOSED	EXISTING
PROPERTY ROW	---	---
SETBACK	---	---
EASEMENT	---	---
CENTRALINE	---	---
TONTMENT	---	---
IRON PIPE/ROD	---	---
DRILLHOLE	---	---
CURVE/LINE NO.	---	---
BUILDING	---	---
9'GN	---	---
EDGE PAVEMENT	---	---
GRAVEL ROAD	---	---
CURBLINE	---	---
TEST PIT	---	---
MONITORING WELL	---	---
BORING	---	---
CONTOURS	---	---
GAS	---	---
WATER	---	---
SEWER	---	---
STORM DRAIN	---	---
FORCE MAIN	---	---
UNDERDRAIN	---	---
OVERHEAD	---	---
ELEC. & TEL.	---	---
UNDERGROUND	---	---
ELEC. & TEL.	---	---
TRANSFORMER PAD	---	---
GATE VALVE	---	---
UTILITY POLE	---	---
HYDRANT	---	---
CATCH BASIN	---	---
MANHOLE	---	---
SPOT GRADE	---	---
CHAIN LINK FENCE	---	---
BARB WIRE FENCE	---	---
STOCKADE FENCE	---	---
DECIDUOUS TREE	---	---
CONIFEROUS TREE	---	---
RAILROAD	---	---
ZONE LINE	---	---
BENCHMARK	---	---
SURVEY CONTROL	---	---

ALTA/ACSM LAND TITLE SURVEY
OF: JORDAN'S MEAT PROPERTY
 FORE ST. INDIA ST. MIDDLE ST. FRANKLIN ST. ARTERIAL
 PORTLAND, MAINE
FOR: PME 1 LIMITED PARTNERSHIP
 197 FIRST AVENUE, SUITE 110
 NEEDHAM, MA 02494

Sebago Technics
 Engineering Experts You Can Build On
 One Ocean Street - 1339
 Portland, ME 04101
 Tel: (207) 968-0277

PROJECT NO: FIELD BOOK: DESIGN: CHKD: DRAWN:
 050906C

LOCATION MAP

NTS

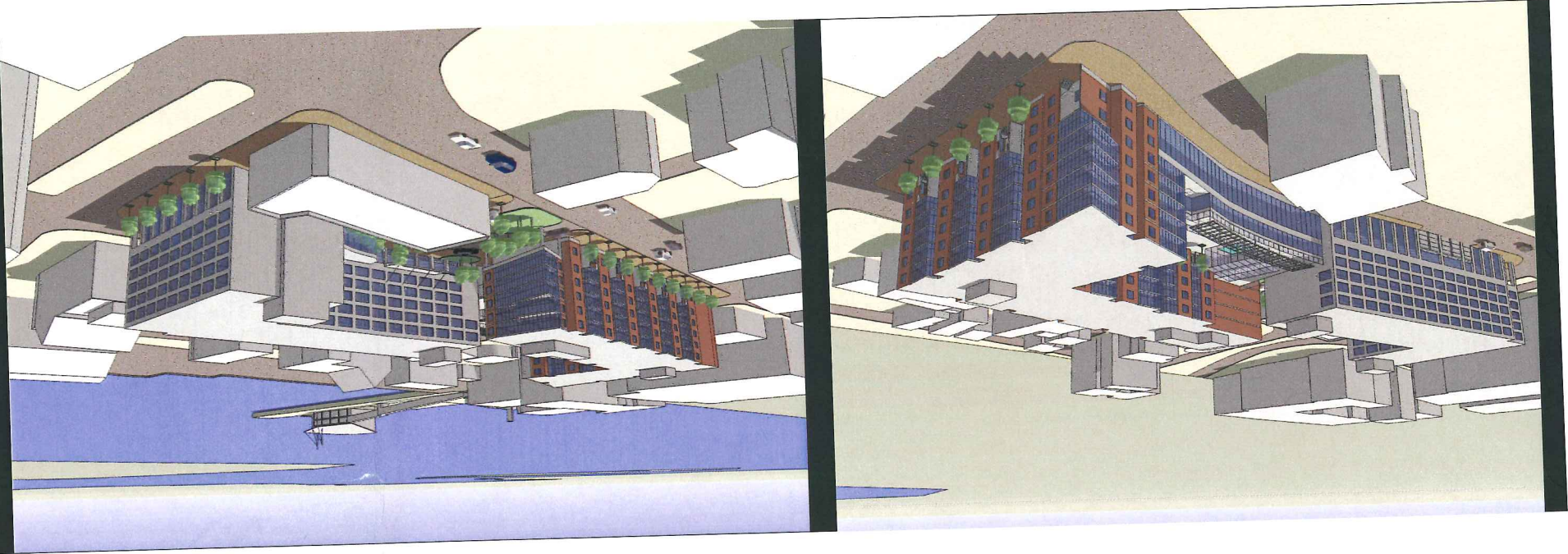
REV.	BY	DATE	STATUS

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

SHEET 1 OF 1

DATE	SCALE
4/18/05	1" = 30'

050906C



**WESTIN HOTEL
and RESIDENCES**
City of Portland Planning Board Submission
5/5/05

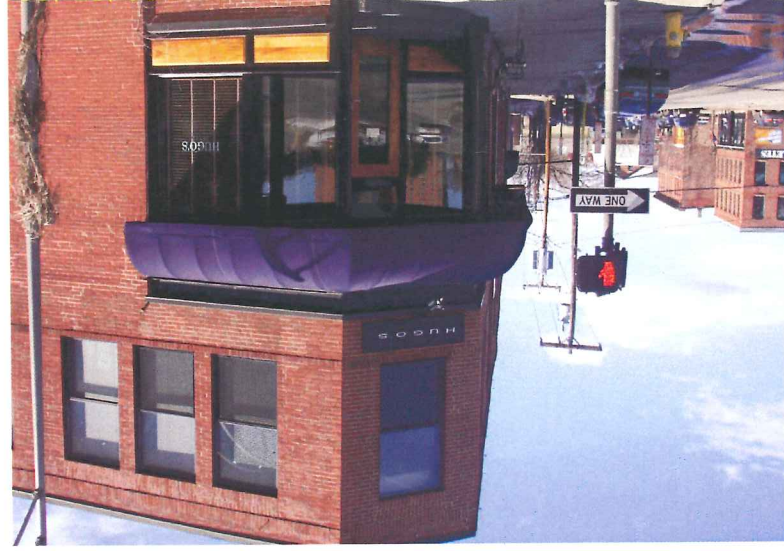
WESTIN HOTEL and RESIDENCES | Portland, Maine
Developer | PME 1 Limited Partnership
Planning and Design | Cooper Carry Architects | Winton Scott Architects • Sebago Technics

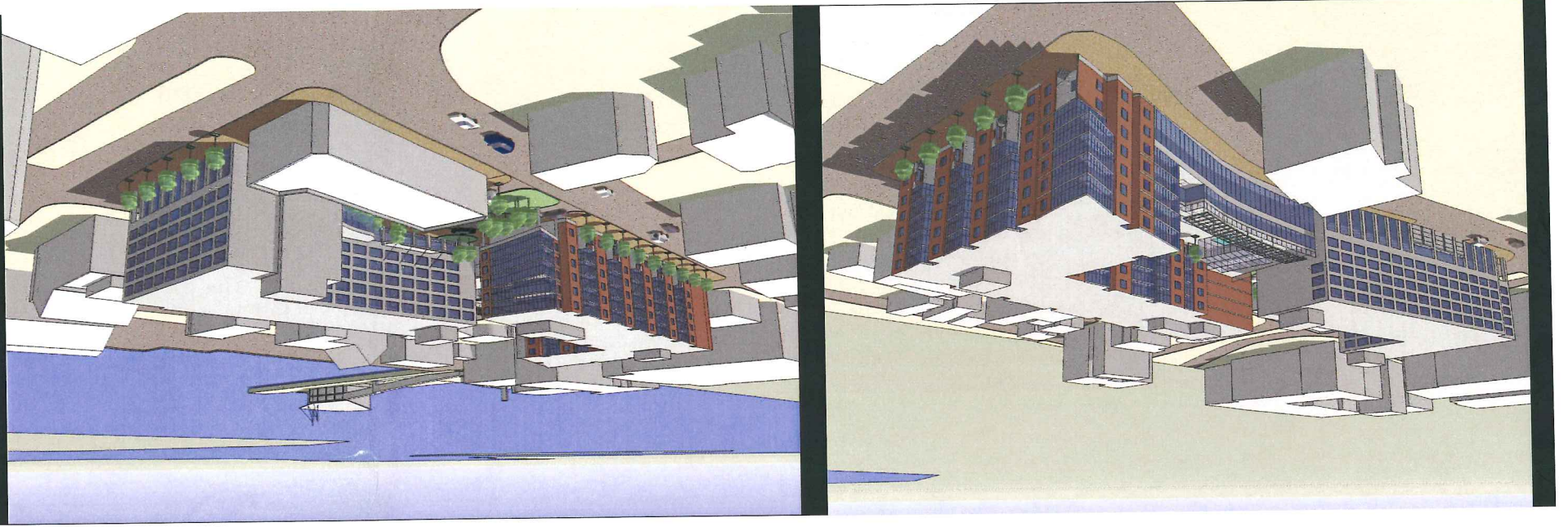
Planning and Design Concepts

The redevelopment of the Jordan's Meat Site presents a unique opportunity to build an intensely urban, mixed use "bridge" between the dynamism of the Old Port and the city's planned redevelopment of the eastern waterfront zone. A new high quality hotel and urban residences are perfect land uses for injecting high energy pedestrian activity onto the surrounding sidewalk, day and night. This can only be a catalyst for enhanced business opportunities for restaurants and stores in the area and the resulting synergy will encourage others contemplating future development in the immediate neighborhood.

The Design Team for this development are acutely mindful of the rich history of this early Italian precinct of Portland. Furthermore, this proposal adopts the approach that walkable, pedestrian-scaled streets should be the first priority. To this end, this proposal advocates a lively mix of vest pocket gardens, days, stoops, and recessed porches along the Middle and India frontages. These features in the first two stories as well as the highly animated recesses and projections on the upper floors will serve well to celebrate the architectural texture of this historic neighborhood.

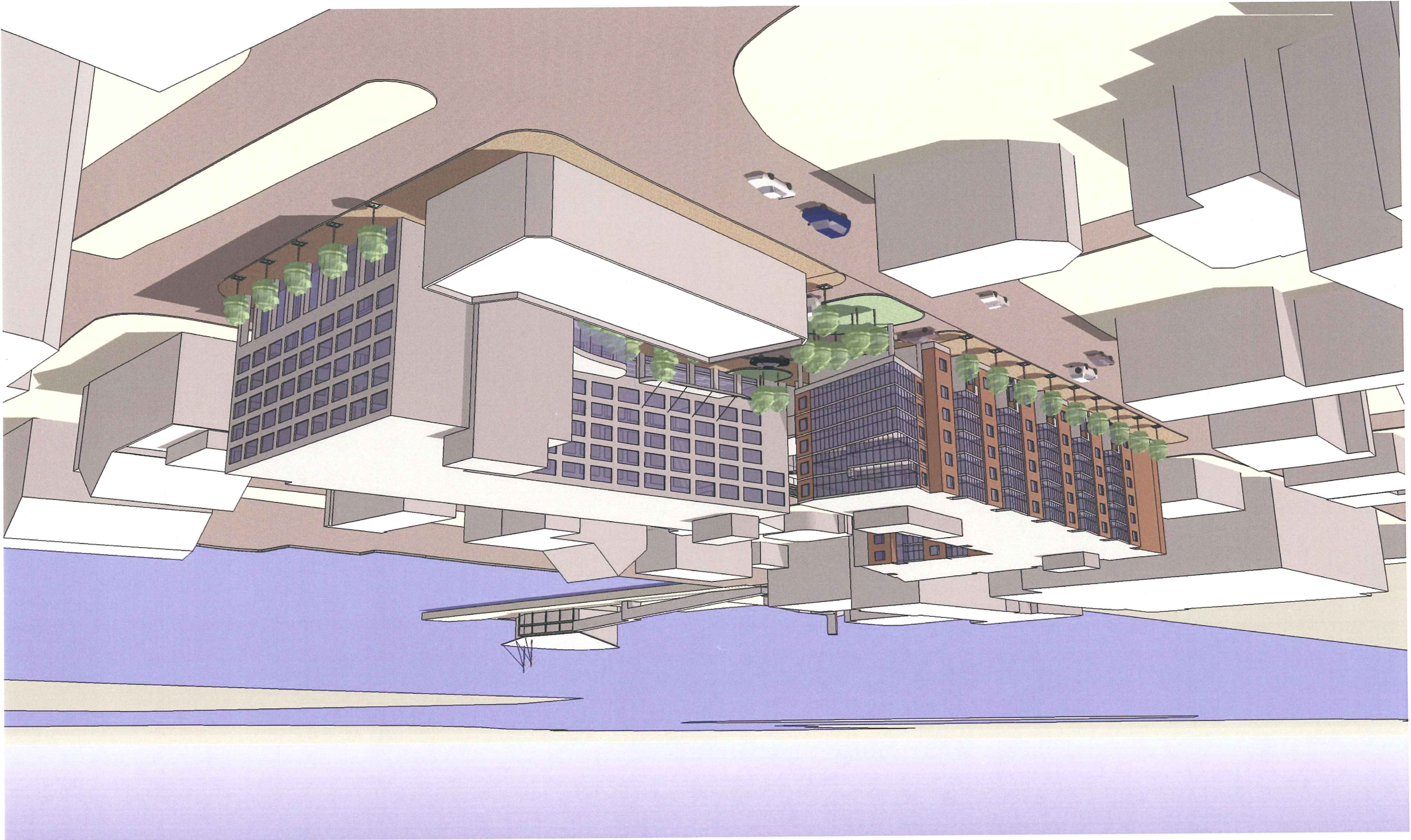
On Franklin and Fore, where there is much more through traffic, the architectural skin is stretched tighter but even so the pedestrian will be well entertained by the constant activity just inside the glass enclosing the 100' restaurant on Franklin and the 350' long hotel and banquet hall lobbies. A new pedestrian alley behind Hugo's restaurant will invite exploration of the inner courtyard terminus of Hampshire Street. And a dramatic hotel entrance at the corner of Franklin and Fore will attract visitors to the hotel restaurant.

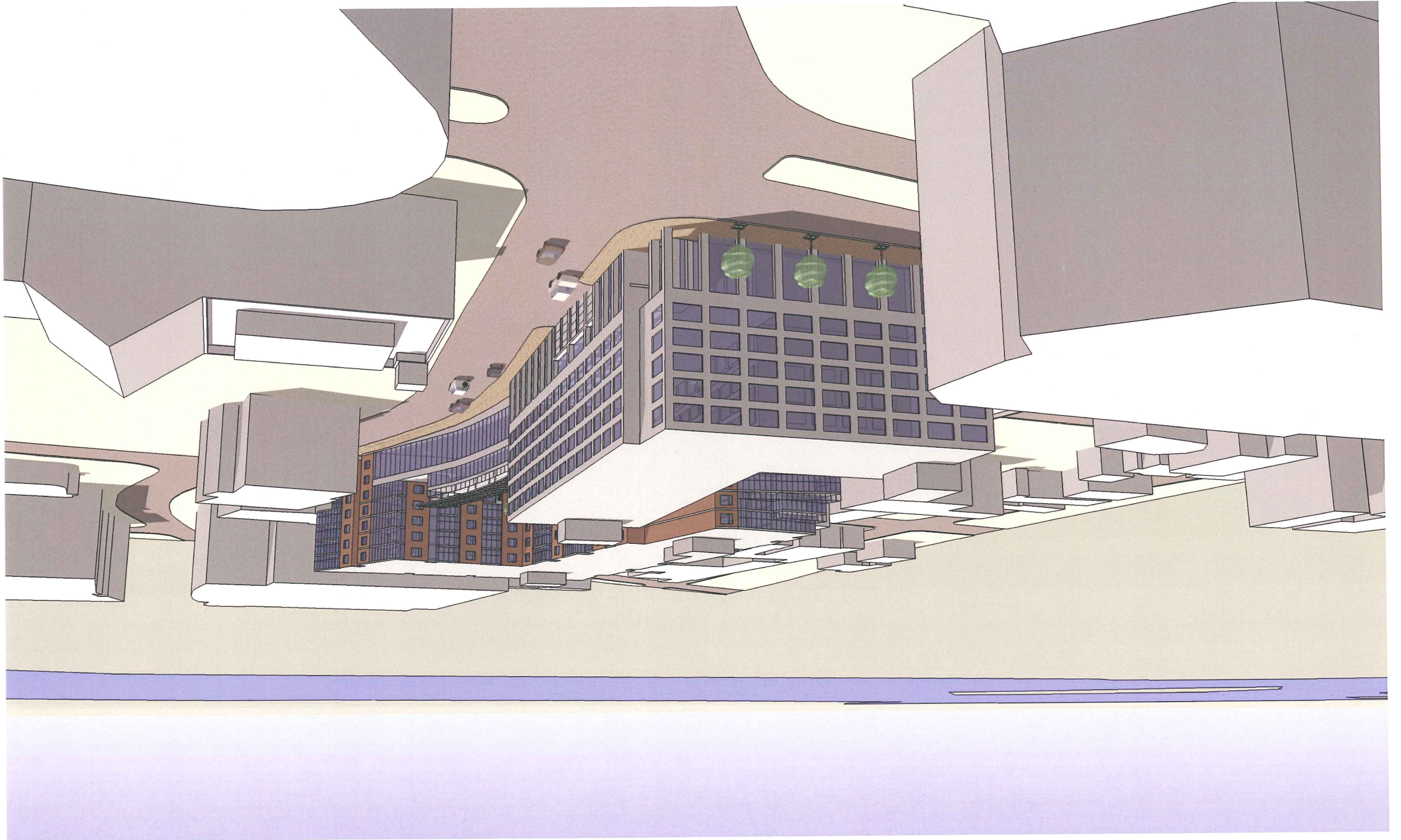


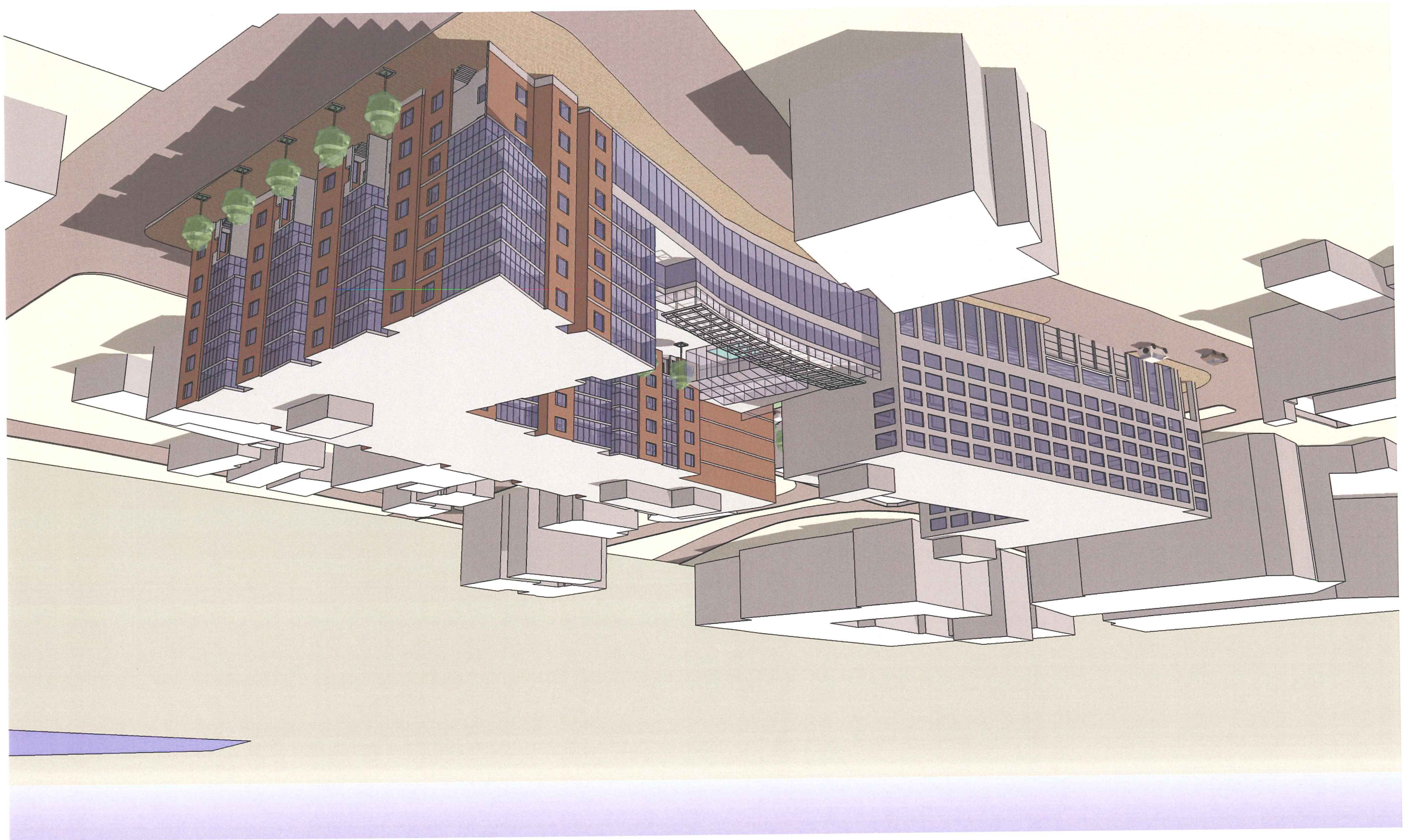


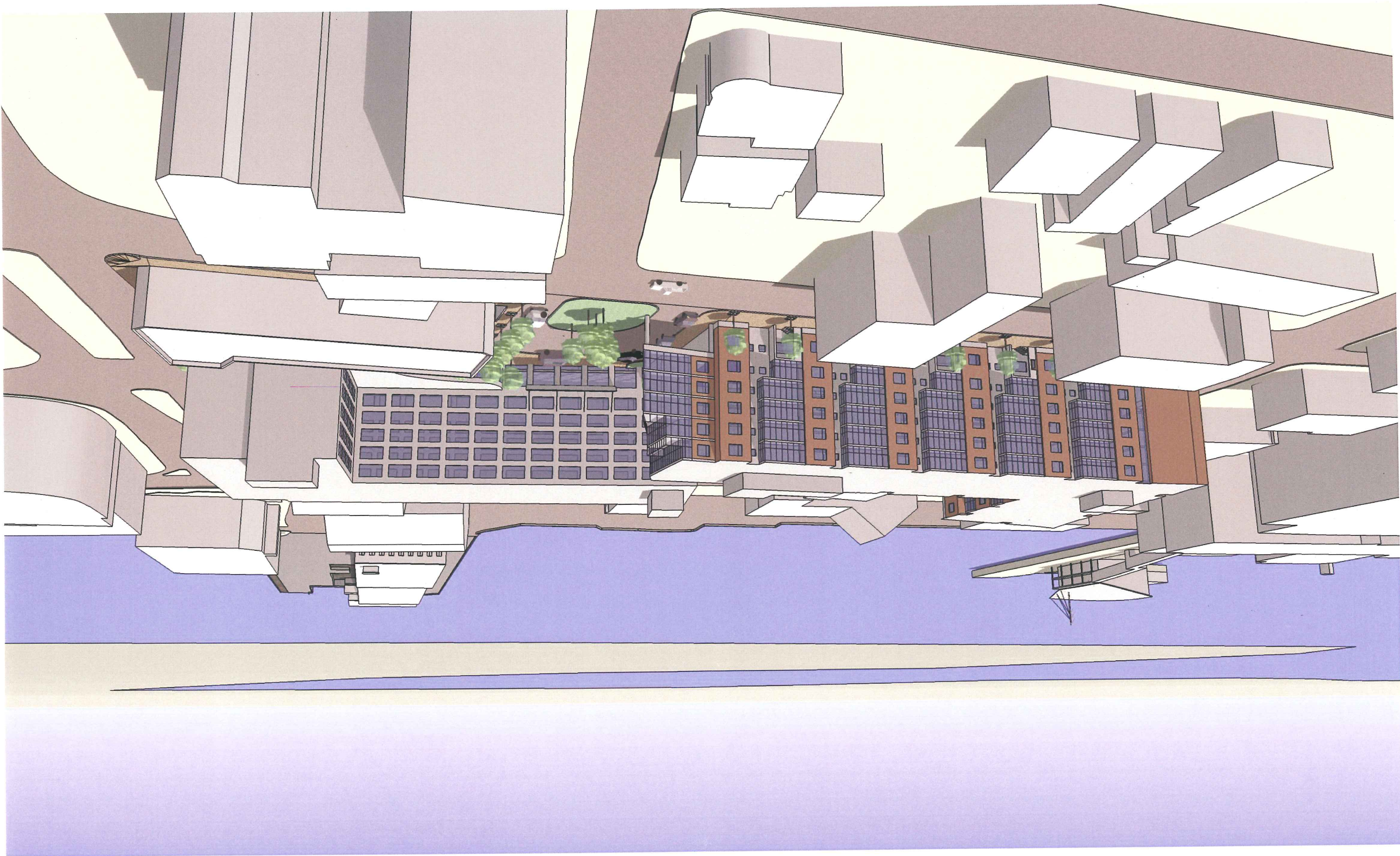
WESTIN HOTEL and RESIDENCES

City of Portland Planning Board Submission
5/5/05









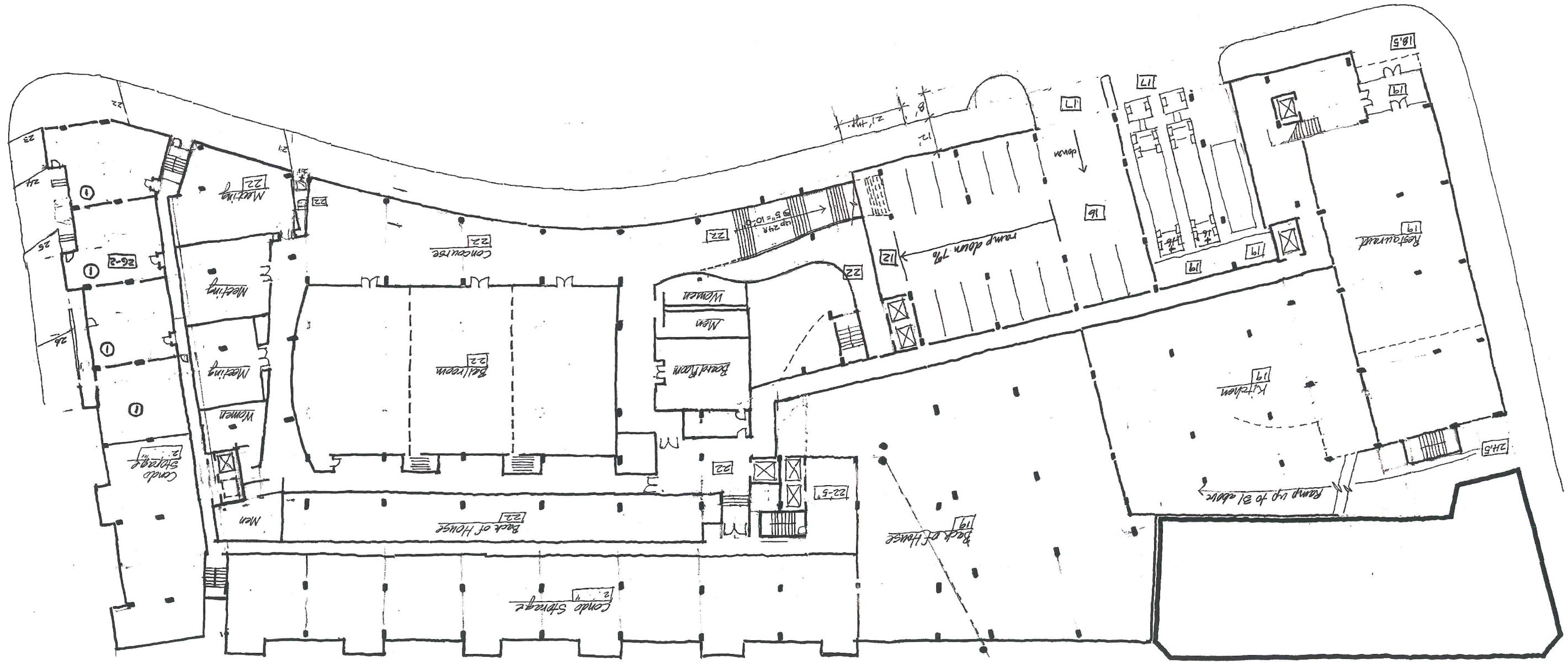


MIDDLE STREET ENTRY LEVEL
 Hotel Lobby El. 32' | Ballroom El. 22'

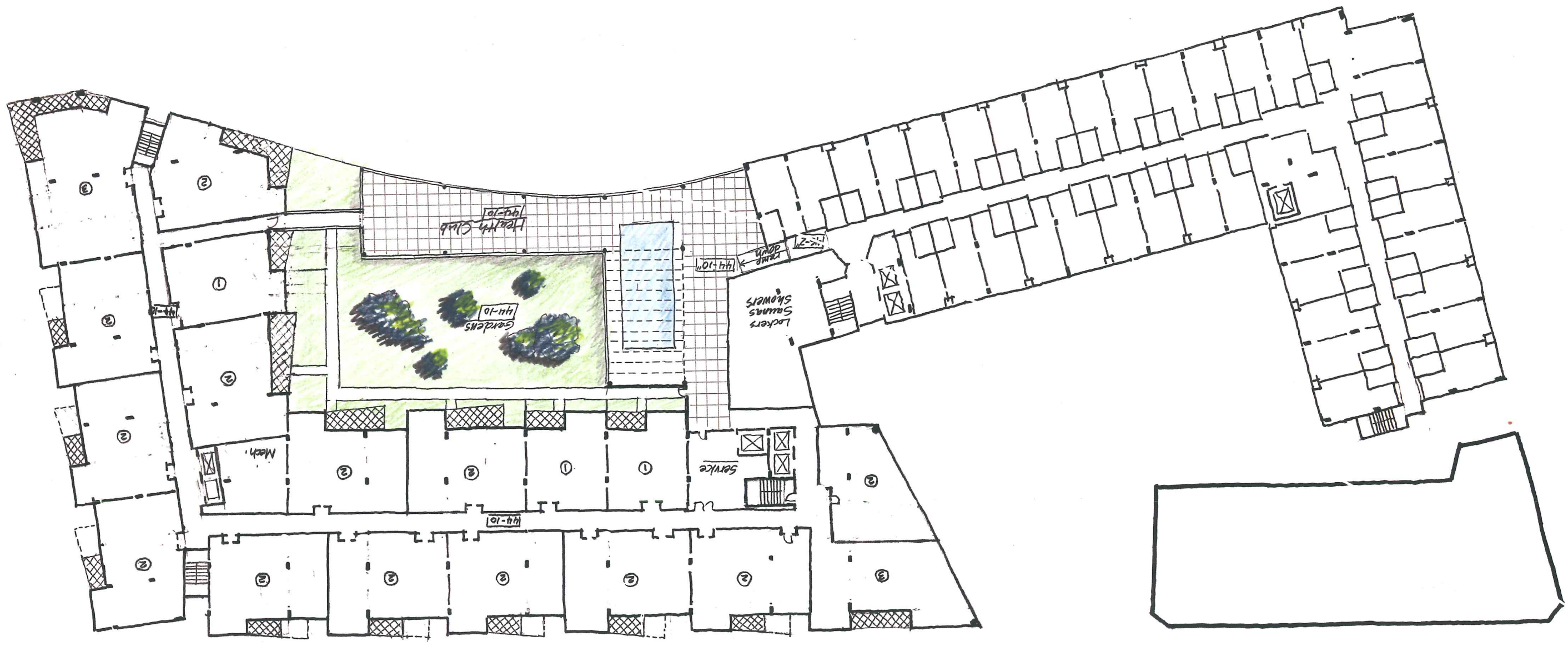


Restaurant El. 19' | Truck Bays El. 17'

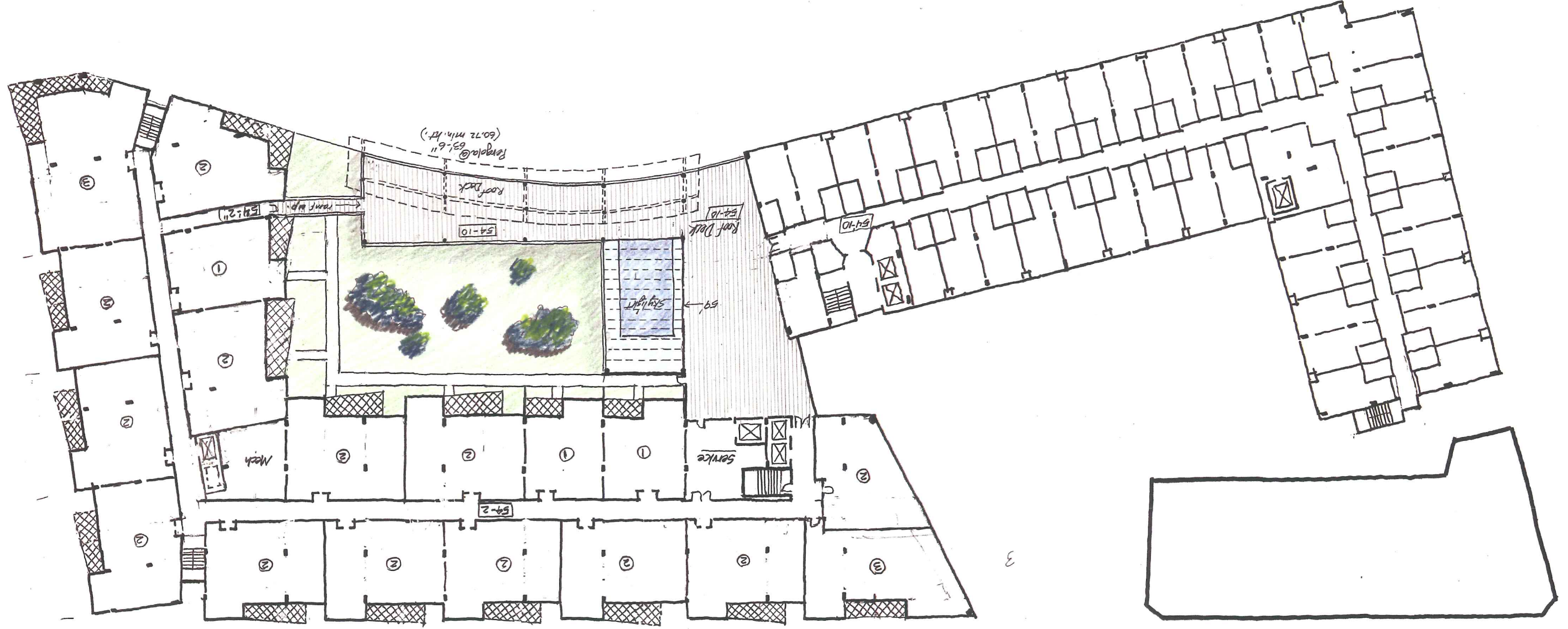
FORE STREET LEVEL



HEALTH CLUB LEVEL
Hotel El. 46'-2" | Condos El. 44'-10"



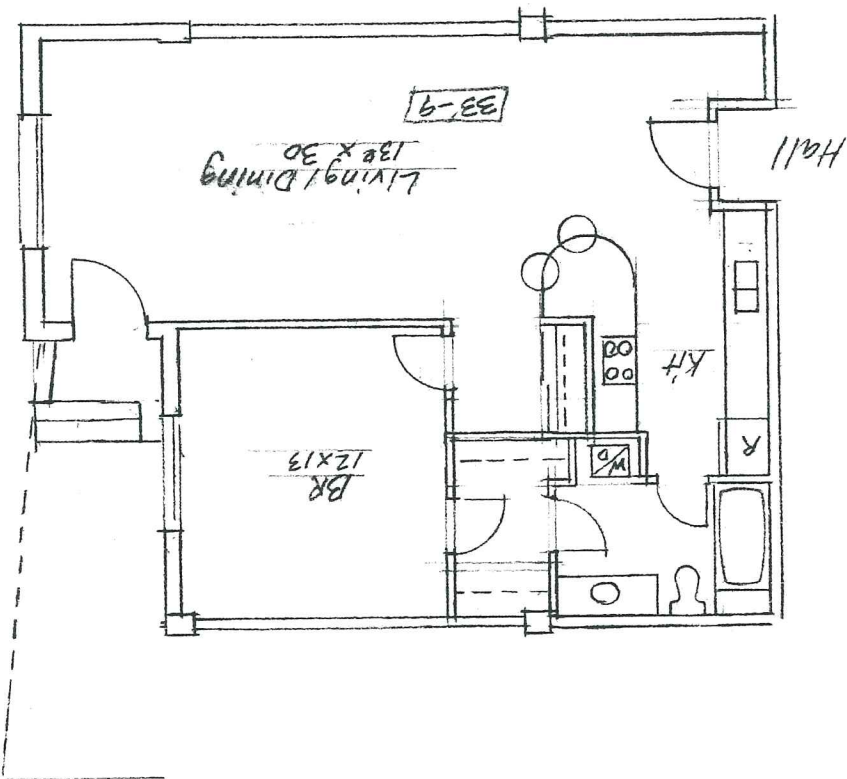
ROOF DECK PROMONTORY LEVEL
Hotel El. 54'-10" | Condos El. 54'-2"



3

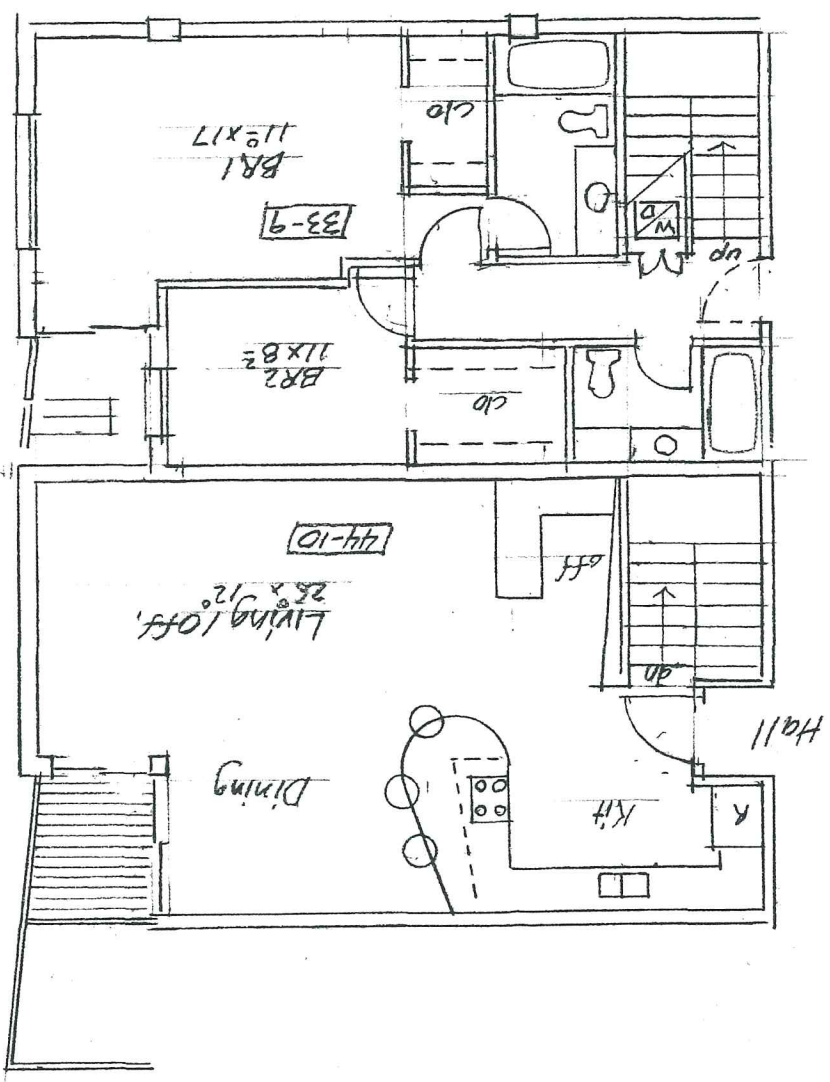
Condo Levels 1+2
860 S.F. Incl. 100 S.F. Porch

TYPICAL 2 BEDROOM FLAT



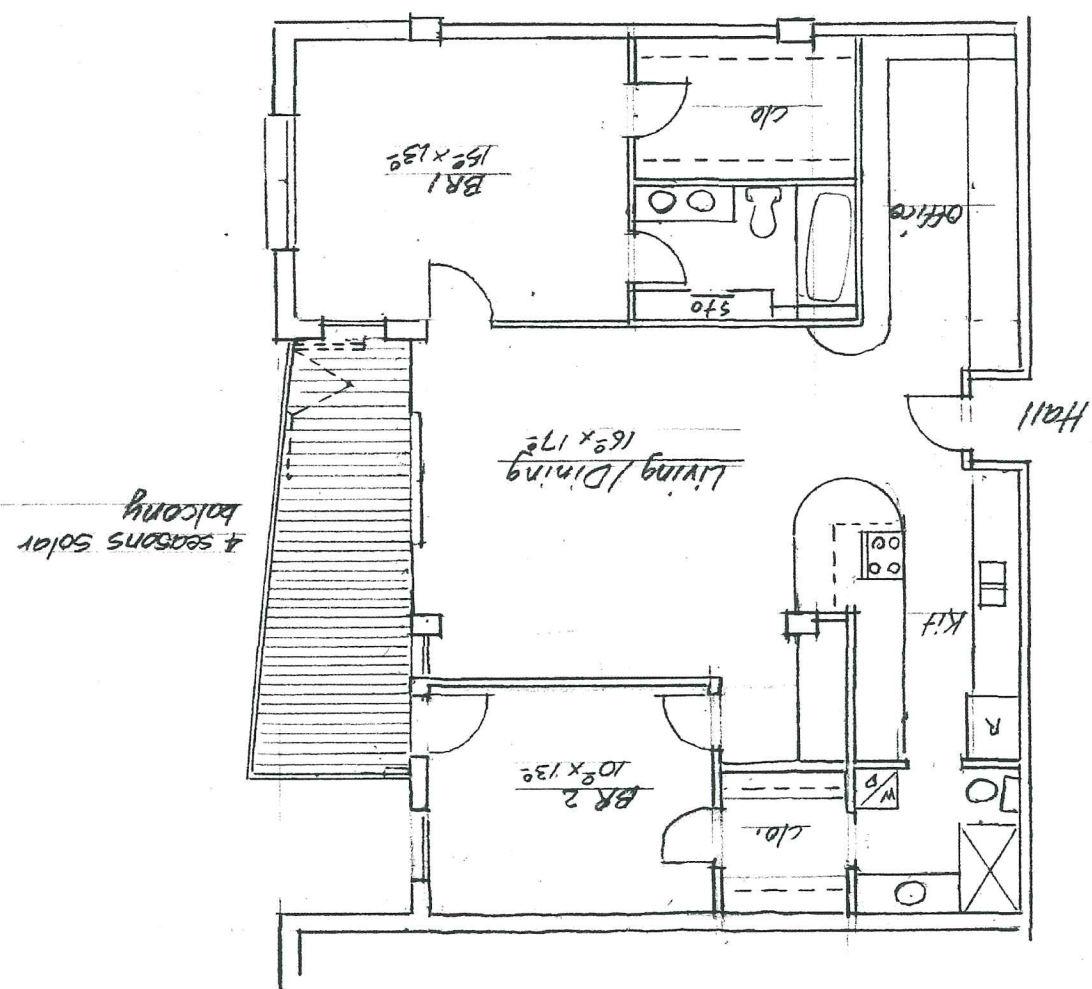
Condo Levels 1+2
1,270 S.F. Incl. 70 S.F. Balcony / Porch

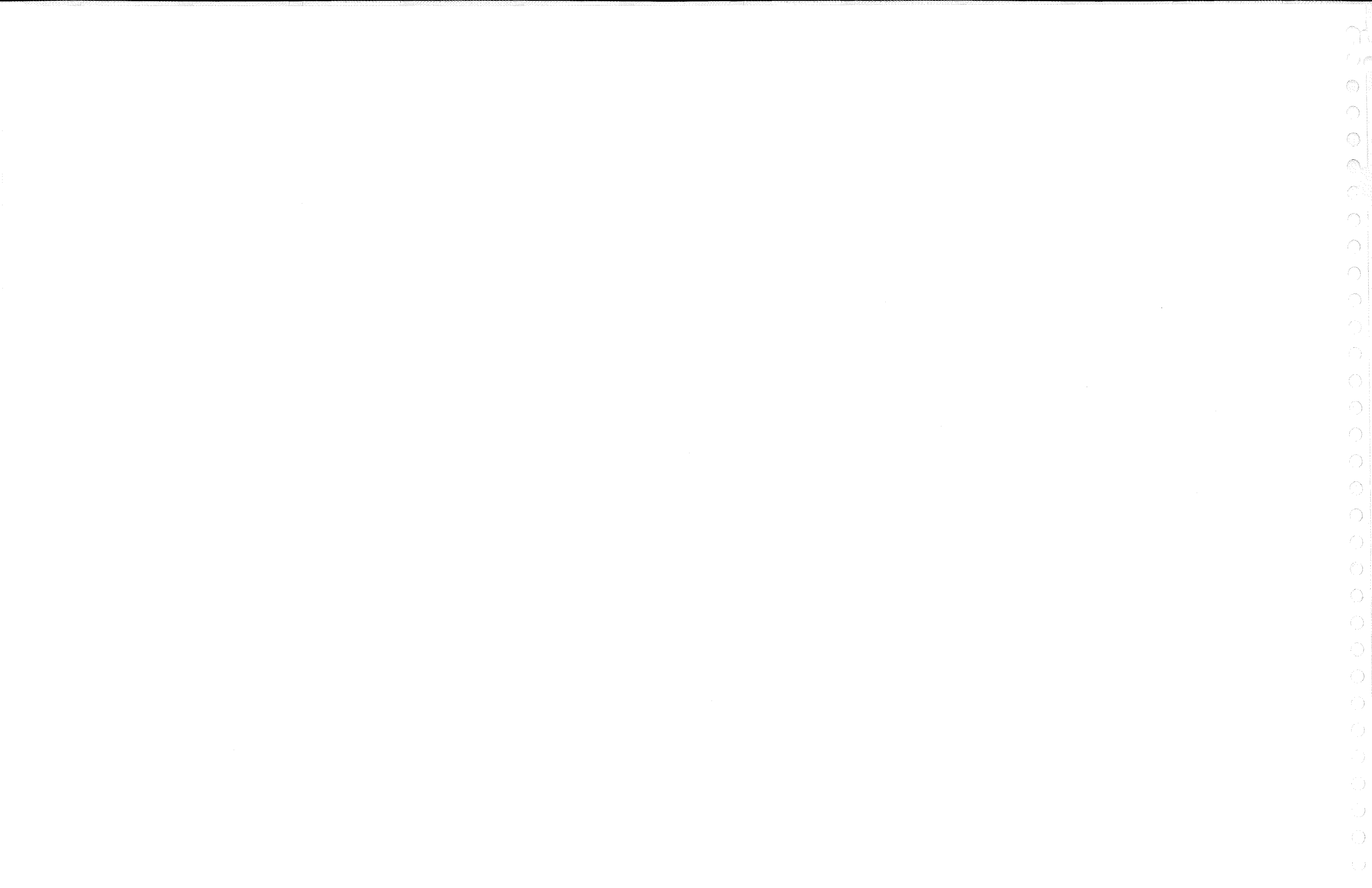
TYPICAL 2 BEDROOM TOWNHOUSE



Condo Levels 3-6
1,270 S.F. Incl. 120 S.F. Balcony

TYPICAL 2 BEDROOM FLAT



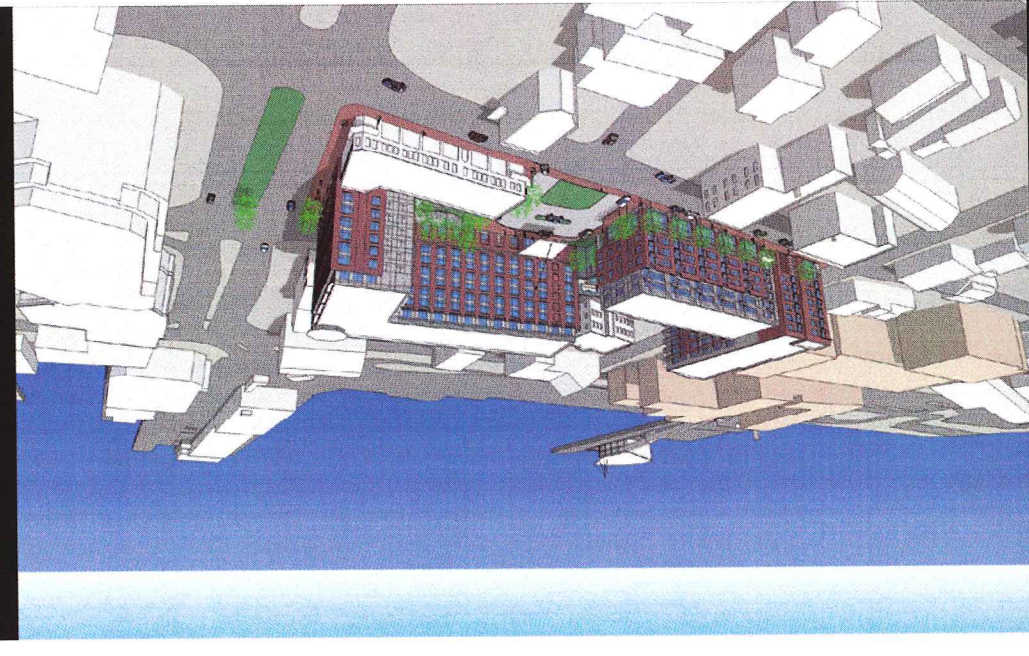
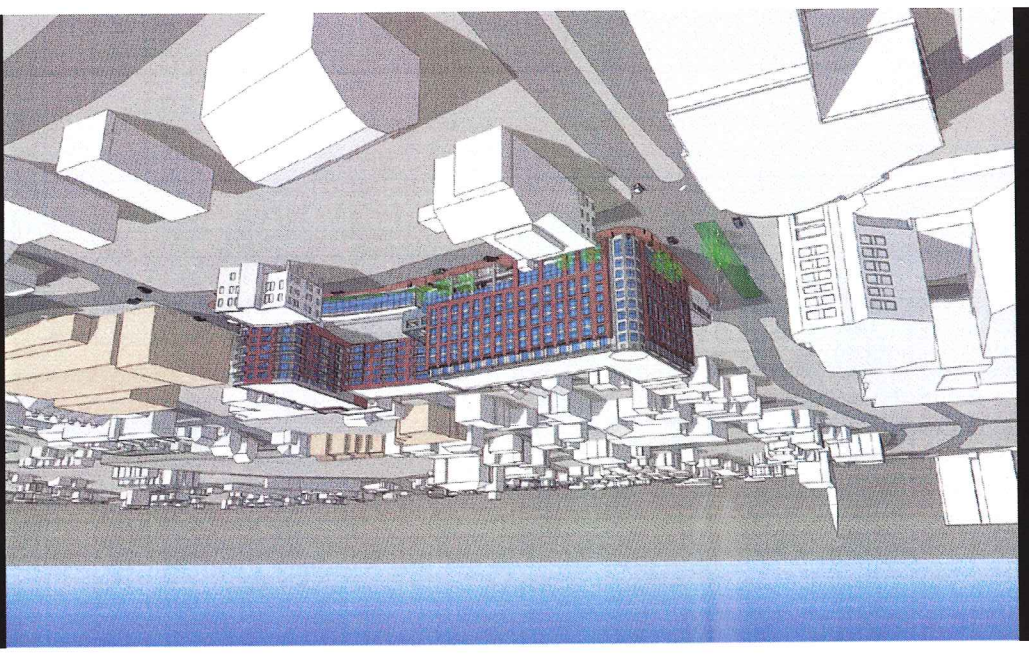


Planning and Design |
Cooper Carry Architects
Winton Scott Architects
Sebago Technics

Developer |
PME 1 Limited Partnership

October 25, 2005

**WESTIN HOTEL &
RESIDENCES
PORTLAND, ME**
Site / Subdivision Plan
Application





WINTON SCOTT
ARCHITECTS

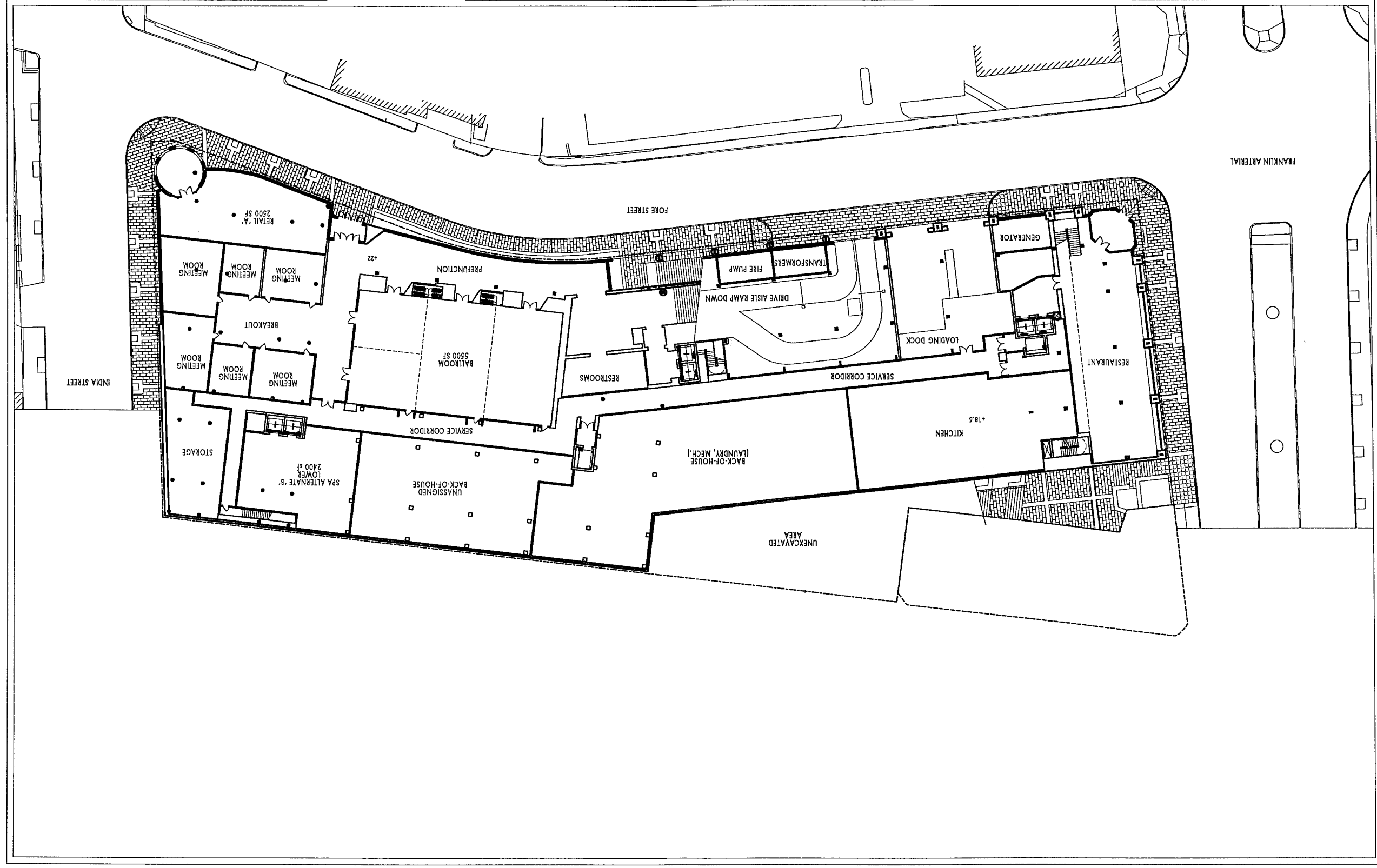
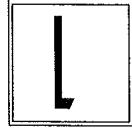
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

1" = 50'-0"

10.25.2005

RESTAURANT ENTRY LEVEL





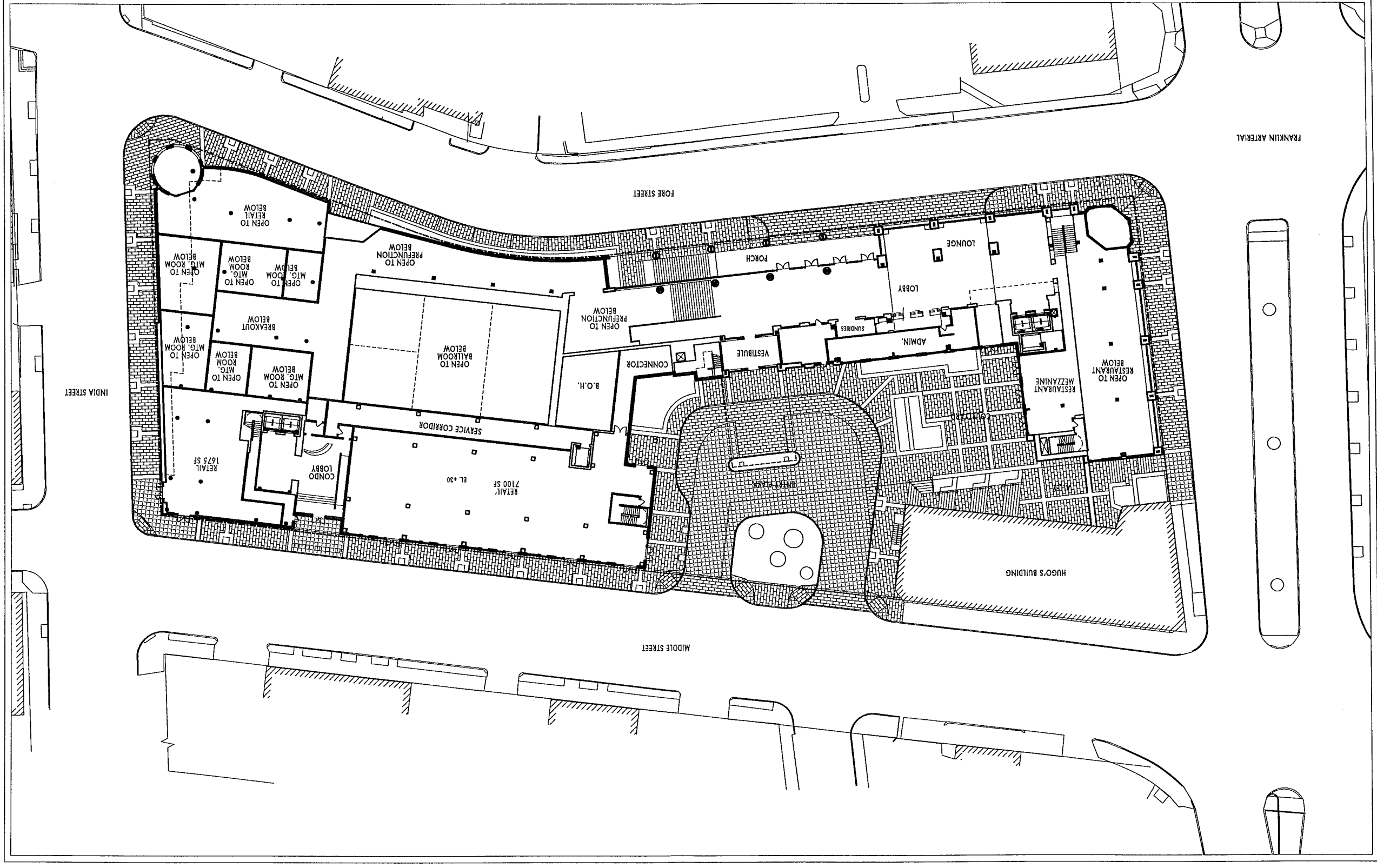
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

HOTEL LOBBY LEVEL
1" = 50'-0"

10.25.2005
2





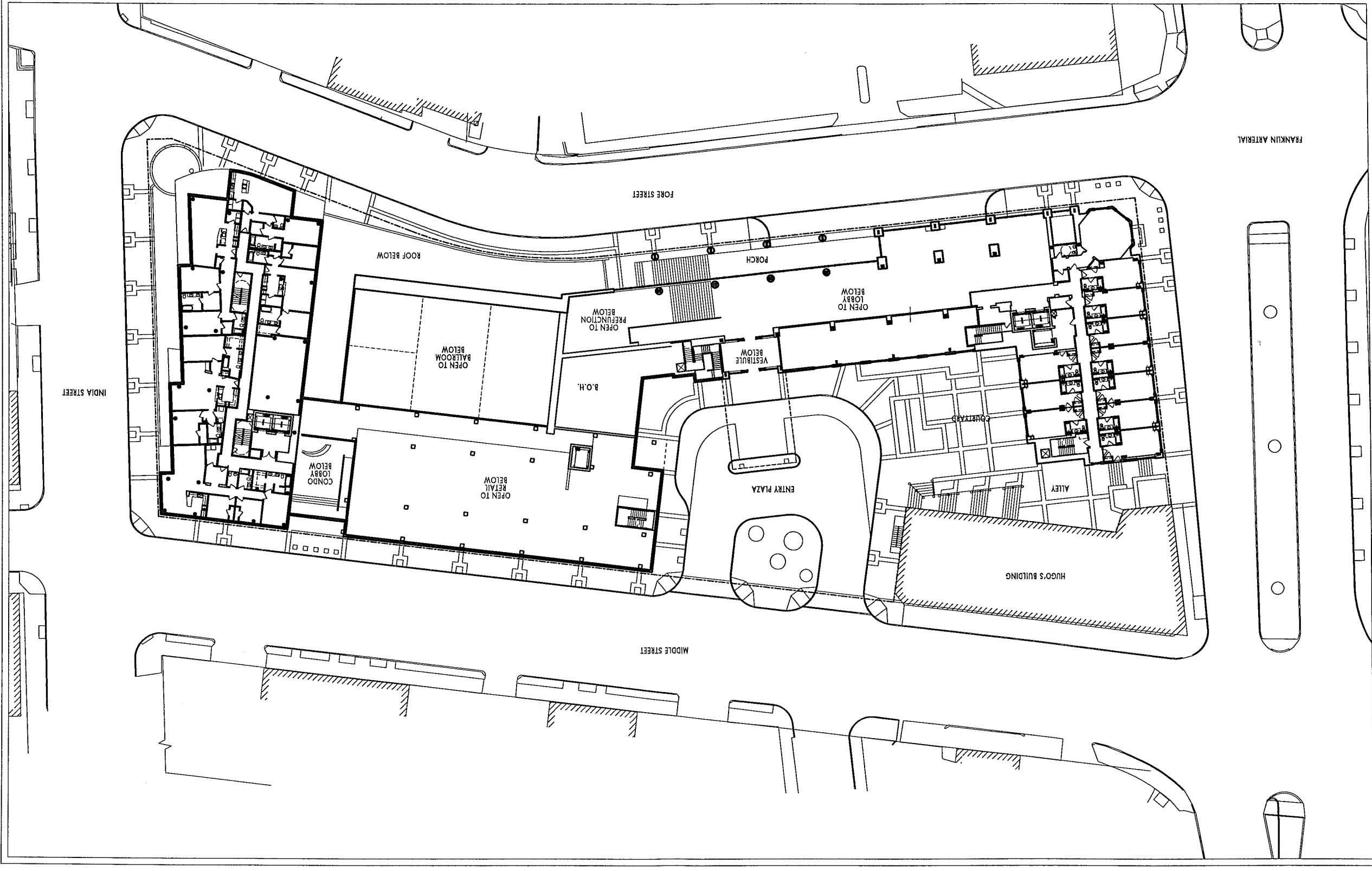
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

1" = 50'-0"
1ST FLOOR OF CONDOS

3
10.25.2005



10.25.2005

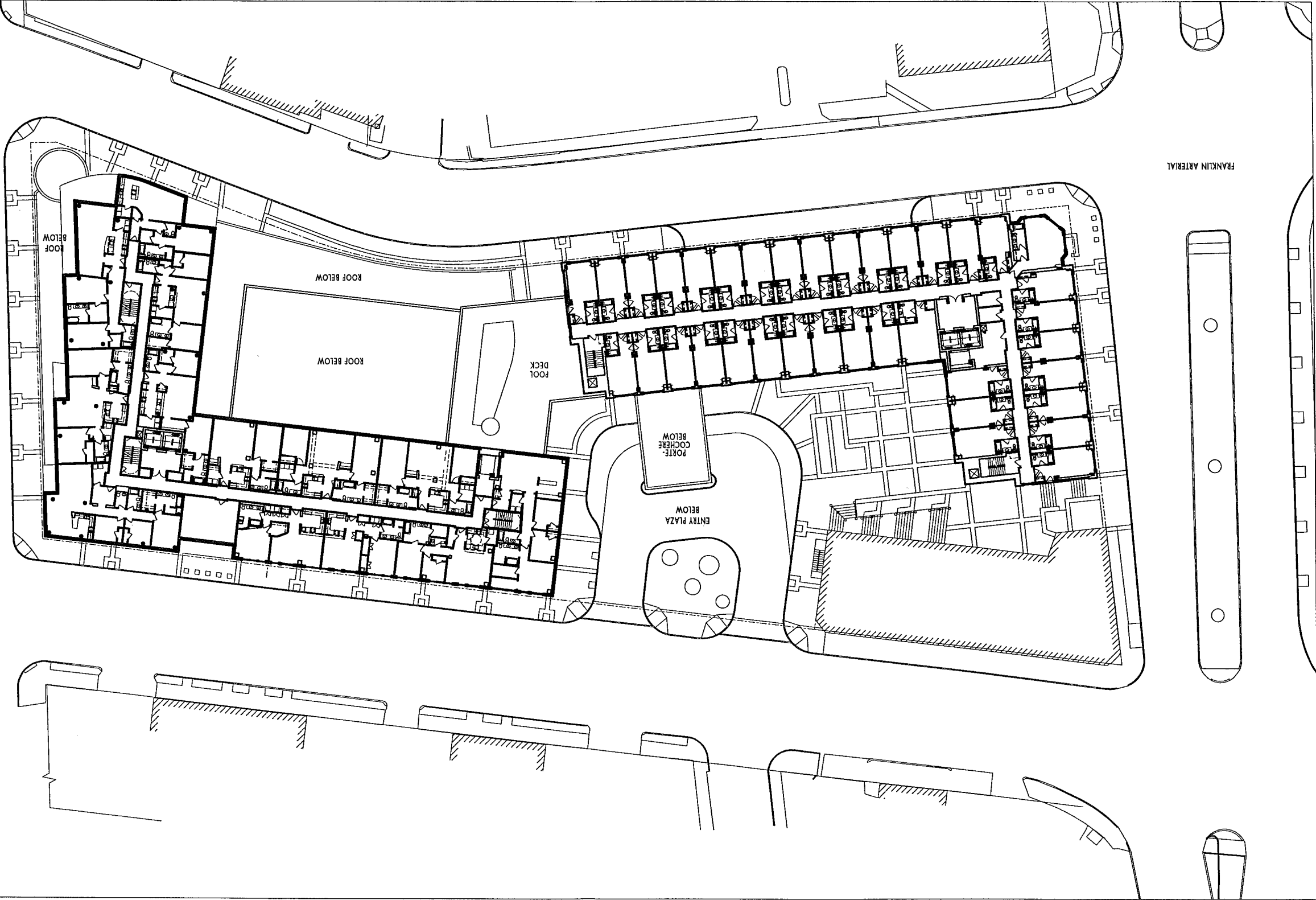


FIRST GUESTROOM LEVEL /
POOL TERRACE
1" = 50'-0"

WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

WINTON SCOTT
ARCHITECTS

COOPER CARRY



10.25.2005

1"=50'-0"

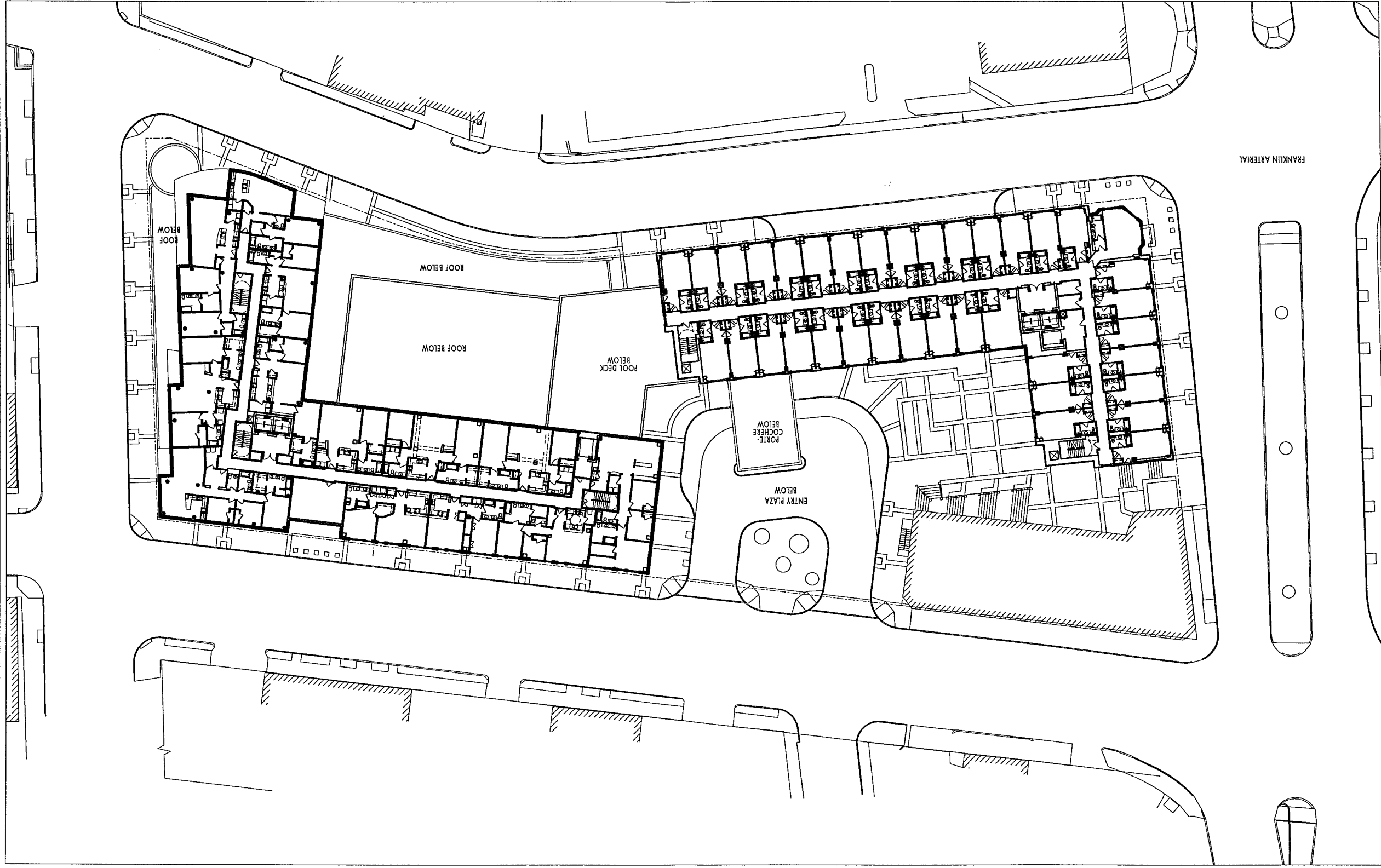
5-6

LEVELS 5 AND 6

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS

COOPER CARRRY





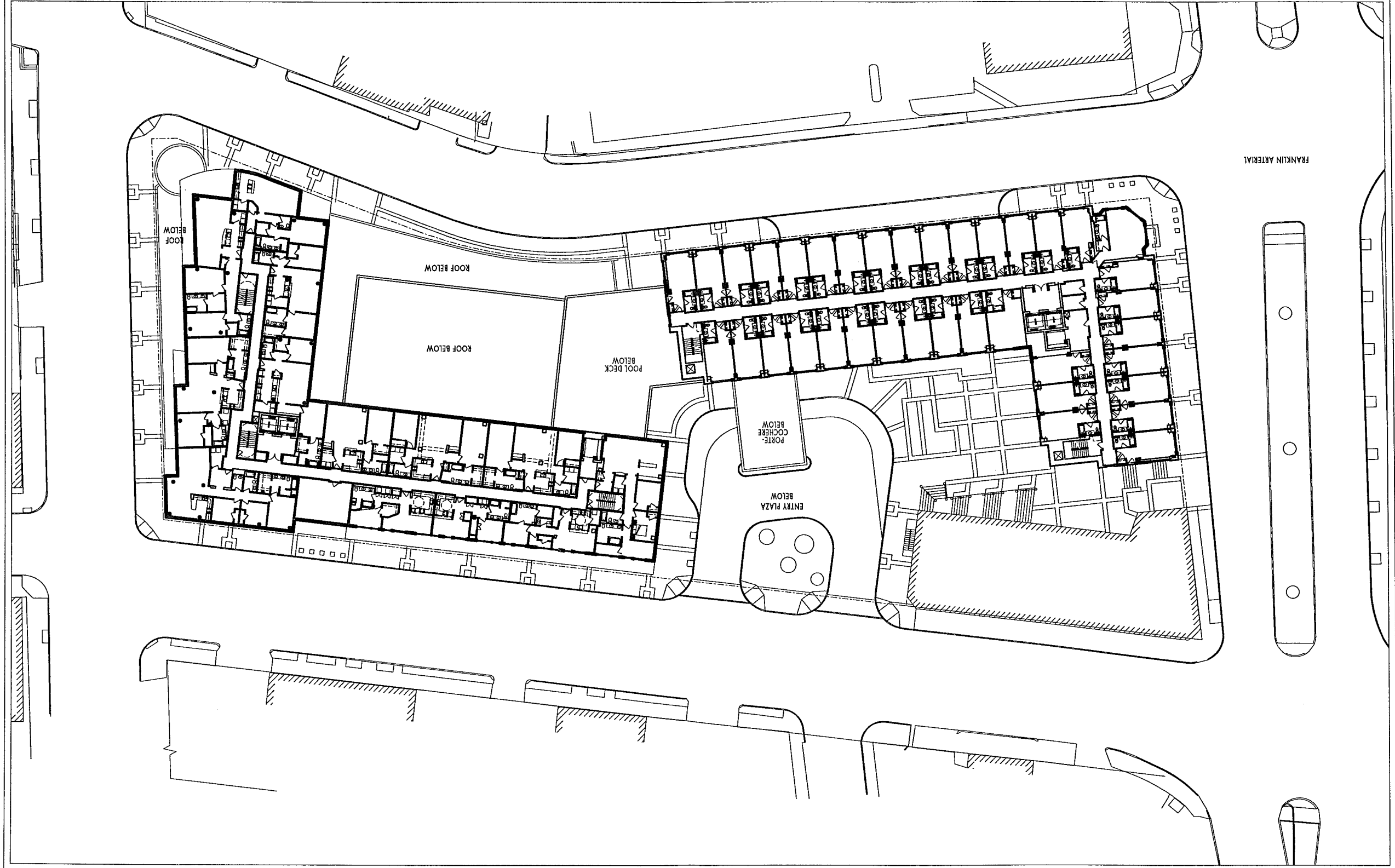
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVELS 7 AND 8
1" = 50'-0"

10.25.2005

7-8





COOPER CARRY

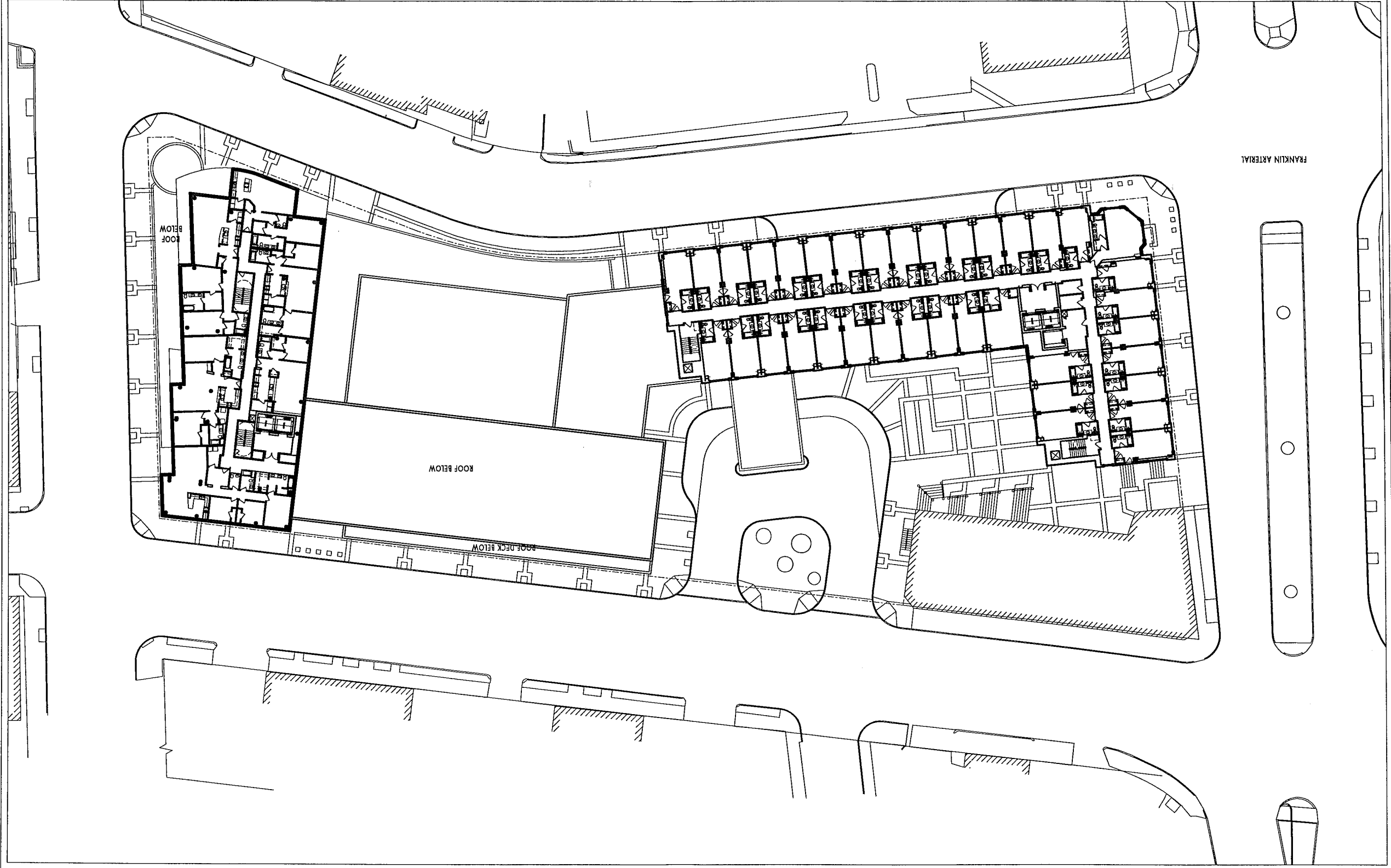
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVEL 9
1" = 50'-0"

10.25.2005

9



10.25.2005

1" = 50'-0"

10

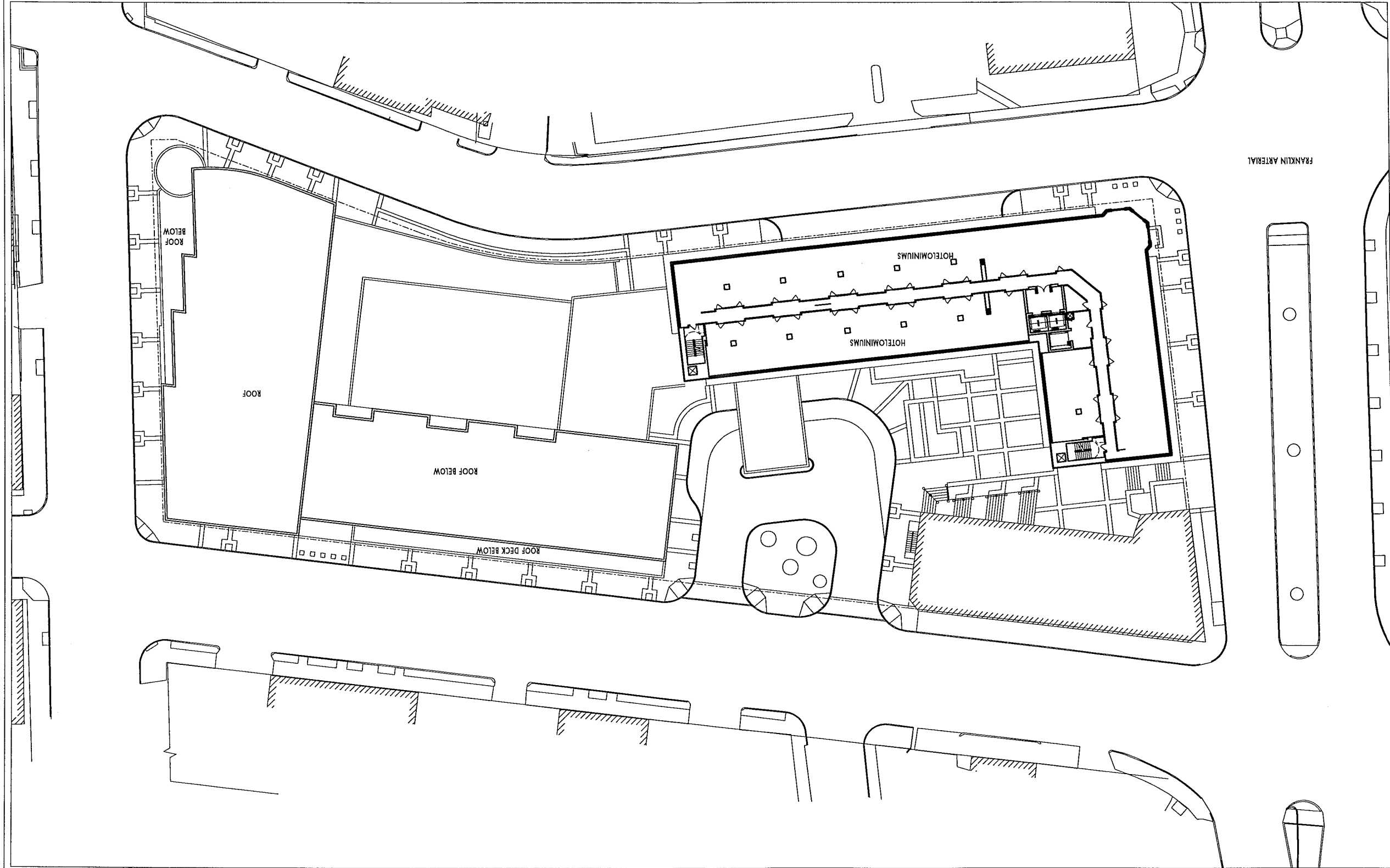
HOTELMININIUM LEVEL

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

WINTON SCOTT
ARCHITECTS

COOPER CARRY





WINTON SCOTT
ARCHITECTS

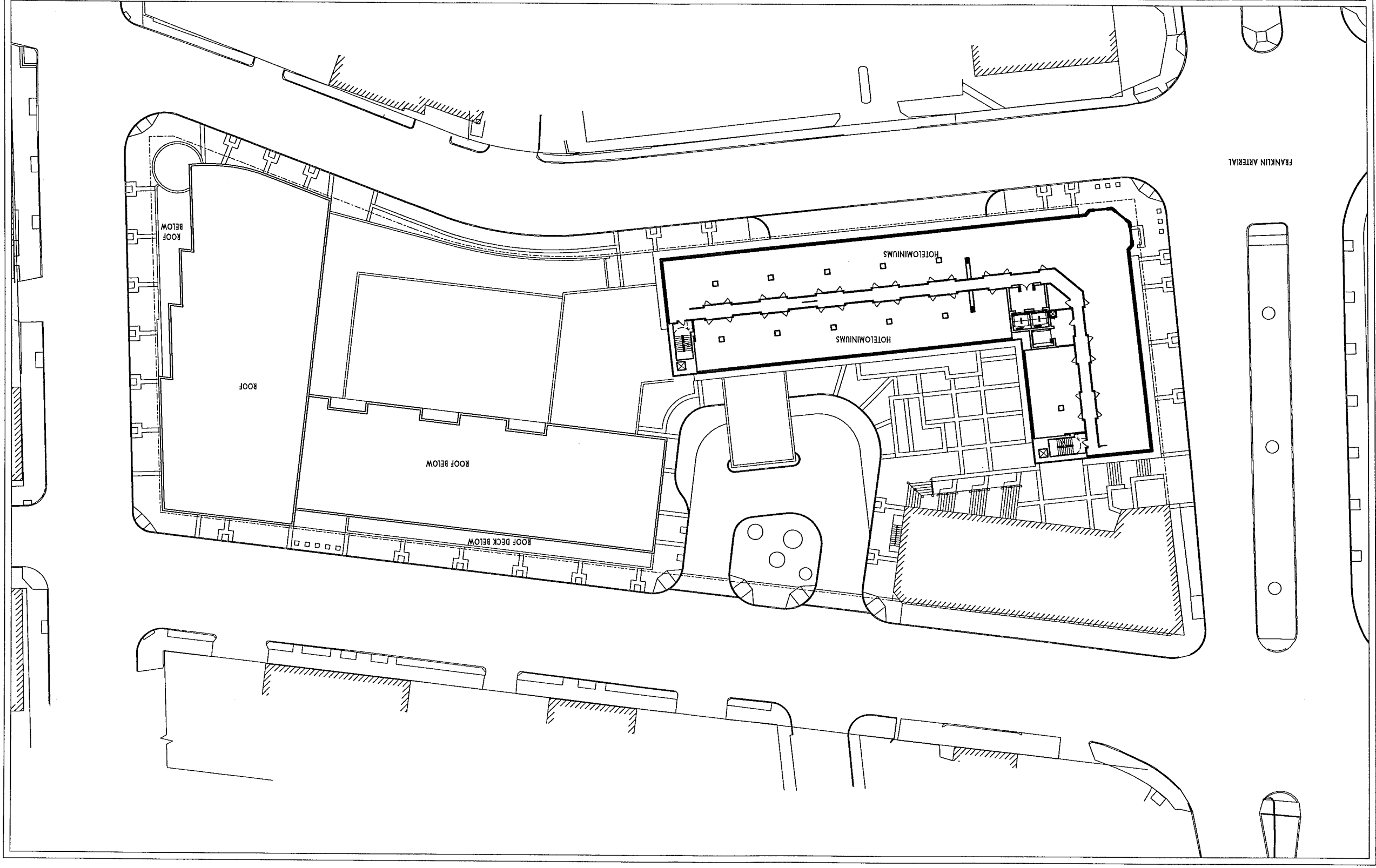
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1" = 50'-0"

10.25.2005

10

HOTELOMINIUM LEVEL





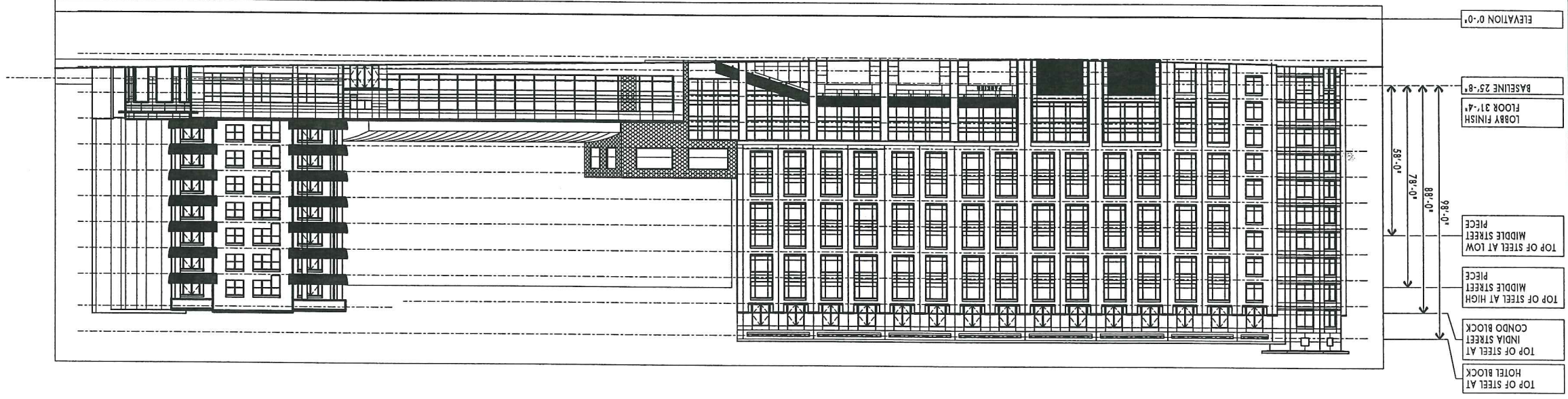
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

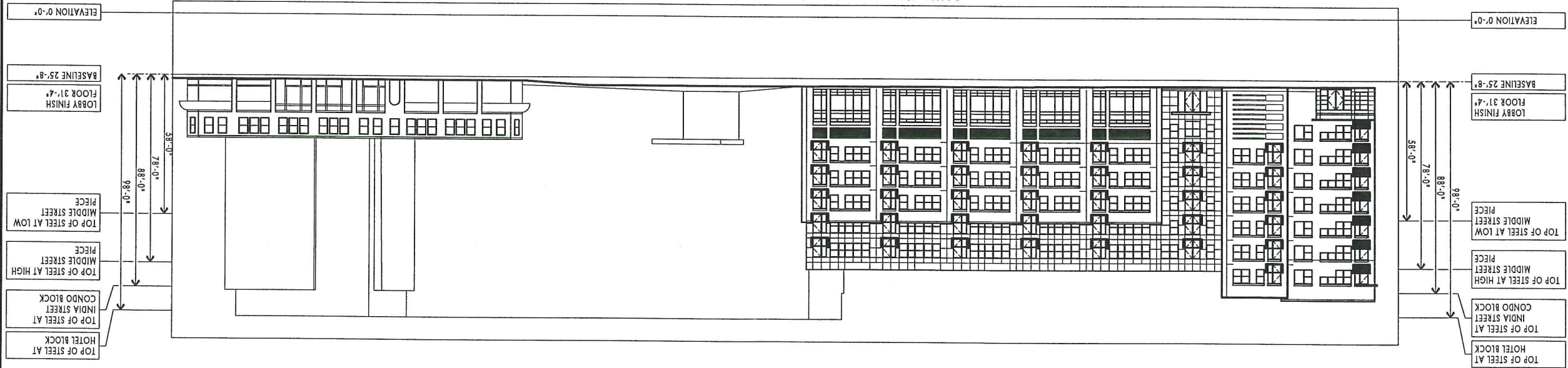
BUILDING ELEVATIONS
1" = 50'-0"

10.25.2005
E

BUILDING ELEVATION ALONG FORE STREET



BUILDING ELEVATION ALONG MIDDLE STREET





WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

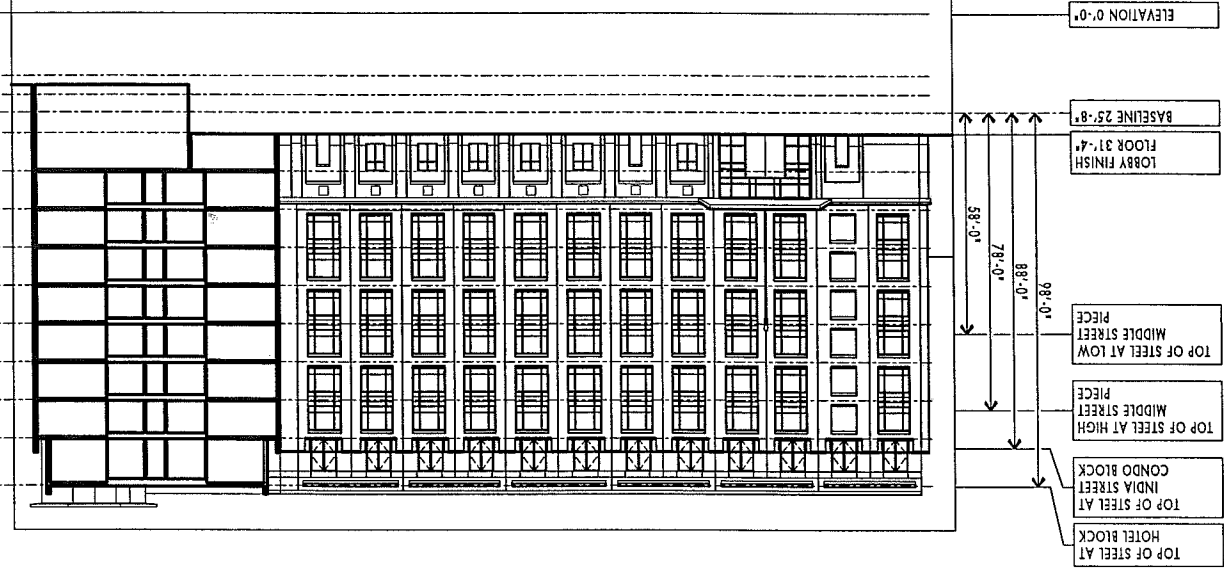
BUILDING ELEVATIONS

1" = 50'-0"

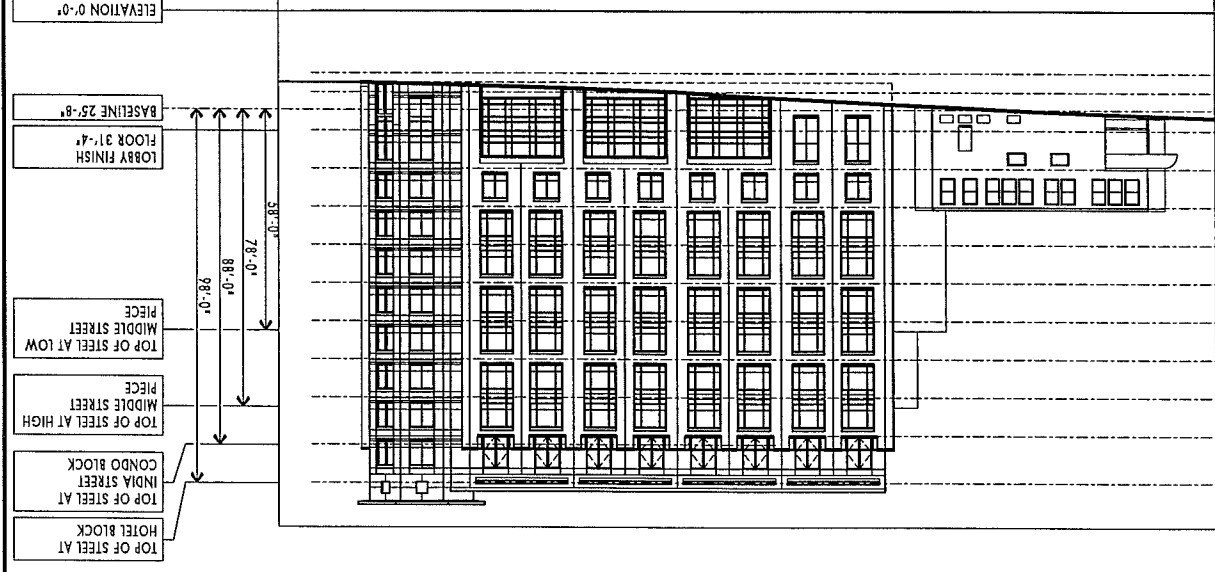
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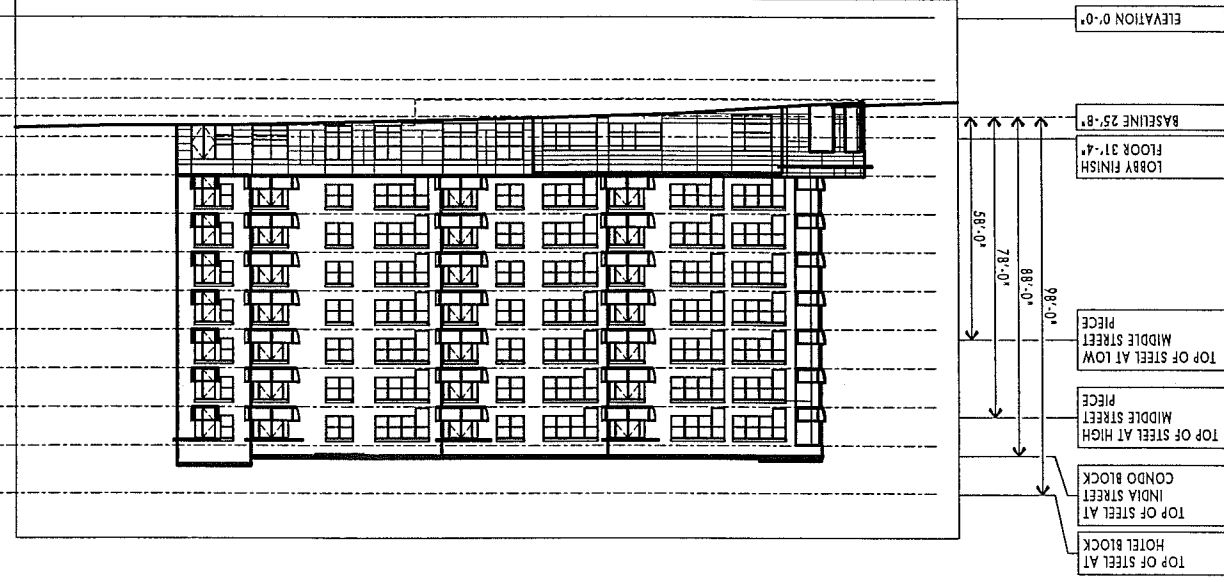
BUILDING ELEVATION AT ENRY COURT



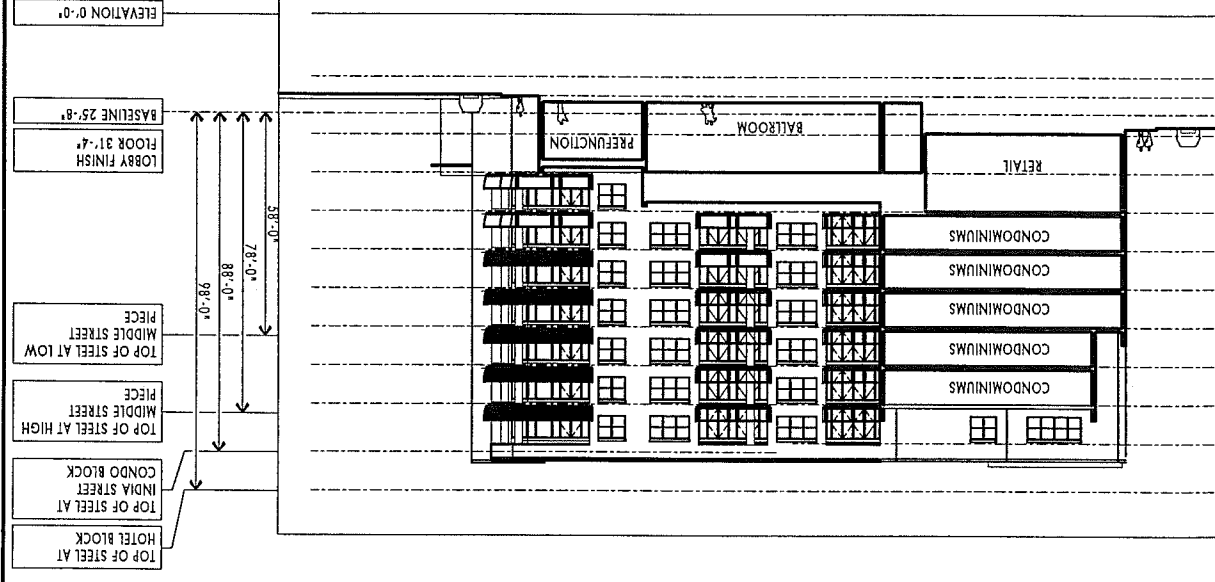
BUILDING ELEVATION ALONG FRANKLIN ARTERIAL



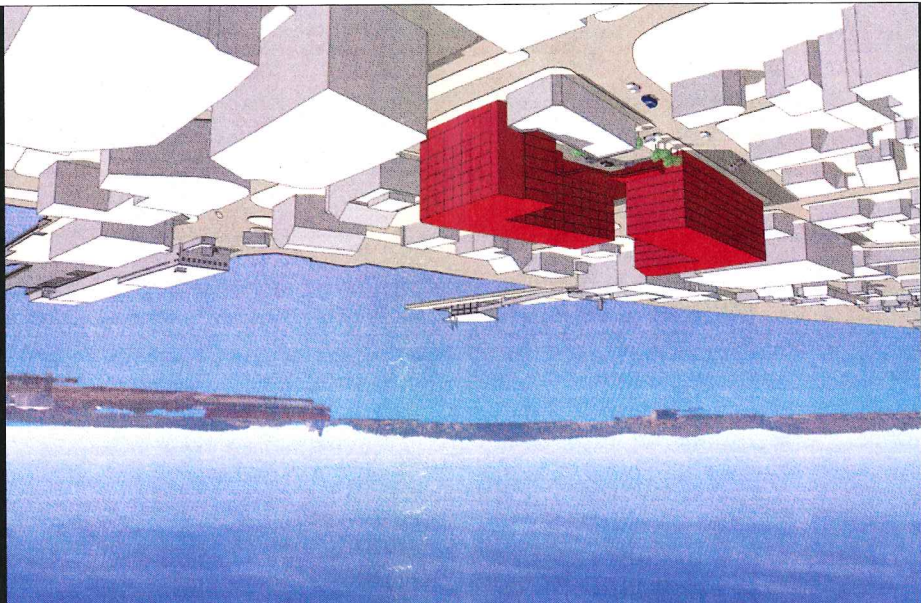
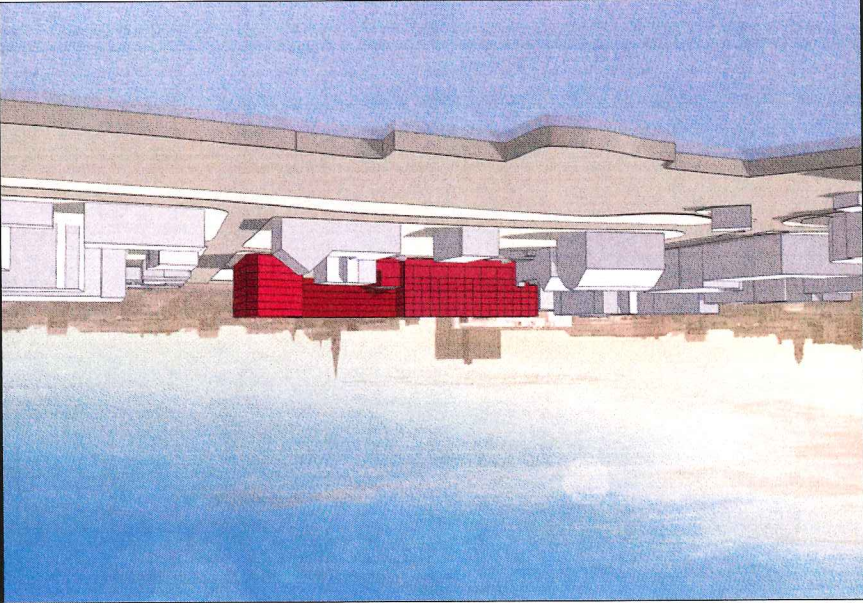
BUILDING ELEVATION ALONG INDIA STREET



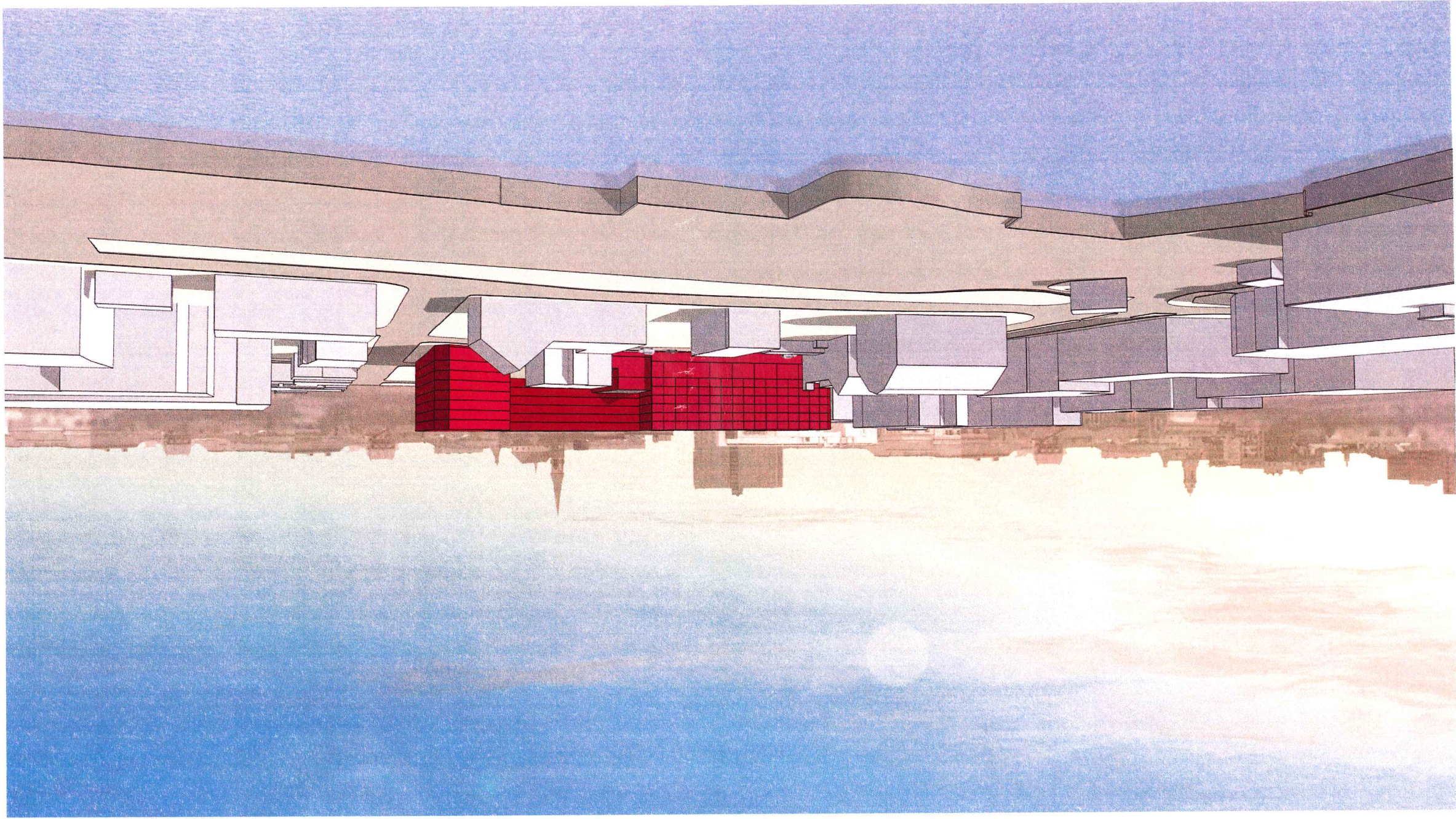
BUILDING ELEVATION AT INTERIOR LIGHT COURT (LOOKING EAST)

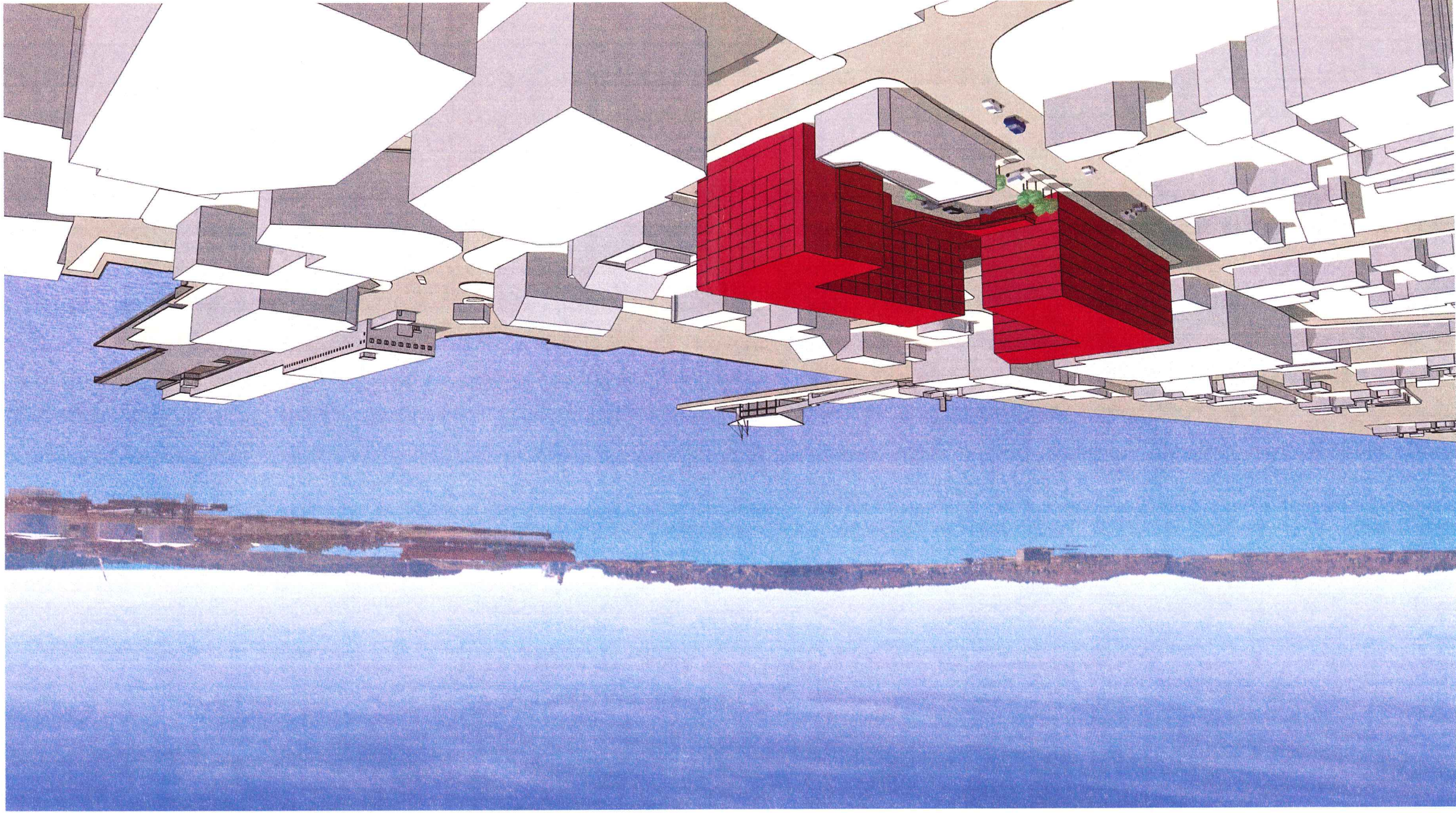


WESTIN HOTEL and RESIDENCES | Portland, Maine | Developer | PME 1 Limited Partnership | Planning and Design | Cooper Carry Architects • Winton Scott Architects • Sebago Technics



**WESTIN HOTEL
and RESIDENCES**
Community Development Committee
Submission 5/8/05





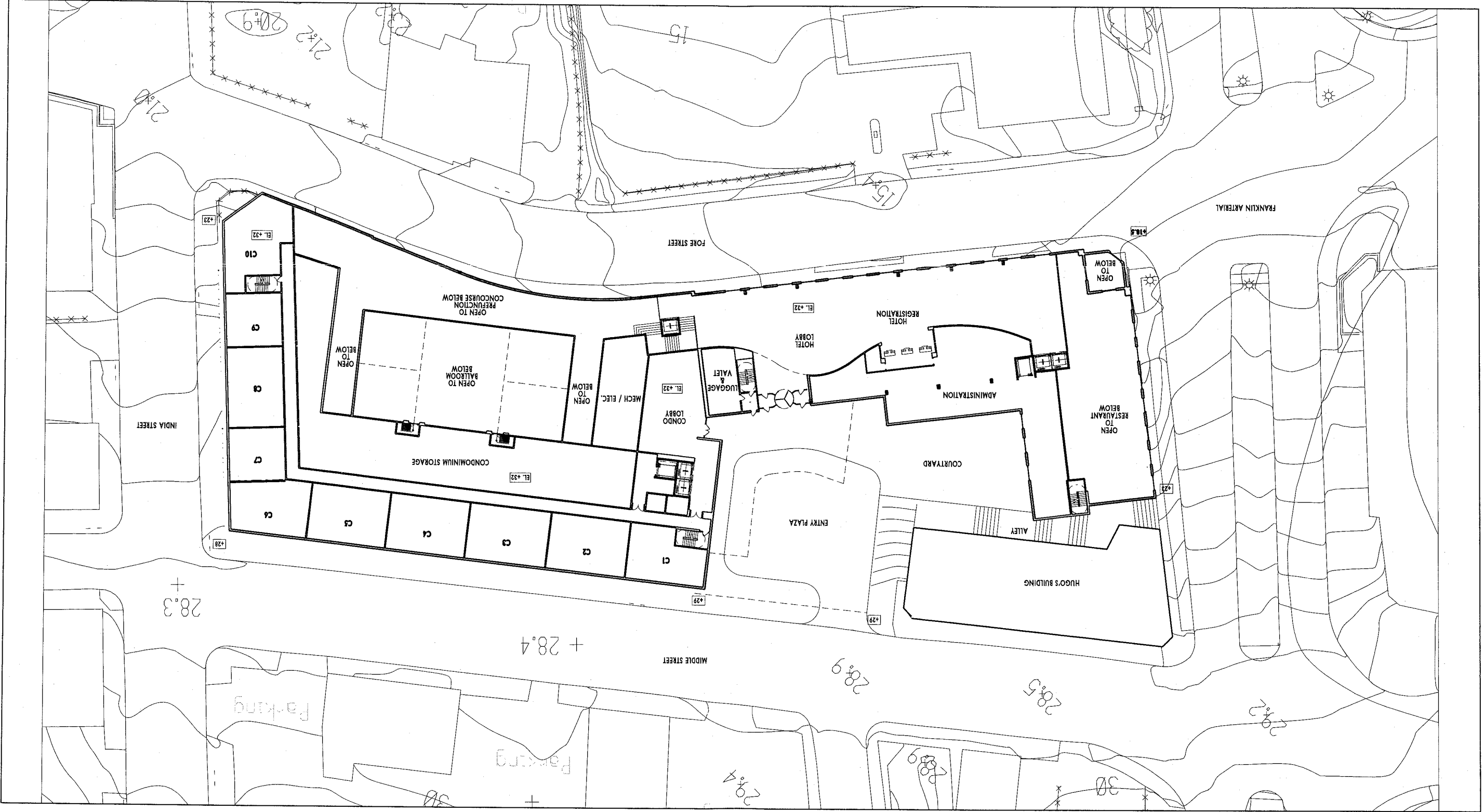


Winton Scott Architects

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE

JUNE 14, 2005

ENTRY LEVEL
ELEVATION +32'-0"
1" = 50'-0"

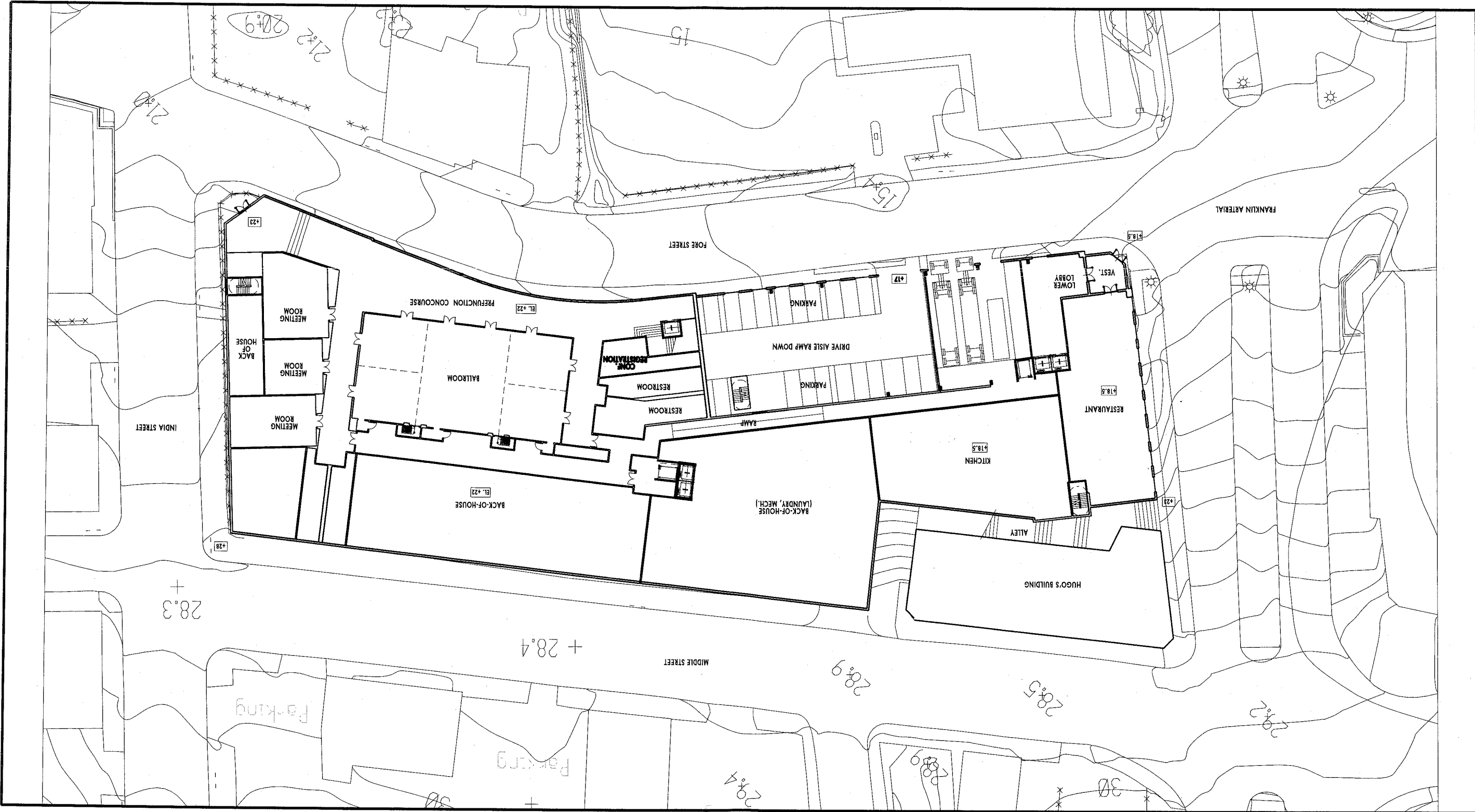




Winton Scott Architects

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE JUNE 14, 2005

FORE STREET LEVEL
ELEVATION +18.5 / +22
1" = 50'-0"

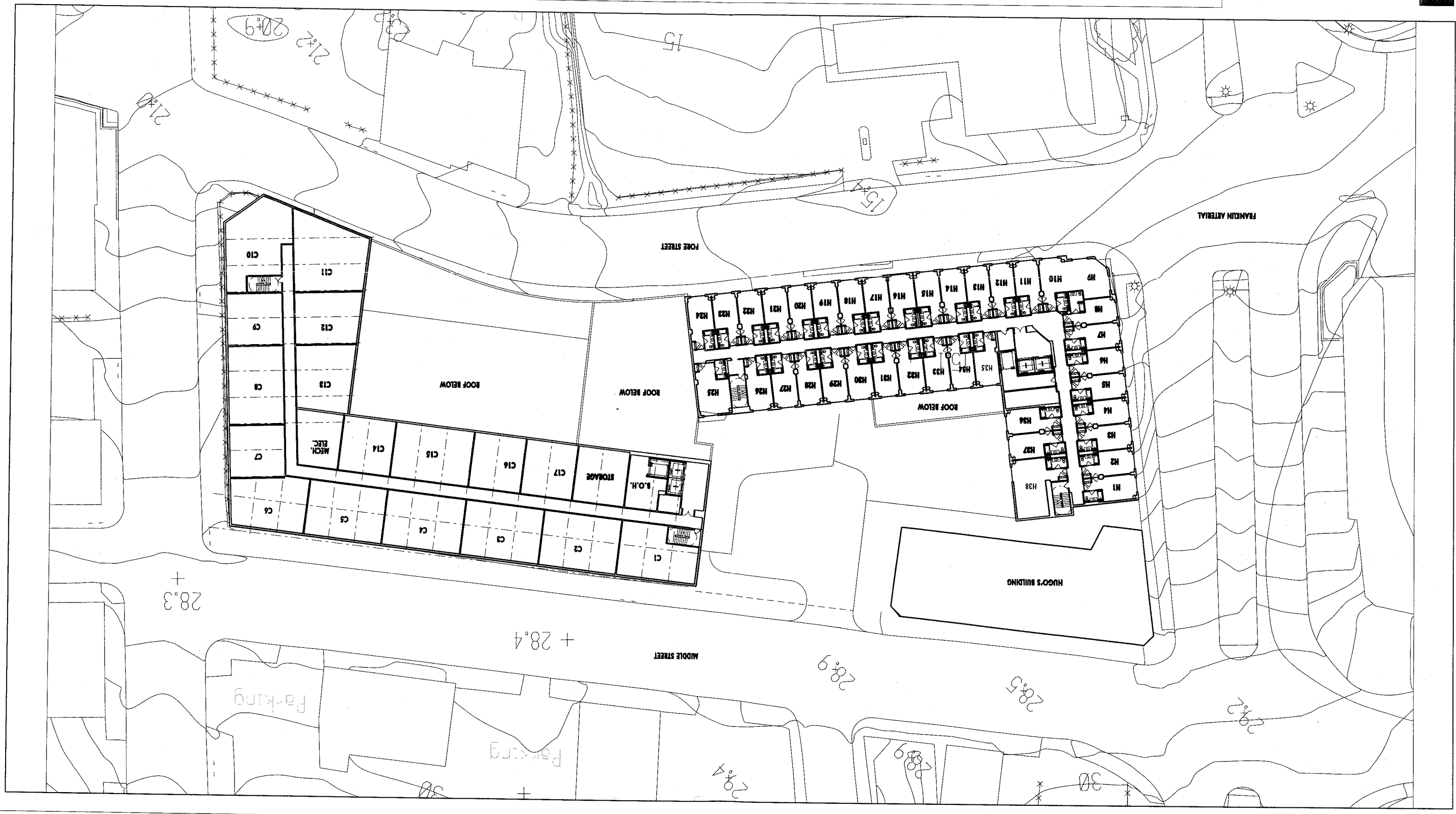


1" = 50'-0"

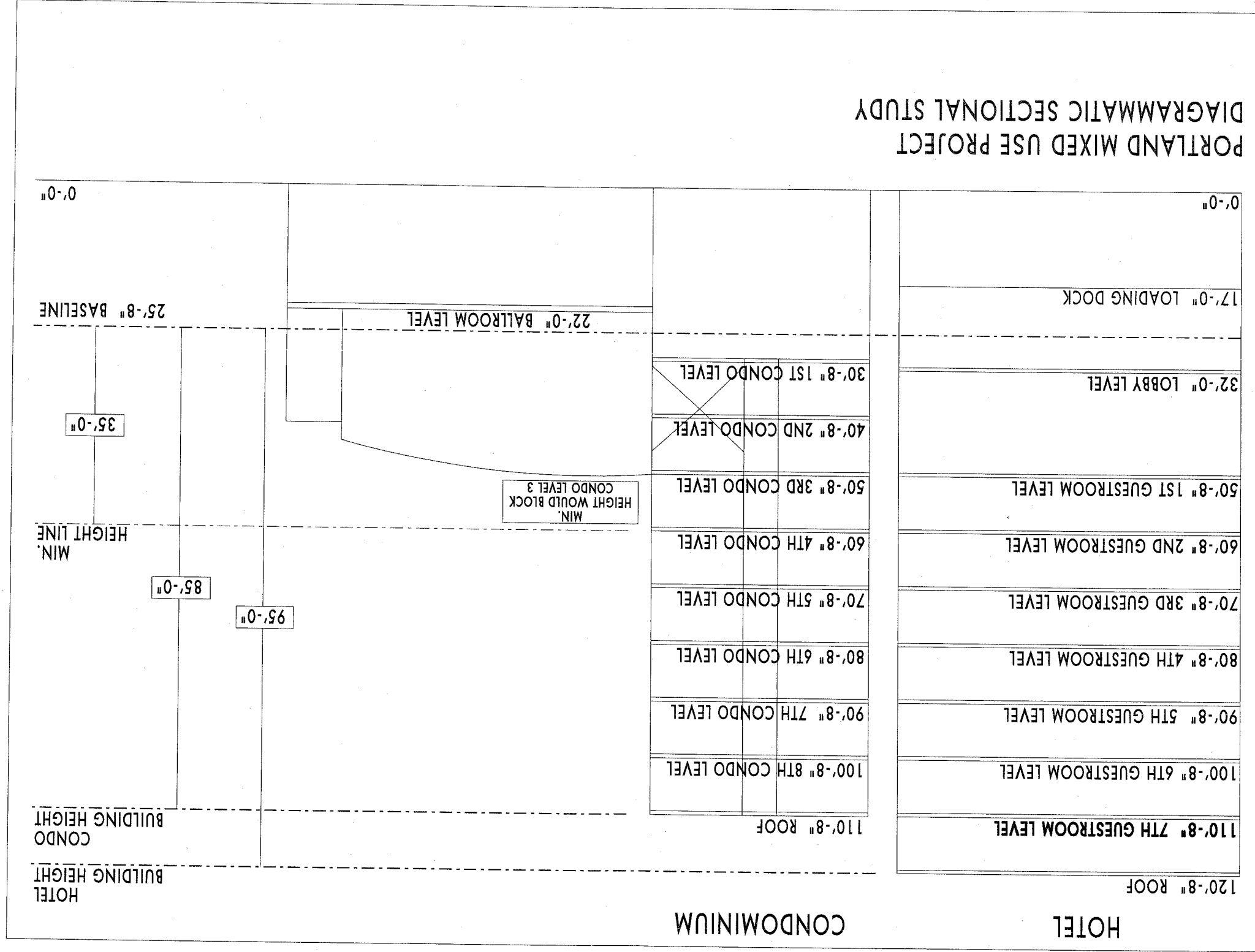
TYPICAL UPPER LEVEL

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE JUNE 14, 2005

Winton Scott
Architects



PORTLAND MIXED USE PROJECT
 DIAGRAMMATIC SECTIONAL STUDY



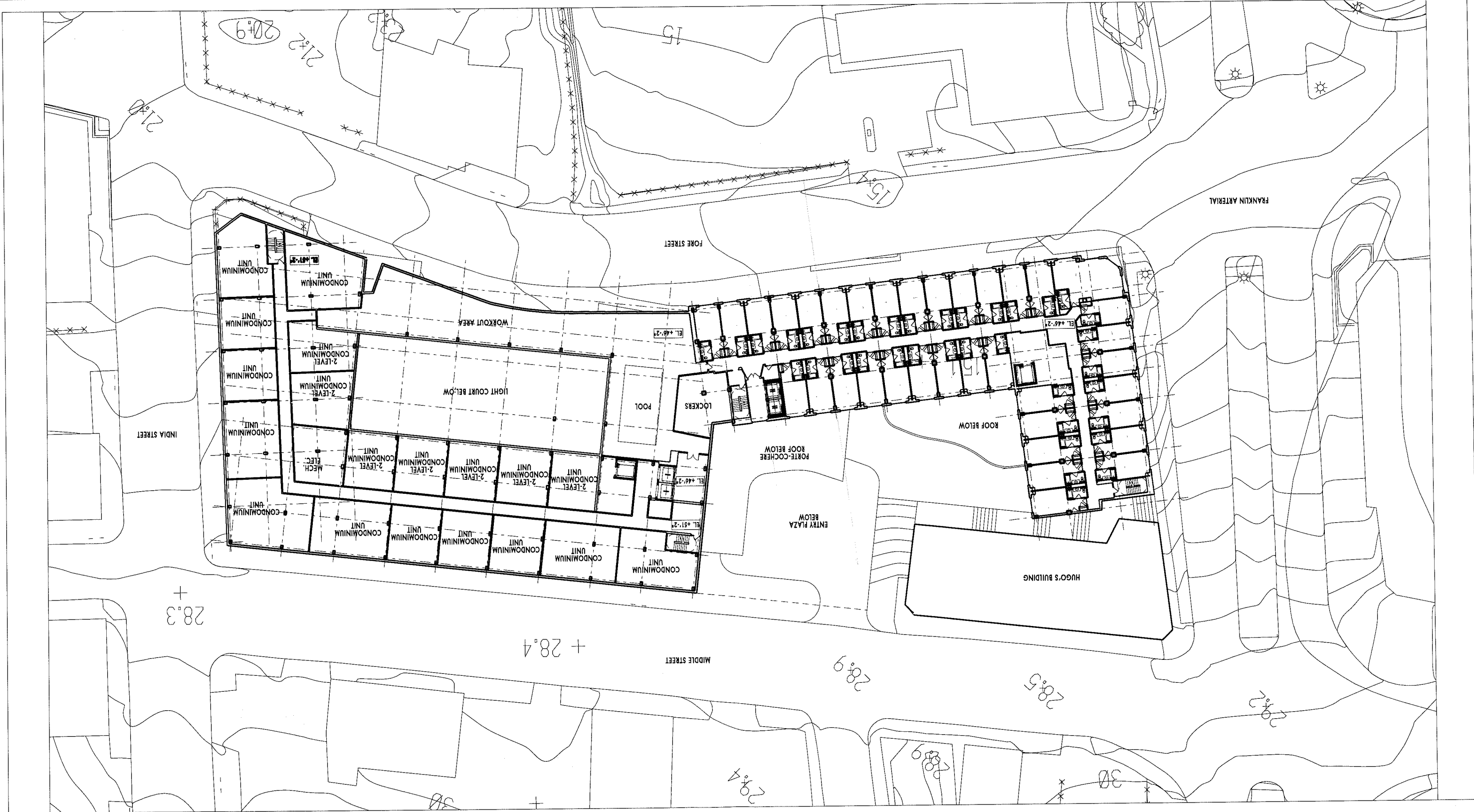


Winton Scott Architects

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE

APRIL 22, 2005

HEALTH CLUB LEVEL
ELEVATION +46'-2"
CONDO ELEVATION +51'-2"
1" = 50'-0"



TYPICAL HOTEL /
CONDOMINIUM LEVEL
1" = 50'-0"

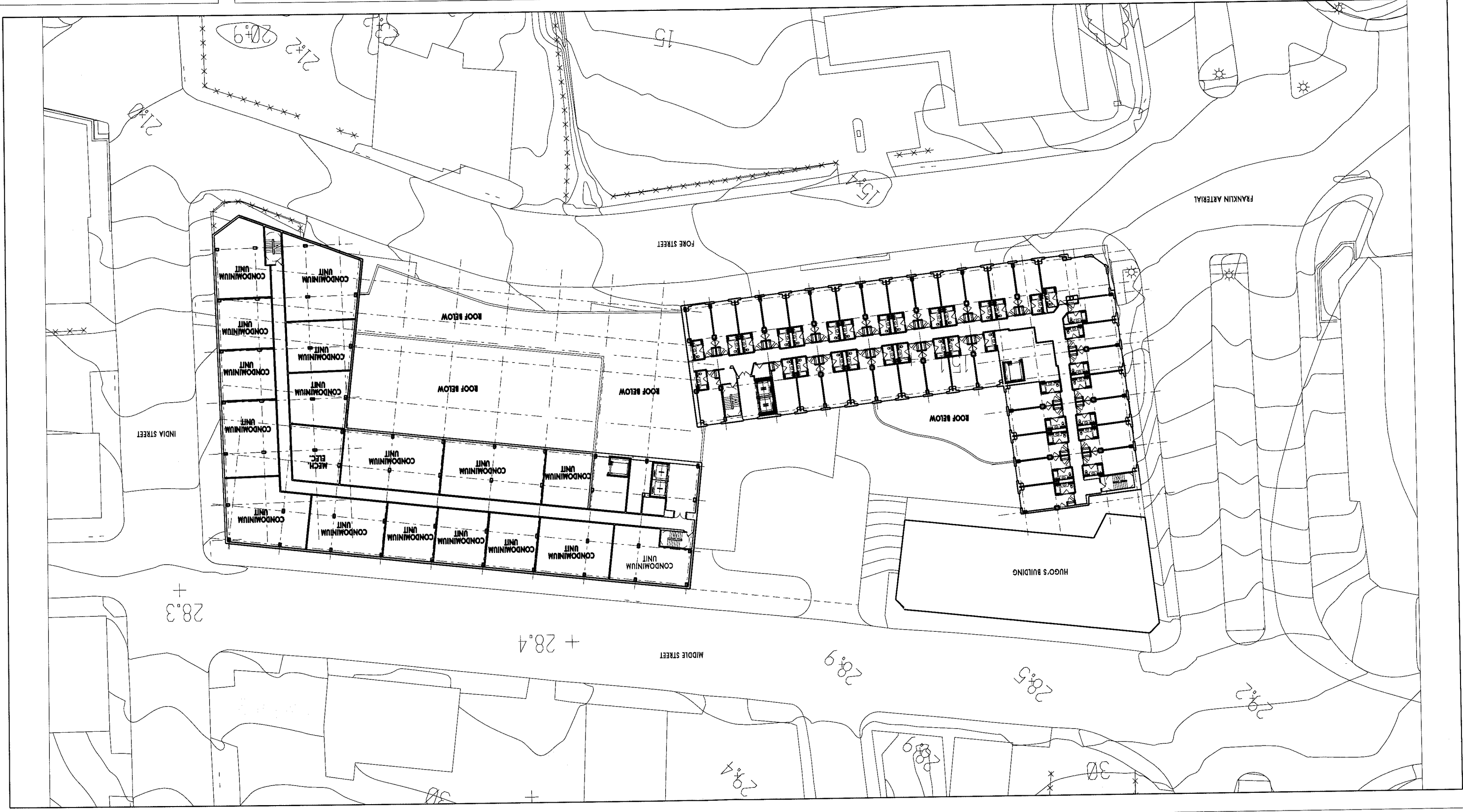
WESTIN HOTEL AND RESIDENCES

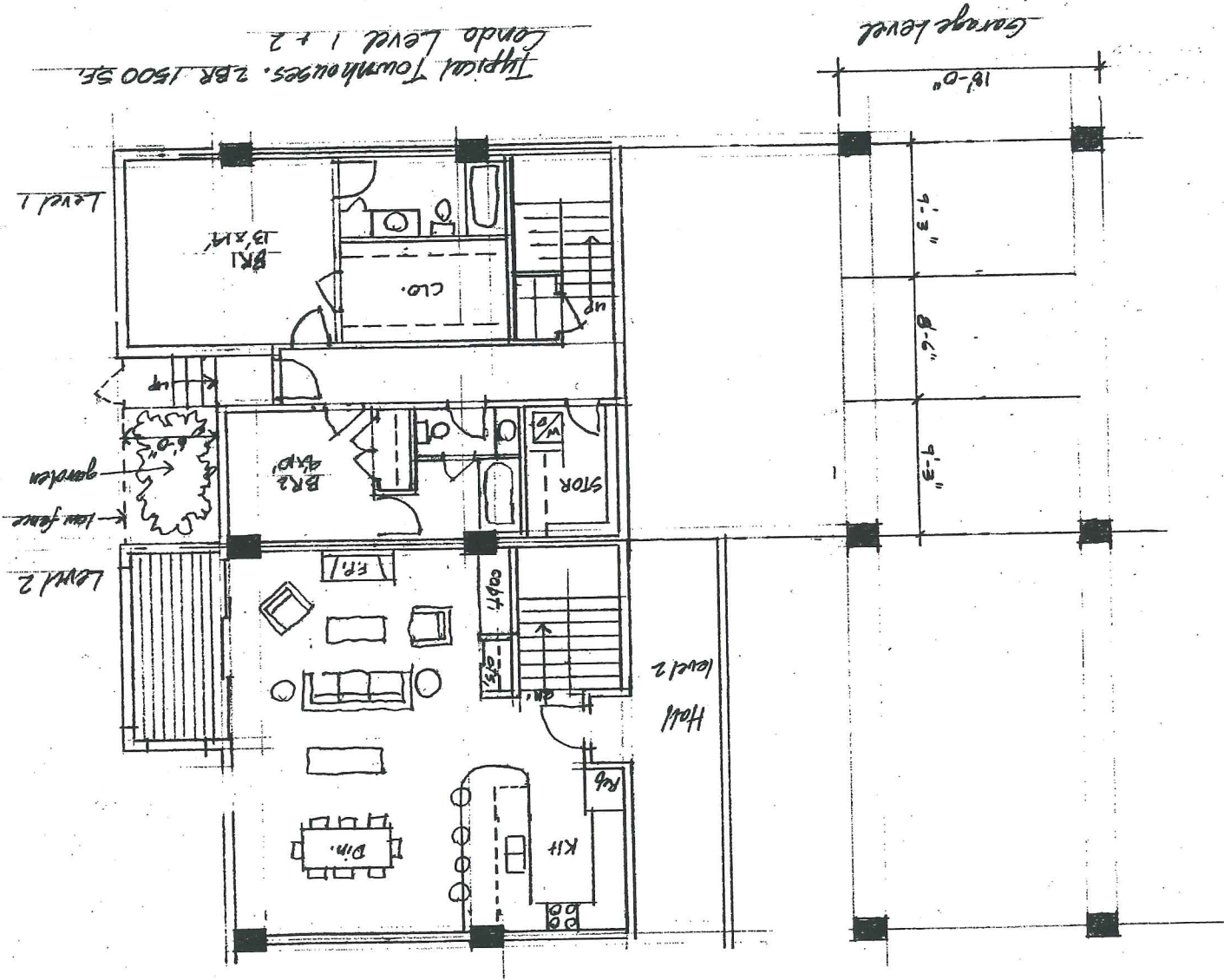
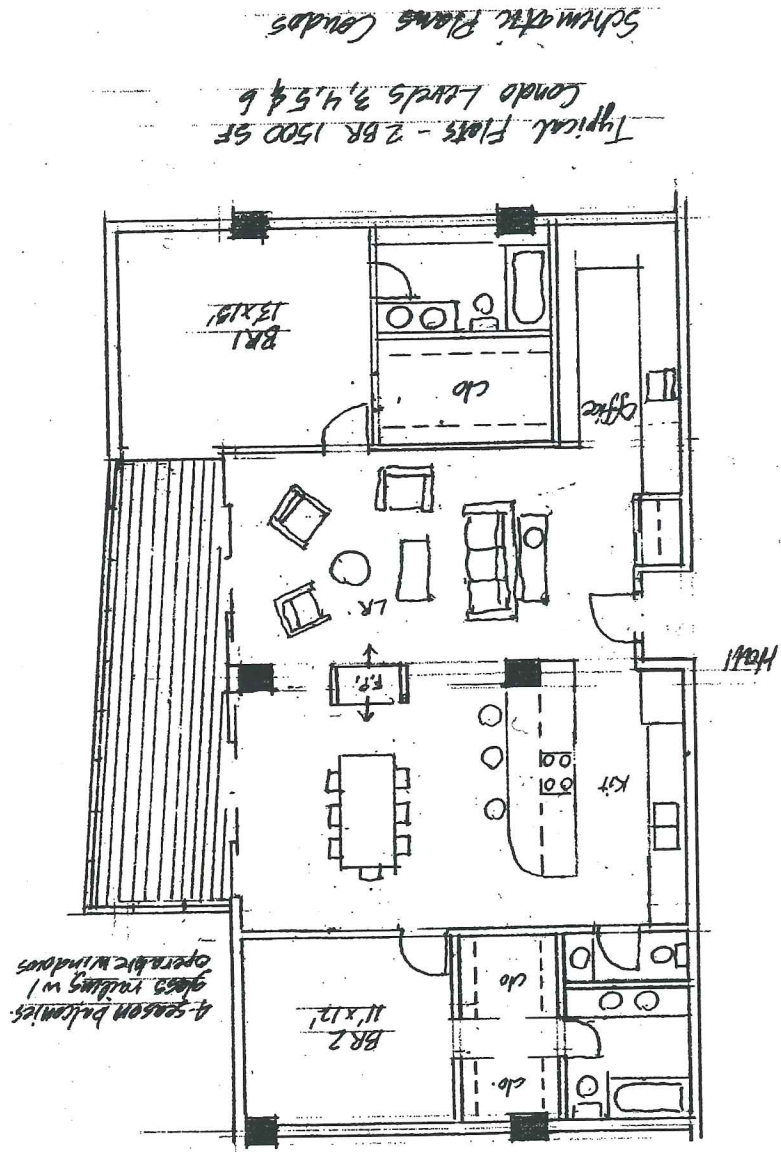
PORTLAND, MAINE
APRIL 22, 2005

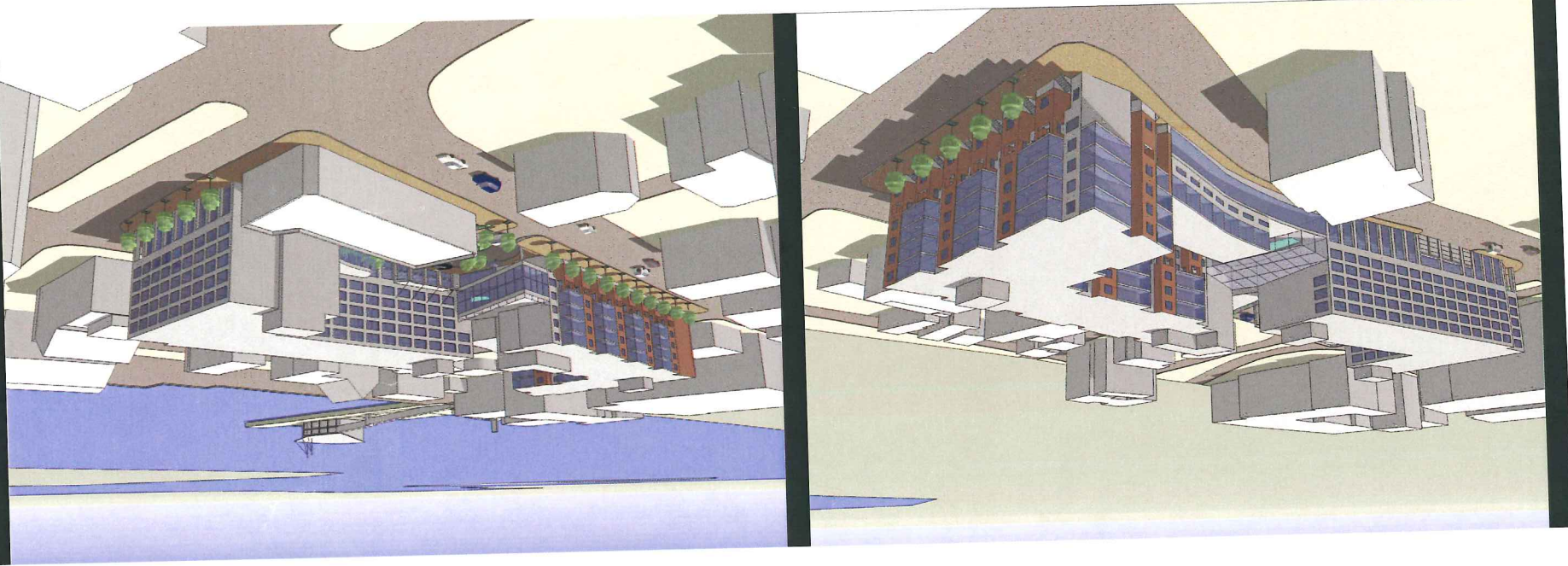
Winton Scott
Architects



COOPER CARRY







**WESTIN HOTEL
and RESIDENCES**
City of Portland Planning Board Submission
4/22/05

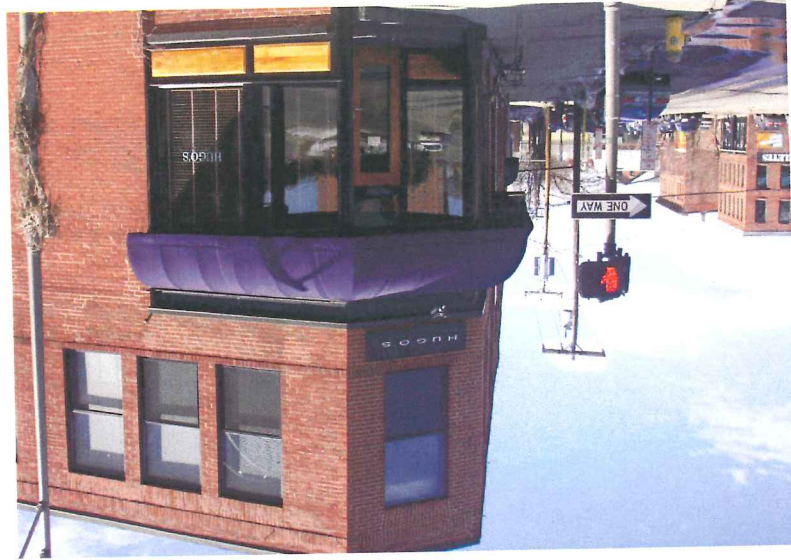
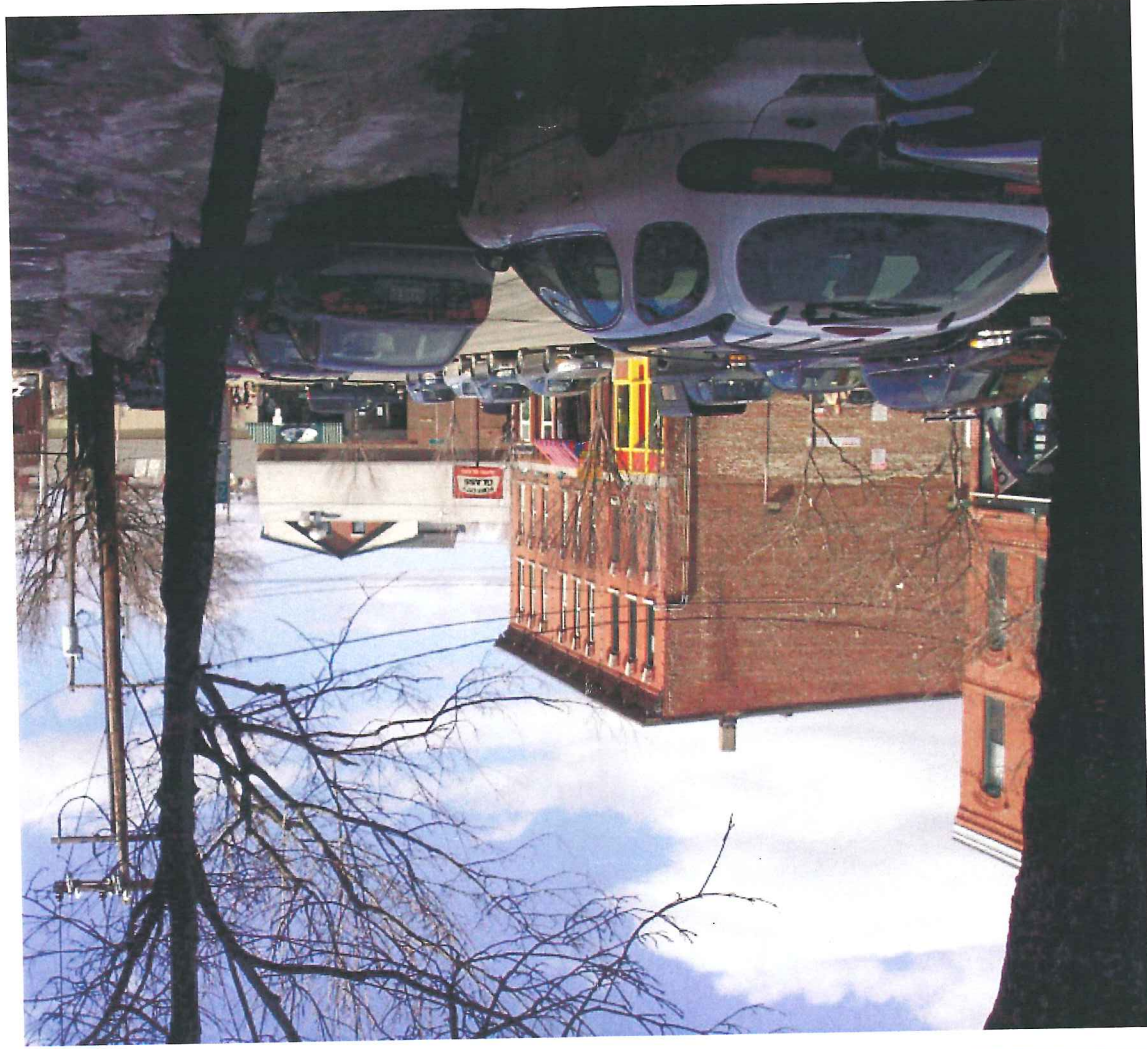
WESTIN HOTEL and RESIDENCES | Portland, Maine
Developer | PME 1 Limited Partnership
Planning and Design | Cooper Carry Architects | Winton Scott Architects • Sebago Technics

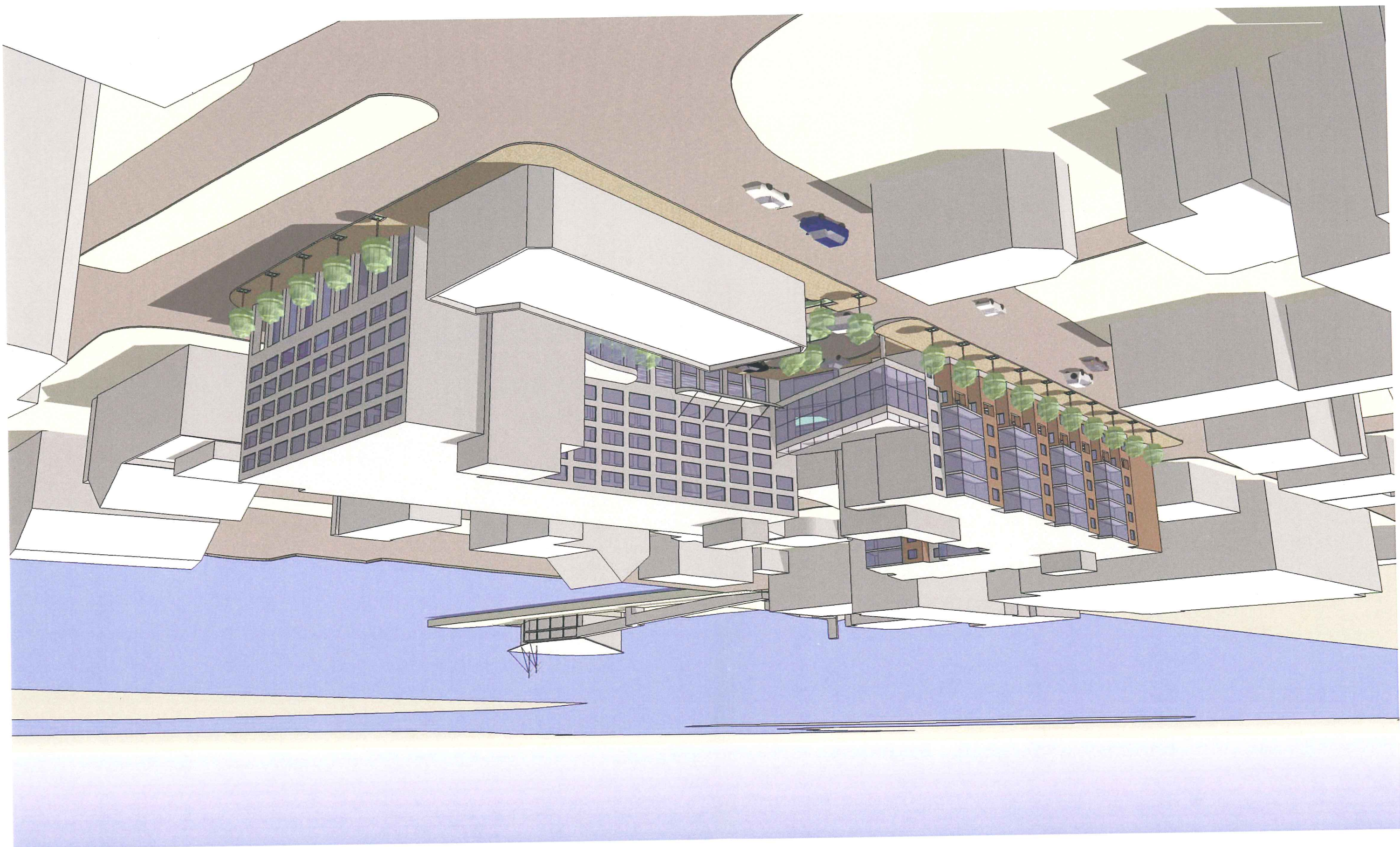
Planning and Design Concepts

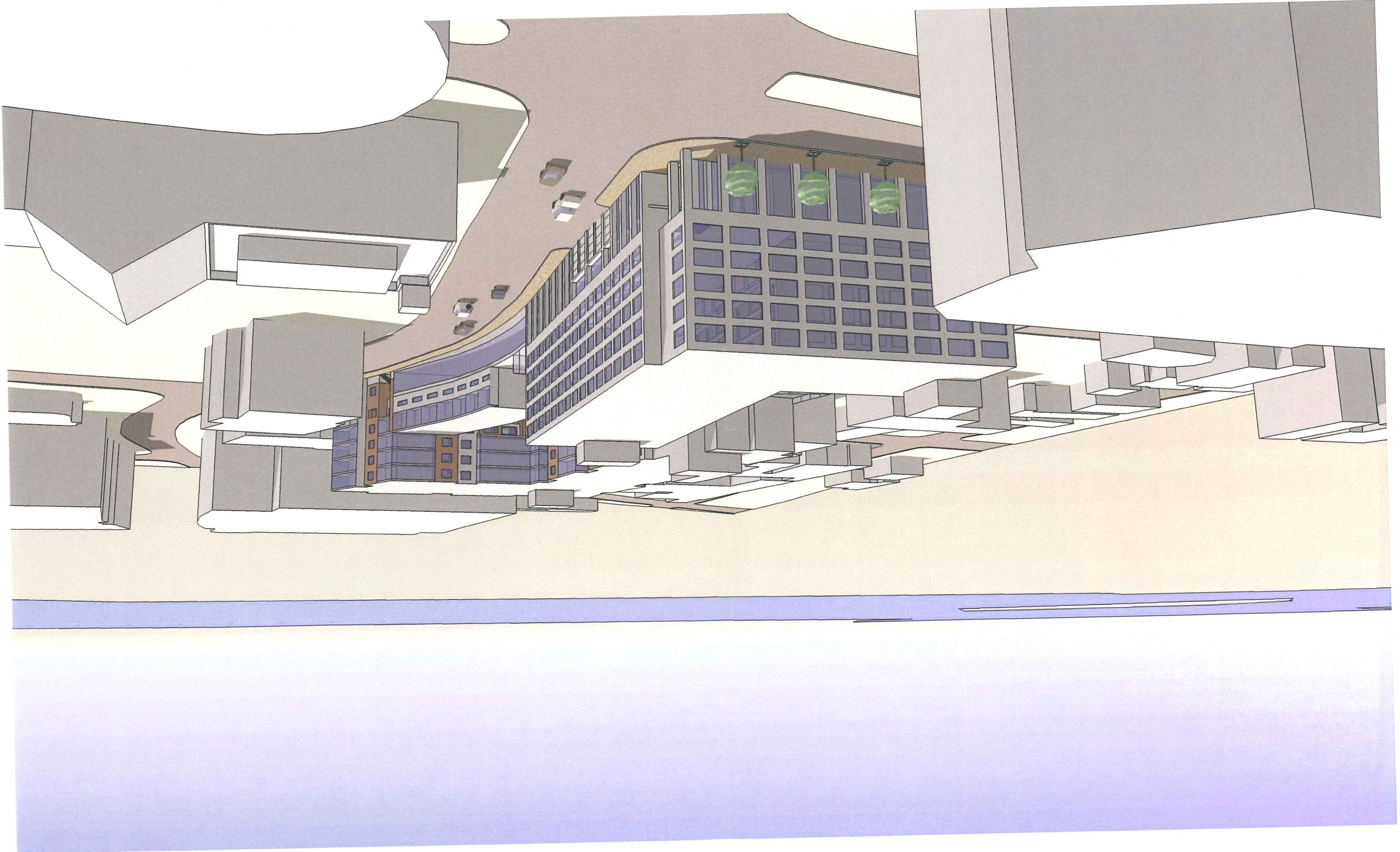
The redevelopment of the Jordan's Meat Site presents a unique opportunity to build an intensely urban, mixed use "bridge" between the dynamism of the Old Port and the city's planned redevelopment of the eastern waterfront zone. A new high quality hotel and urban residences are perfect land uses for injecting high energy pedestrian activity onto the surrounding sidewalk, day and night. This can only be a catalyst for enhanced business opportunities for restaurants and stores in the area and the resulting synergy will encourage others contemplating future development in the immediate neighborhood.

The Design Team for this development are acutely mindful of the rich history of this early Italian precinct of Portland. Furthermore, this proposal adopts the approach that walkable, pedestrian-scaled streets should be the first priority. To this end, this proposal advocates a lively mix of vest pocket gardens, bays, stoops, and recessed porches along the Middle and India frontages. These features in the first two stories as well as the highly animated recesses and projections on the upper floors will serve well to celebrate the architectural texture of this historic neighborhood.

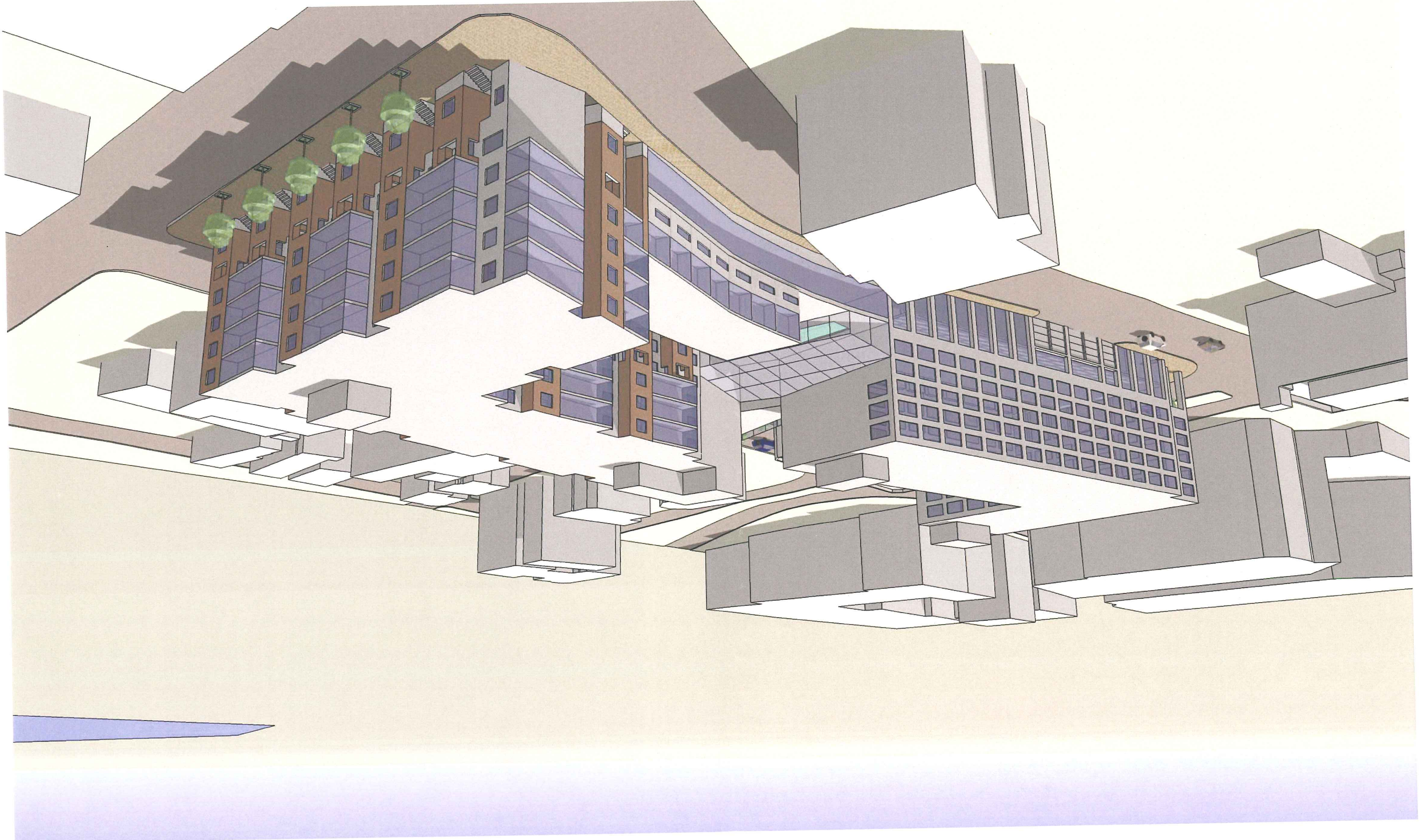
On Franklin and Fore, where there is much more through traffic, the architectural skin is stretched tighter but even so the pedestrian will be well entertained by the constant activity just inside the glass enclosing the 100' restaurant on Franklin and the 350' long hotel and banquet hall lobbies. A new pedestrian alley behind Hugo's restaurant will invite exploration of the inner courtyard terminus of Hampshire Street. And a dramatic hotel entrance at the corner of Franklin and Fore will attract visitors to the hotel restaurant.

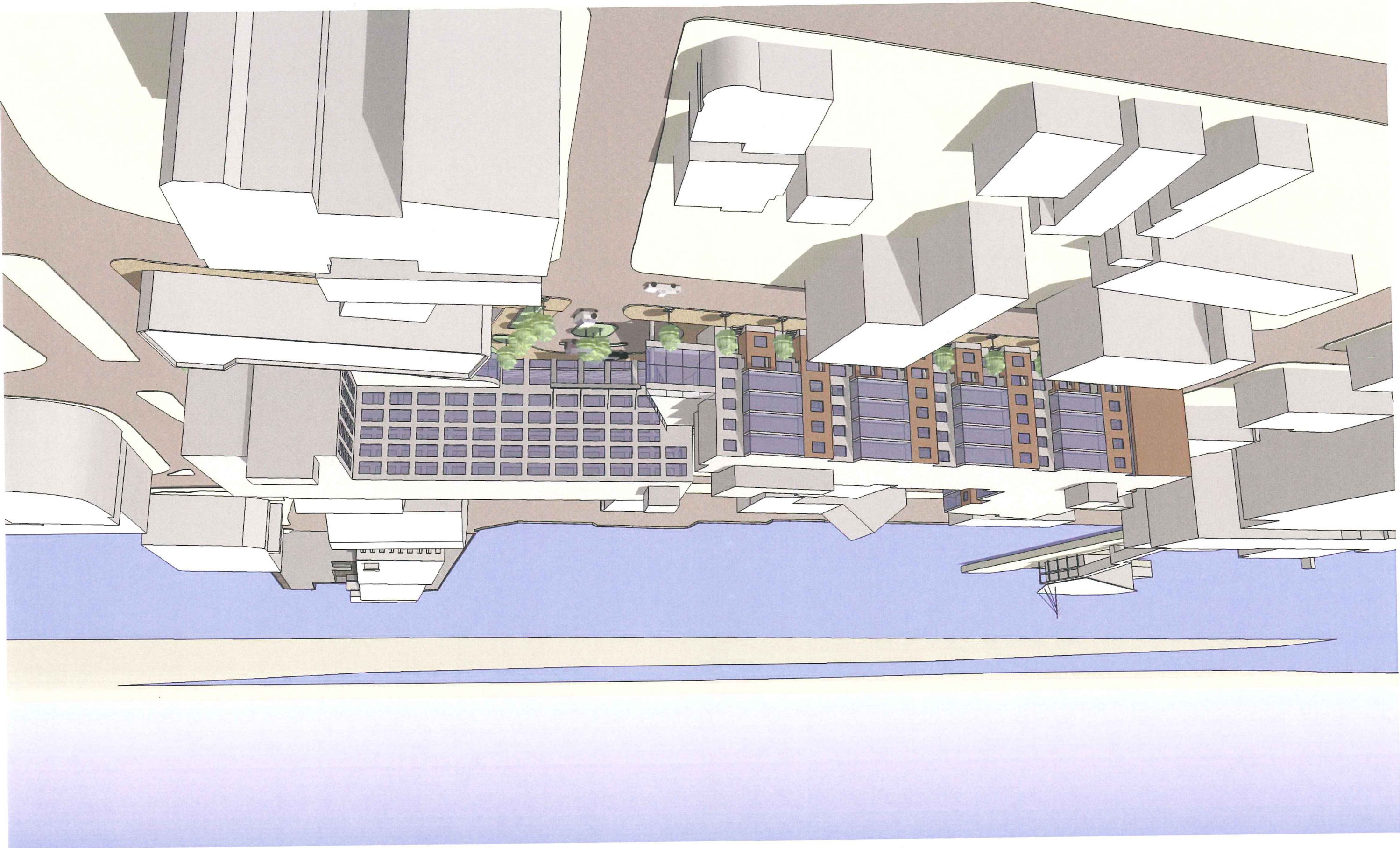






WESTIN HOTEL and RESIDENCES | Portland, Maine Developer | **PME 1 Limited Partnership** Planning and Design | **Cooper Carry Architects • Winton Scott Architects • Sebago Technics**



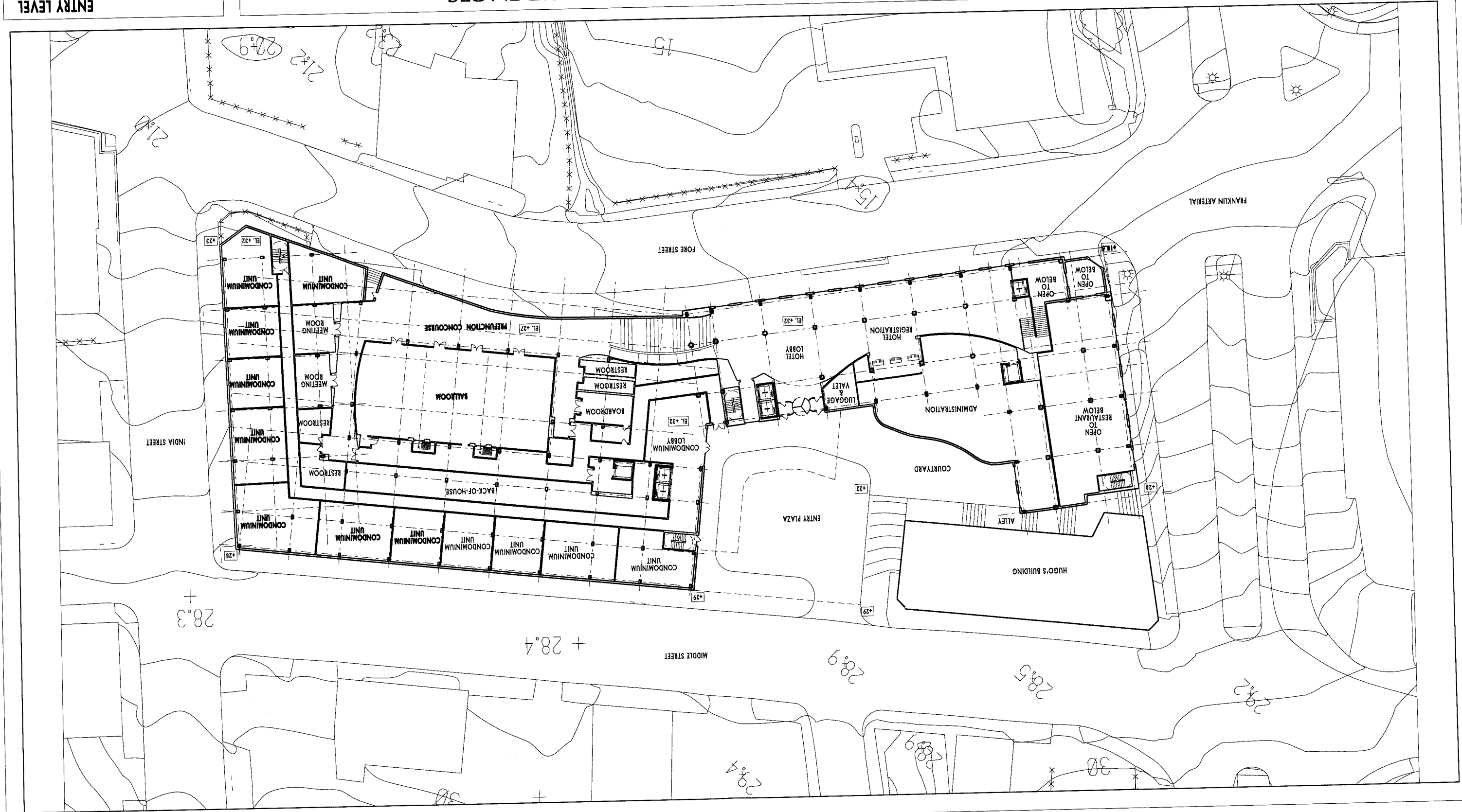
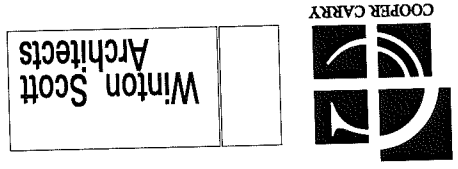




ENTRY LEVEL
ELEVATION +32'-0" / +27'-0"
1" = 50'-0"

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE

APRIL 22, 2005

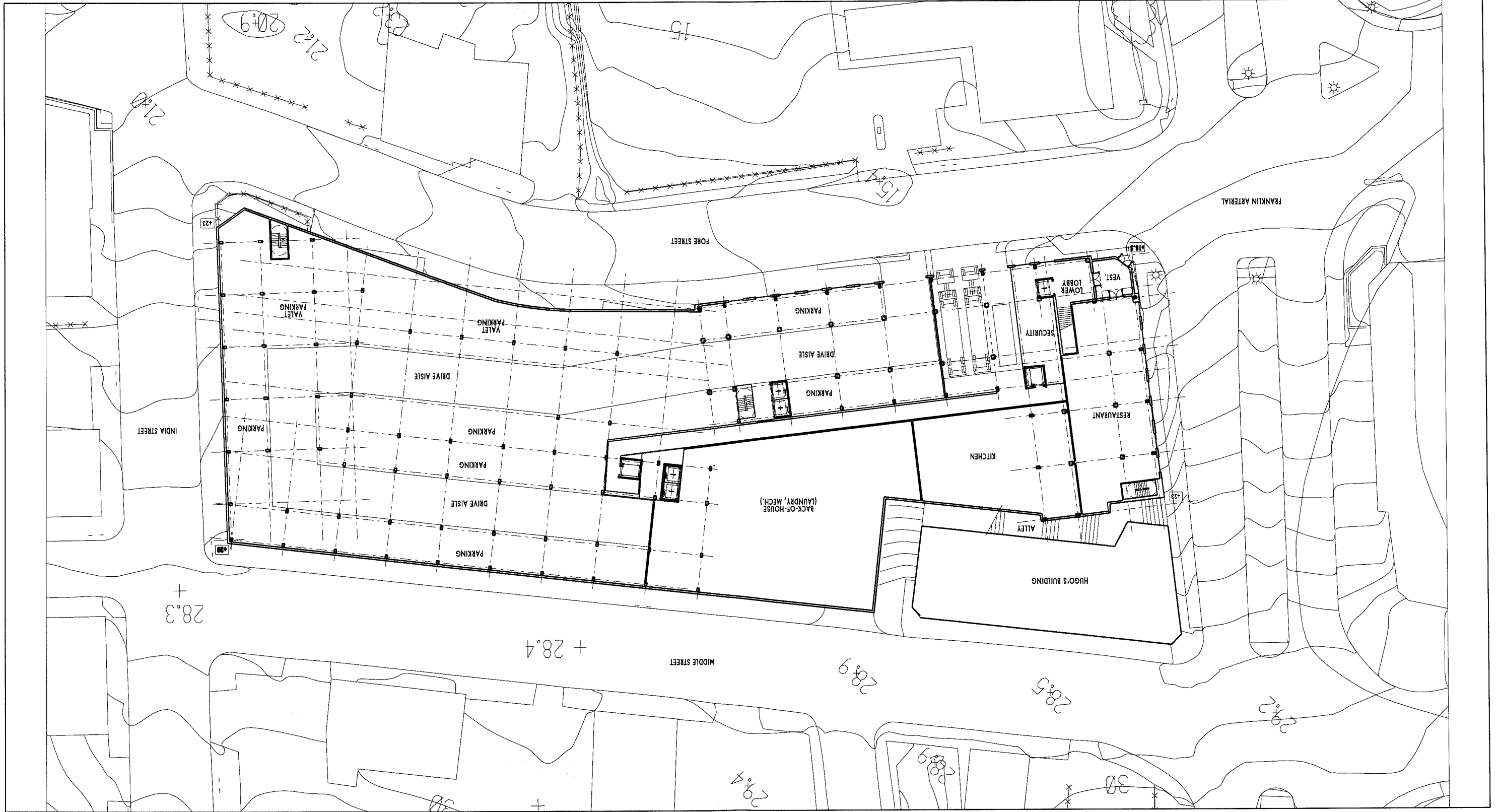


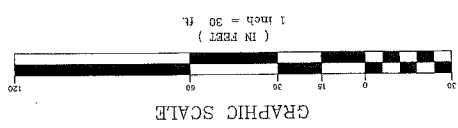
FORE STREET LEVEL
ELEVATION +19
1" = 50'-0"

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE

APRIL 22, 2005

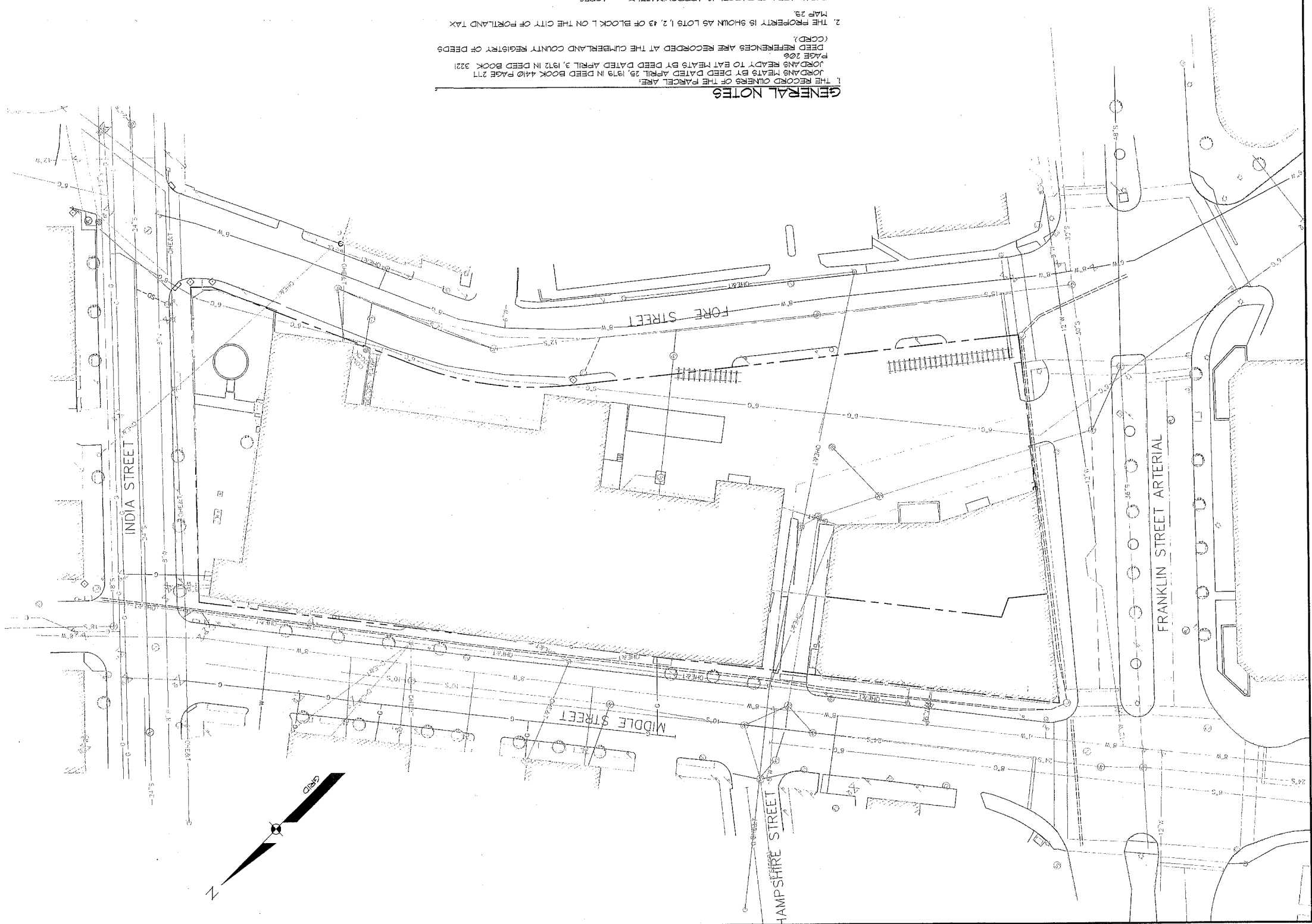
Winton Scott
Architects





GENERAL NOTES

1. THE RECORD OWNERS OF THE PARCEL ARE: JORDAN'S HEATS BY DEED DATED APRIL 25, 1979 IN DEED BOOK 4410 PAGE 211 JORDAN'S HEATS TO EAT HEATS BY DEED DATED APRIL 3, 1972 IN DEED BOOK 3221 PAGE 206
2. THE PROPERTY IS SHOWN AS LOTS 1, 2, 13 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY --- ACRES.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN APRIL OF 2005.
5. PLAN REFERENCES:
 - A. LAND TITLE SURVEY FOR JORDAN'S HEATS, BY TICOMB ASSOCIATES, DATED FEBRUARY 2, 1990 AND LAST REVISED JULY 16, 1998.
 - B. PLAN REFERENCES:
6. THE BEARINGS, COORDINATES, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAIN STATE PLANE COORDINATE GRID, WEST ZONE 1823 ON NAD83 AND NAVD83 IN US FEET.



LEGEND

DESCRIPTION	PROPOSED	EXISTING
PROPERTY ROW	---	---
SETBACK	---	---
EASEMENT	---	---
CENTERLINE	---	---
MONUMENT	○	○
IRON PIPE/ROD	●	●
DRILLHOLE	○	○
CURVE/LINE NO.	C/L	L
BUILDING	▭	▭
SIGN	▭	▭
EDGE PAVEMENT	---	---
GRAVEL ROAD	---	---
CURBLINE	---	---
TEST PIT	⊕	⊕
MONITORING WELL	⊕	⊕
BORING	⊕	⊕
CONTOURS	---	---
GAS	---	---
WATER	---	---
SEWER	---	---
STONE DRAIN	---	---
FORCE MAIN	---	---
UNDERDRAIN	---	---
OVERHEAD	---	---
ELEC. & TEL.	---	---
UNDERGROUND	---	---
ELEC. & TEL.	---	---
TRANSFORMER PAD	⊕	⊕
GATE VALVE	⊕	⊕
LIGHT POLE	⊕	⊕
UTILITY POLE	⊕	⊕
HYDRANT	⊕	⊕
CATCH BASIN	⊕	⊕
MANHOLE	⊕	⊕
SPOT GRADE	⊕	⊕
CHAIN LINK FENCE	---	---
BARB WIRE FENCE	---	---
STOCKADE FENCE	---	---
DECIDUOUS TREE	○	○
CONIFEROUS TREE	○	○
RAILROAD	---	---
ZONE LINE	---	---
BENCHMARK	⊕	⊕
SURVEY CONTROL	⊕	⊕

ALTA/ASSM LAND TITLE SURVEY

FOR: **JORDAN'S HEATS PROPERTY**
 FORE ST, INDIA ST, MIDDLE ST, FRANKLIN ST ARTERIAL
 PORTLAND, MAINE

FOR: **PME 1 LIMITED PARTNERSHIP**
 197 FIRST AVENUE, SUITE 110
 NEEDHAM, MA 02494

DATE: 4/18/05
 SCALE: 1" = 30'

PROJECT NO: 0509522C
 FIELD BOOK: DESIGN
 CHKD: DRAWN
 MME / MME /

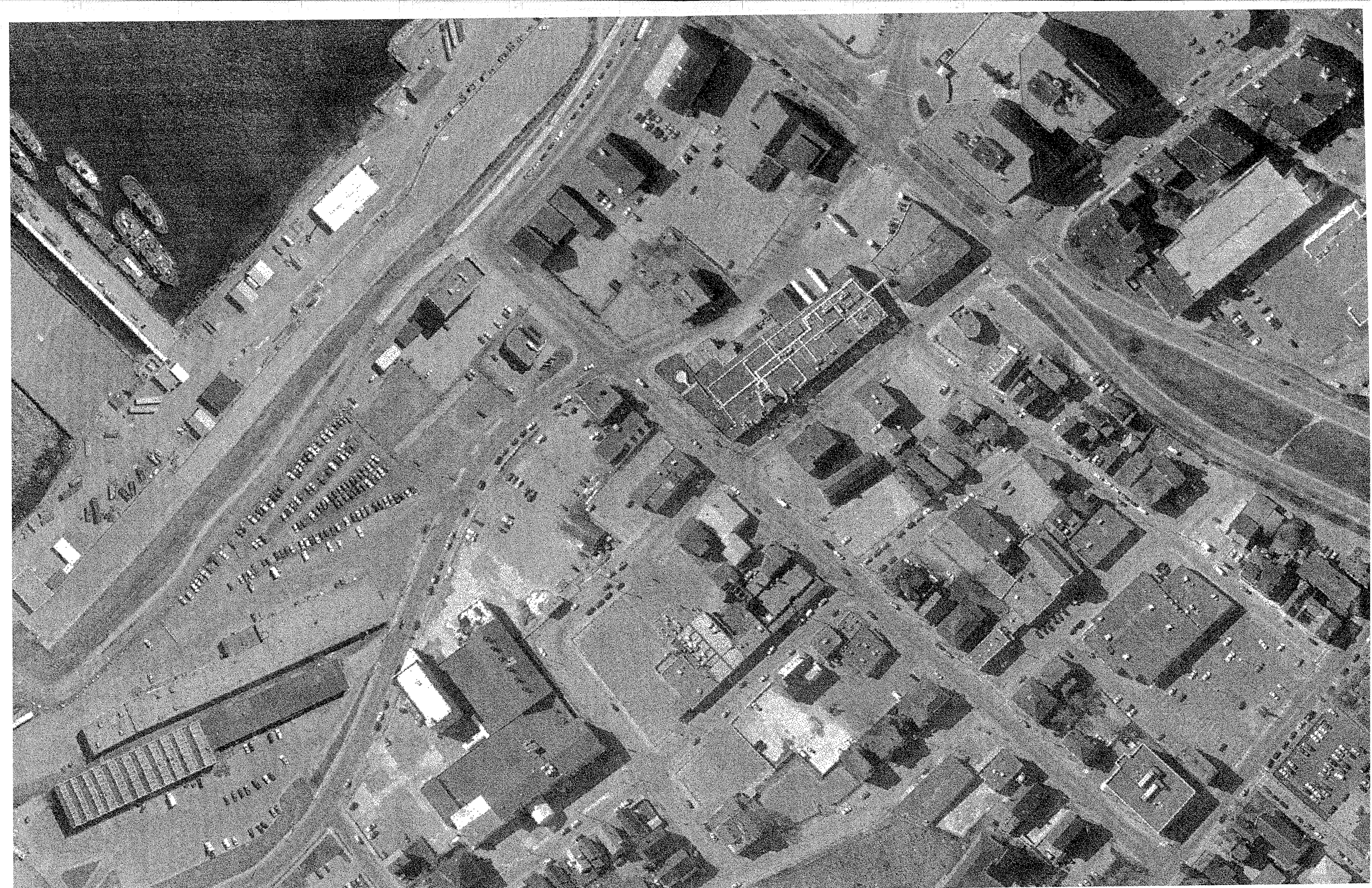
LOCATION MAP

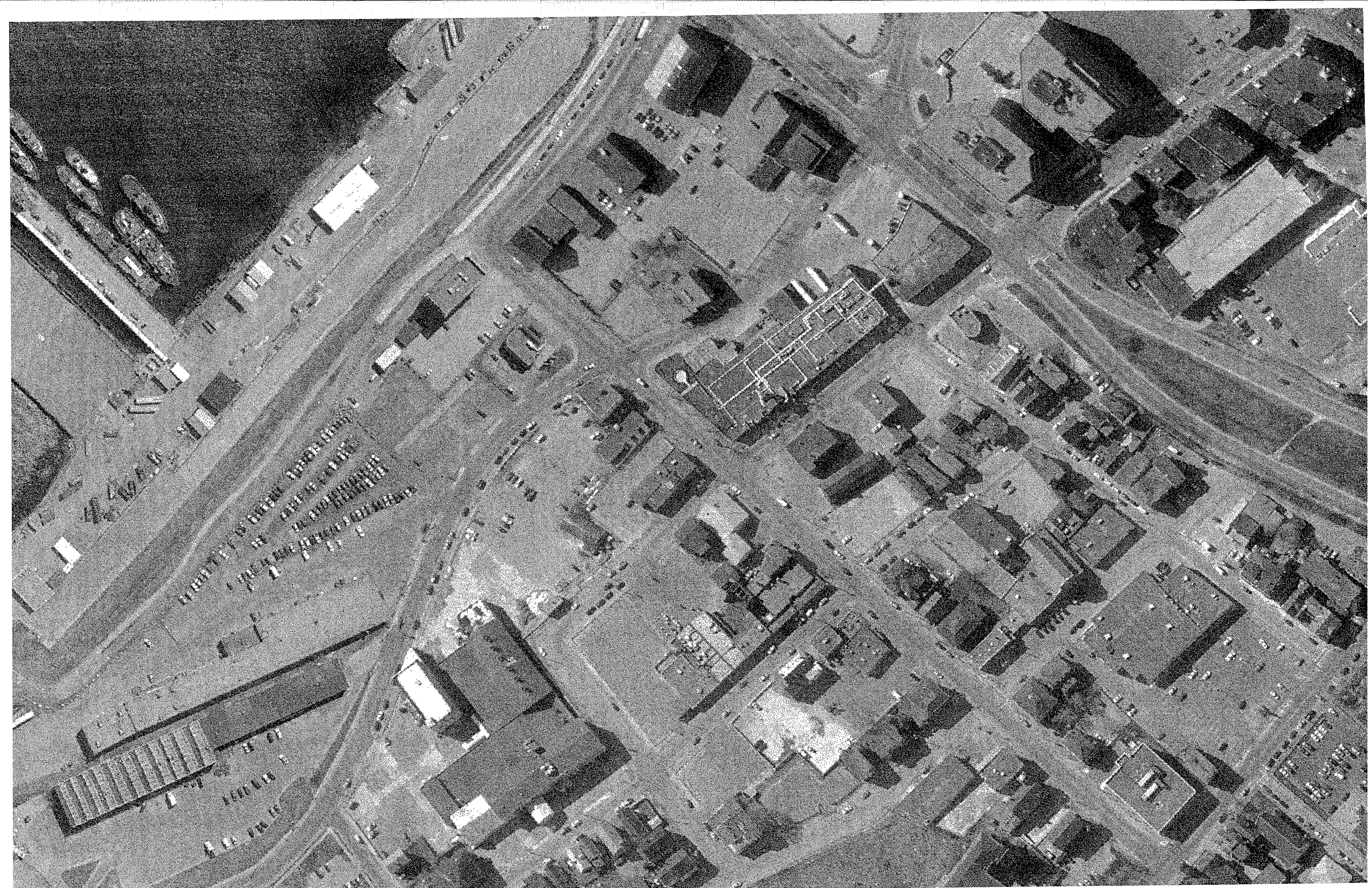
NTS

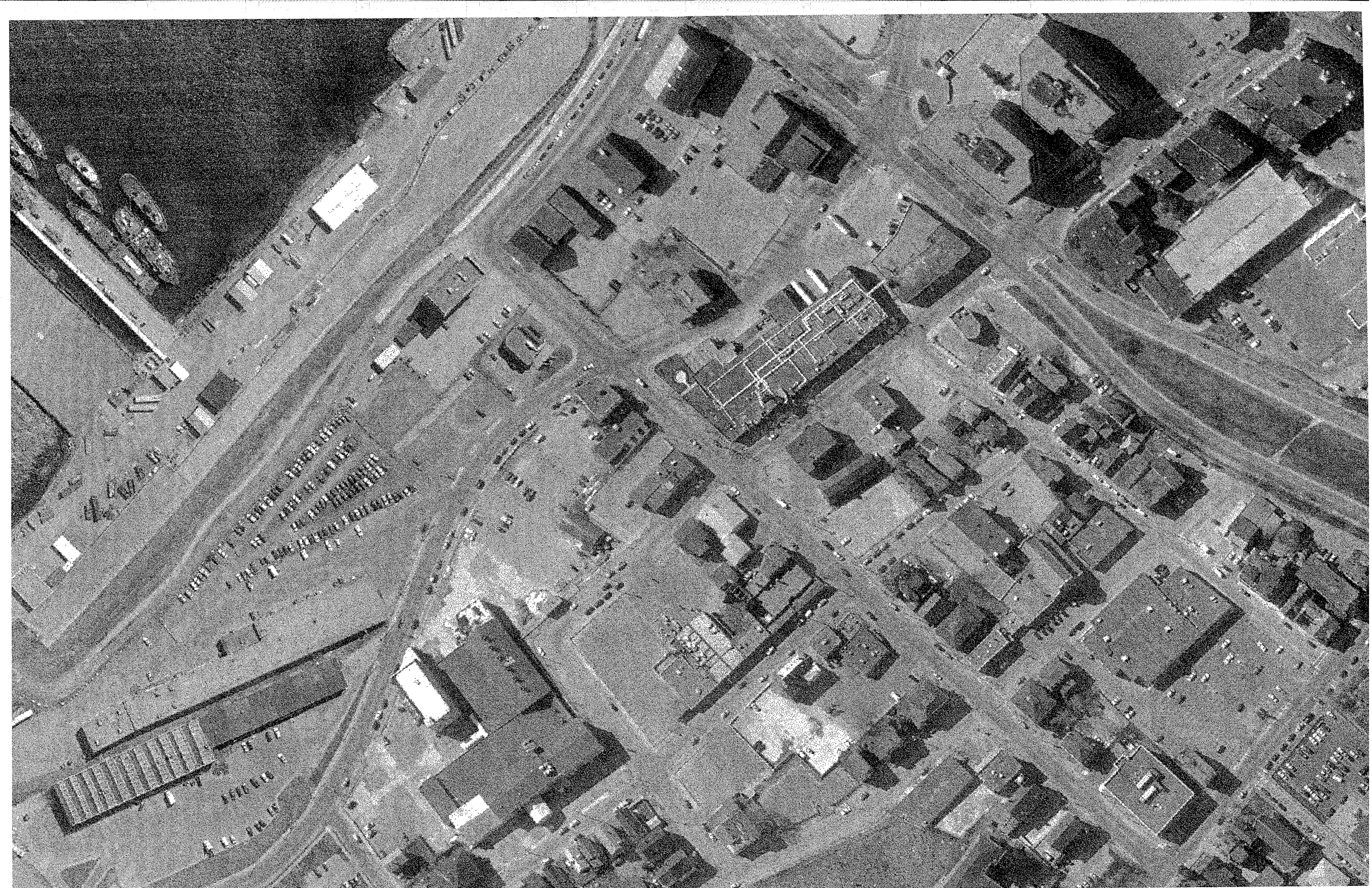
REV.	BY:	DATE:	STATUS:

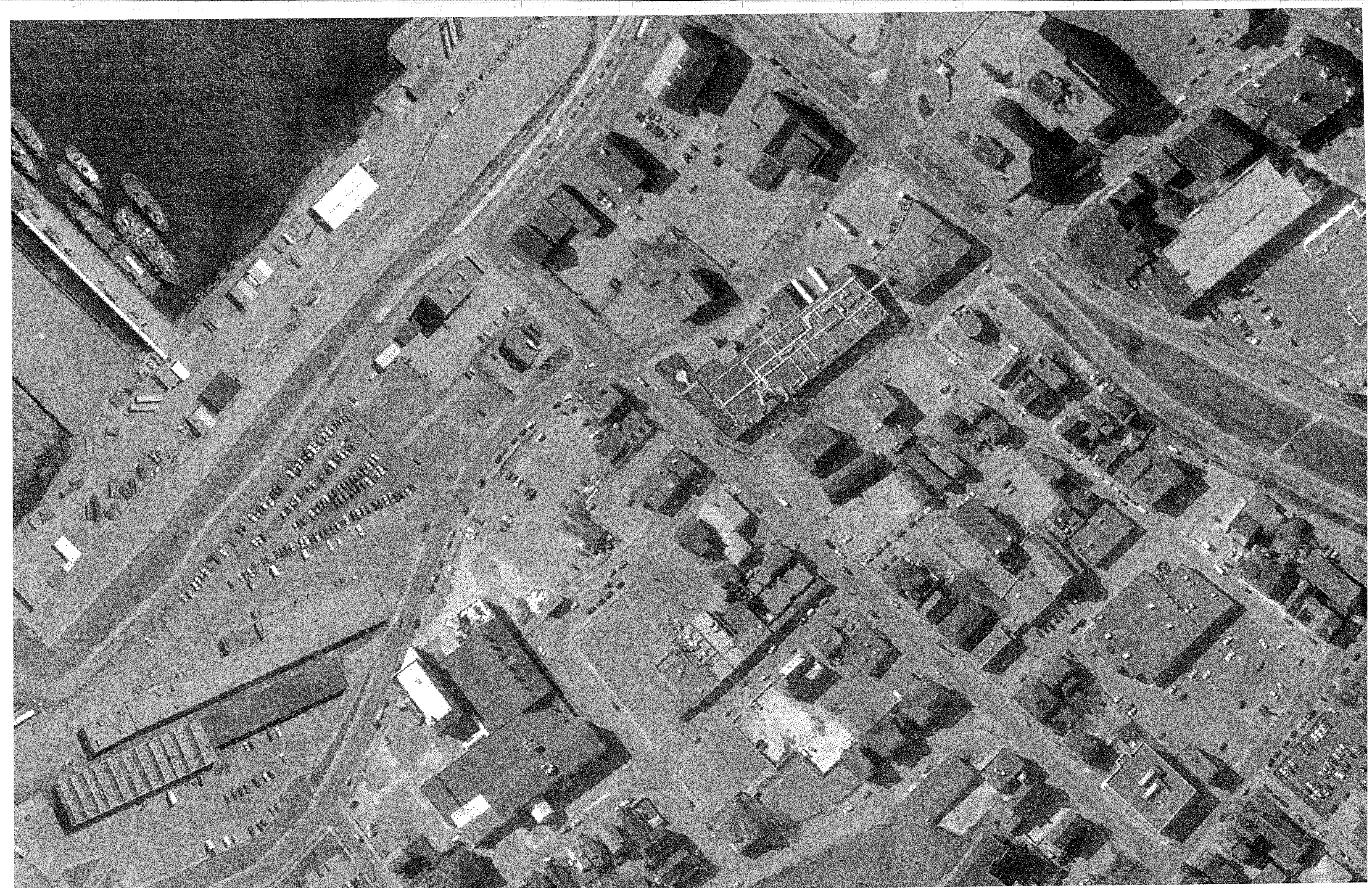
Sebago Technics
 Engineering Expenses You Can Build On
 One Central Square - 339
 Tel: (207) 968-0277

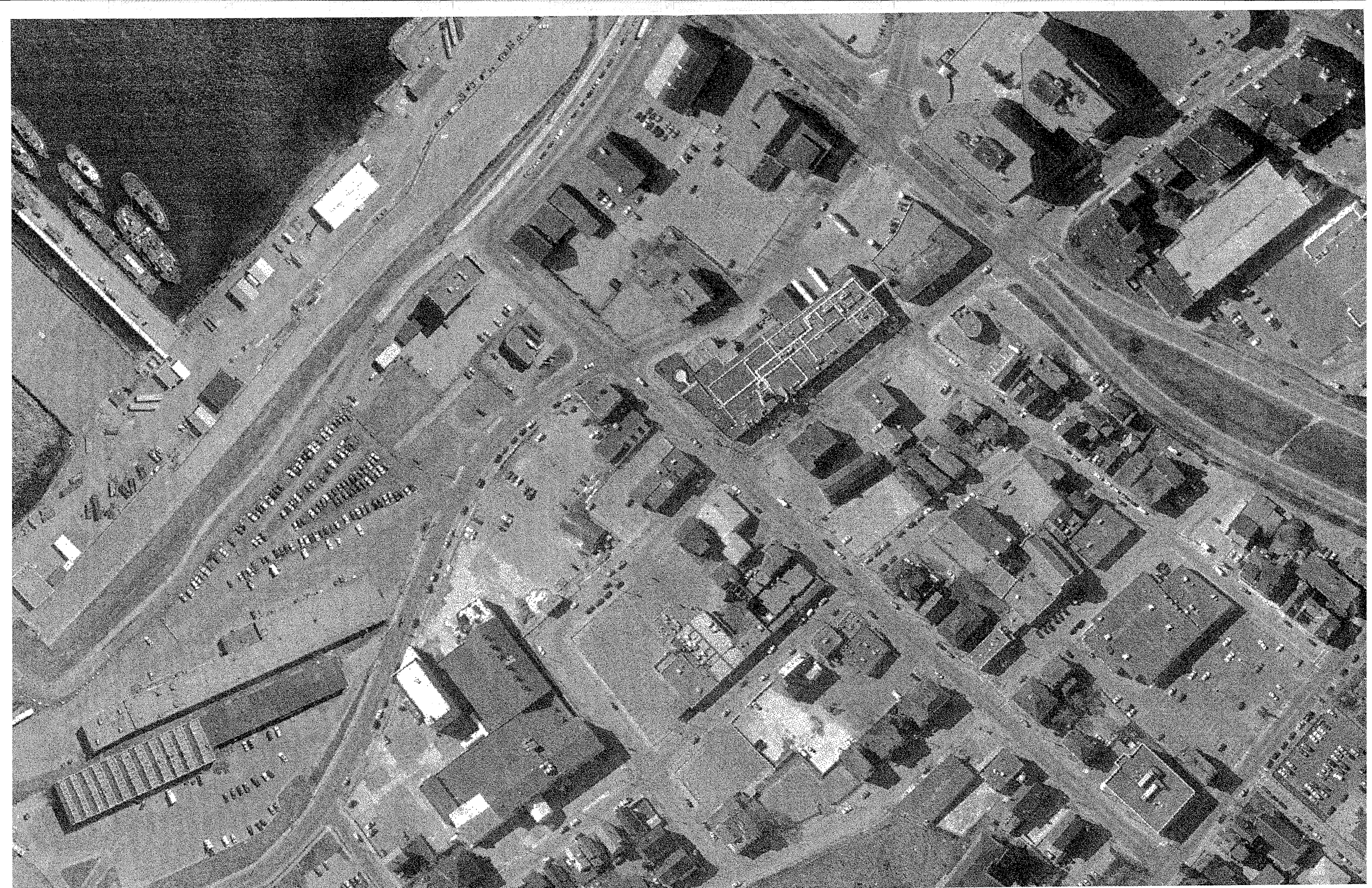
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

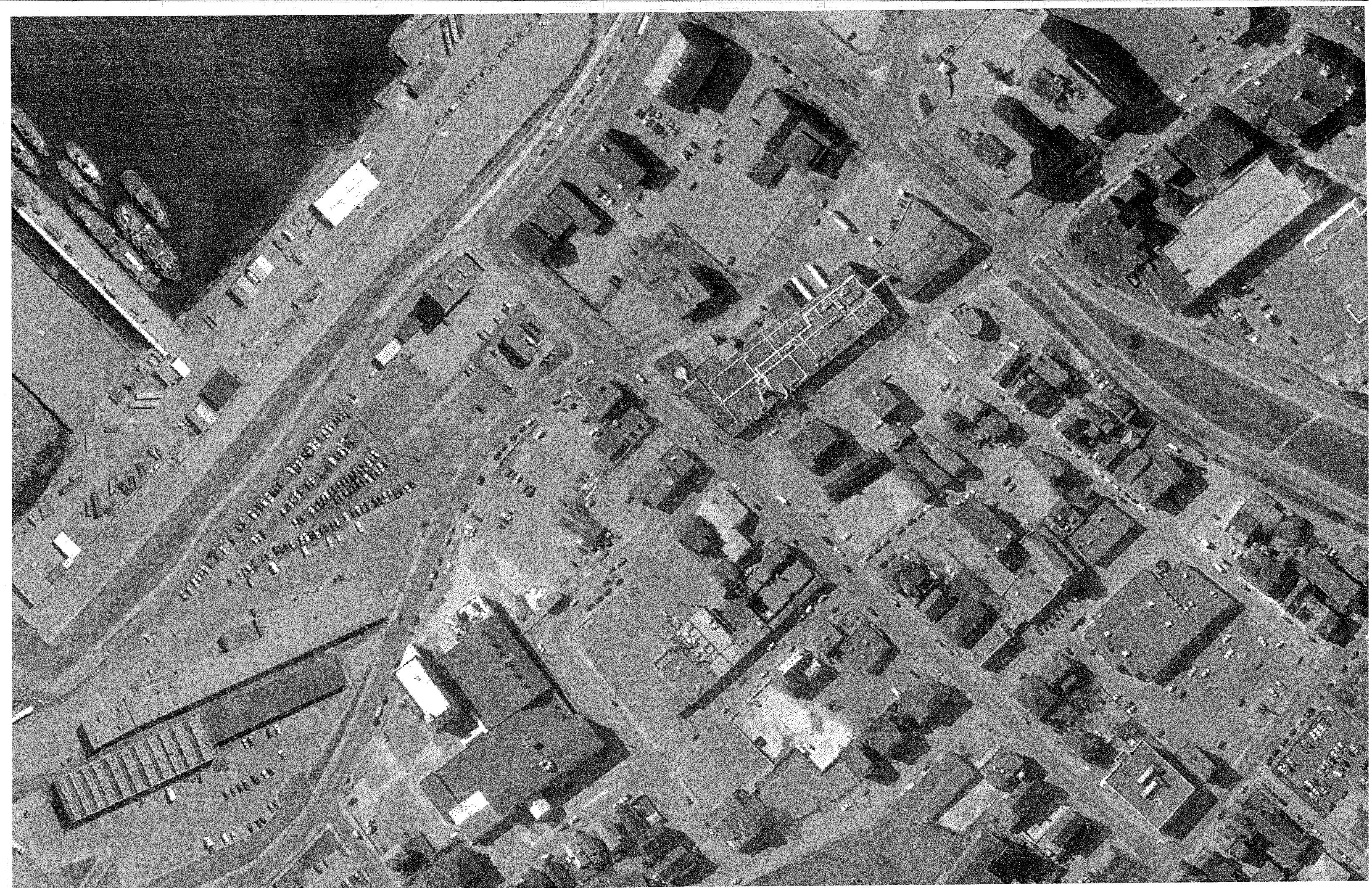




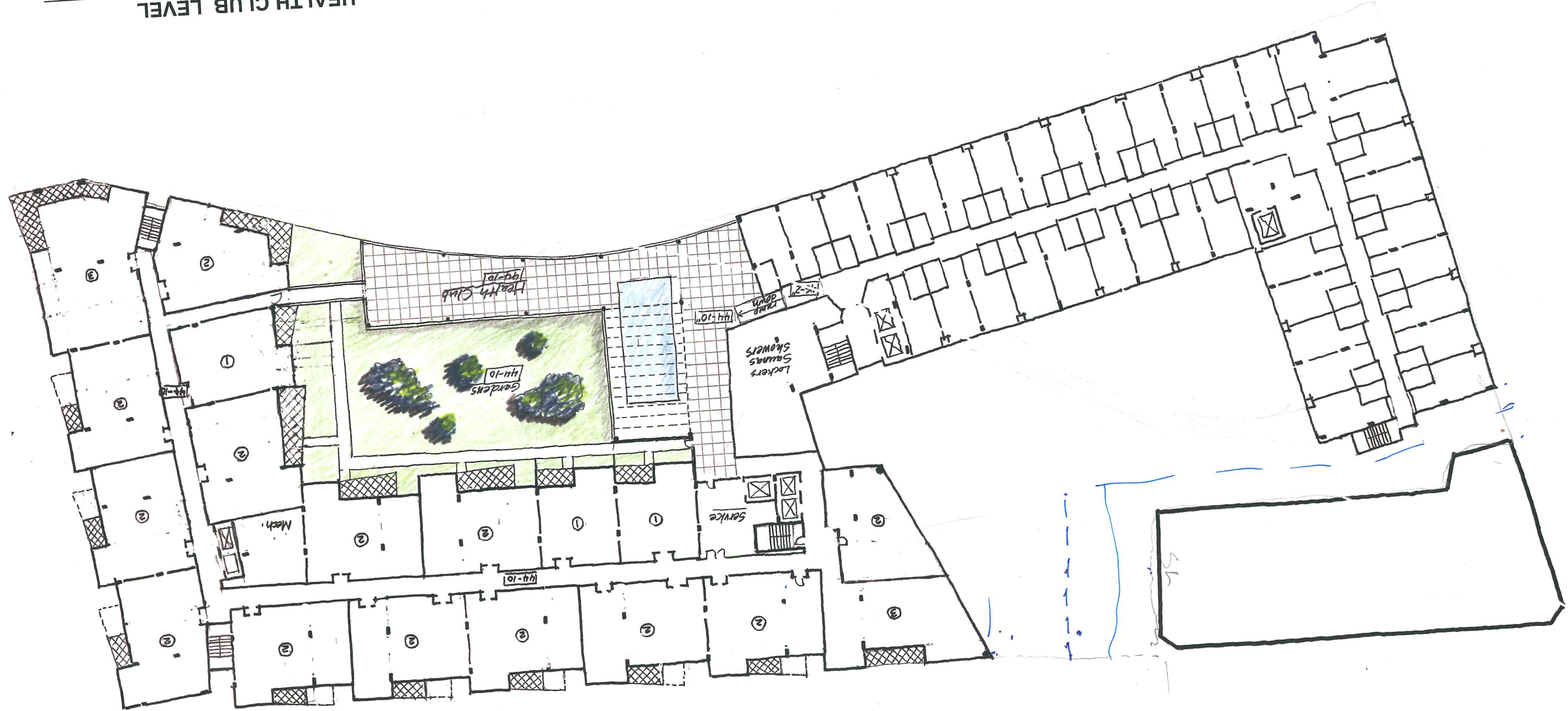




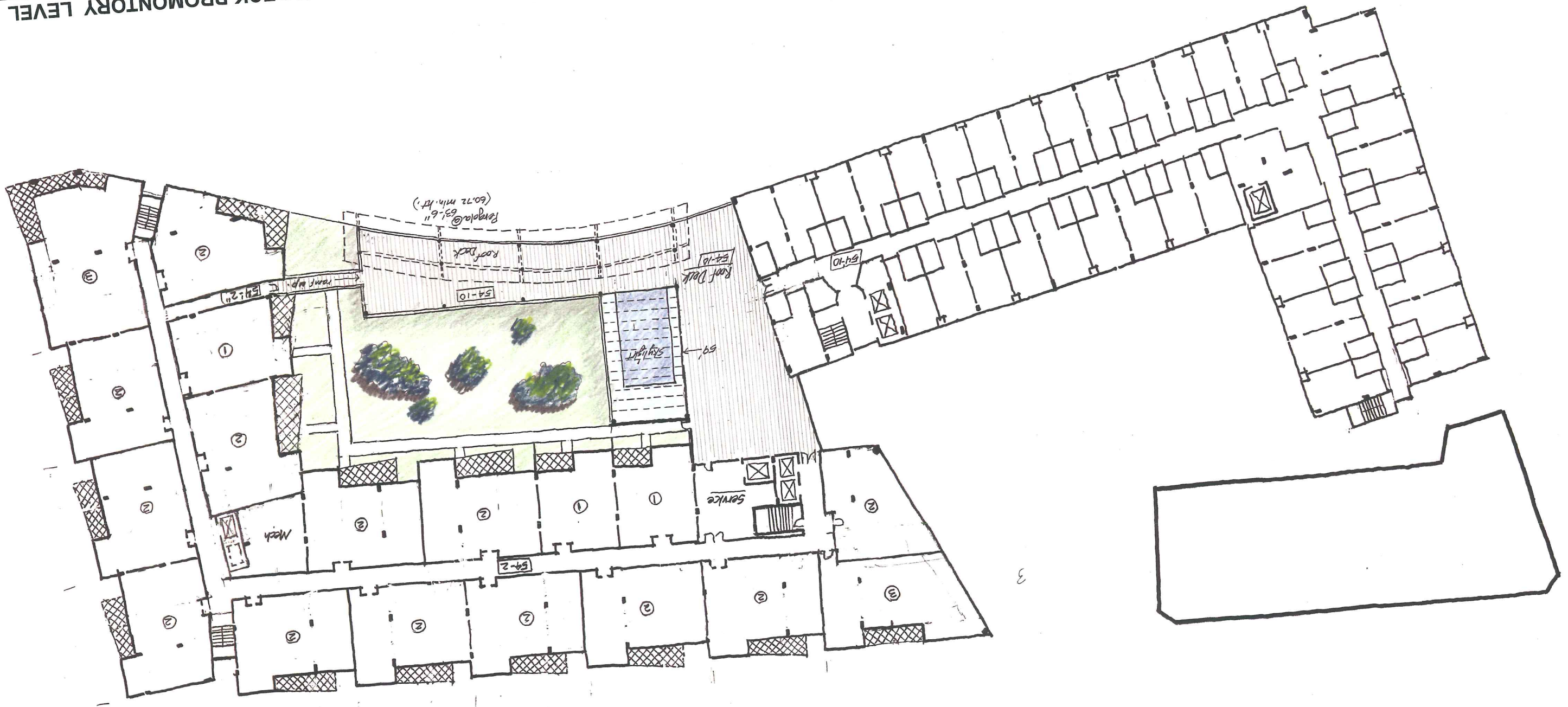




HEALTH CLUB LEVEL
Hotel El. 46'-2" | Condos El. 44'-10"



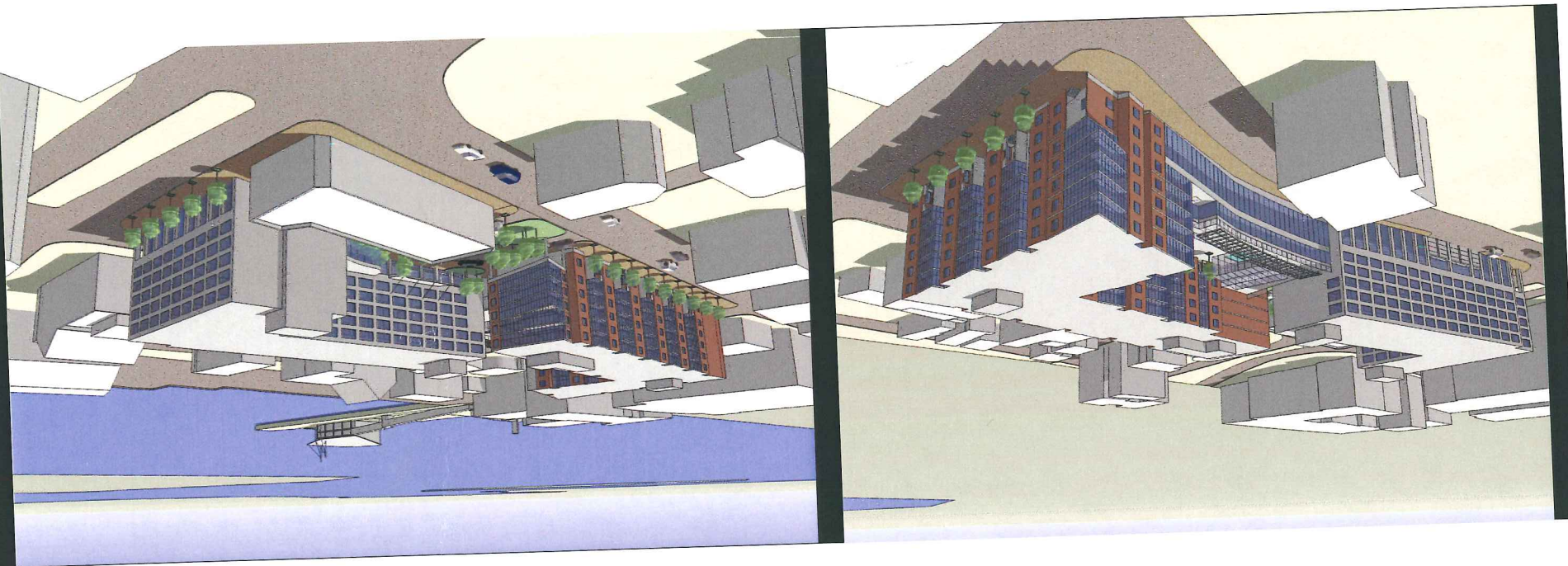
ROOF DECK PROMONTORY LEVEL
Hotel El. 54'-10" | Condos El. 54'-2"



Planning and Design | Cooper Carry Architects | Winton Scott Architects • Sebago Technics

Developer | PME 1 Limited Partnership

WESTIN HOTEL and RESIDENCES | Portland, Maine



**WESTIN HOTEL
and RESIDENCES**
City of Portland Planning Board Submission
5/5/05

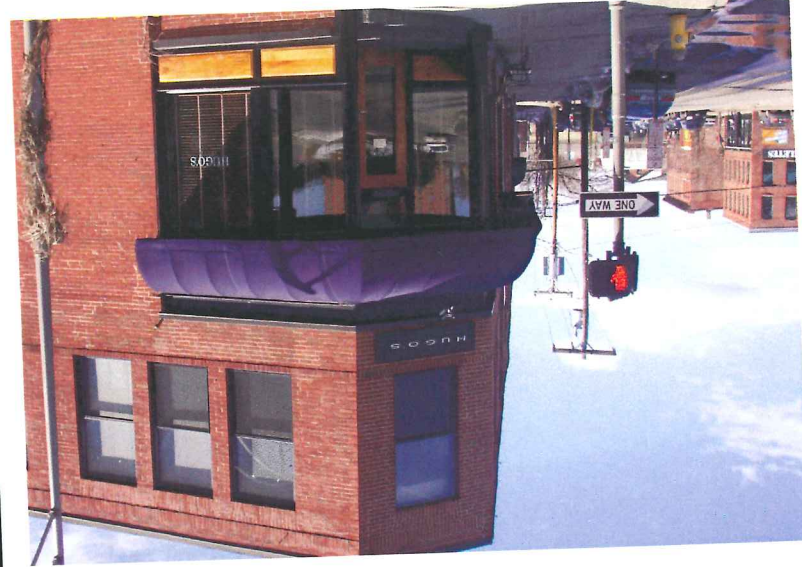
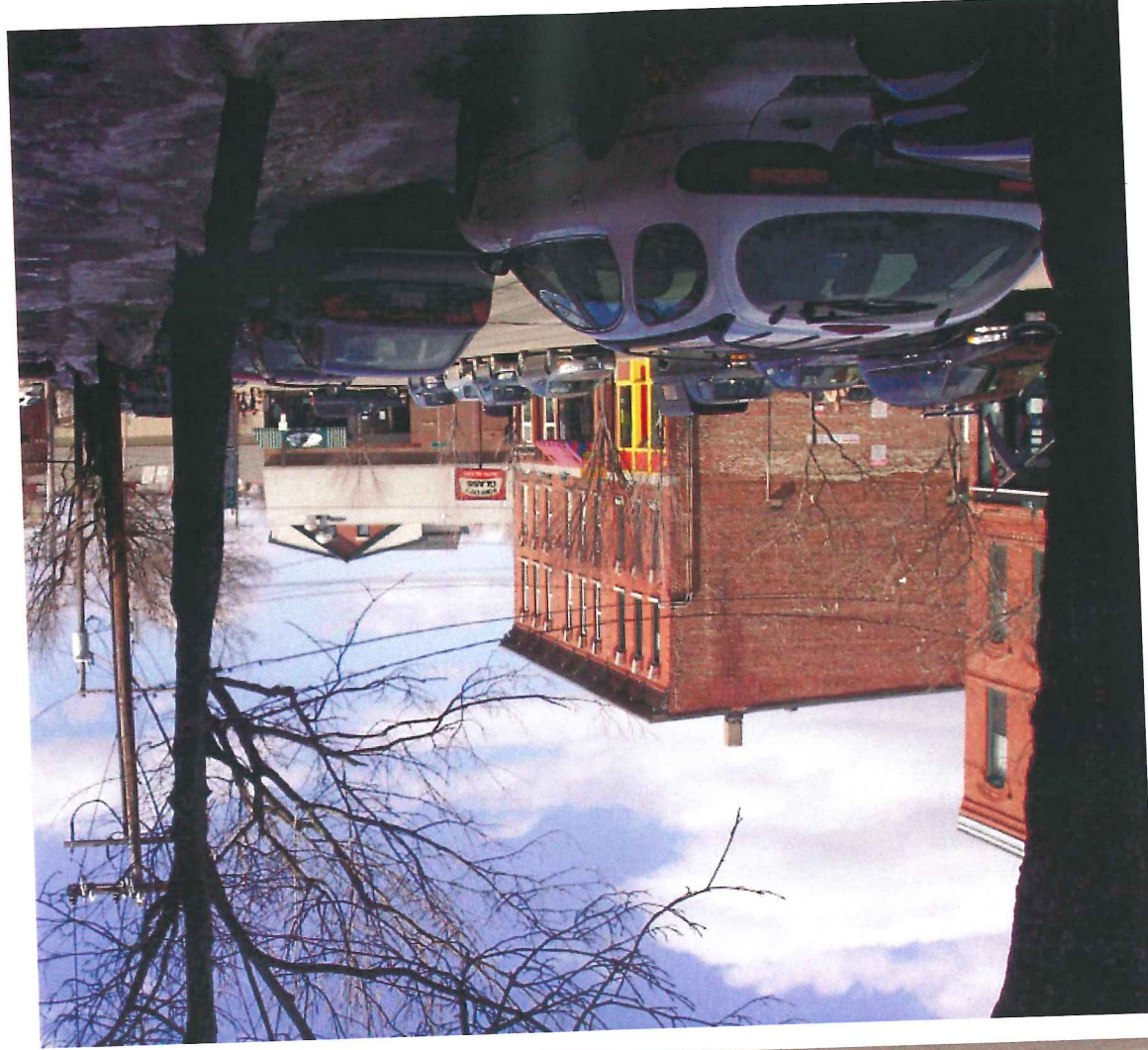
WESTIN HOTEL and RESIDENCES | Portland, Maine
Developer | **PME 1 Limited Partnership**
Planning and Design | **Cooper Carry Architects** • **Winton Scott Architects** • **Sebago Technics**

Planning and Design Concepts

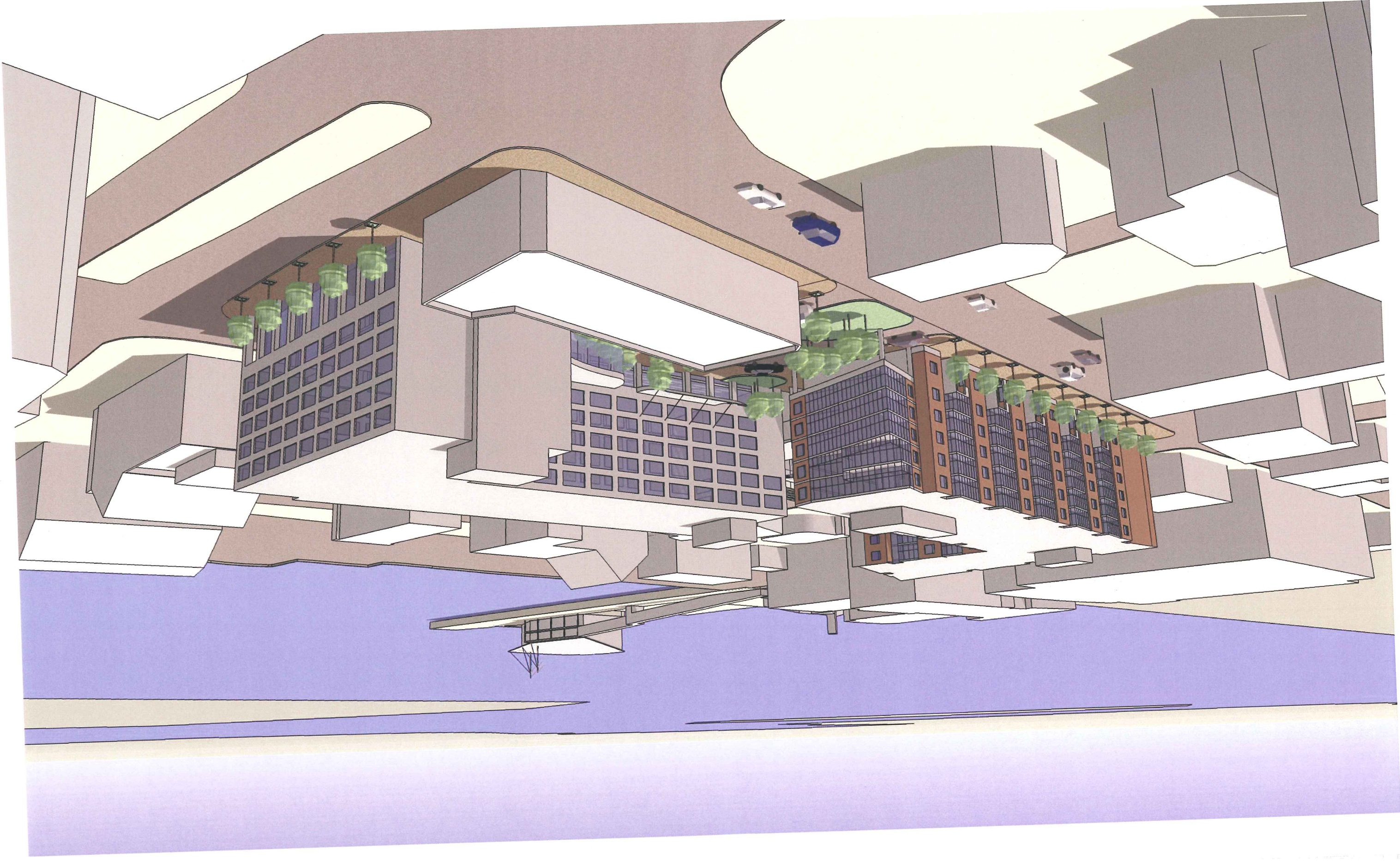
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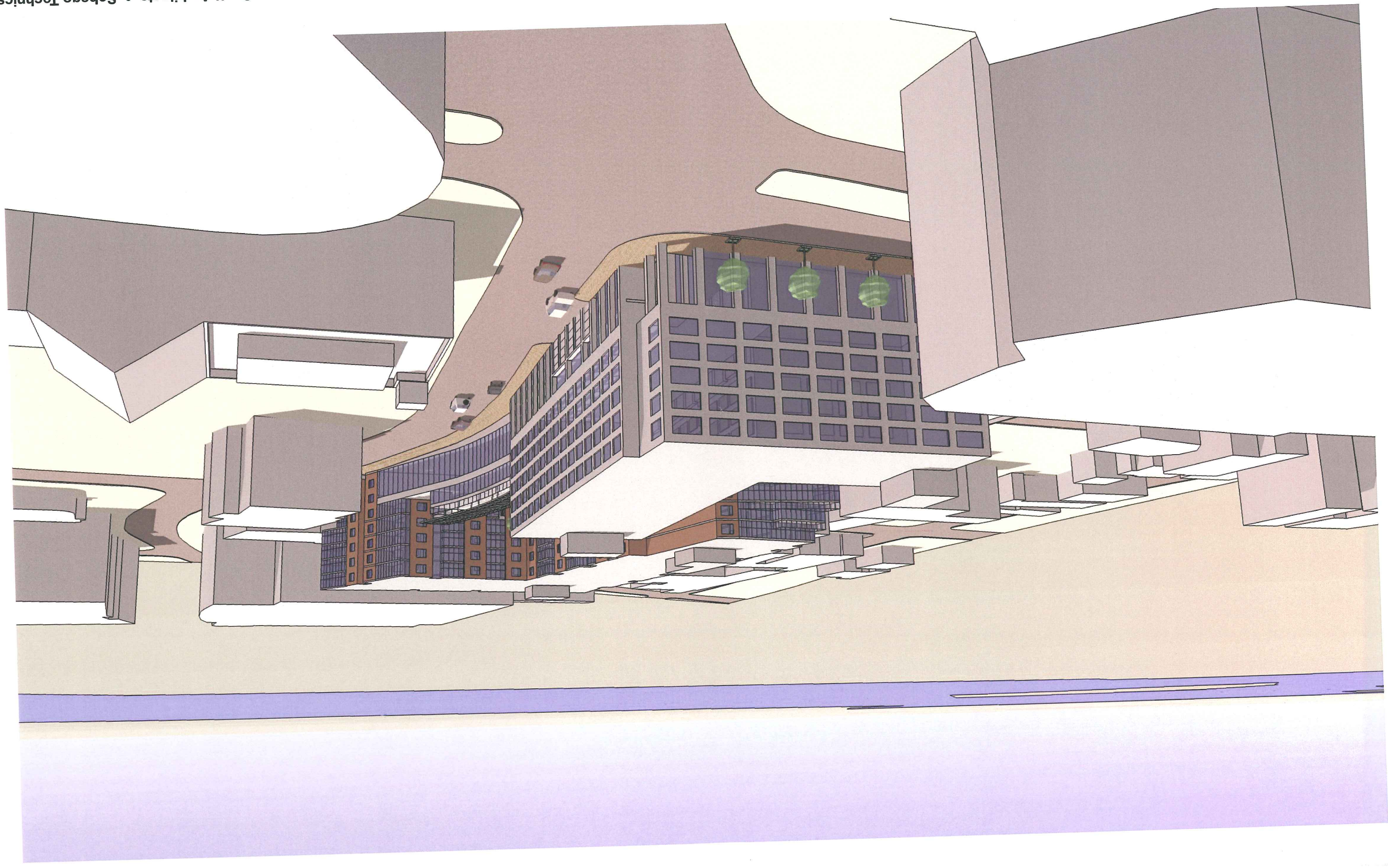
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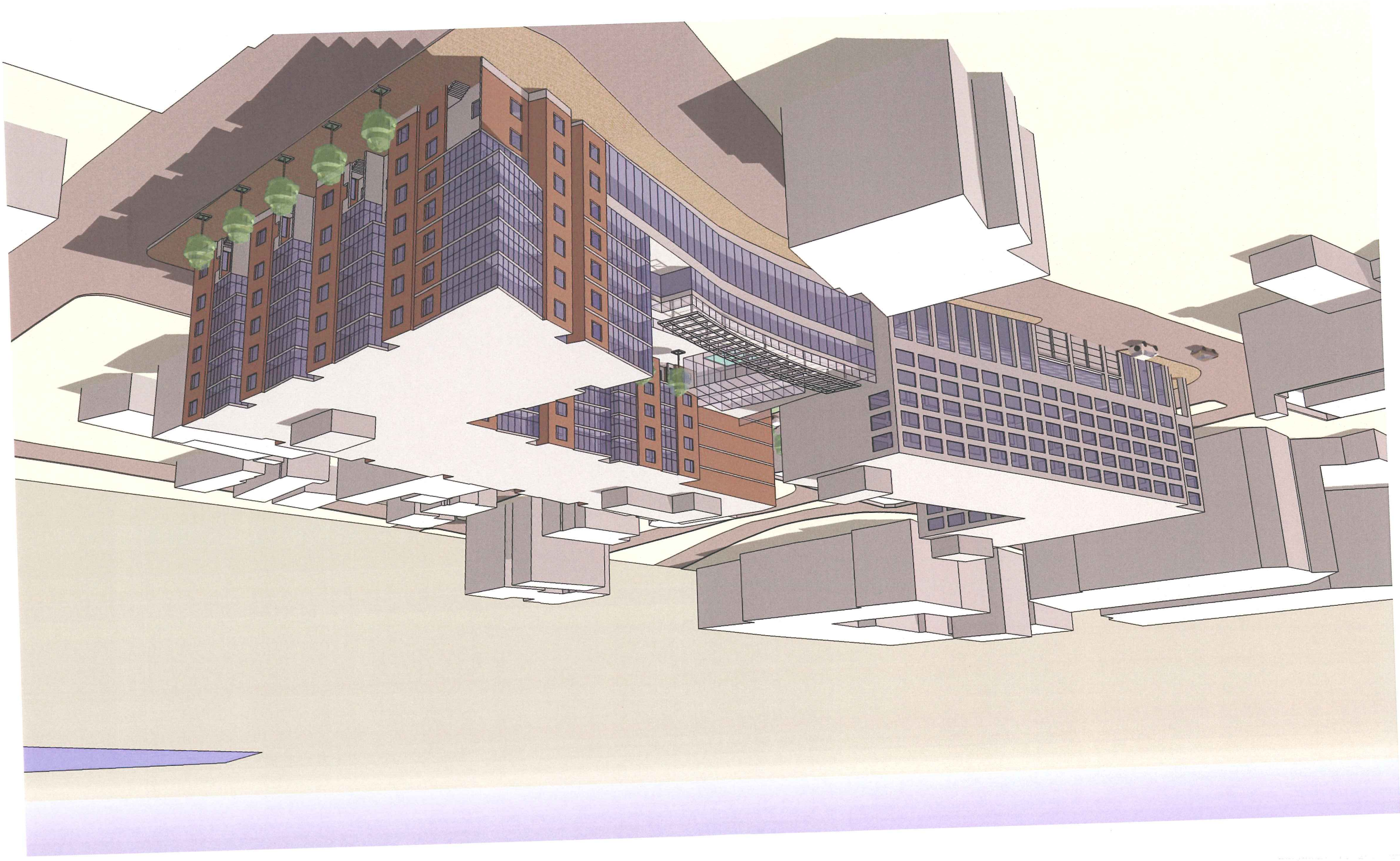


WESTIN HOTEL and RESIDENCES | Portland, Maine
Developer | PME 1 Limited Partnership
Planning and Design | Cooper Carry Architects • Winton Scott Architects • Sebago Technics

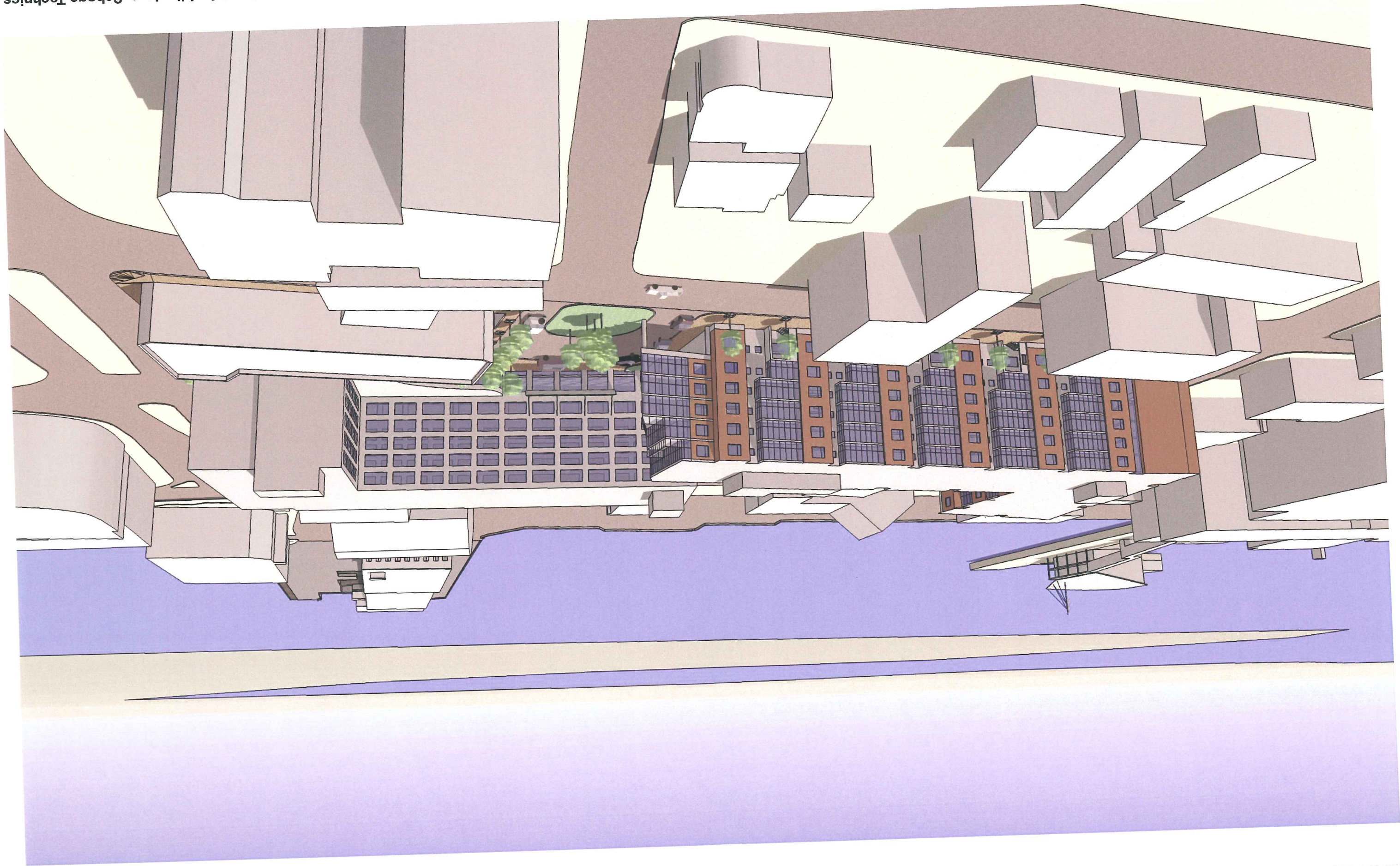




WESTIN HOTEL and RESIDENCES | Portland, Maine
Developer | PME 1 Limited Partnership
Planning and Design | Cooper Carry Architects • Winton Scott Architects • Sebago Technics



WESTIN HOTEL and RESIDENCES | Portland, Maine
Developer | PME 1 Limited Partnership
Planning and Design | Cooper Carry Architects | Winton Scott Architects • Sebago Technics

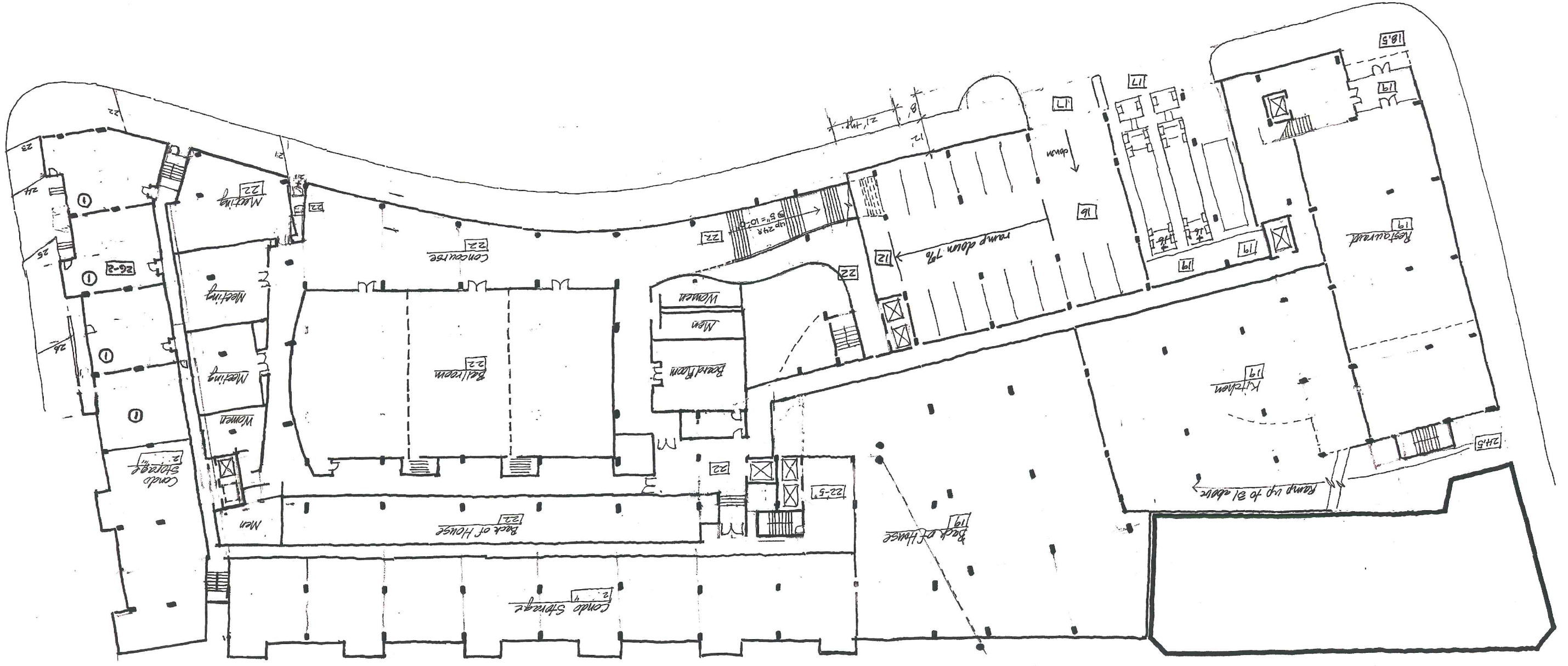




MIDDLE STREET ENTRY LEVEL
Hotel Lobby El. 32' | Ballroom El. 22'



FORE STREET LEVEL
Restaurant El. 19' | Truck Bays El. 17'

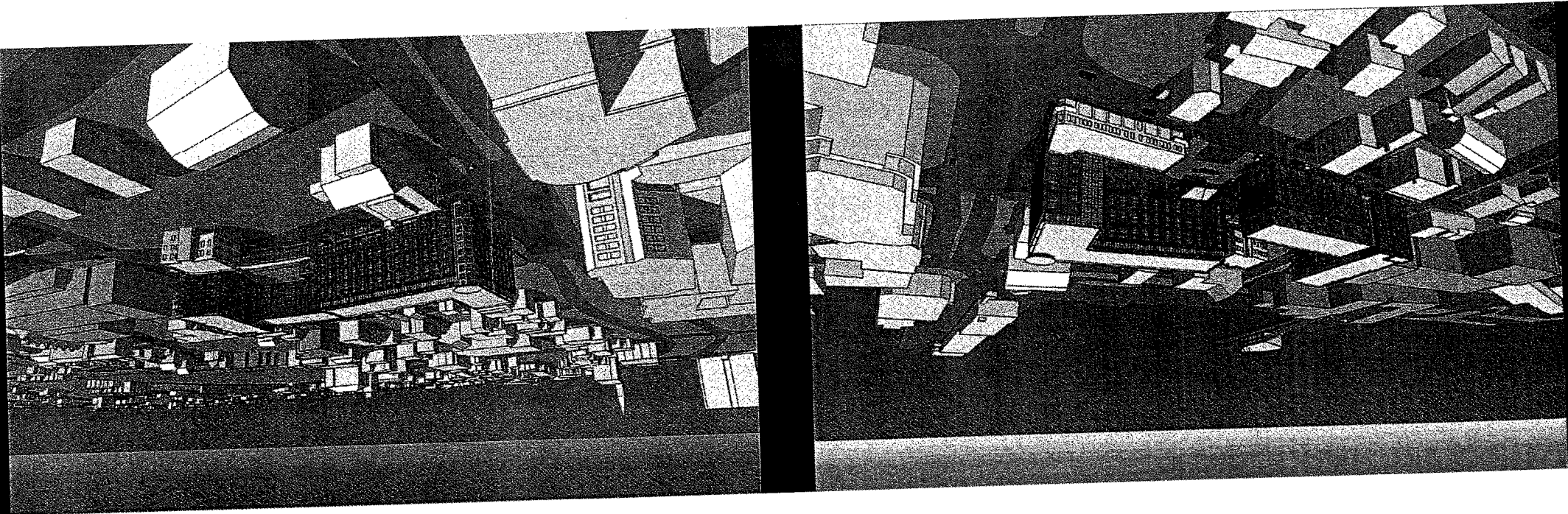


Att. 24

**WESTIN HOTEL &
RESIDENCES
PORTLAND, ME**

Site / Subdivision Plan
Application

October 25, 2005

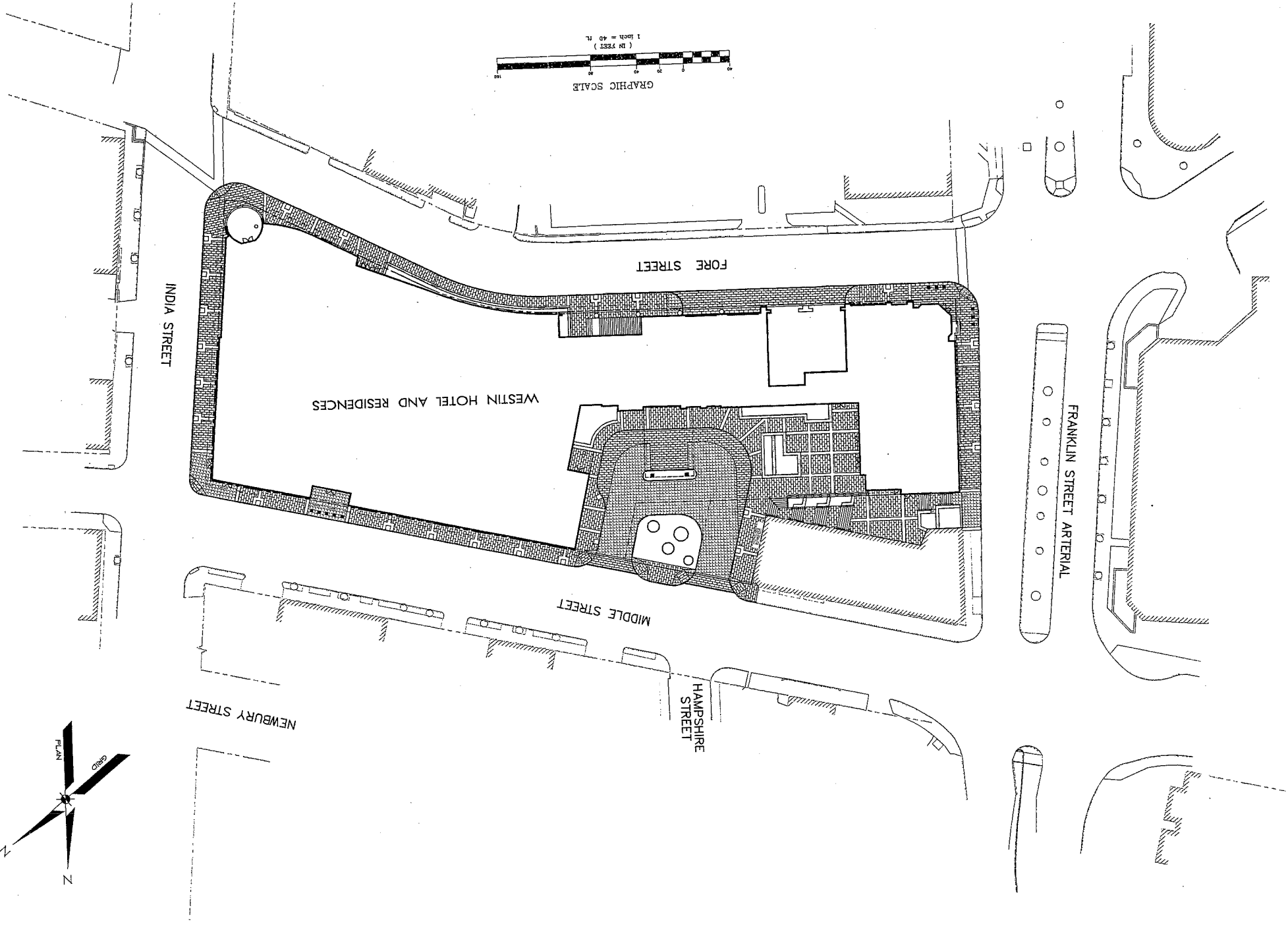


Developer |
PME 1 Limited Partnership

Planning and Design |
Cooper Carry Architects
Winton Scott Architects
Sebago Technics

WESTIN HOTEL AND RESIDENCES PORTLAND

38 INDIA STREET, PORTLAND, MAINE

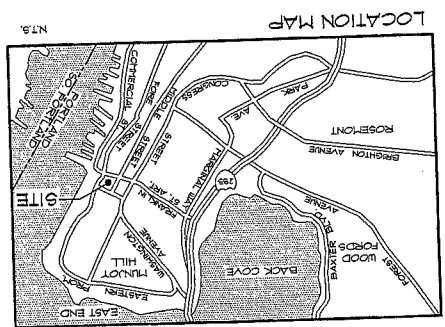


INDEX OF DRAWINGS:

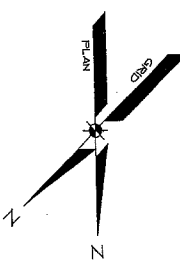
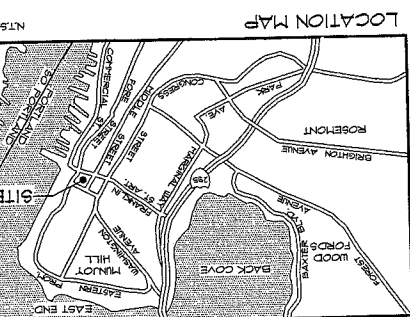
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	EXISTING CONDITIONS PLAN
4	SITE LAYOUT PLAN
5	GRADING AND UTILITY PLAN
6	LANDSCAPE PLAN
7	DETAILS
8	DETAILS
9	DETAILS
10	DETAILS
1 OF 2	SUBDIVISION PLAN
2 OF 2	SUBDIVISION PLAN

ENGINEER/SURVEYOR:
Sebago Technics
 Engineering Expertise You Can Build On
 One Chobot Street
 Westbrook, Me 04096-1339
 Tel (207) 856-0277

APPLICANT/DEVELOPER:
 PME 1 LIMITED PARTNERSHIP
 1140 RESERVOIR AVENUE
 CRANSTON, RI 02920

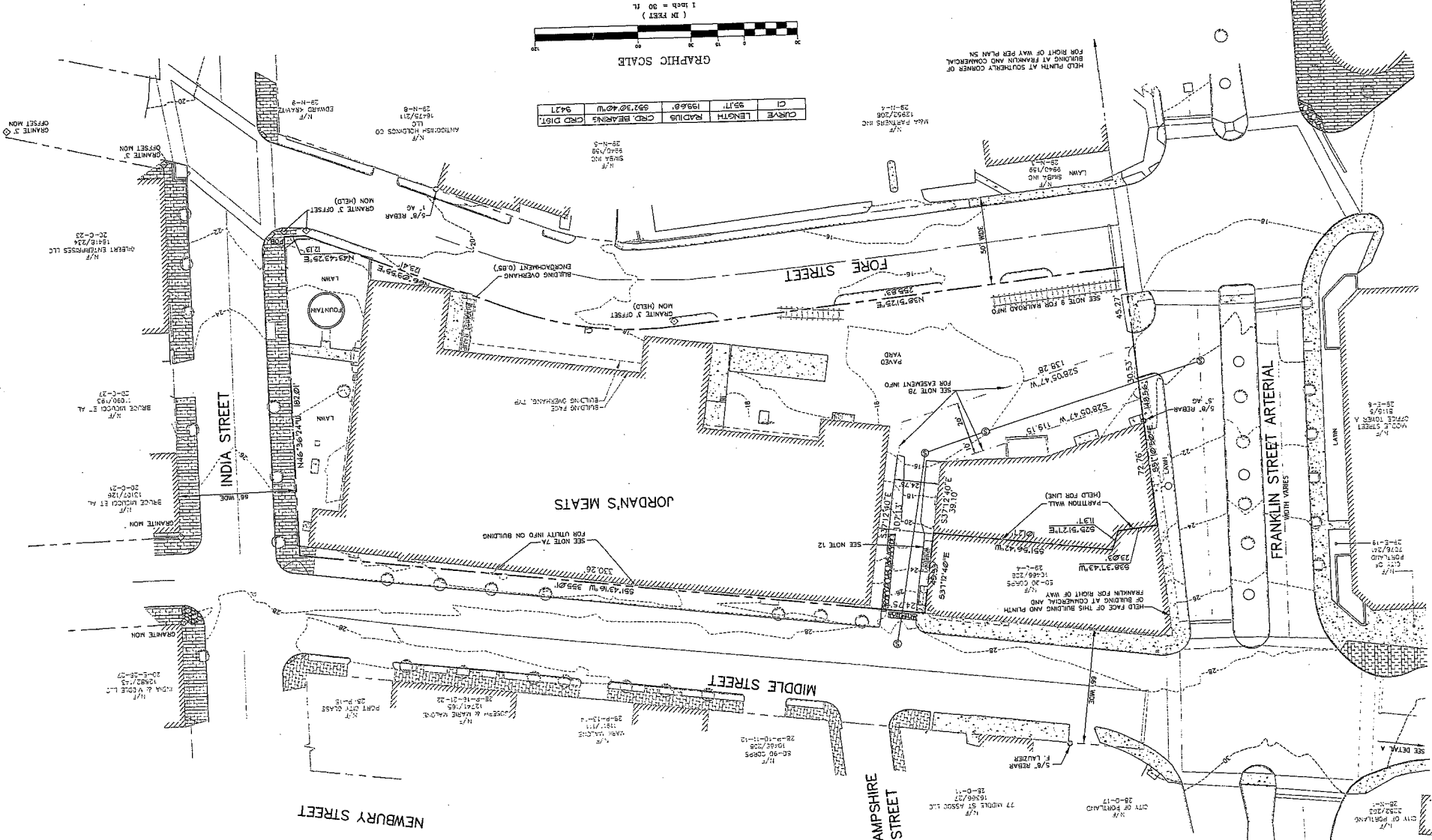
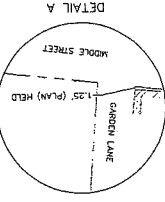


A.H. 4

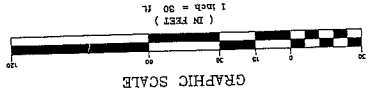


LEGEND

DESCRIPTION	PROPOSED	EXISTING
PROPERTY ROW		
EASEMENT		
MONUMENT		
IRON PIPE/ROD		
C/I/L		
BUILDING		
EDGE PAVEMENT		
GRAVEL ROAD		
CURBLINE		
CONTOUR		
SPOT GRADE		
CHAIN LINK FENCE		
DECIDUOUS TREE		
CONIFEROUS TREE		
CONCRETE		
BRICK		
GRANITE/CORBLE		



CURVE	LENGTH	RADIUS	ARC BEARING	CHORD BEARING	CHORD DIST.
1	53.11'	198.6'	93° 30' 40" W	94.31'	
2	53.11'	198.6'	93° 30' 40" W	94.31'	



GENERAL NOTES

1. THE PROPERTY IS SHOWN AS LOTS 1, 2, 3 OF BLOCK 1, ON THE CITY OF PORTLAND TAX MAP 2A.

2. THE PROPERTY IS SHOWN AS LOTS 1, 2, 3 OF BLOCK 1, ON THE CITY OF PORTLAND TAX MAP 2A.

3. TOTAL AREA OF PARCEL IS APPROXIMATELY 7,250 S.F.

4. BOUNDARY AND TOPOGRAHY INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY BY SARGENT & Lundy, INC. DATED 05/11/10.

5. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

6. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

7. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

8. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

9. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

10. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

11. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

12. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

13. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

14. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

15. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

16. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

17. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

18. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

19. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

20. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

GENERAL NOTES CONTINUED

1. THE PROPERTY IS SHOWN AS LOTS 1, 2, 3 OF BLOCK 1, ON THE CITY OF PORTLAND TAX MAP 2A.

2. THE PROPERTY IS SHOWN AS LOTS 1, 2, 3 OF BLOCK 1, ON THE CITY OF PORTLAND TAX MAP 2A.

3. TOTAL AREA OF PARCEL IS APPROXIMATELY 7,250 S.F.

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6. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

7. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

8. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

9. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

10. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

11. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

12. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

13. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

14. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

15. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

16. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

17. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

18. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

19. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

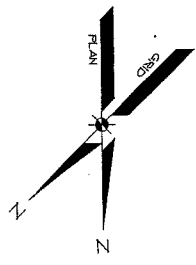
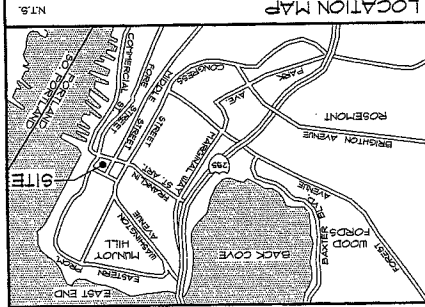
20. CITY OF PORTLAND ASSOCIATES, INC. HAS BEEN 28-11-12.

DATE	7-12-05	SCALE	1"=20'
PROJ. NO.	050900	DWG. NAME	
FIELD BOOK	050900C	DESIGN BY	
CHECKED BY		DATE	
DRAWN BY		SCALE	
MAL/DPH		SCALE	
WME		SCALE	

DATE	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
DATE	9-25-05	SUBMITTED FOR PUBLIC HEARINGS
DATE	7-17-05	SUBMITTED FOR PLANNING BOARD WORKSHOP
DATE	7-17-05	CONDITIONAL REZONING SUBMITTAL
DATE		STATUS:
DATE		
DATE		
DATE		

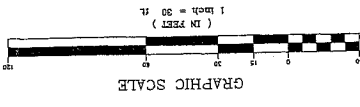
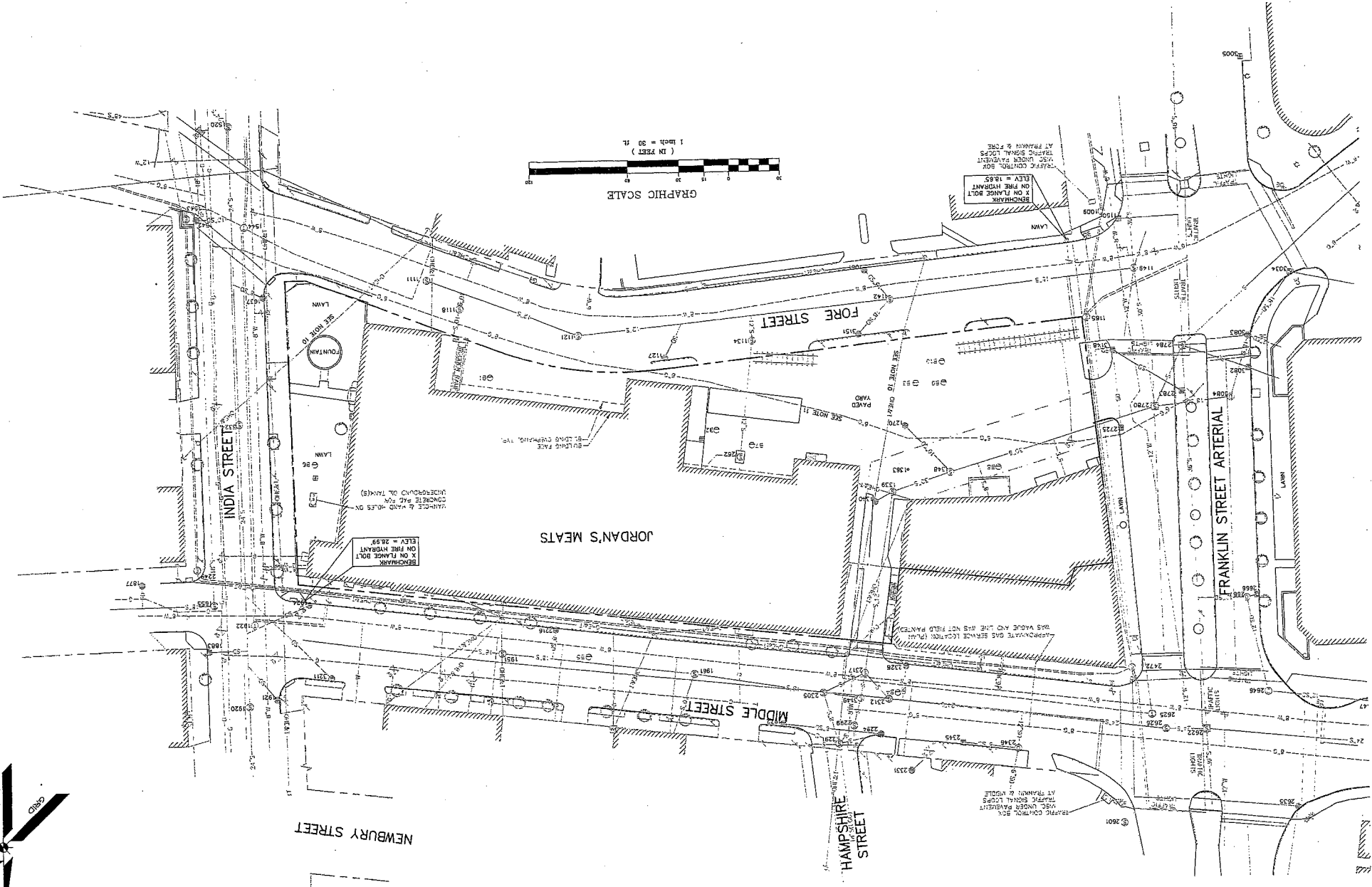
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Sebago Technics
Engineering Expedients. You Can Build On.
Our Office: 1110 Reservoir Avenue
Westport, ME 04091
Tel: (207) 585-0277



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	EASEMENT	---
---	CENTRELINE	---
---	POINTMENT	---
---	IRON PIPE/ROAD	---
---	CURVE/LINE NO. C/I/LI	---
---	ROAD	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURVE/LINE	---
---	BORING	---
---	CONTOURS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	CROSS WALK SIGNAL	---
---	HYDRANT	---
---	CATCH BASIN	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	DECIDUOUS TREE	---
---	CONSPICUOUS TREE	---
---	RAILROAD	---
---	BENCHMARK	---



UTILITY STRUCTURE CHART

STRUCTURE #	STRUCTURE TYPE	STRUCTURE #	STRUCTURE TYPE
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1003	SM	1004	SM
1005	SM	1006	SM
1007	SM	1008	SM
1009	SM	1010	SM
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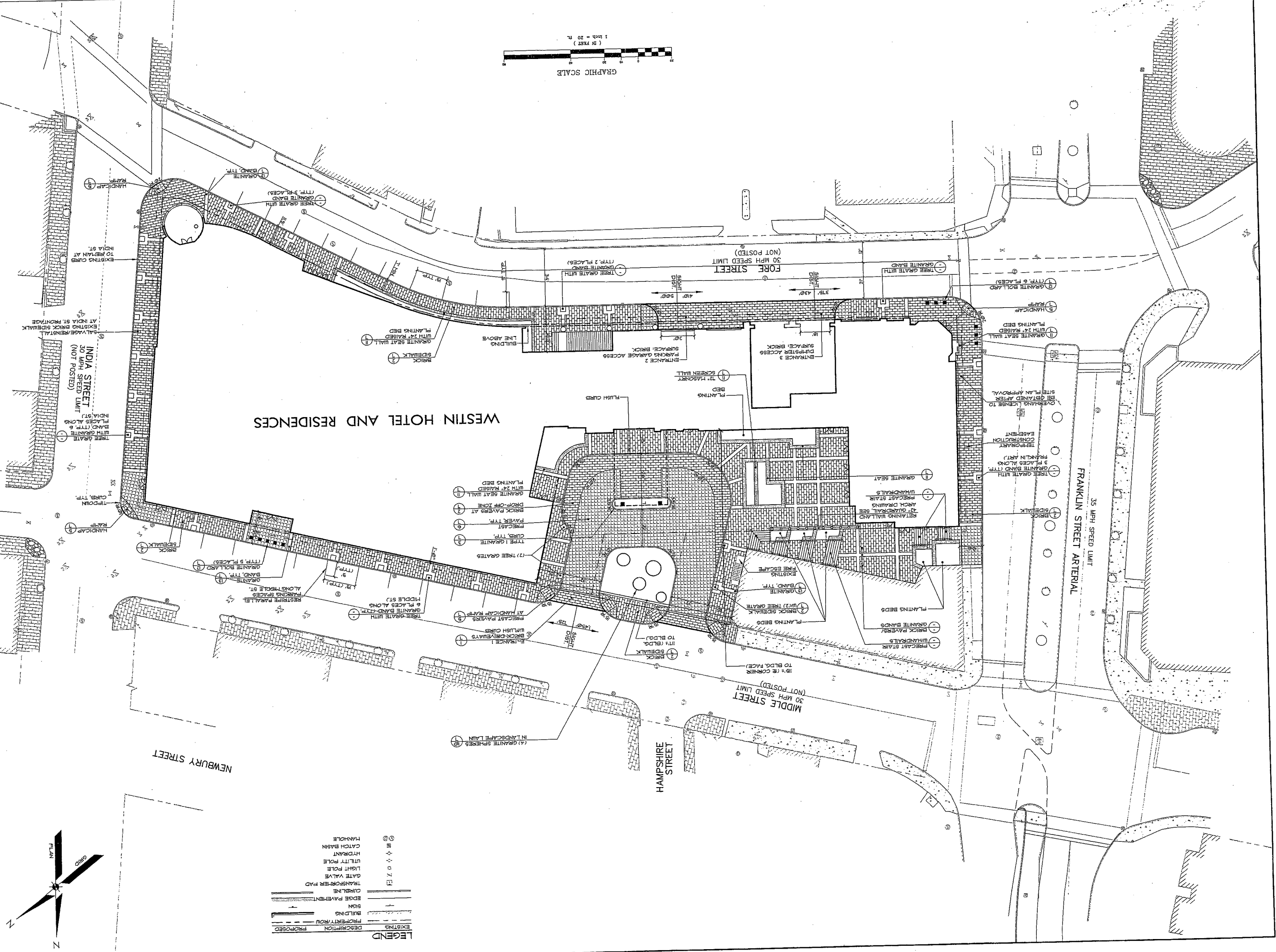
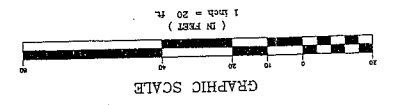
SHEET 4 OF 10	
DATE	SCALE
7-12-05	1"=20'
PRJ. NO.	DWG. NAME
05090	05090S
FIELD BOOK	DESIGN BY
WTC	-
DRAWN BY	CHECKED BY
DJR	-

SITE LAYOUT PLAN
OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
FOR:
PME 1 LIMITED PARTNERSHIP
 100 STATE STREET
 CRANSTON, RI 02920

Sebago Technics
 Engineering Experts You Can Build On
 One Ocean Street
 Portland, ME 04101
 Tel (207) 684-5577

REV.	DATE	STATUS
E	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
D	9-23-05	REVISED FOR PUBLIC HEARING
C	8-23-05	CONDITIONAL REGIONAL PUBLIC HEARING
B	7-22-05	SUBMITTED FOR PLANNING BOARD WORKSHOP
A	7-12-05	CONDITIONAL REGIONAL SUBMITTAL
917		

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



LEGEND

EXISTING	DESCRIPTION
---	PROPERTY ROW
---	BUILDING
---	EDGE PAVEMENT
---	CURB LINE
---	TRANSFORMER PAD
---	GATE VALVE
---	LIGHT POLE
---	UTILITY POLE
---	HYDRANT
---	CATCH BASIN
---	MANHOLE
---	PLAN
---	PROPOSED

SHEET 5 OF 10

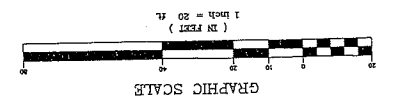
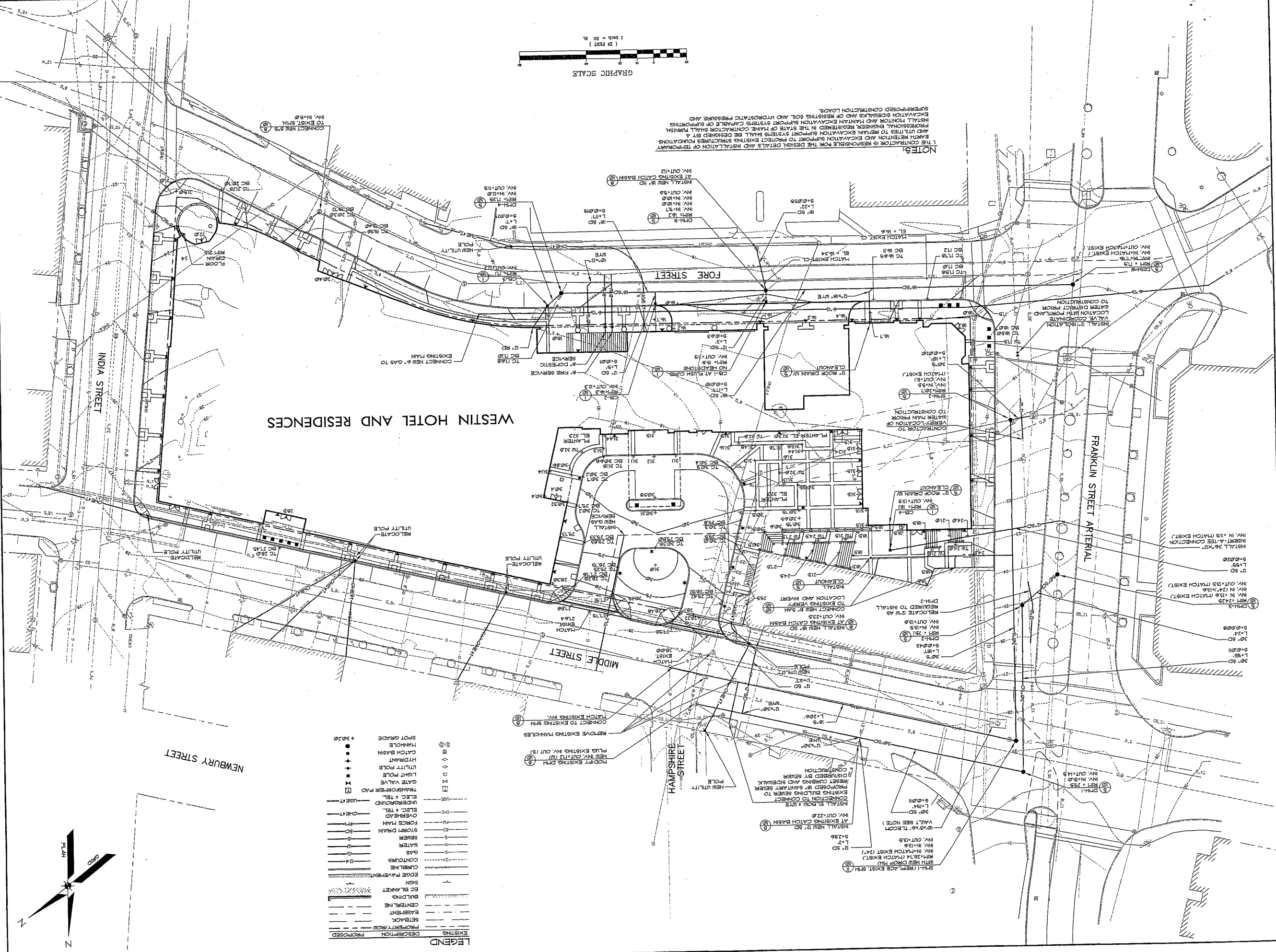
DATE	7-12-05	SCALE	1"=20'
PROJ. NO.	050900U	DWG. NAME	
FIELD BOOK	05090	DESIGN BY	MTW
DRAMA BY		CHECKED BY	DLR
MAL			

GRADING AND UTILITY PLAN
 OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
 FOR
PME 1 LIMITED PARTNERSHIP
 1000 STATE STREET
 GRANBURY, RI 02820

Sebago Technics
 Engineering Experts You Can Build On
 One Grand Street
 Portland, ME 04101
 Tel: (207) 885-0277

DATE	10-28-05	STATUS	SUBMITTED FOR SITE PLAN REVIEW
DATE	7-25-05	STATUS	SUBMITTED FOR ZONING BOARD HEARING
DATE	7-12-05	STATUS	SUBMITTED FOR PLANNING BOARD WORKSHOP
DATE	7-12-05	STATUS	CONDITIONAL REZONING SUBMITTAL
BY			
DATE			

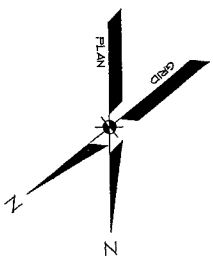
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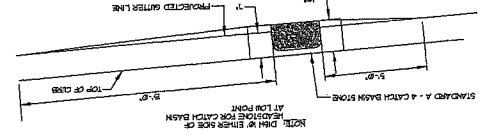
NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN DETAILS AND INSTALLATION OF TEMPORARY EXCAVATION SHORING AND RETAINING WALLS CAPABLE OF SUPPORTING EXISTING AND PROPOSED CONSTRUCTION LOADS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.
 3. THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND STRUCTURES FOUNDATIONS AND UTILITIES TO REMAIN EXCAVATION SUPPORT SYSTEMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE. CONTRACTOR SHALL FURNISH INSTALL, MONITOR AND MAINTAIN EXCAVATION SUPPORT SYSTEMS CAPABLE OF SUPPORTING EXISTING AND PROPOSED CONSTRUCTION LOADS.

LEGEND

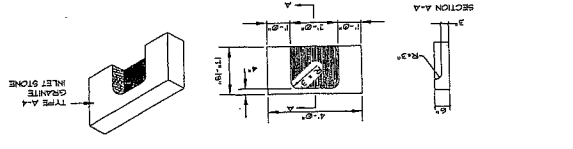
DESCRIPTION	PROPOSED
EXISTING PROPERTY/NOU	---
SETBACK	---
EASEMENT	---
CENTRAL	---
BUILDING	---
EC BLANKET	---
EDGE PAVEMENT	---
CURBLINE	---
CONTOURS	---
GAS	---
WATERS	---
SEWERS	---
STORM DRAIN	---
FORCE MAIN	---
OVERHEAD	---
ELEC. & TEL.	---
UNDERGROUND	---
ELEC. & TEL.	---
TRANSFORMER PAD	---
GATE VALVE	---
LIGHT POLE	---
UTILITY POLE	---
HEADRANT	---
CAUTION	---
SPOT GRADE	---



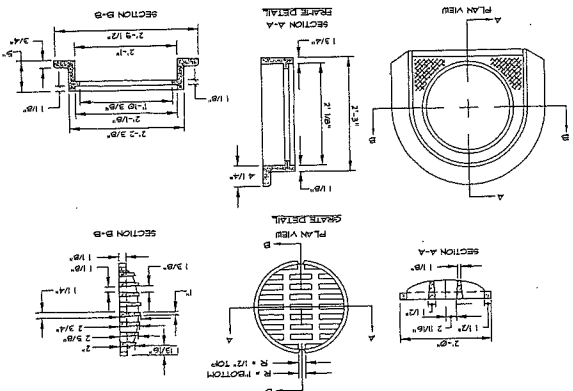
④ TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET



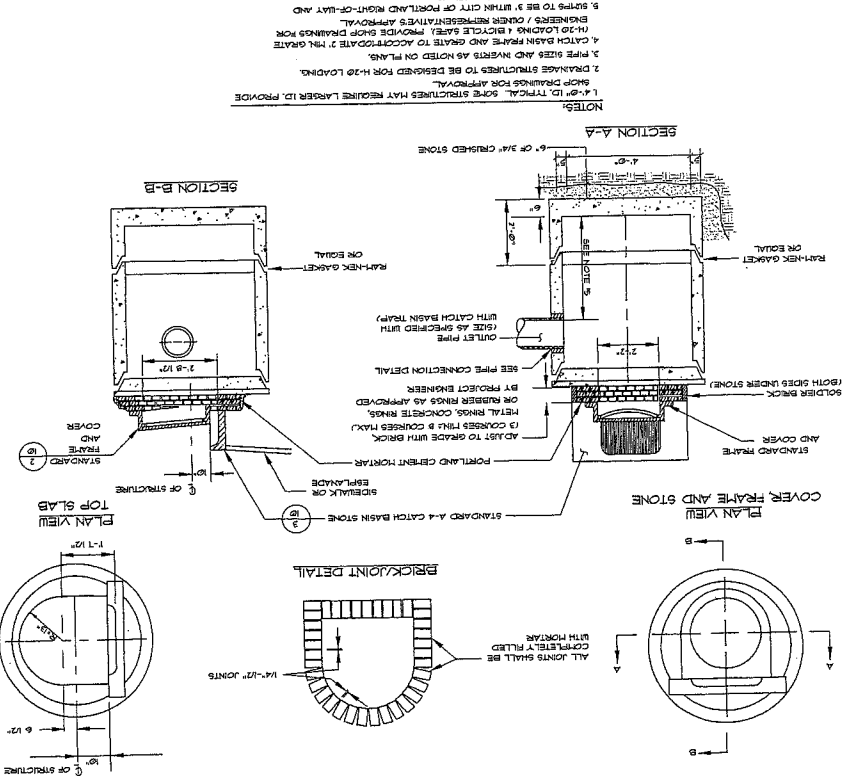
③ TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL



② CATCH BASIN TYPE "D" FRAME & COVER DETAIL



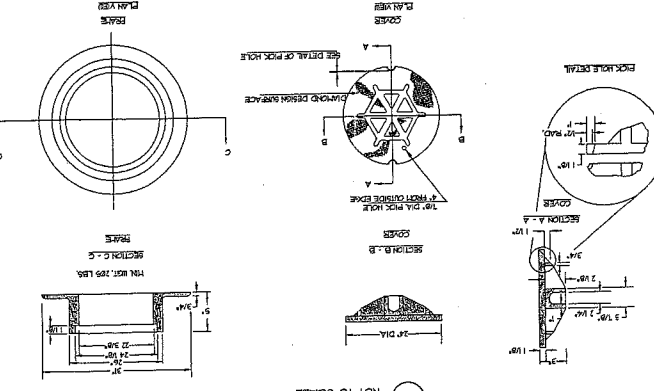
① PRECAST CONCRETE CATCH BASIN - TYPE "E"



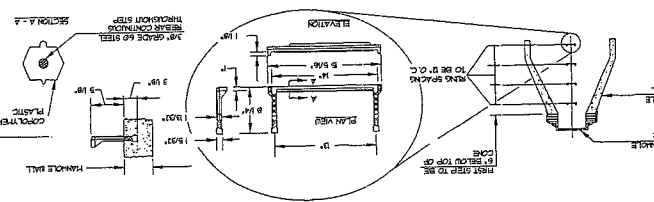
GENERAL NOTES FOR MANHOLES AND CATCH BASINS

1. ALL PAVEMENT SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 5000 PSI CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 5000 PSI.
2. CATCHES SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.
3. ALL PAVEMENT SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 5000 PSI.
4. ALL MANHOLES SHALL HAVE A BATHING INTERLOCKING AND GROUND IN AND AS.
5. ALL PAVEMENT SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.
6. ALL PAVEMENT SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.
7. ALL PAVEMENT SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.
8. ALL PAVEMENT SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.
9. ALL PAVEMENT SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.
10. ALL PAVEMENT SHALL CONFORM TO ASTM SPECIFICATION AND CLASS "A" SHALL BE USED FOR ALL MANHOLES AND CATCH BASINS.

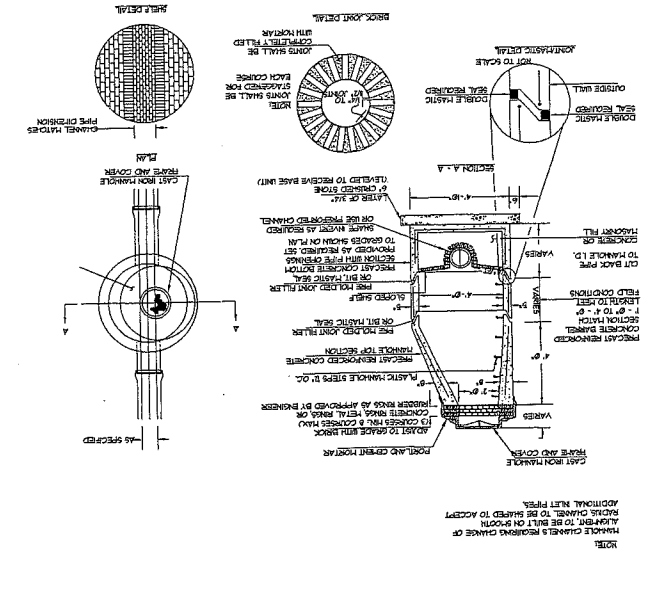
⑦ TYPE "A" CAST IRON MANHOLE COVER AND FRAME



⑥ PLASTIC MANHOLE STEPS



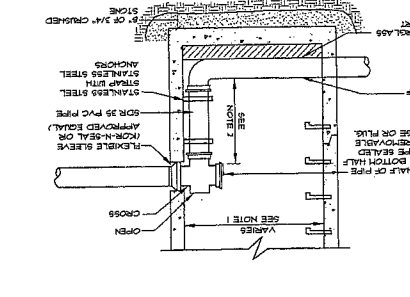
⑤ PRECAST CONCRETE MANHOLE TYPE "A"



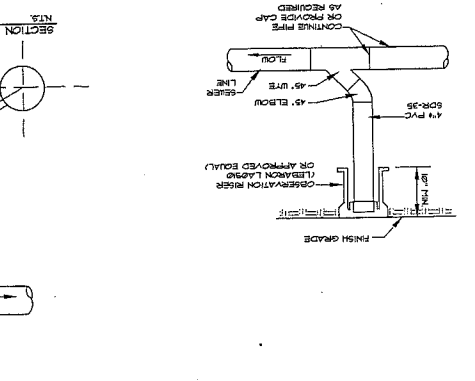
⑪ TYPICAL PRECAST DROP MANHOLE (INSIDE DROP)

NOT TO SCALE

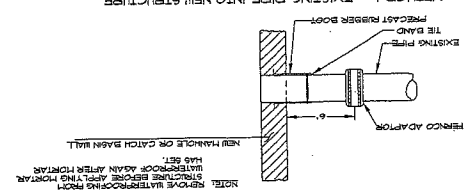
1. USE 4" DIA. PIPES OR SMALLER PIPE USED 2" DIA. DIA. DIA.
2. MINIMUM HEIGHT OF DROP IS 1'-0".
3. SEE PRECAST MANHOLE SECTION FOR TYPICAL MANHOLE INFORMATION INCLUDING NOTES.
4. PROVIDE DROP PIPE FOR ALL INVERT DIFFERENTIALS.
5. CUT OFF TOP 1/2 OF PIPE FLANGE.
6. INSTALL PVC TEE AND FLANGE UP AT INSIDE DROP INSTALLATION AT EXISTING MANHOLE.



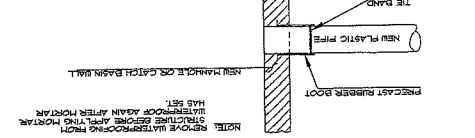
⑨ SEWER CLEANOUT



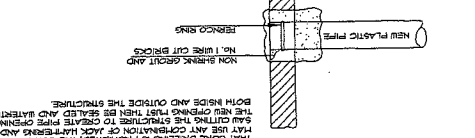
⑧ PLASTIC PIPE CONNECTION DETAIL



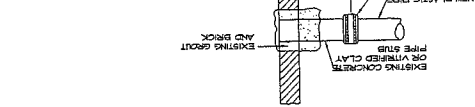
METHOD 2 - NEW CONSTRUCTION



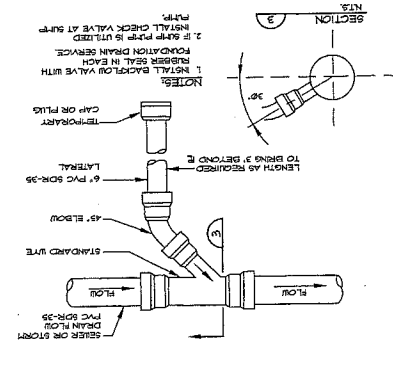
METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE



METHOD 4 - NEW PIPE TO EXISTING STRUCTURE SUB



⑩ SEWER / FOUNDATION DRAIN SERVICE CONNECTION



DATE	SCALE	AS SHOWN
7-12-05	AS SHOWN	
PROJ. NO.	0590D	
DESIGN BY	WTC	
CHECKED BY		
DRAWN BY		
MAL	DLR	

DETAILS
WESTIN HOTEL AND RESIDENCES PORTLAND
38 INDIAN STREET
PORTLAND, MAINE
PROJECT NAME
DATE
SCALE
7-12-05
AS SHOWN
PROJ. NO. 0590D
DESIGN BY WTC
CHECKED BY
DRAWN BY
MAL
DLR

Sebago Technics
Engineering Department
One Sebago Street
Portland, ME 04103
(207) 888-0277

DATE	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
DATE	7-25-05	APPROVED FOR PLANNING BOARD WORKSHOP
DATE	7-15-05	CONDITIONAL ZONING SUBMITTAL
DATE	7-15-05	DATE
BY		STATUS

THIS PLAN SHALL NOT BE ADDED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

DETAILS
 OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
 FOR: **PME 1 LIMITED PARTNERSHIP**
 1140 RESERVATION DRIVE
 GRANSTON, IN 46220

Sebago Technics
 Engineering Experts You Can Build On
 One Orono Street - 113
 Portland, ME 04106
 Tel: (207) 886-0277

REV.	DATE	DESCRIPTION
1	7-12-05	CONDITIONAL RETAINING SUBMITTAL
2	7-12-05	CONDITIONAL RETAINING SUBMITTAL
3	7-12-05	CONDITIONAL RETAINING SUBMITTAL
4	7-12-05	CONDITIONAL RETAINING SUBMITTAL
5	7-12-05	CONDITIONAL RETAINING SUBMITTAL
6	7-12-05	CONDITIONAL RETAINING SUBMITTAL
7	7-12-05	CONDITIONAL RETAINING SUBMITTAL
8	7-12-05	CONDITIONAL RETAINING SUBMITTAL
9	7-12-05	CONDITIONAL RETAINING SUBMITTAL
10	7-12-05	CONDITIONAL RETAINING SUBMITTAL
11	7-12-05	CONDITIONAL RETAINING SUBMITTAL
12	7-12-05	CONDITIONAL RETAINING SUBMITTAL
13	7-12-05	CONDITIONAL RETAINING SUBMITTAL
14	7-12-05	CONDITIONAL RETAINING SUBMITTAL
15	7-12-05	CONDITIONAL RETAINING SUBMITTAL
16	7-12-05	CONDITIONAL RETAINING SUBMITTAL
17	7-12-05	CONDITIONAL RETAINING SUBMITTAL
18	7-12-05	CONDITIONAL RETAINING SUBMITTAL
19	7-12-05	CONDITIONAL RETAINING SUBMITTAL
20	7-12-05	CONDITIONAL RETAINING SUBMITTAL

THIS PLAN SHALL NOT BE ADORPED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS, DELETIONS, OR OMISSIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

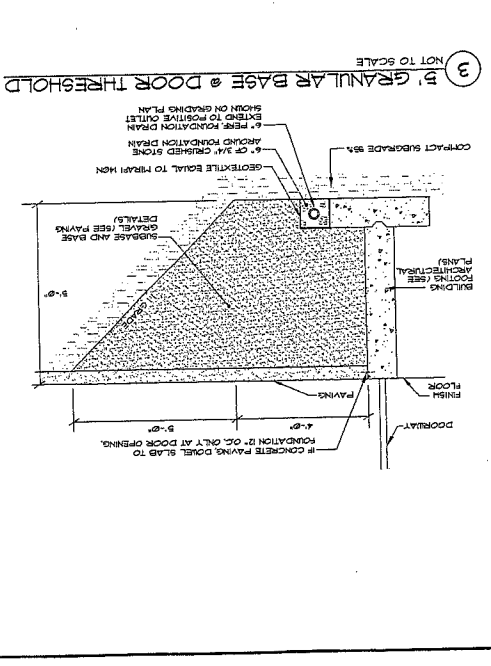
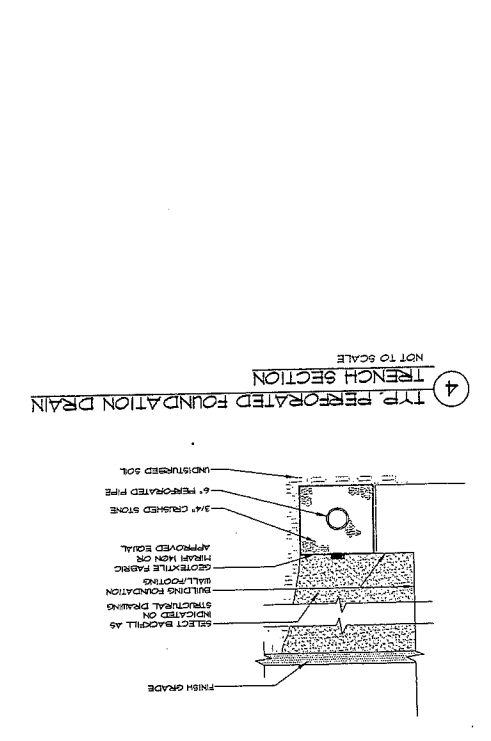
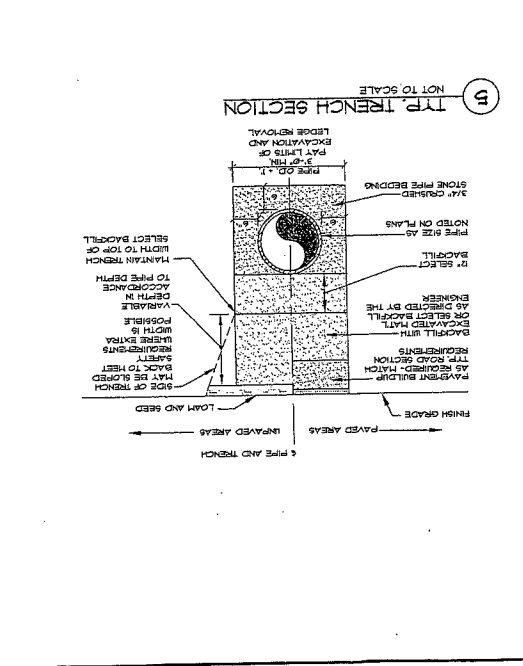
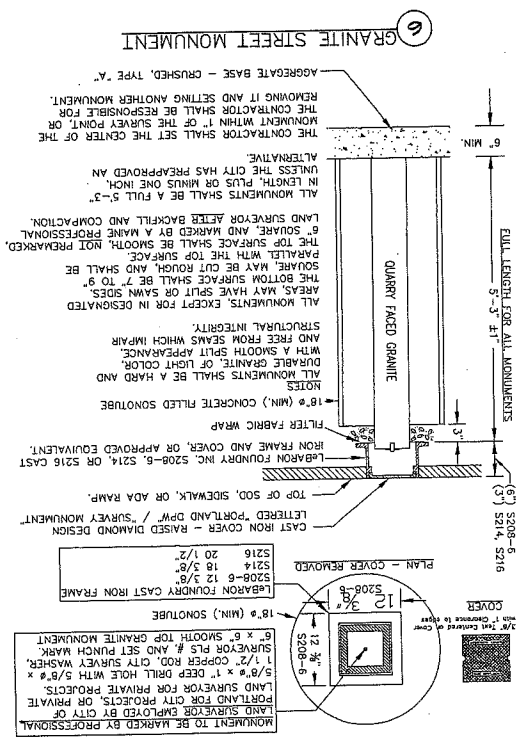
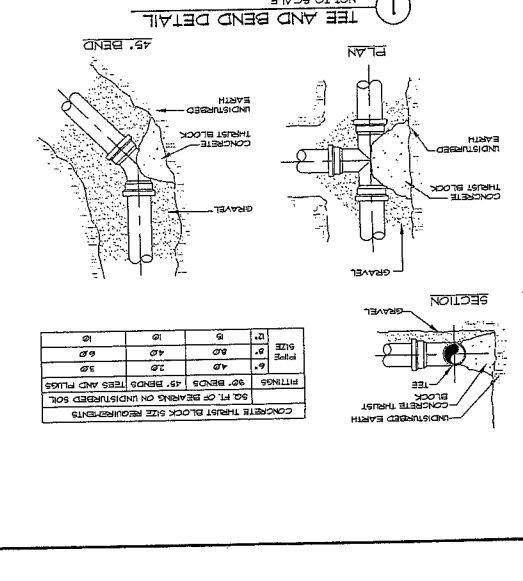
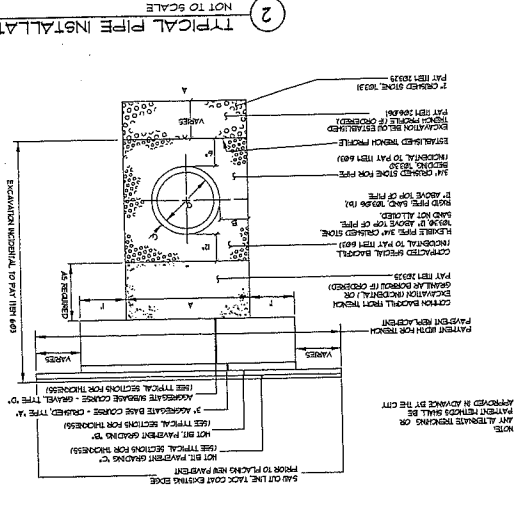
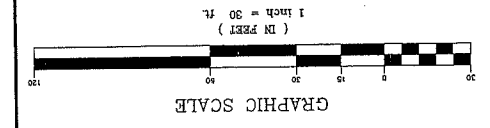
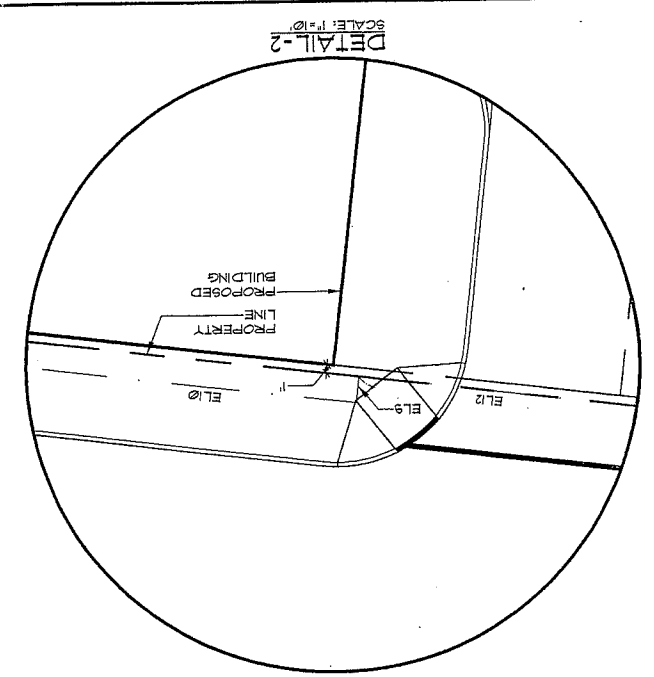
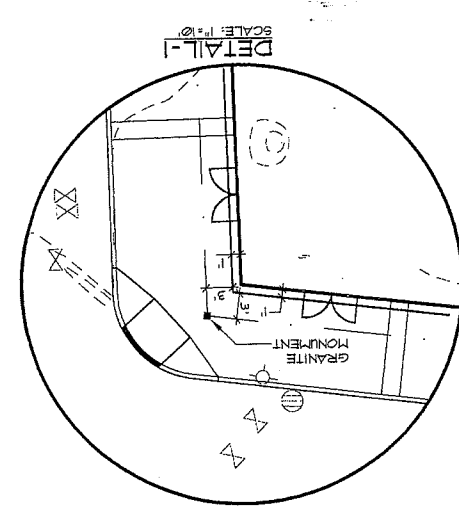
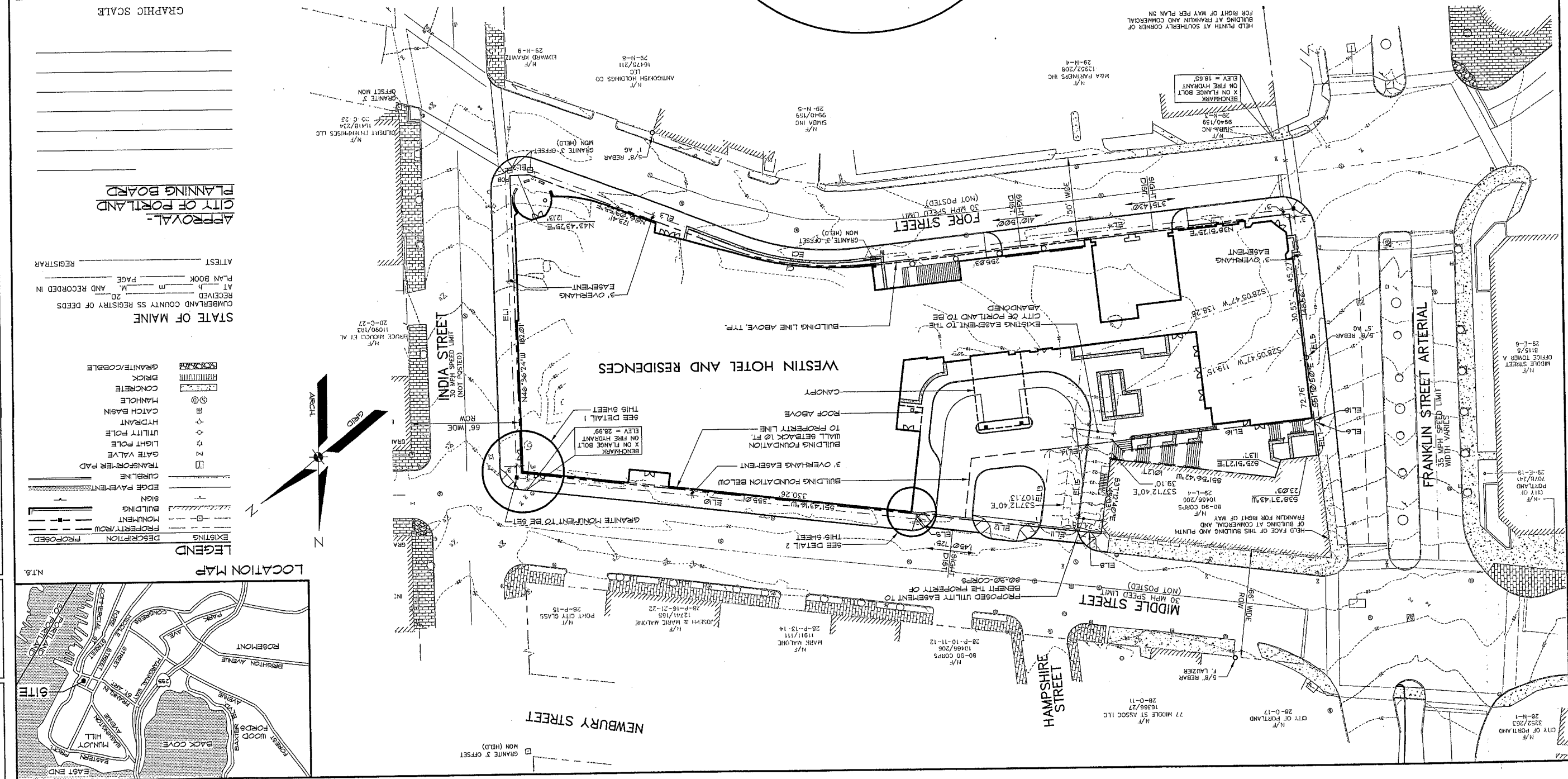


TABLE OF DIMENSIONS
 REINFORCED CONCRETE PIPE

NO.	TYPE	OD	WD	HT	WT
1	12\"/>				





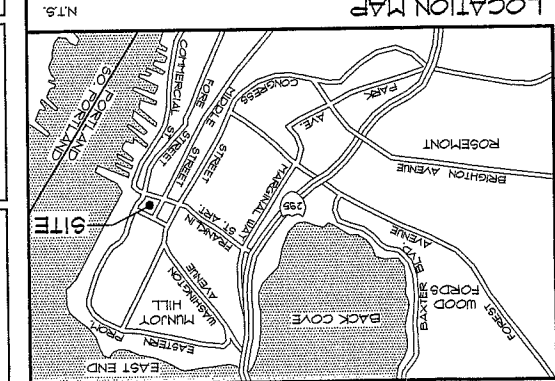
NOTE:
SEE SUBDIVISION PLAN-SHEET 2 OF 2 FOR GENERAL NOTES.

APPROVAL-
CITY OF PORTLAND
PLANNING BOARD

STATE OF MAINE
COUNTY AND COUNTY SS REGISTRY OF DEEDS
RECEIVED IN _____ M _____ AND RECORDED IN _____ M _____ AT _____ P. _____
PLANNING BOARD
PAGE _____
ATTEST _____ REGISTRAR

LEGEND

EXISTING	DESCRIPTION	PROPOSED
[Symbol]	PROPERTY ROW	[Symbol]
[Symbol]	MONUMENT	[Symbol]
[Symbol]	BUILDING	[Symbol]
[Symbol]	EDGE PAVEMENT	[Symbol]
[Symbol]	CURBLINE	[Symbol]
[Symbol]	TRANSFORMER PAD	[Symbol]
[Symbol]	GATE VALVE	[Symbol]
[Symbol]	LIGHT POLE	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	HYDRANT	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	MANHOLE	[Symbol]
[Symbol]	CONCRETE	[Symbol]
[Symbol]	BRICK	[Symbol]
[Symbol]	GRANITE/COBBLE	[Symbol]



SUBDIVISION PLAN-SHEET 1 OF 2
OF
WESTIN HOTEL AND RESIDENCES
PORTLAND, MAINE
FOR:
PME 1 LIMITED PARTNERSHIP
197 FIRST AVENUE, SUITE 110
NEWHAM, MA 02944
FOR RECORD OWNER
SEE NOTE 2

Sebago Technics
Engineering Experts You Can Build On
One Grand Street
Westport, MA 02877
Tel: (617) 881-9277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
050900 824 MME MME/MAL

REV.	BY:	DATE:	STATUS:
A	DLR	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
B	DLR	10-18-05	SUBMIT SUBDIVISION PLAN TO CLIENT FOR REVIEW

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SHEET 1 OF 2
DATE 10-18-05
SCALE 1" = 30'

050900SB



COOPER CARRY

WINTON SCOTT
ARCHITECTS

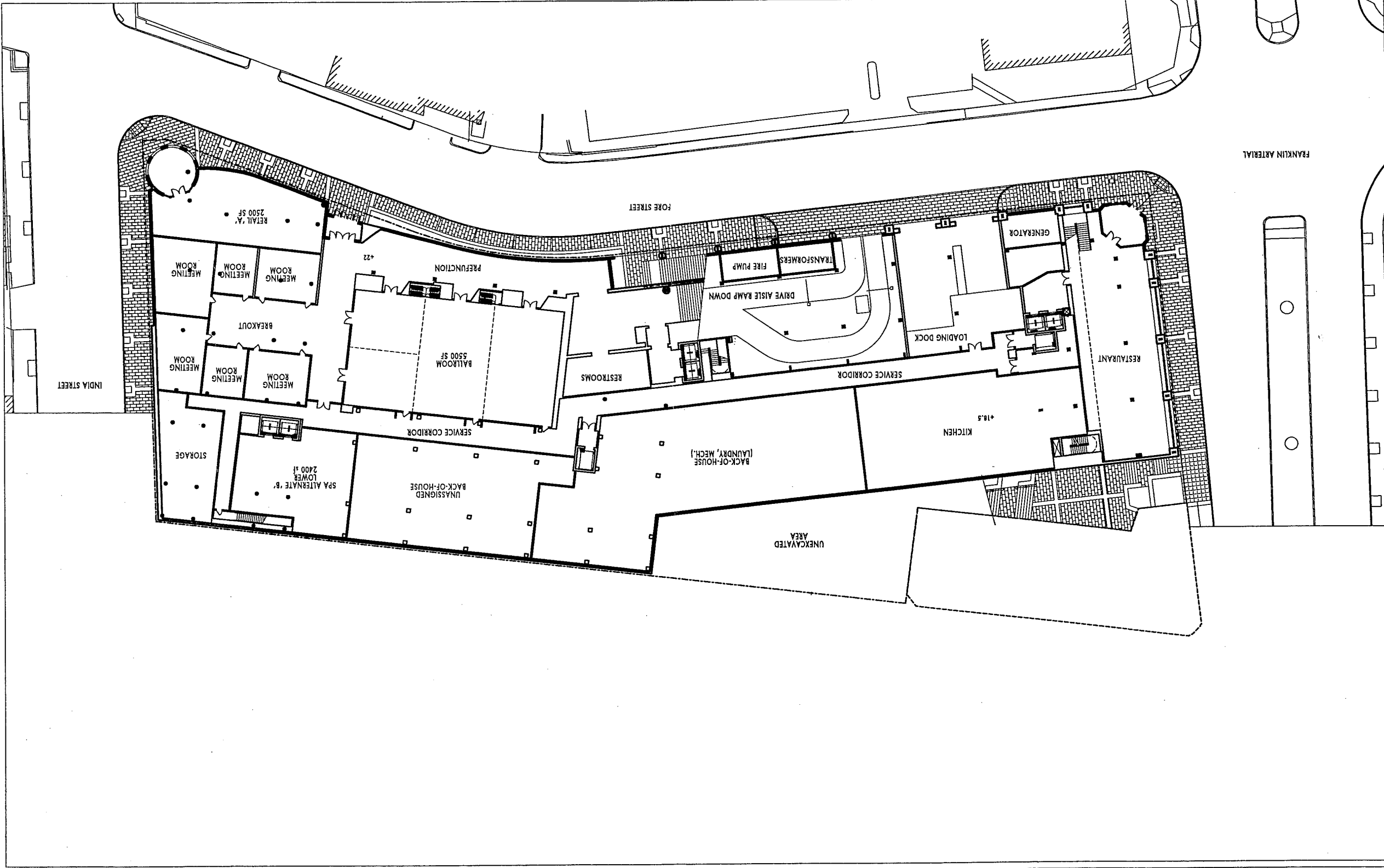
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

1" = 50'-0"

RESTAURANT ENTRY LEVEL

10.25.2005



COOPER CARRY



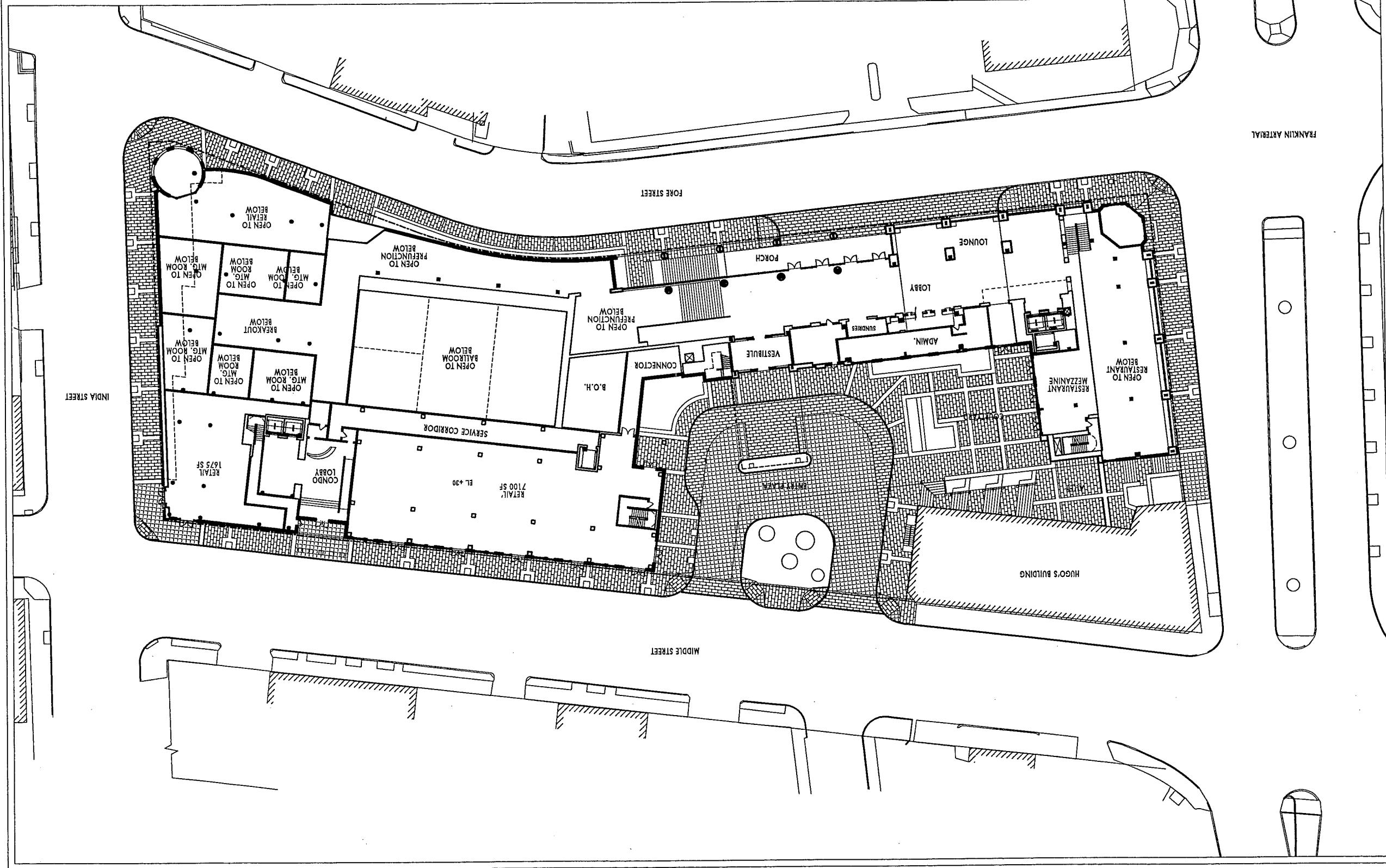
WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

HOTEL LOBBY LEVEL
1" = 50'-0"

10.25.2005

2



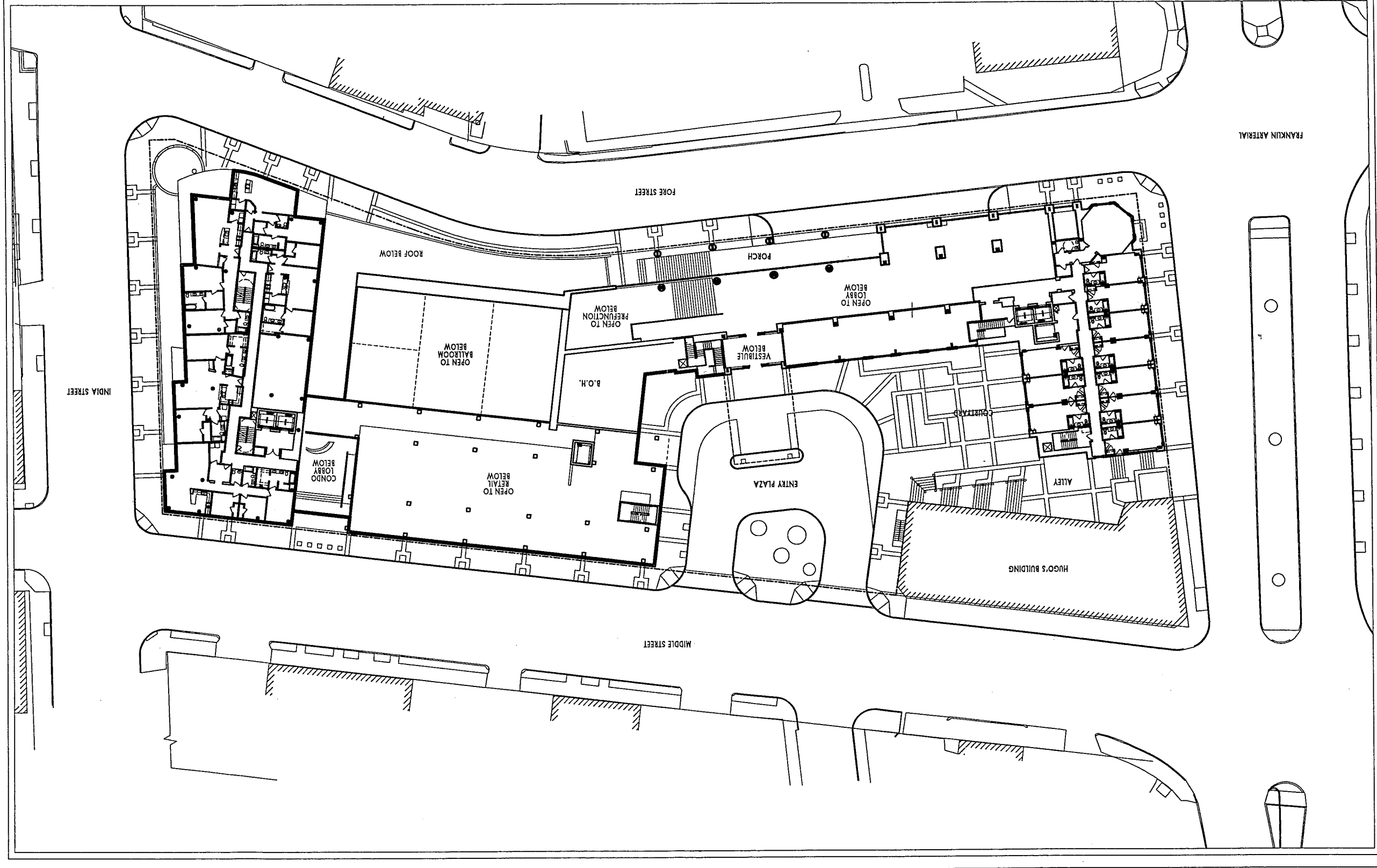


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1ST FLOOR OF CONDOS
1" = 50'-0"

10.25.2005
3



10.25.2005

1"=50'-0"

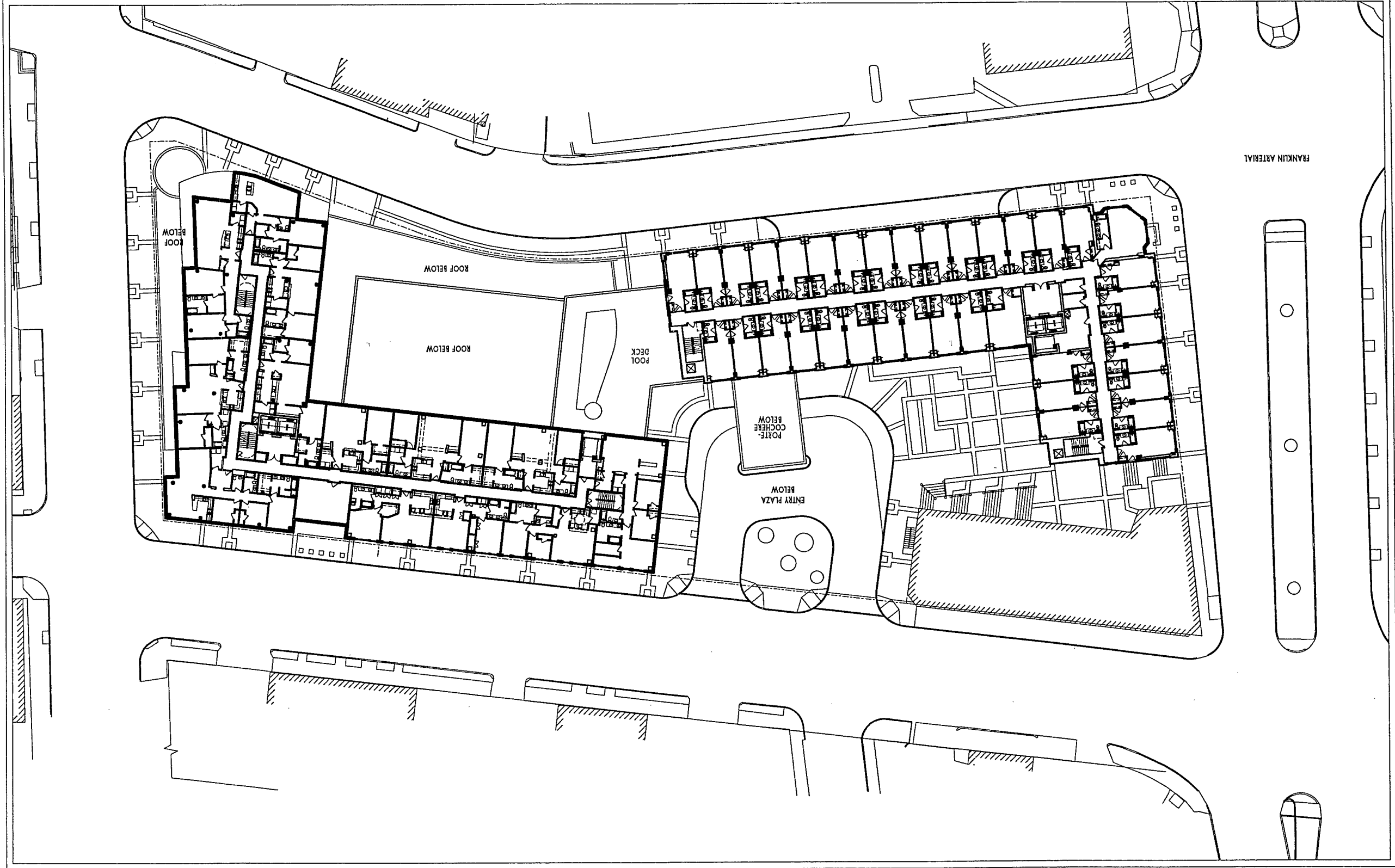


FIRST GUESTROOM LEVEL /
POOL TERRACE

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

WINTON SCOTT
ARCHITECTS



FRANKLIN ARTERIAL

10.25.2005

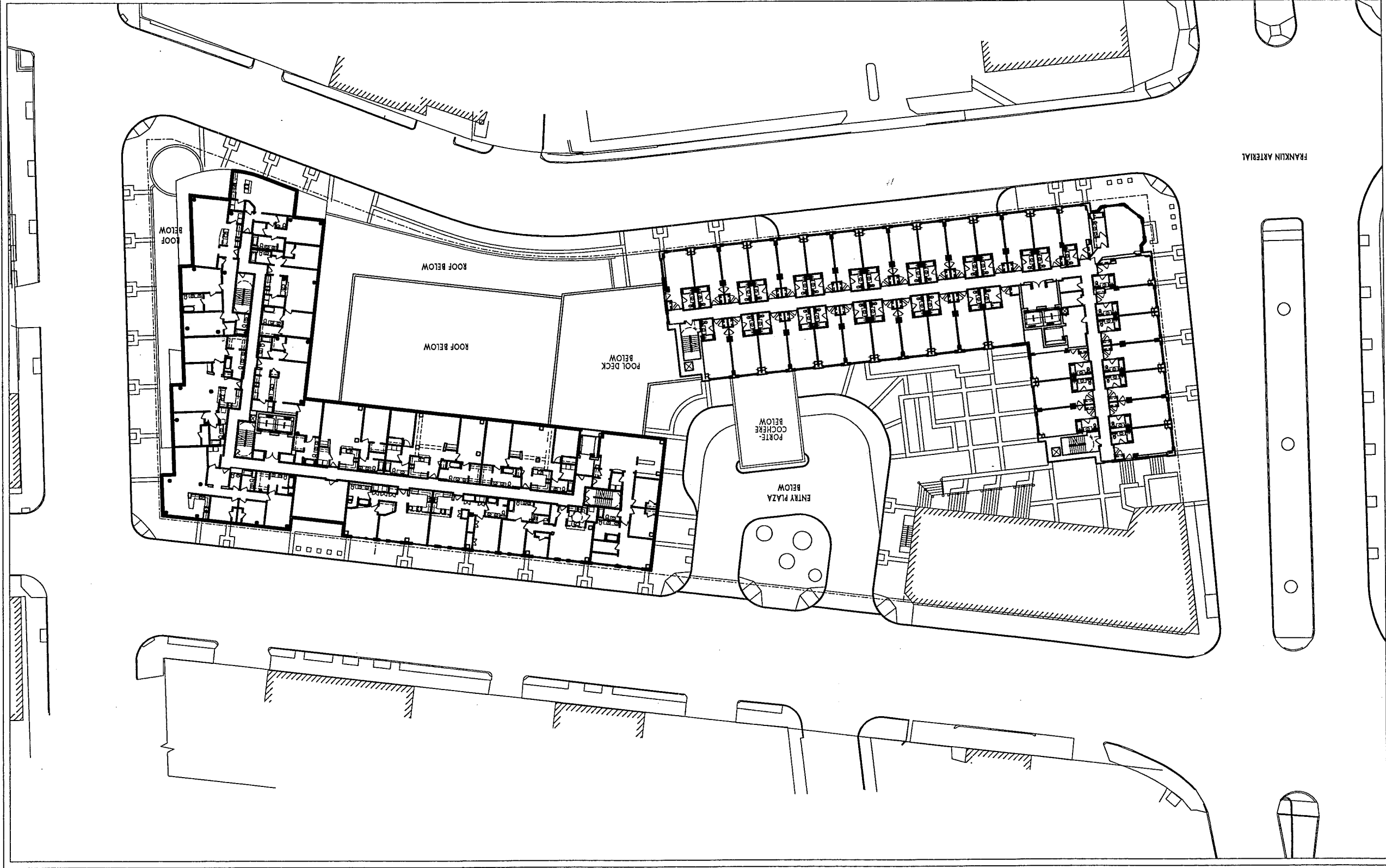
5-6

LEVELS 5 AND 6
1" = 50'-0"

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

WINTON SCOTT
ARCHITECTS

COOPER CARRY



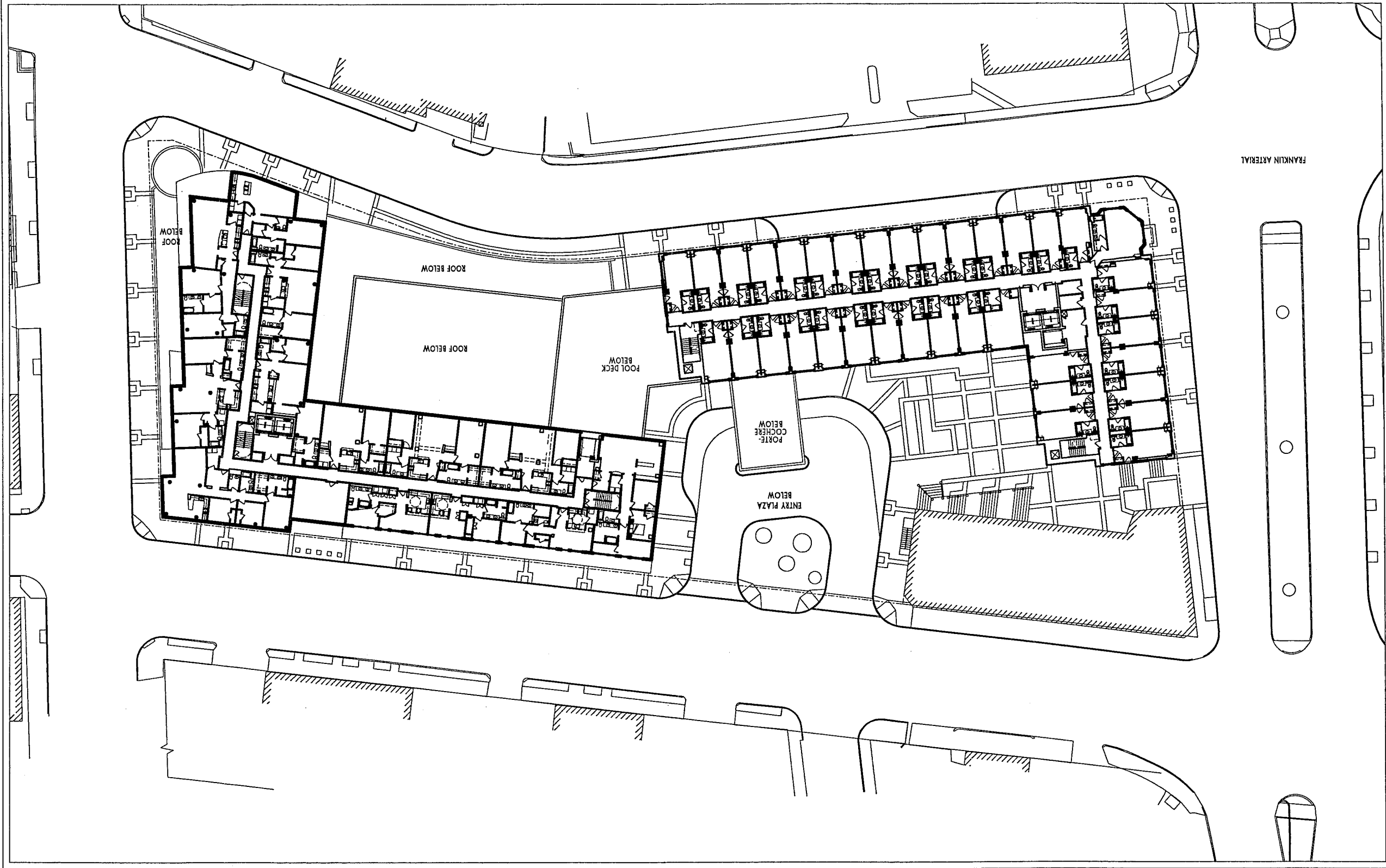
10.25.2005

7-8

LEVELS 7 AND 8
1" = 50'-0"

WESTIN HOTEL and RESIDENCES PORTLAND Portland, Maine

WINTON SCOTT
ARCHITECTS





COOPER CARRY

WINTON SCOTT
ARCHITECTS

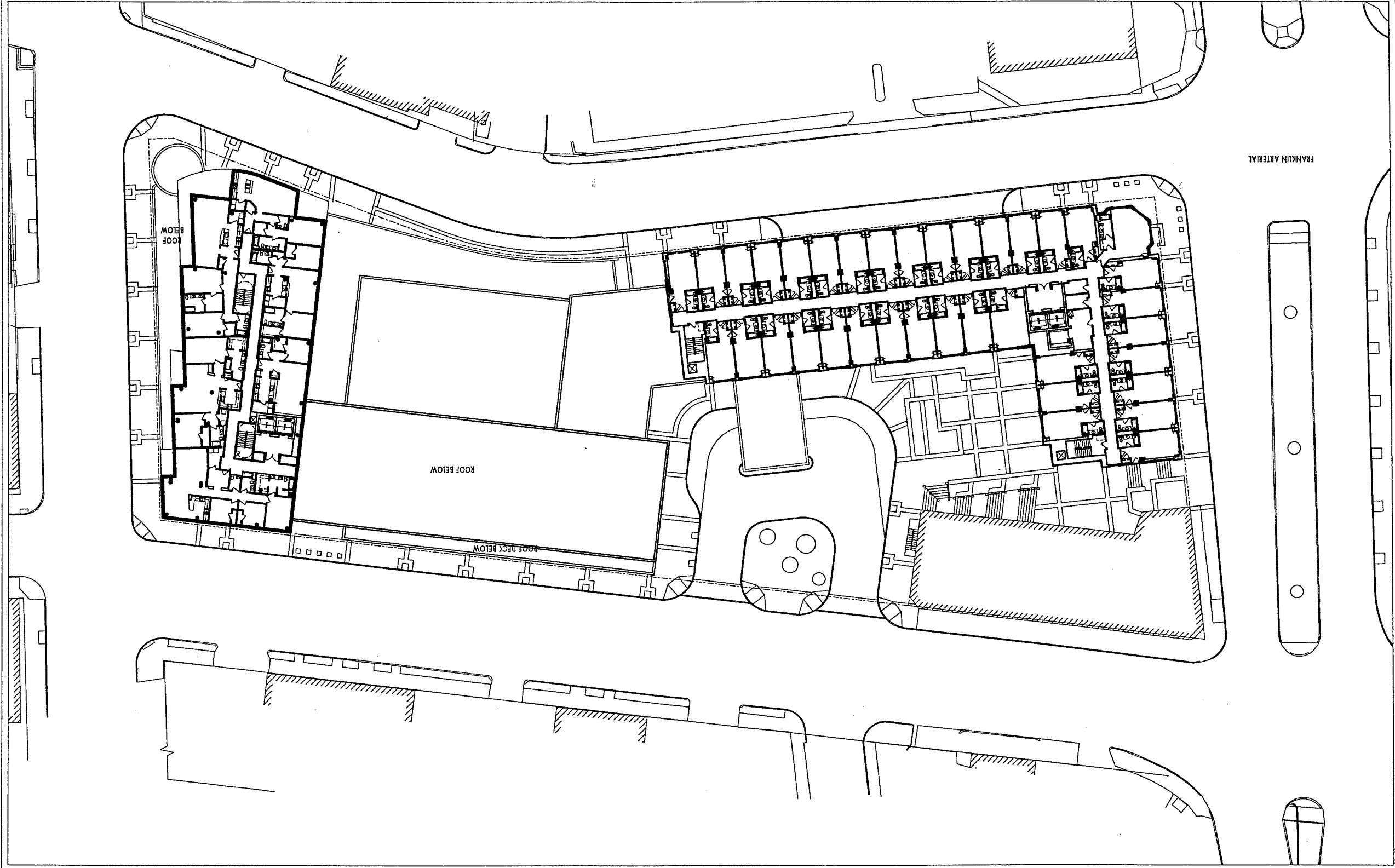
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

1" = 50'-0"

LEVEL 9

10.25.2005

9





WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

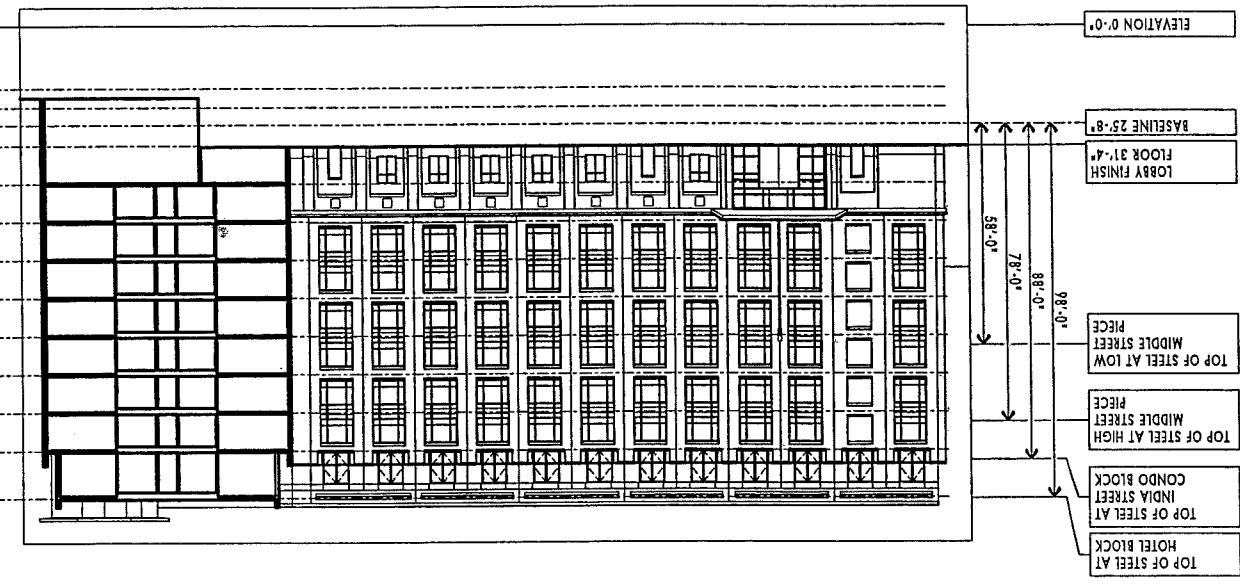
BUILDING ELEVATIONS

1" = 50'-0"

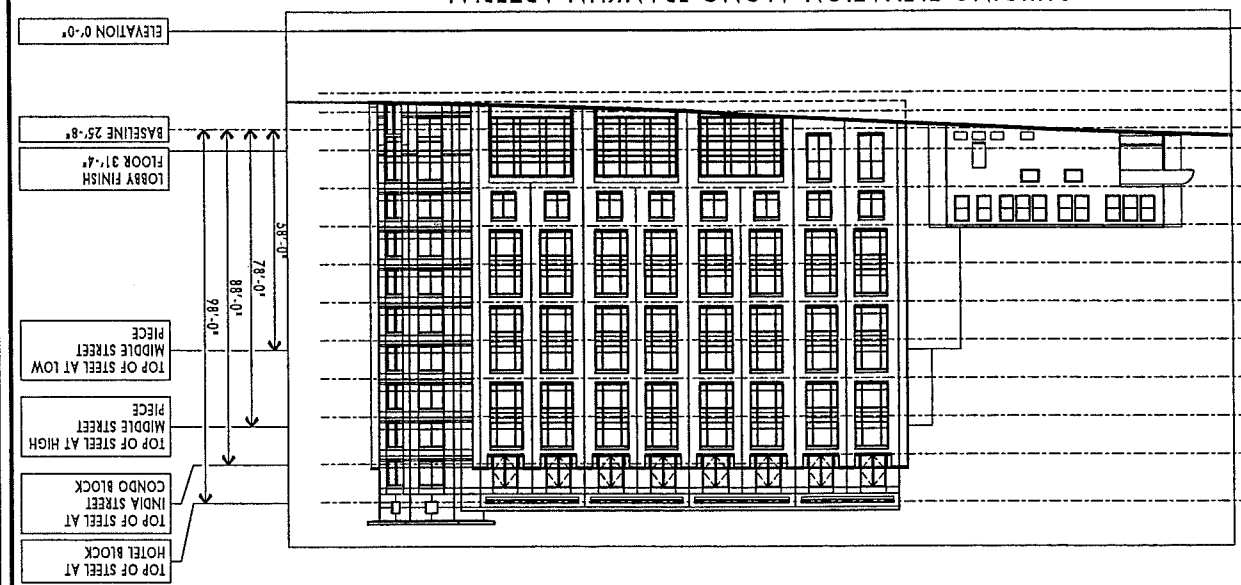
10.25.2005

E

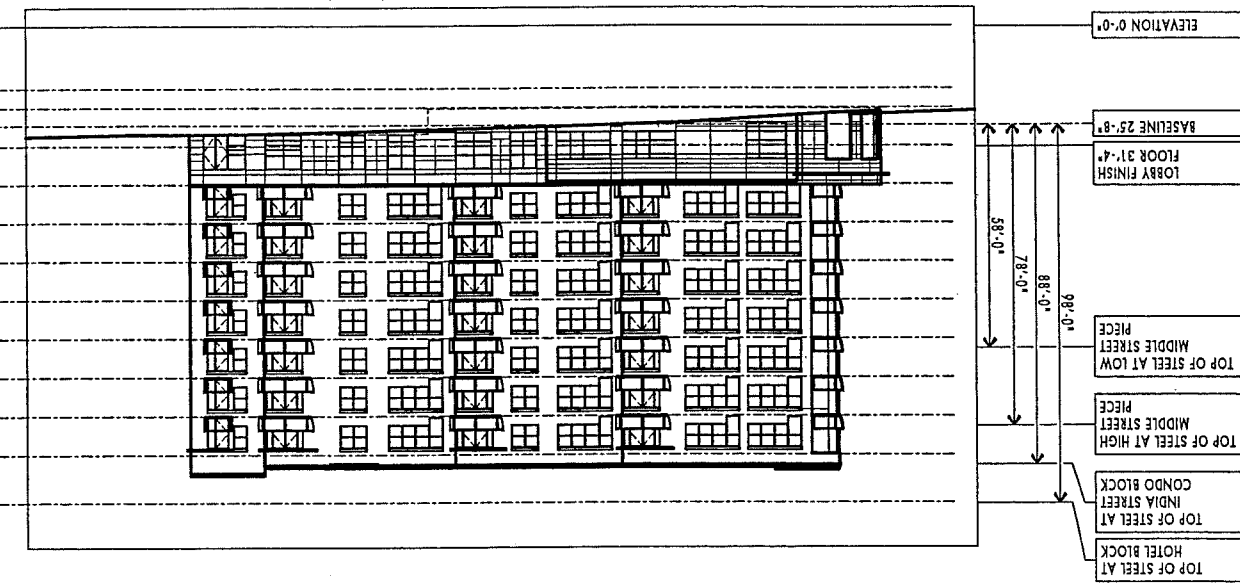
BUILDING ELEVATION AT ENRY COURT



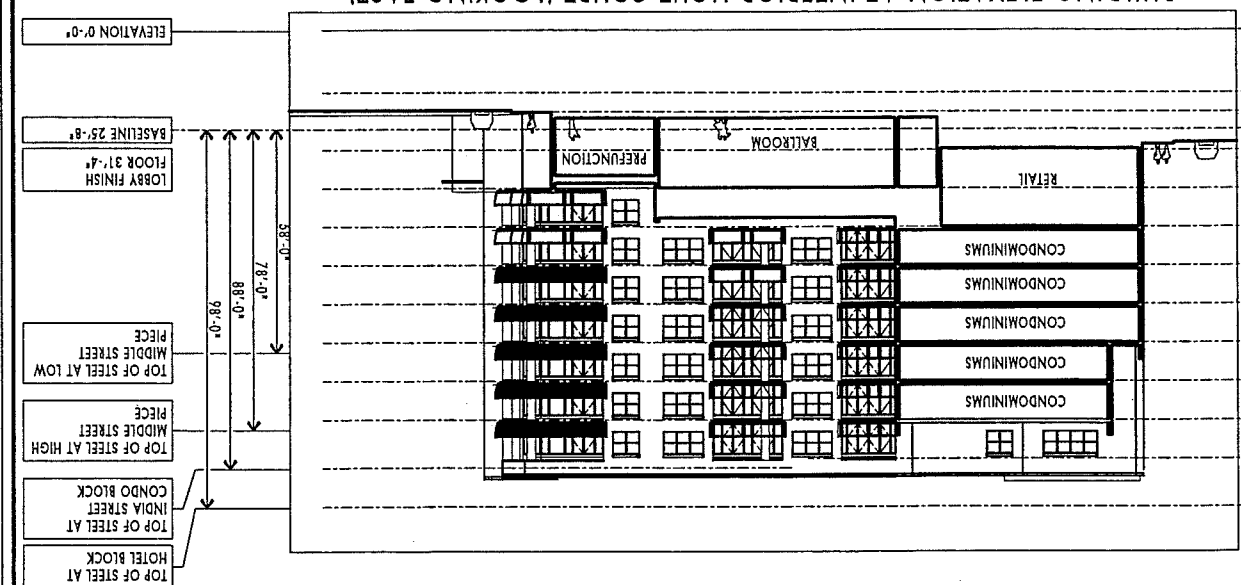
BUILDING ELEVATION ALONG FRANKLIN ARTERIAL



BUILDING ELEVATION ALONG INDIA STREET



BUILDING ELEVATION AT INTERIOR LIGHT COURT (LOOKING EAST)



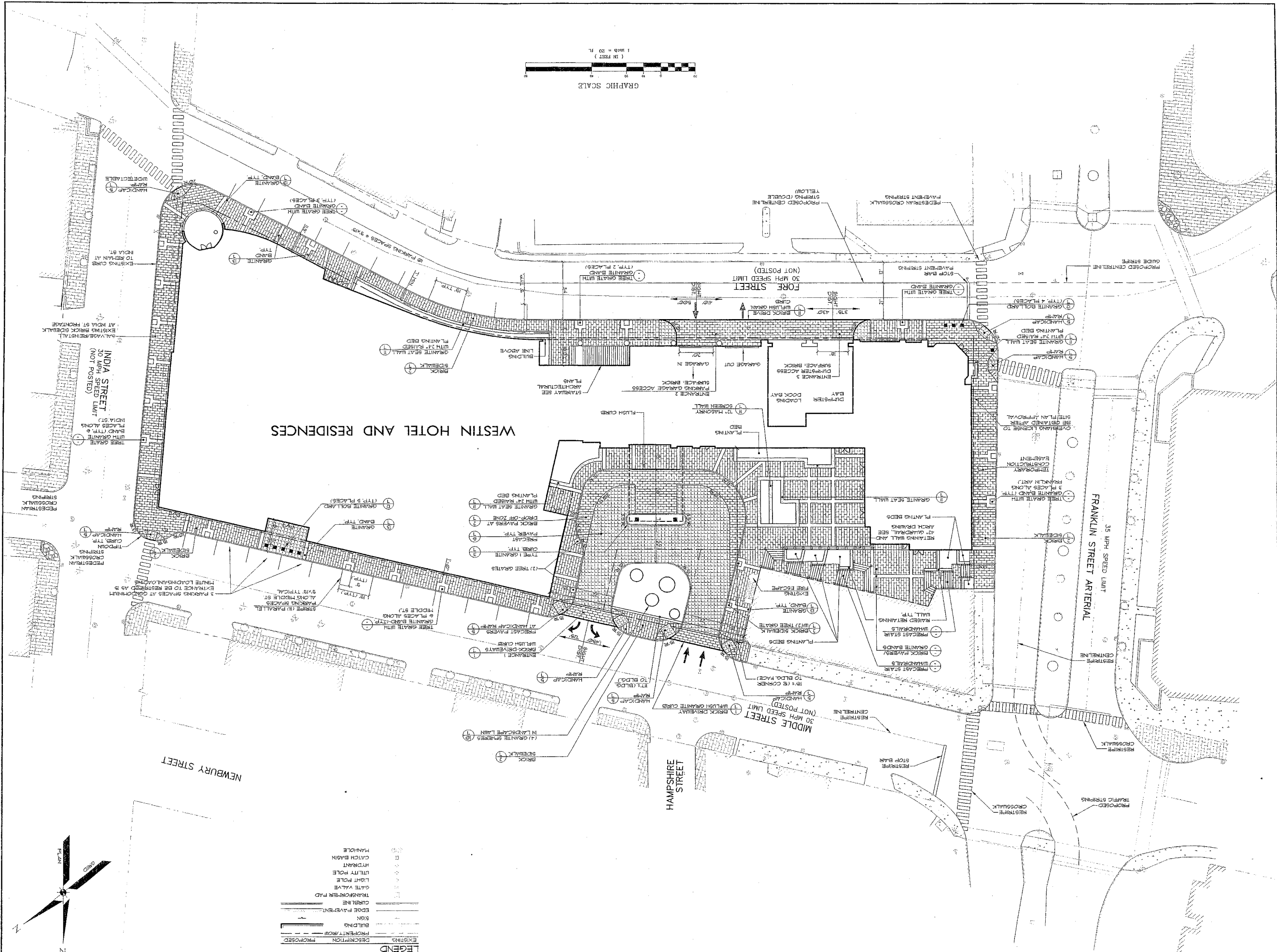
DATE	7-12-05	SCALE	1"=20'
PROJ. NO.	DMS MAKE		
FIELD BOOK	DESIGN BY		
05090	050905		
WTC			
CHECKED BY			
BRANN BY			
MAL			

SITE LAYOUT PLAN
WESTIN HOTEL AND RESIDENCES PORTLAND
 36 RIALA STREET
 FOR: WESTIN HOTEL AND RESIDENCES PORTLAND
 1140 RESERVATION AVENUE
 PORTLAND, OR 97202
PME 1 LIMITED PARTNERSHIP

Sabago Technics
 Engineering Experts You Can Build On
 1410 Commercial Street, Suite 100
 Portland, OR 97202
 503.281.0077

REV.	DATE	DESCRIPTION
E	10-23-05	SUBMITTED FOR SITE PLAN REVIEW
D	9-30-05	SUBMITTED FOR ADJUTANT GENERAL PERMIT APPLICATION
C	8-3-05	CONDITIONAL REGIONAL PLANNING BOARD HEARING
B	7-22-05	SUBMITTED FOR PLANNING BOARD WORKSHOP
A	7-12-05	CONDITIONAL REGIONAL PLANNING BOARD SUBMITTAL

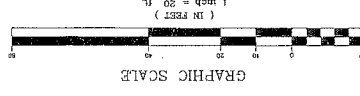
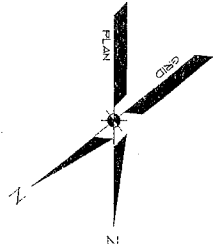
REVISIONS SHALL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO SABAGO TECHNICS. AUTHORIZED OR OTHERWISE SHALL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO SABAGO TECHNICS.



WESTIN HOTEL AND RESIDENCES

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	BUILDING	---
---	8'x8'	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	MANHOLE	---
---	WATERWORKS PAD	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---



Westin Hotel Off Site Improvements

September 2005

Priority No.	Project	Location	Description	Comments	Probable Cost
	15	Street Lighting	Commercial St - both sides, India St to Franklin Arterial	Install street lighting	
	11	Trees and Street Lighting	Congress Street - south side, Franklin Arterial to Mountfort	Install trees and street lights; repair sections of Eastern Cemetery Fence	
north side low	8	Curb and Sidewalk Replacement	Federal Street - both side, India to Mountfort	Replace existing sidewalk with new brick; no esplanade; exclude Gan site limits	\$285,000
		Curb and Sidewalk Replacement	Federal Street - both sides, Hampshire St to end (Franklin Art)	Replace existing sidewalk with new brick; replace granite curb; no esplanade	\$40,000
	7	Curb and Sidewalk Replacement	Federal Street - north side, Hampshire St to Rite Aid entrance	Replace existing sidewalk with new brick; replace granite curb; no esplanade	\$40,000
		Sidewalk Replacement	Fore St - north side, Mountfort St to Waterville St	Replace existing sidewalk with brick; repair esplanade	\$95,000
	14	Curb Reset and Sidewalk Replacement	Fore St - south side, Mountfort St to Waterville St	Replace existing sidewalk with brick; reset existing granite curb	\$105,000
	17	Curb Reset and Sidewalk Replacement	Fore Street - north side, Franklin Arterial to Pearl St	Replace existing sidewalk with brick; reset existing granite curb	\$70,000
	4	Curb Reset and Sidewalk Replacement	Fore Street - south side, Franklin Arterial to India St	Replace existing sidewalk with new brick; reset curb; no esplanade	\$60,000
	13	Curb and Sidewalk Replacement	Fore Street - south side, Hancock St to Mountfort St	Replace existing sidewalk with brick; replace existing granite curb	\$55,000
	2	Curb and Sidewalk Replacement	Franklin Arterial - east side, Fore St to Middle St	Replace existing concrete sidewalk with brick; no esplanade; replace existing granite curb with new	\$50,000
	3	Installation of New Sidewalk	Franklin Arterial - east side, Middle St to Congress St	Install new 10' wide brick sidewalk; no esplanade	\$125,000

Probable Cost
\$1,822,000

	18	Installation of New Sidewalk	Franklin Arterial - west side, Congress to Middle	Install new 5' wide brick sidewalk; no esplanade;	no existing sidewalk; very little room between existing granite curb and light pole bases, retaining walls and embankments	\$60,000
	16	Sidewalk Replacement	Franklin Arterial - west side, Fore Street to Middle St	Replace existing sidewalk with brick; install tree grates and guards	existing concrete sidewalk; granite curb okay; no esplanade; 7 existing trees	\$60,000
	9	Curb and Sidewalk Replacement	Hancock Street - west side, Federal St to Newbury St	Replace existing sidewalk with new brick; replace granite curb; no esplanade; exclude Village site limits	existing brick and bituminous sidewalk; granite curb	\$12,000
	19	Curb and Sidewalk Replacement	Middle St - north side, Franklin Arterial to end of Public Safety Bldg	Replace existing sidewalk with brick; replace existing granite curb	existing concrete sidewalk	\$35,000
		Curb and Sidewalk Replacement	Middle Street - north side, Hampshire to Franklin	Replace existing sidewalk with brick; replace existing granite curb; no esplanade	Existing concrete and sidewalk and granite curb; no esplanade	\$30,000
	6	Curb Replacement; extend brick sidewalk	Middle Street - north side, India to Hampshire	Replace existing grass esplanade with brick; replace existing granite curb	Existing brick sidewalk in good condition; existing granite curb poor; esplanade	\$40,000
	1	Curb and Sidewalk Replacement	Middle Street - south side, Franklin Arterial to Westin site	Replace existing granite curb and concrete sidewalk with new brick; no esplanade	Existing granite curb; existing 11' wide concrete sidewalk; no esplanade	\$35,000
	5	Curb and Sidewalk Replacement	Middle Street - south side, India St to back of Micucci's property	Replace existing 10' sidewalk with new brick; no esplanade	Existing granite curb; bituminous sidewalk; no esplanade	\$105,000
low		Sidewalk Replacement	Mountfort Street - east side, Congress to Fore	Replace existing sidewalk with brick; repair esplanade	existing concrete sidewalk and granite curb in good condition; esplanade	\$180,000
low	10	Curb and Sidewalk Replacement	Mountfort Street - west side, Congress to Fore	Replace existing sidewalk with new brick; replace granite curb; no esplanade; Federal to Fore higher priority	existing concrete sidewalk good condition; existing granite curb fair condition; esplanade in areas	\$300,000
	12	New Street Construction	Mountfort Street Extension - Fore Street to Commercial Street	Build street including utilities, roadway, curb, sidewalk, lighting, and trees	Extension of Mountfort; assuming 300 LF at \$1000 per linear foot	

pedestrian light standards
conduit and wire for lighting

\$5500/ea
\$22/lf

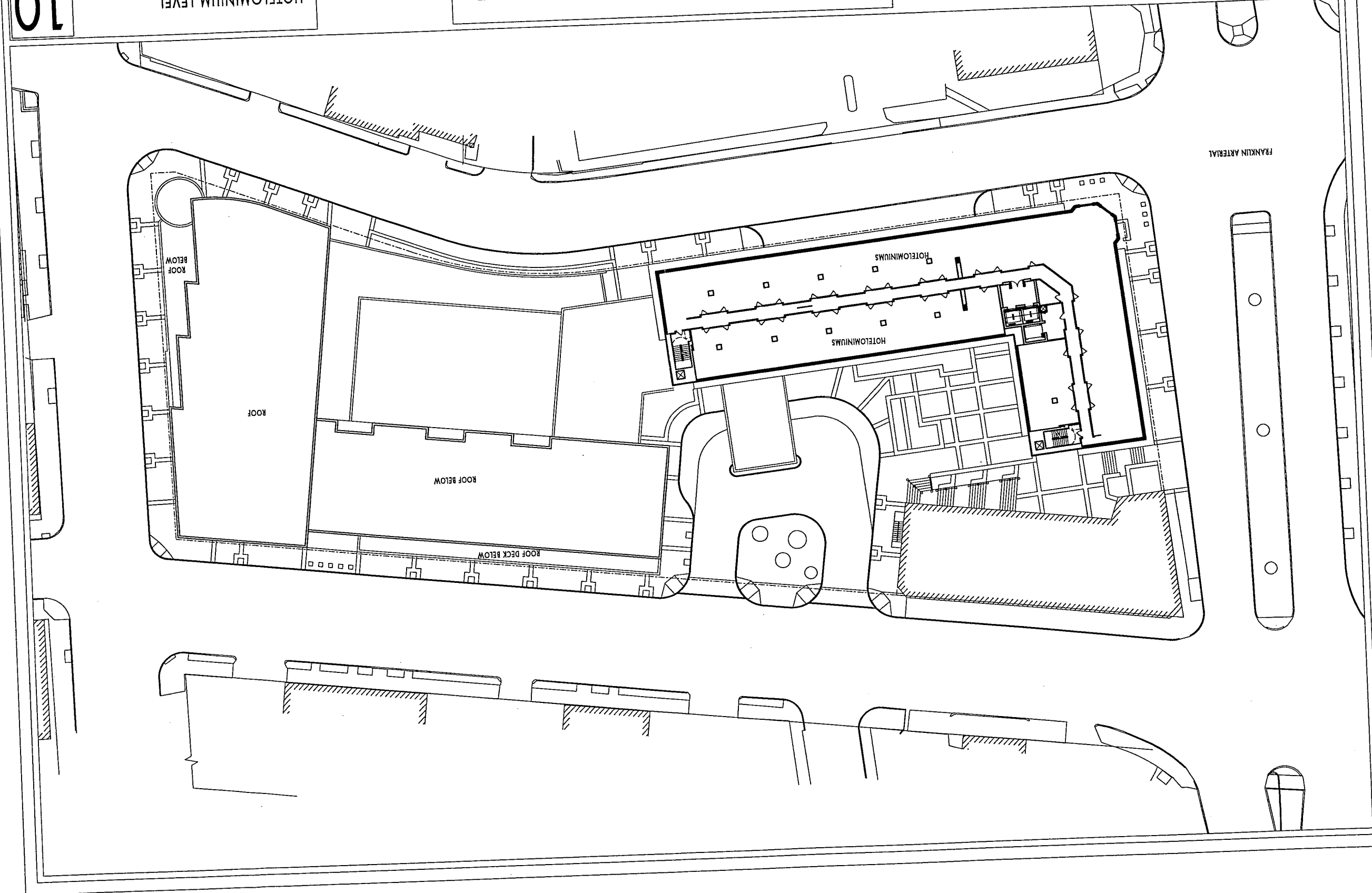


WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

HOTELMINIUM LEVEL
1" = 50'-0"

10
10.25.2005





WINTON SCOTT
ARCHITECTS

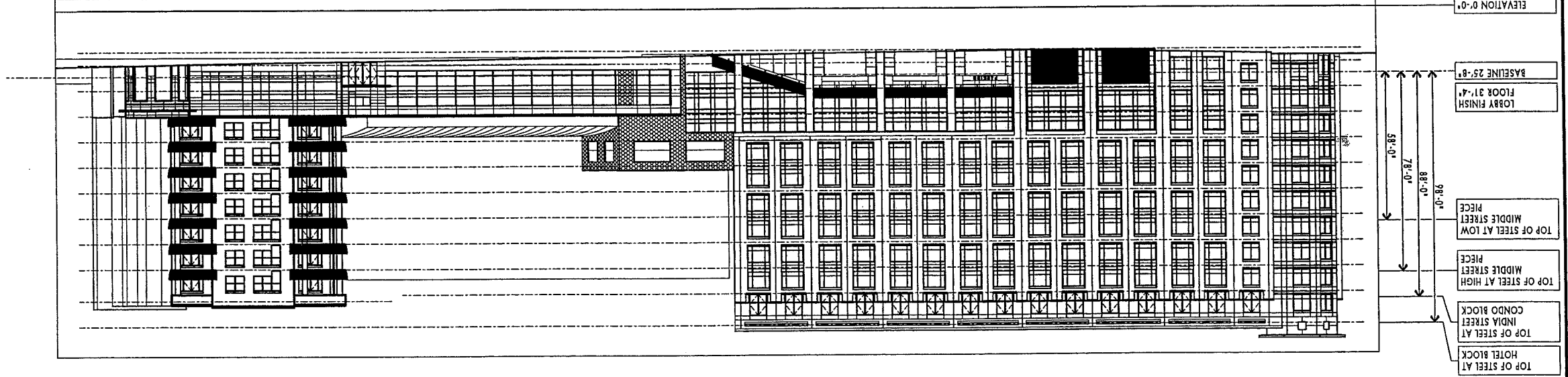
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

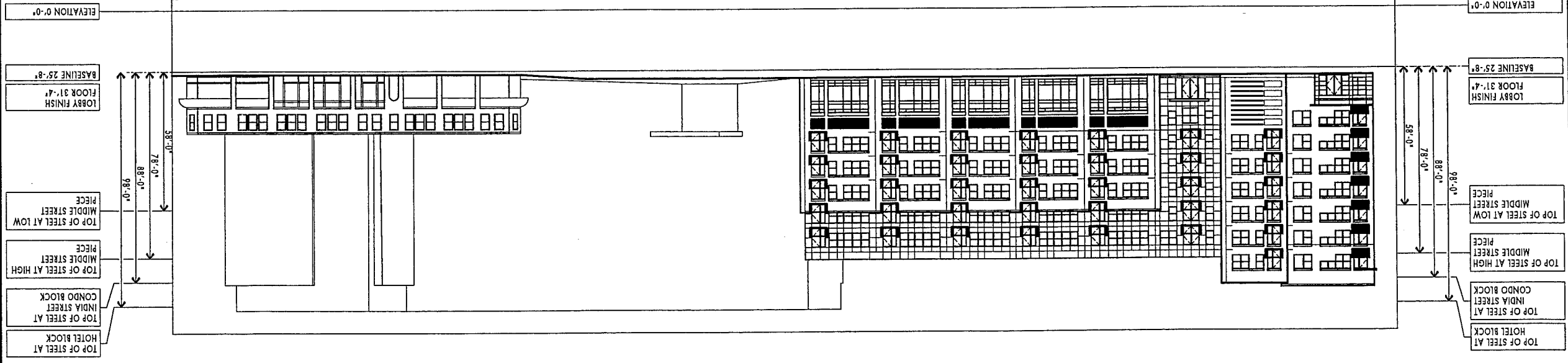
BUILDING ELEVATIONS
1" = 50'-0"

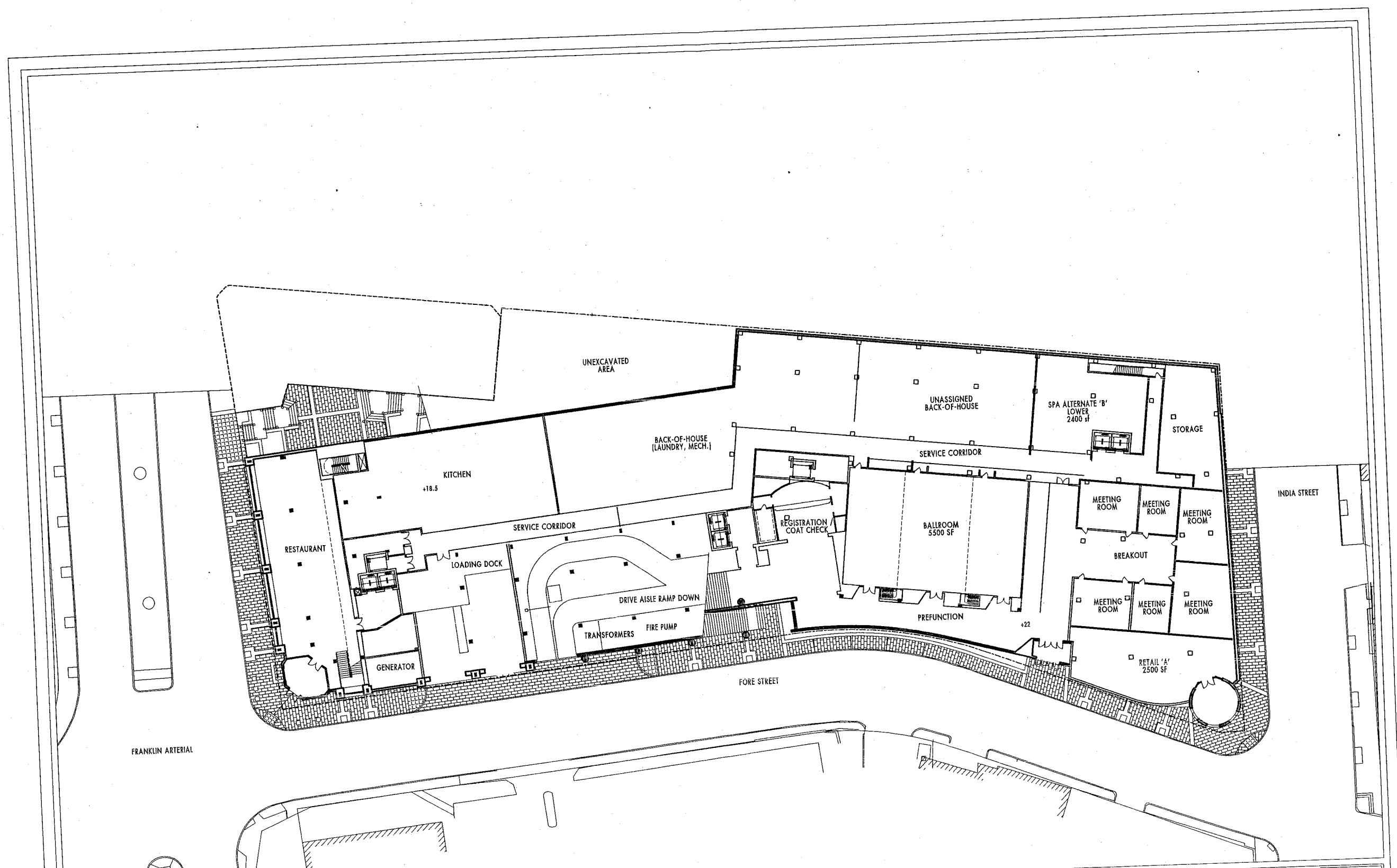
10.25.2005
E

BUILDING ELEVATION ALONG FORE STREET



BUILDING ELEVATION ALONG MIDDLE STREET



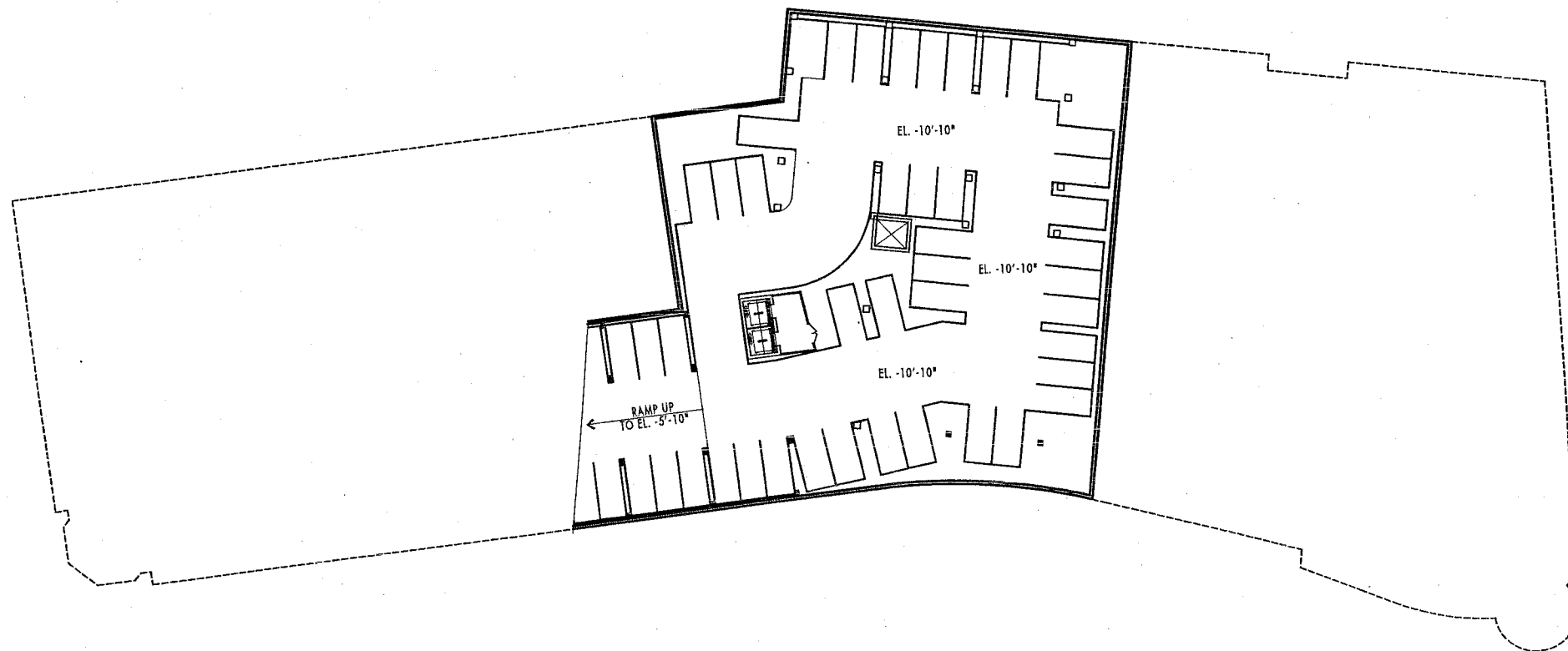


WINTON SCOTT ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

RESTAURANT ENTRY LEVEL
1
1"=50'-0"
11.30.2005

Fire Alarm Sprinkler
NFA88A



COOPER CARRY

WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

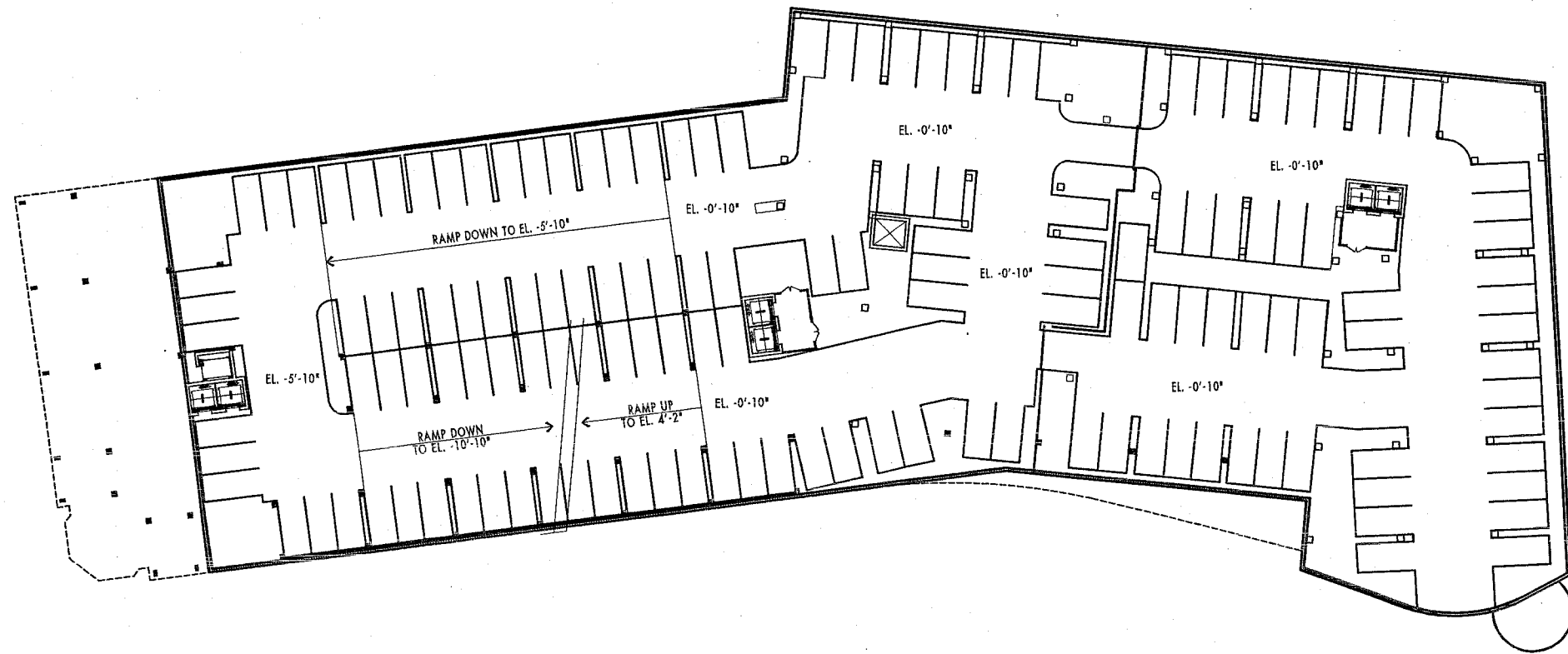
Portland, Maine

PARKING LEVEL 1

1"=50'-0"

P1

11.30.2005



COOPER CARRY

WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

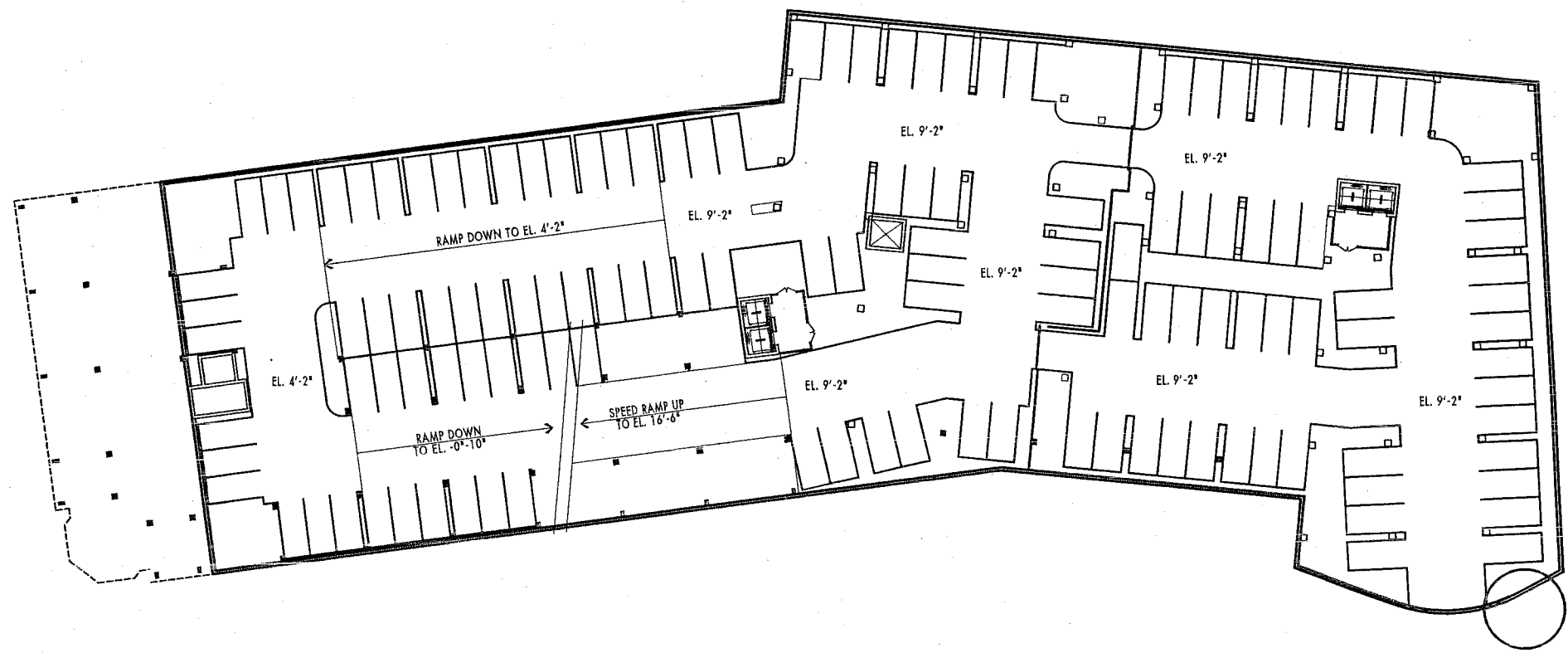
Portland, Maine

PARKING LEVEL 2

1"=50'-0"

P2

11.30.2005



WINTON SCOTT
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND

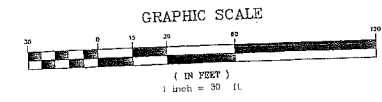
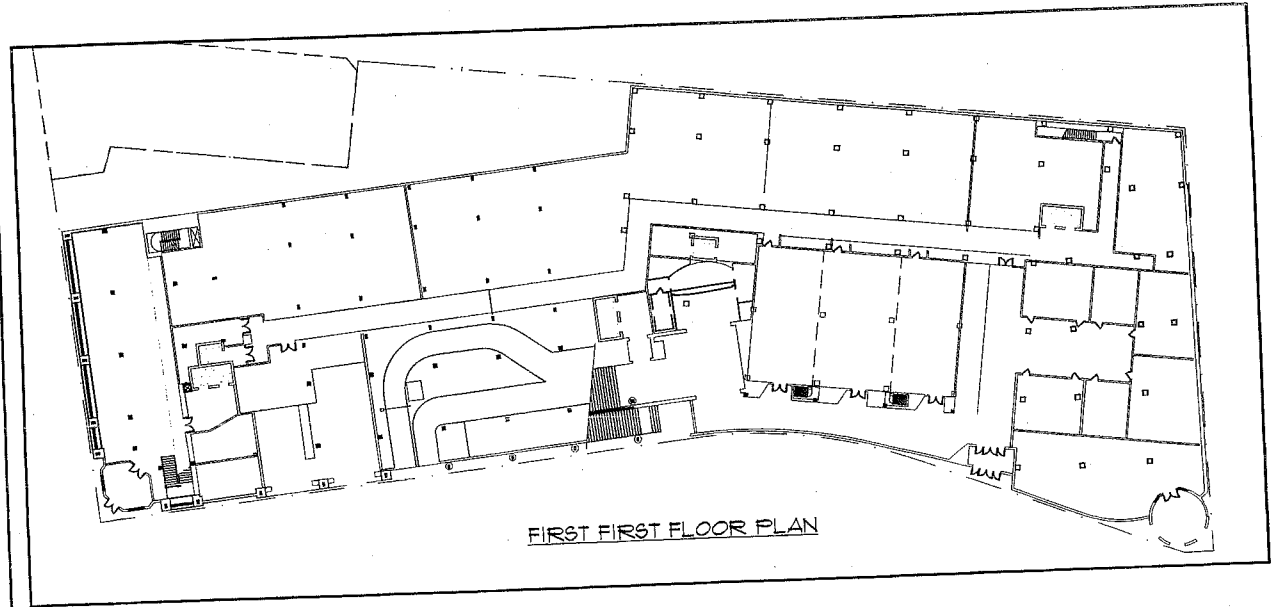
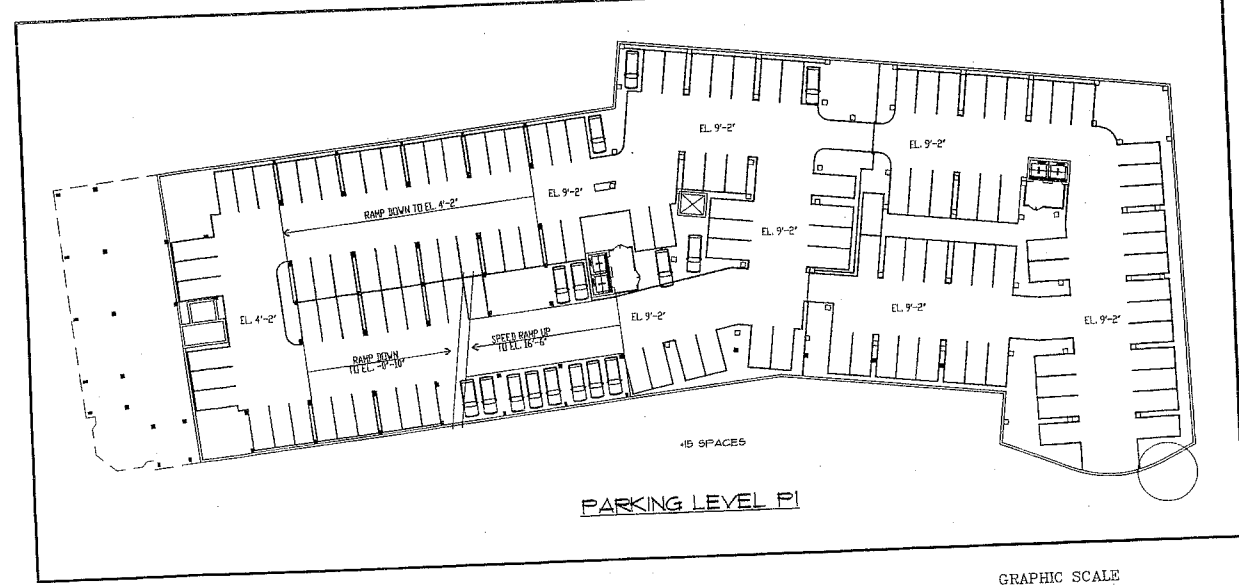
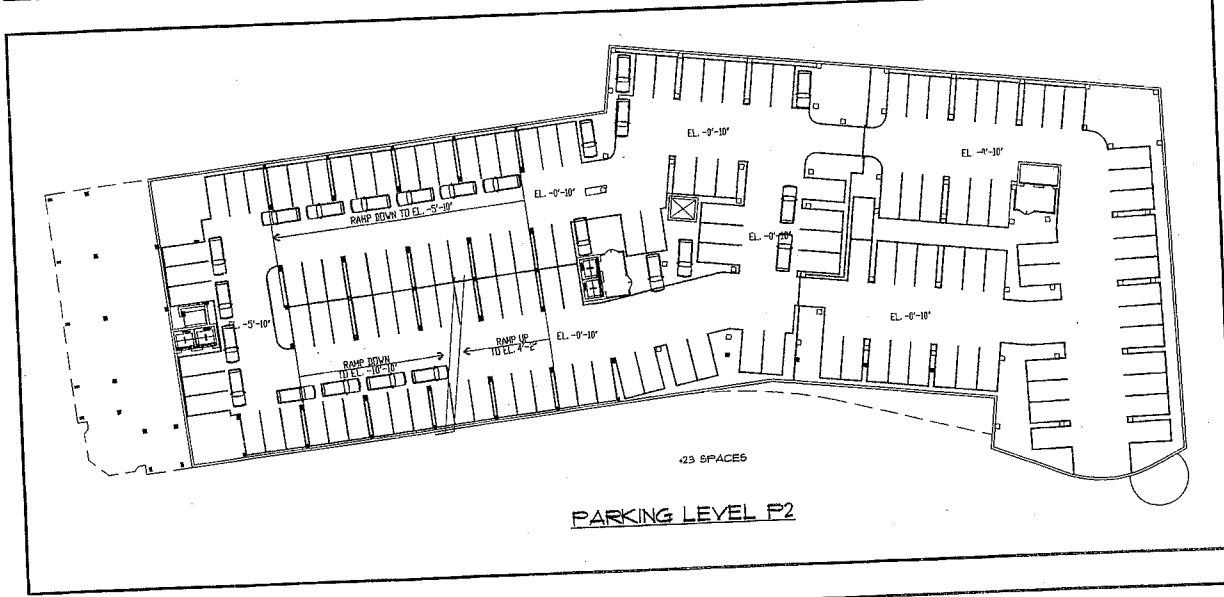
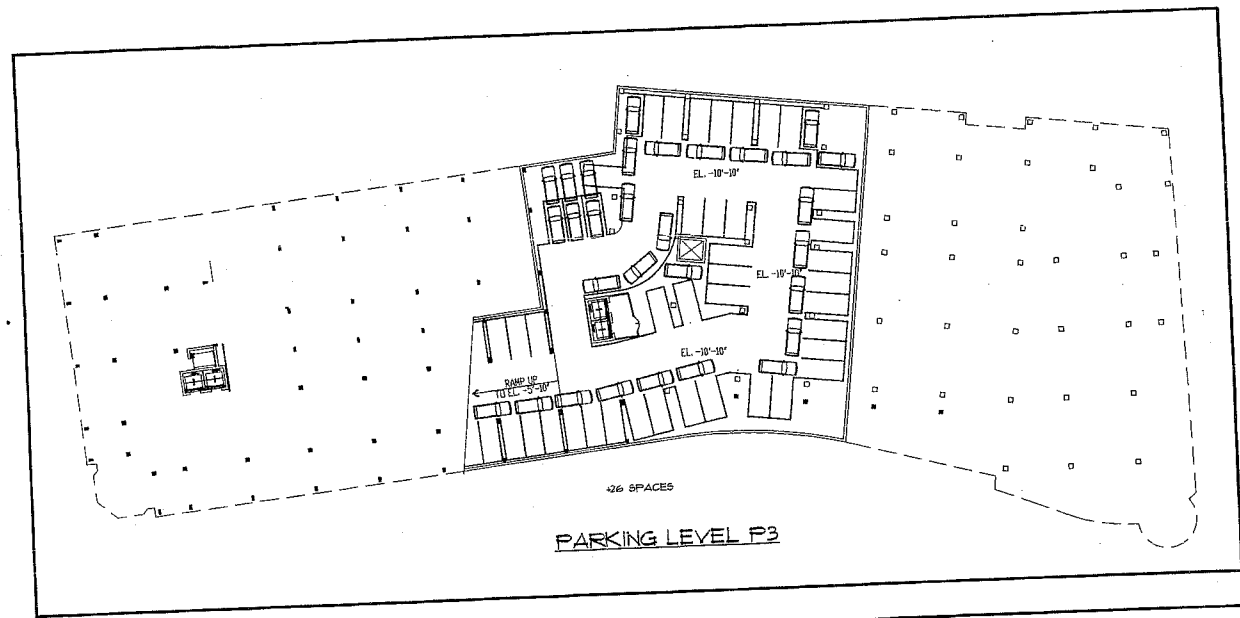
Portland, Maine

PARKING LEVEL 3

1"=50'-0"

P3

11.30.2005



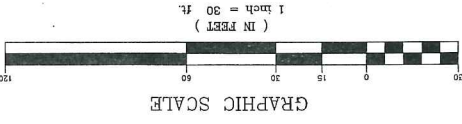
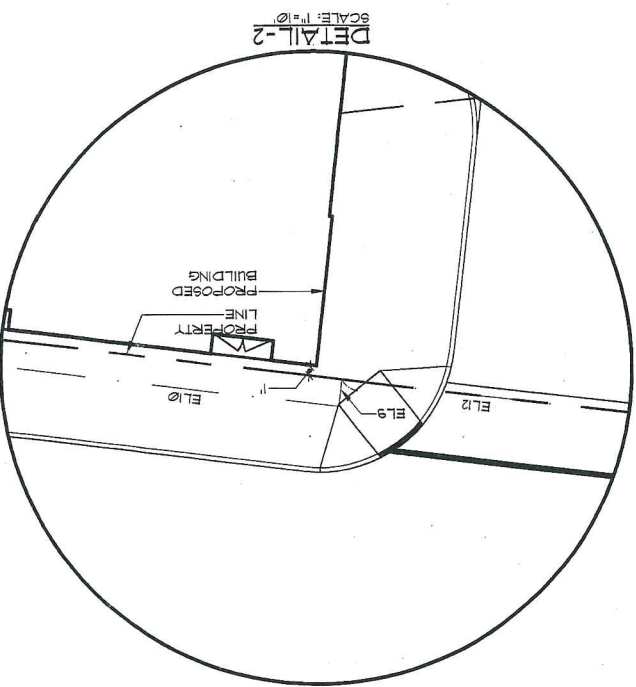
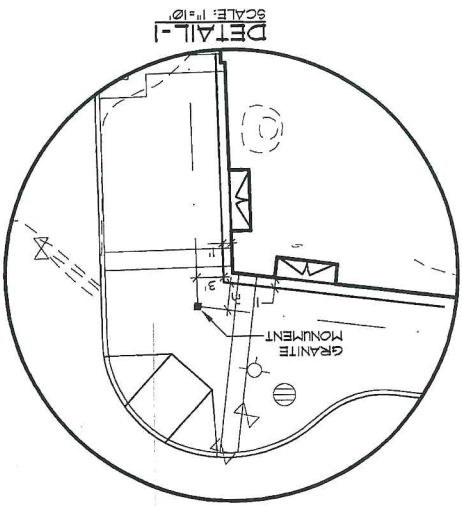
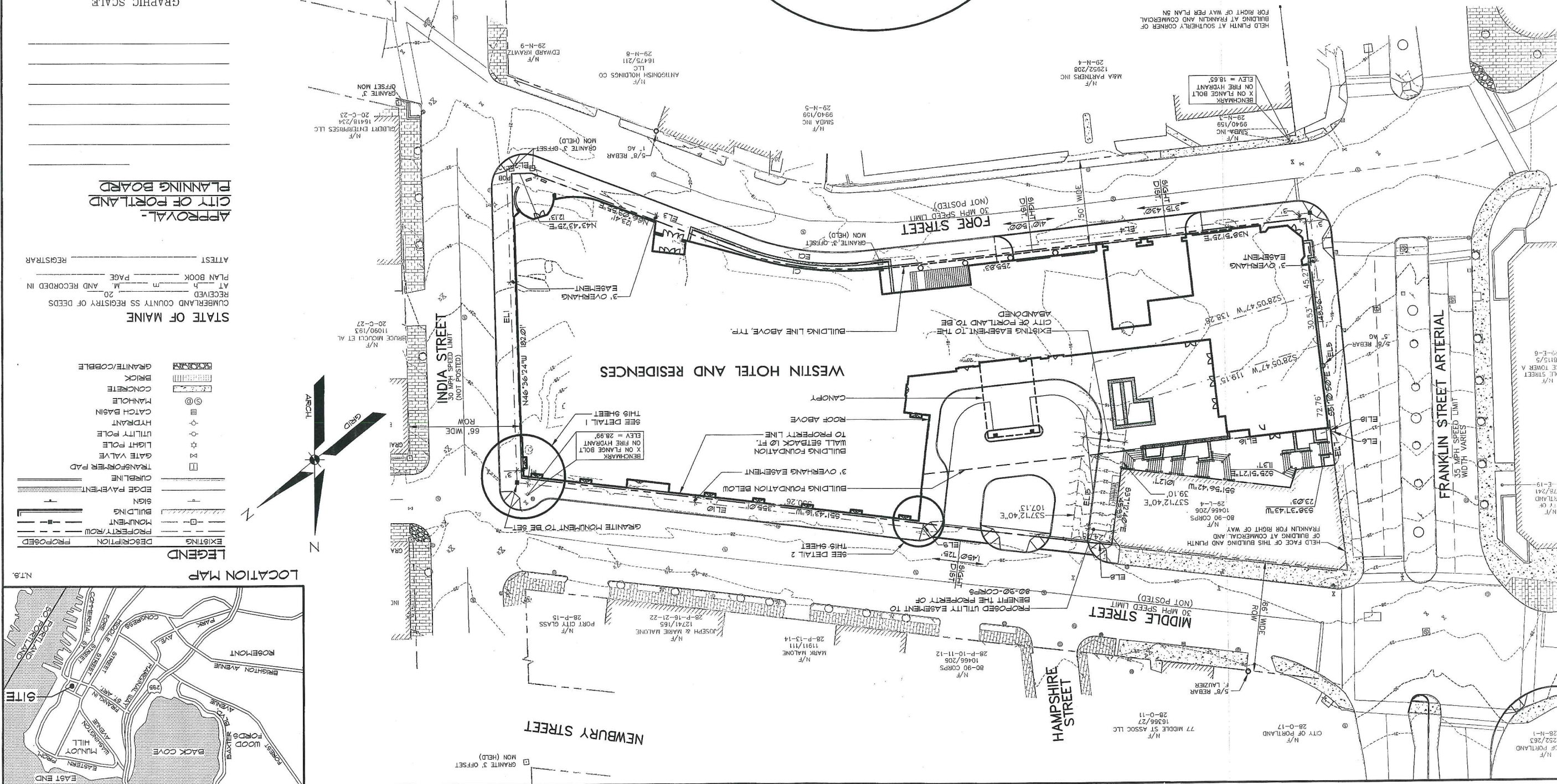
E	12-8-05	SUBMITTED FOR SITE PLAN REVIEW
D	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
C	8-30-05	SUBMITTED FOR MODIFIED TRAFFIC HEARING
B	8-2-05	COMPLETED FOR PLANNING BOARD WORKSHOP
A	7-22-05	CONDITIONAL REZONING SUBMITTAL
BY:	DATE:	STATUS:

NOTE: THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

Sebago Technics
Engineering Expenses You Can Build On
Warren, RI 02885-3338
Tel: (401) 966-0277

VALET PARKING STUDY
OF:
WESTIN HOTEL AND RESIDENCES PORTLAND
38 INDIA STREET
PORTLAND, MAINE
FOR:
PME 1 LIMITED PARTNERSHIP
1140 RESERVOIR AVENUE
CRANSTON, RI 02920

DATE	SCALE
7-12-05	1" = 30'
PROJ. NO.	DWG. NAME
050905	050905
FIELD BOOK	DESIGN BY
-	DLR
DRAWN BY	CHECKED BY
MTW	DLR



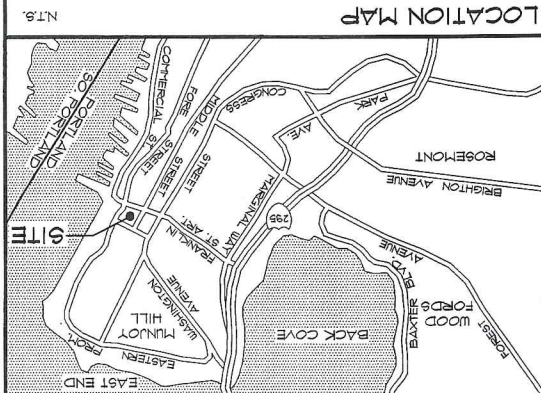
NOTE: SEE SUBDIVISION PLAN-SHEET 2 OF 2 FOR GENERAL NOTES.

STATE OF MAINE
 CUMRIAND COUNTY SS REGISTRY OF DEEDS
 RECEIVED _____ AT _____ M _____ P
 PLAN BOOK _____ PAGE _____
 ATTEST _____ REGISTRAR

APPROVAL-
 CITY OF PORTLAND
 PLANNING BOARD

LEGEND

EXISTING	DESCRIPTION	PROPOSED
[Symbol]	PROPERTY ROW	[Symbol]
[Symbol]	MONUMENT	[Symbol]
[Symbol]	BUILDING	[Symbol]
[Symbol]	EDGE PAVEMENT	[Symbol]
[Symbol]	SIGN	[Symbol]
[Symbol]	CURBLINE	[Symbol]
[Symbol]	TRANSFORMER PAD	[Symbol]
[Symbol]	GATE VALVE	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	MANHOLE	[Symbol]
[Symbol]	CONCRETE	[Symbol]
[Symbol]	BRICK	[Symbol]
[Symbol]	GRANITE/COBBLE	[Symbol]



SUBDIVISION PLAN-SHEET 1 OF 2
 OF
WESTIN HOTEL AND RESIDENCES
 PORTLAND
 FOR:
PME 1 LIMITED PARTNERSHIP
 197 FIRST AVENUE, SUITE 110
 NEEHAM, MA 02494
 FOR RECORD OWNER:
 SEE NOTE 2

Sebago Technics
 Engineering Experts You Can Build On
 One Canal
 04098-1339
 Tel (207) 856-0277

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
05090	824		MWE	MWE/MAL

REV.	BY:	DATE:	STATUS:
C	DLR	12-6-05	Submitted for Public Review
B	DLR	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
A	DLR	10-18-05	SUBMIT SUBDIVISION PLAN TO CLIENT FOR REVIEW

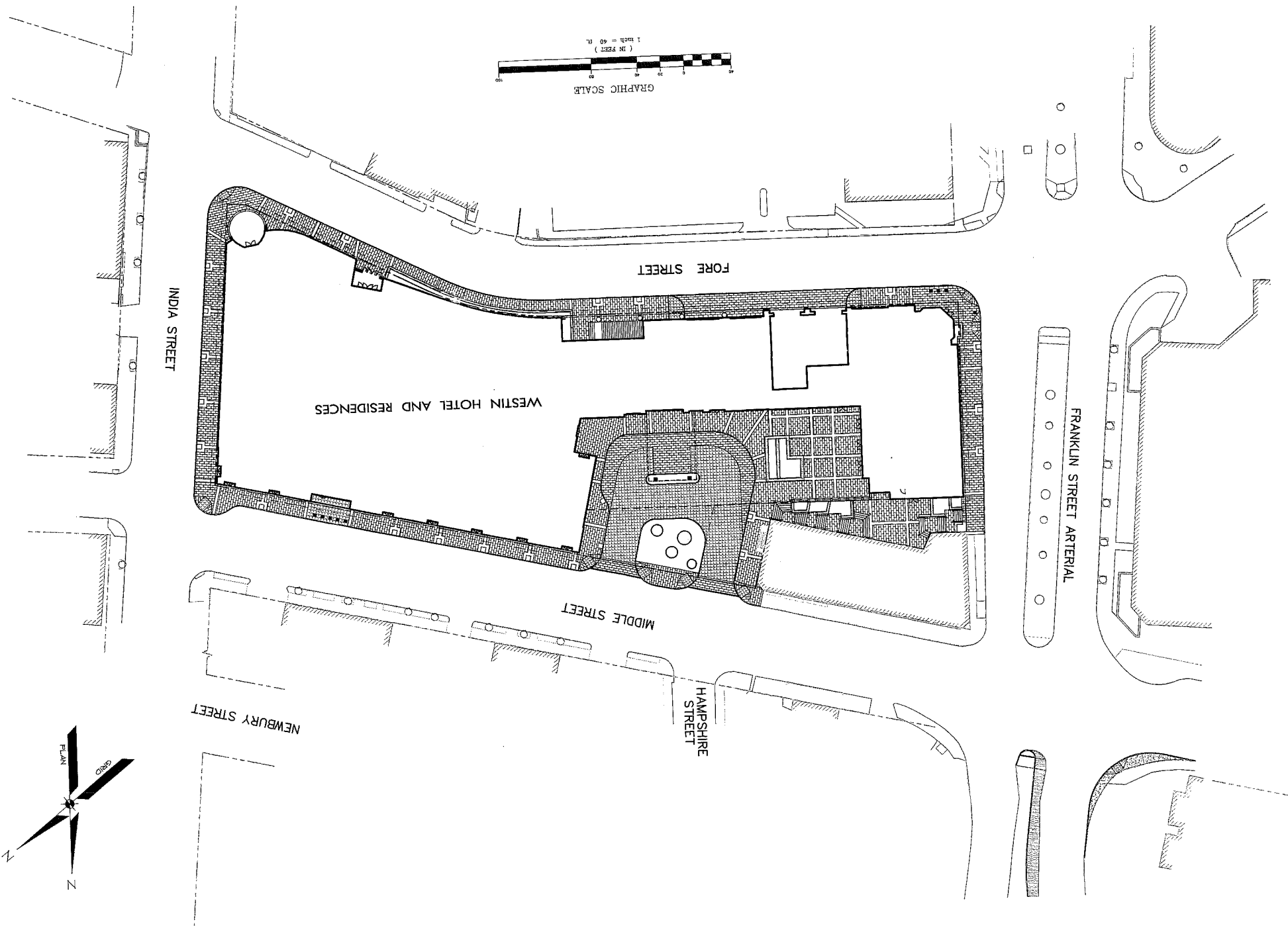
THIS PLAN SHALL NOT BE MOVED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

DATE 10-18-05
 SCALE 1" = 30'

SHEET 1 OF 2
 05090058

WESTIN HOTEL AND RESIDENCES PORTLAND

38 INDIA STREET, PORTLAND, MAINE

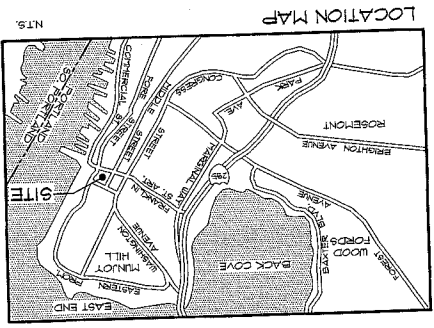


INDEX OF DRAWINGS:

COVER SHEET	1
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EXISTING CONDITIONS PLAN	3
SITE LAYOUT PLAN	4
GRADING AND UTILITY PLAN	5
LANDSCAPE PLAN	6
DETAILS	7
DETAILS	8
DETAILS	9
DETAILS	10
SUBDIVISION PLAN	1 OF 2
SUBDIVISION PLAN	2 OF 2

ENGINEER/SURVEYOR:
Sebago Technics
 Engineering Expertise You Can Build On
 One Chobot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

APPLICANT/DEVELOPER:
 PME 1 LIMITED PARTNERSHIP
 1140 RESERVOIR AVENUE
 CRANSTON, RI 02920

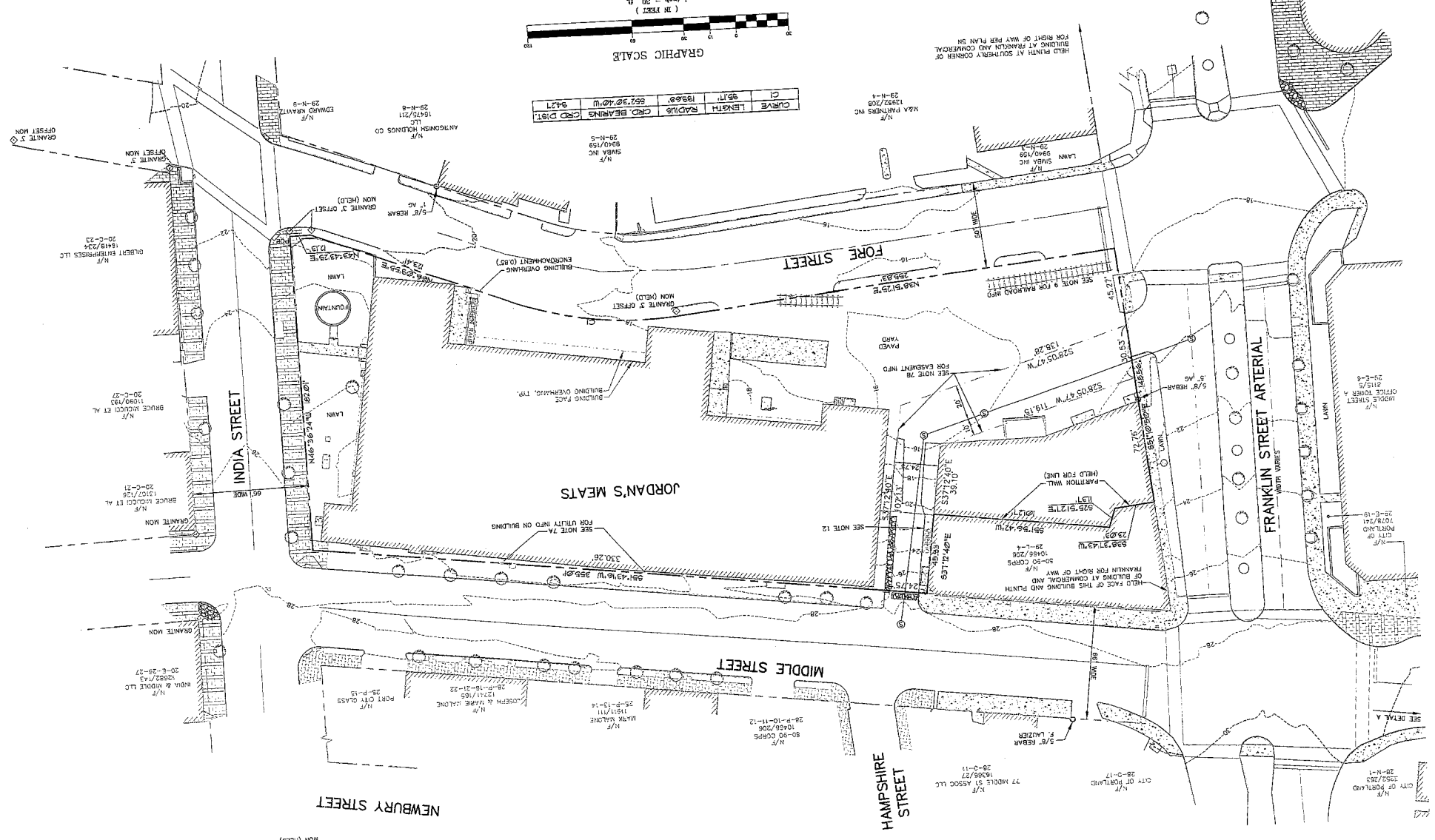
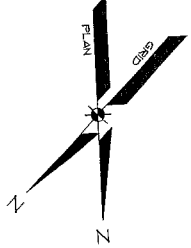
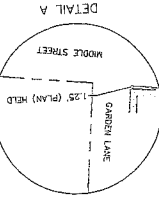
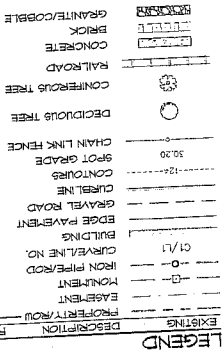
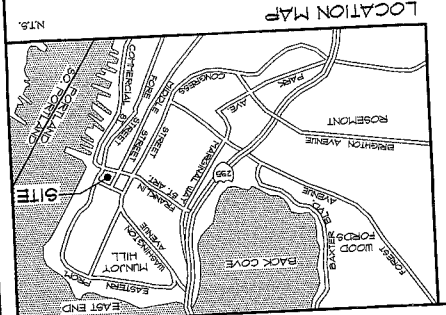


SHEET 2 OF 10	
DATE	7-12-05
SCALE	1" = 20'
PROJ. NO.	050905C
DWG. NAME	EXISTING CONDITIONS PLAN
DESIGN BY	SEBAGO TECHNICS
CHECKED BY	W. J. SEBAGO
DATE	7-12-05
SCALE	1" = 20'

EXISTING CONDITIONS PLAN
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
PHASE 1 LIMITED PARTNERSHIP
 1000 STATE STREET
 CAMDEN, RI 02822

Sebago Technics
 Engineering Experts You Can Build On
 One Central Station - 133
 West Main Street
 Portland, ME 04101
 Tel: (207) 858-0277

REV	DATE	DESCRIPTION
A	7-12-05	ISSUED FOR PERMIT
B	7-27-05	CONDITIONAL PERMITTING BOARD WORKSHOP
C	8-1-05	CONSTRUCTION PERMITTING BOARD WORKSHOP
D	8-1-05	CONSTRUCTION PERMITTING BOARD WORKSHOP
E	10-25-05	SUBMITTED FOR STATE PERMITTING BOARD
F	12-6-05	SUBMITTED FOR STATE PERMITTING BOARD



CURVE	LENGTH	RADIUS	CURVE BEARING	CURVE DIST.
1	15.00	150.00	S67.37°E	34.71
2	15.00	150.00	S22.63°W	34.71

GENERAL NOTES CONTINUED

1. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
3. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
4. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
5. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
6. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
7. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
8. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
9. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
10. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.

GENERAL NOTES

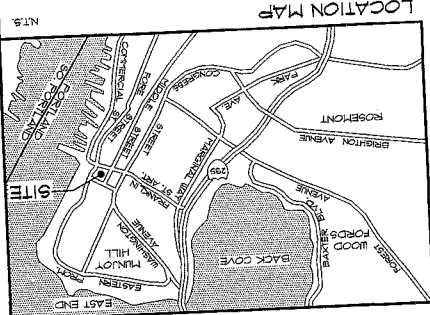
1. THE RECORD PARTNERSHIP BY DEED DATED 01/12/05 HAS RECORDED DEED BOOK 2288 PAGE 017 BEING THE RECORDING INSTRUMENT FOR THE PHASE 1 LIMITED PARTNERSHIP.
2. THE PROPERTY IS SHOWN AS LOTS 1, 2, 3 & 4 OF BLOCK 1 ON THE CITY OF PORTLAND TAX MAP.
3. THE PROPERTY IS APPROXIMATELY 10,230 SF.
4. A REPORT BY SEBAGO TECHNICS, INC. PERFORMED IN APRIL OF 2005.
5. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
6. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
7. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
8. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
9. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
10. ALL EXISTING UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.

DATE	SCALE	7-12-05	1"=20'
PROJ. NO.	DWG. NAME	05090	EXISTING CONDITIONS
DESIGN BY	FIELD BOOK	05090C	
CHECKED BY	DATE		
DRAWN BY	MIME		

EXISTING CONDITIONS PLAN
WESTIN HOTEL AND RESIDENCES PORTLAND
 1000 1/2 STREET
 PORTLAND, MAINE
 FOR: **PME 1 LIMITED PARTNERSHIP**
 1000 1/2 STREET
 PORTLAND, ME 04260

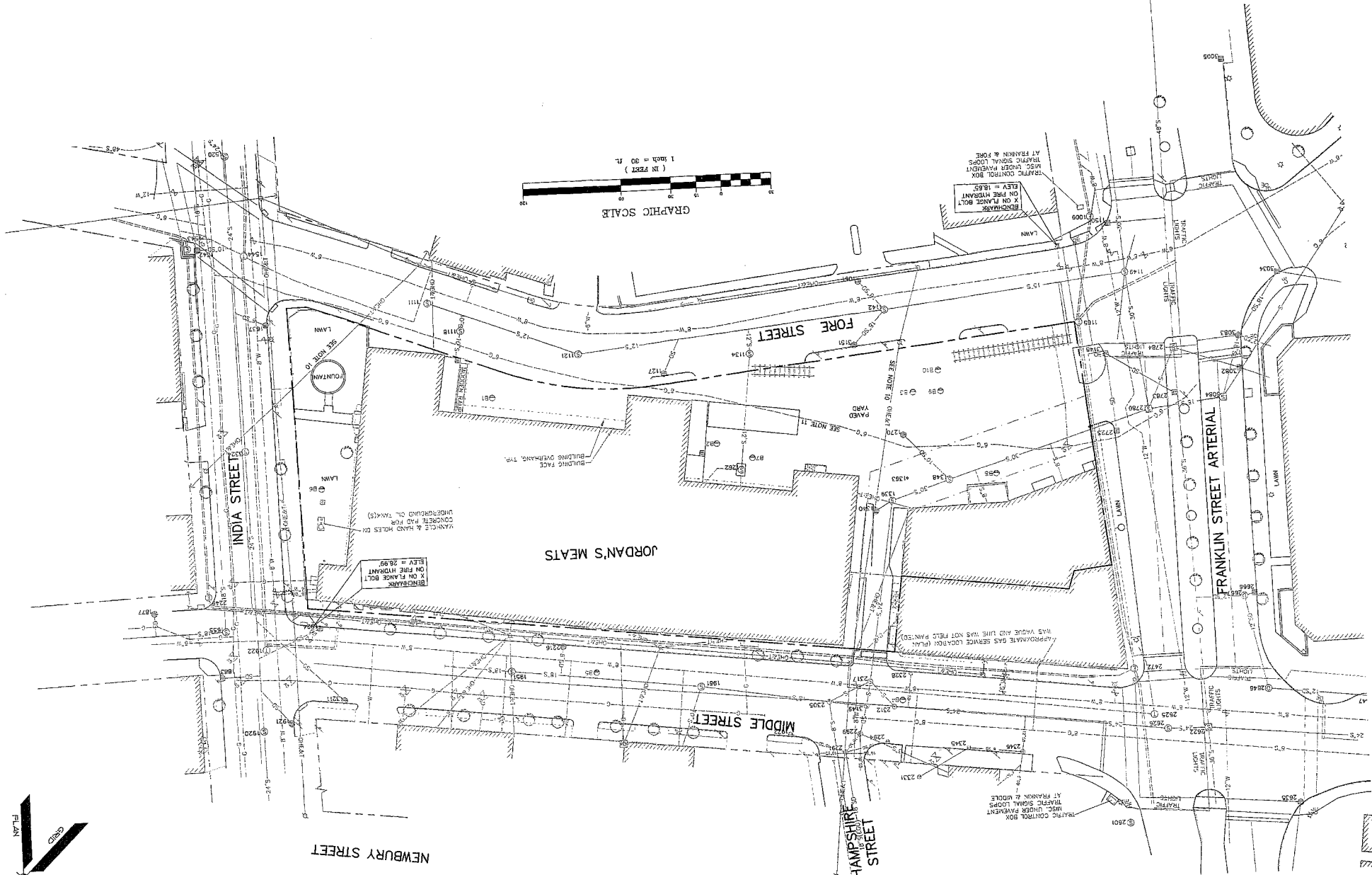
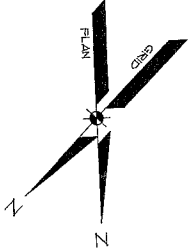
Sabago Technics
 Engineering Experts. You Can Build On.
 One Oakdale Street
 Portland, ME 04107
 Tel: (207) 888-0277

REV.	DATE	DESCRIPTION
A	7-12-05	CONVENTIONAL RESIDENTIAL SUBMITTAL
B	7-21-05	CONVENTIONAL RESIDENTIAL SUBMITTAL
C	8-3-05	CONVENTIONAL RESIDENTIAL SUBMITTAL
D	8-3-05	CONVENTIONAL RESIDENTIAL SUBMITTAL
E	10-23-05	CONVENTIONAL RESIDENTIAL SUBMITTAL
F	12-17-05	CONVENTIONAL RESIDENTIAL SUBMITTAL
G	2-21-06	CONVENTIONAL RESIDENTIAL SUBMITTAL



LEGEND

DESCRIPTION	PROPOSED	EXISTING
PROPERTY/ROAD	---	---
EASEMENT	---	---
CENTRAL	---	---
IRON PIPE/ROAD	---	---
CURVE/ALINE NO.	C1/L1	---
BUILDING	---	---
SKIN	---	---
EDGE PAVEMENT	---	---
GRAVEL ROAD	---	---
CLINKER	---	---
BOURNS	---	---
CONTOURS	---	---
GAS	---	---
WATER	---	---
SEWER	---	---
STEEL DRAIN	---	---
UNDERDRAIN	---	---
OVERHEAD	---	---
ELEC. & TEL.	---	---
UNDERGROUND	---	---
ELEC. & TEL.	---	---
LIGHT POLE	---	---
UTILITY WALK SIGNAL	---	---
UTILITY WALK SIGNAL	---	---
CATCH BASIN	---	---
MANHOLE	---	---
SPOT GRADE	---	---
CHAIN LINK FENCE	---	---
DECIDUOUS TREE	---	---
CONIFEROUS TREE	---	---
RAILROAD	---	---
BENCHMARK	---	---



UTILITY STRUCTURE CHART

STRUCTURE #	TYPE	DATE	SCALE
1000	SMH	12/22/05	1"=20'
1001	SMH	12/22/05	1"=20'
1002	SMH	12/22/05	1"=20'
1003	SMH	12/22/05	1"=20'
1004	SMH	12/22/05	1"=20'
1005	SMH	12/22/05	1"=20'
1006	SMH	12/22/05	1"=20'
1007	SMH	12/22/05	1"=20'
1008	SMH	12/22/05	1"=20'
1009	SMH	12/22/05	1"=20'
1010	SMH	12/22/05	1"=20'
1011	SMH	12/22/05	1"=20'
1012	SMH	12/22/05	1"=20'
1013	SMH	12/22/05	1"=20'
1014	SMH	12/22/05	1"=20'
1015	SMH	12/22/05	1"=20'
1016	SMH	12/22/05	1"=20'
1017	SMH	12/22/05	1"=20'
1018	SMH	12/22/05	1"=20'
1019	SMH	12/22/05	1"=20'
1020	SMH	12/22/05	1"=20'

UTILITY STRUCTURE CHART

STRUCTURE #	TYPE	DATE	SCALE
1021	SMH	12/22/05	1"=20'
1022	SMH	12/22/05	1"=20'
1023	SMH	12/22/05	1"=20'
1024	SMH	12/22/05	1"=20'
1025	SMH	12/22/05	1"=20'
1026	SMH	12/22/05	1"=20'
1027	SMH	12/22/05	1"=20'
1028	SMH	12/22/05	1"=20'
1029	SMH	12/22/05	1"=20'
1030	SMH	12/22/05	1"=20'
1031	SMH	12/22/05	1"=20'
1032	SMH	12/22/05	1"=20'
1033	SMH	12/22/05	1"=20'
1034	SMH	12/22/05	1"=20'
1035	SMH	12/22/05	1"=20'
1036	SMH	12/22/05	1"=20'
1037	SMH	12/22/05	1"=20'
1038	SMH	12/22/05	1"=20'
1039	SMH	12/22/05	1"=20'
1040	SMH	12/22/05	1"=20'

UTILITY STRUCTURE CHART

STRUCTURE #	TYPE	DATE	SCALE
1041	SMH	12/22/05	1"=20'
1042	SMH	12/22/05	1"=20'
1043	SMH	12/22/05	1"=20'
1044	SMH	12/22/05	1"=20'
1045	SMH	12/22/05	1"=20'
1046	SMH	12/22/05	1"=20'
1047	SMH	12/22/05	1"=20'
1048	SMH	12/22/05	1"=20'
1049	SMH	12/22/05	1"=20'
1050	SMH	12/22/05	1"=20'
1051	SMH	12/22/05	1"=20'
1052	SMH	12/22/05	1"=20'
1053	SMH	12/22/05	1"=20'
1054	SMH	12/22/05	1"=20'
1055	SMH	12/22/05	1"=20'
1056	SMH	12/22/05	1"=20'
1057	SMH	12/22/05	1"=20'
1058	SMH	12/22/05	1"=20'
1059	SMH	12/22/05	1"=20'
1060	SMH	12/22/05	1"=20'

UTILITY STRUCTURE CHART

STRUCTURE #	TYPE	DATE	SCALE
1061	SMH	12/22/05	1"=20'
1062	SMH	12/22/05	1"=20'
1063	SMH	12/22/05	1"=20'
1064	SMH	12/22/05	1"=20'
1065	SMH	12/22/05	1"=20'
1066	SMH	12/22/05	1"=20'
1067	SMH	12/22/05	1"=20'
1068	SMH	12/22/05	1"=20'
1069	SMH	12/22/05	1"=20'
1070	SMH	12/22/05	1"=20'
1071	SMH	12/22/05	1"=20'
1072	SMH	12/22/05	1"=20'
1073	SMH	12/22/05	1"=20'
1074	SMH	12/22/05	1"=20'
1075	SMH	12/22/05	1"=20'
1076	SMH	12/22/05	1"=20'
1077	SMH	12/22/05	1"=20'
1078	SMH	12/22/05	1"=20'
1079	SMH	12/22/05	1"=20'
1080	SMH	12/22/05	1"=20'

SITE LAYOUT PLAN
OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 33 INDIA STREET
 PORTLAND, MAINE
FOR:
PME 1 LIMITED PARTNERSHIP
 1140 RESERVATION DRIVE
 CRANSTON, RI 02929

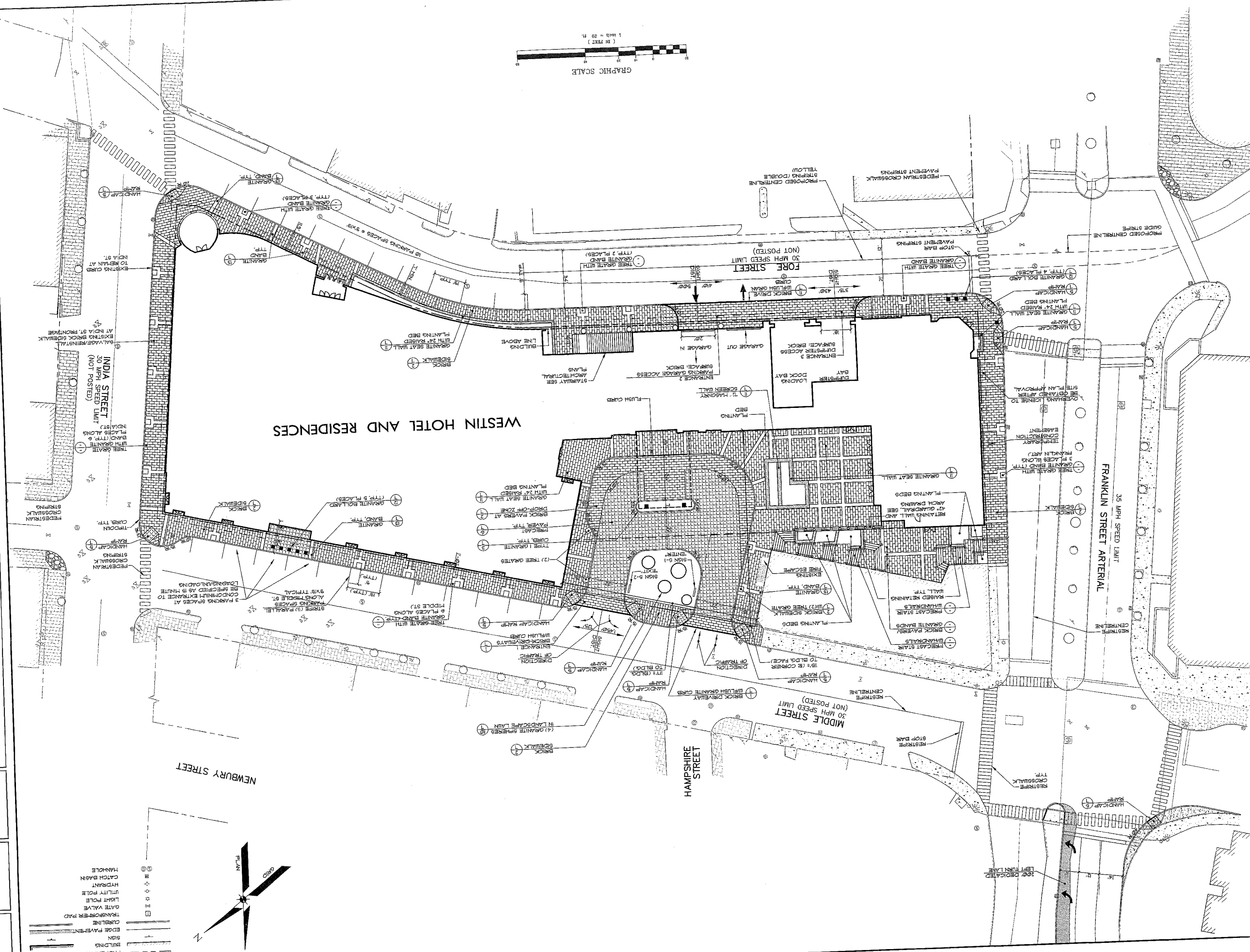
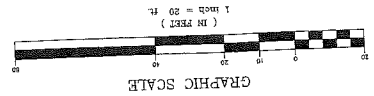
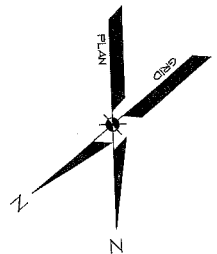
Sebago Technics
 100 Commercial Street
 Portland, ME 04101
 Tel: (207) 898-3277

REV.	DATE	BY	DESCRIPTION
F	12-21-05	Submittal	Submittal
E	10-25-05	DR	REVISIONS TO PERMIT APPLICATION
D	9-30-05	DR	REVISIONS TO PERMIT APPLICATION
C	8-30-05	DR	REVISIONS TO PERMIT APPLICATION
B	7-22-05	DR	REVISIONS TO PERMIT APPLICATION
A	7-12-05	DR	REVISIONS TO PERMIT APPLICATION

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS, OR DELETIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

LEGEND

---	PROPOSED
---	EXISTING
---	PROPERTY ROW
---	BUILDING
---	SIGN
---	EDGE PAVEMENT
---	CURBLINE
---	TRANSFER PAD
---	GATE VALVE
---	LIGHT POLE
---	HYDRANT
---	CATCH BASIN
---	HANDHOLE



DATE	7-12-05
SCALE	1" = 20'
PROJ. NO.	05090U
DWG. NAME	
DESIGN BY	MTW
CHECKED BY	MAJ
DRAWN BY	DLR

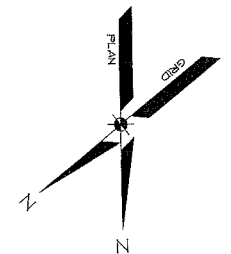
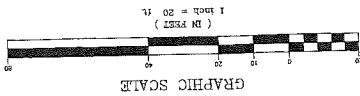
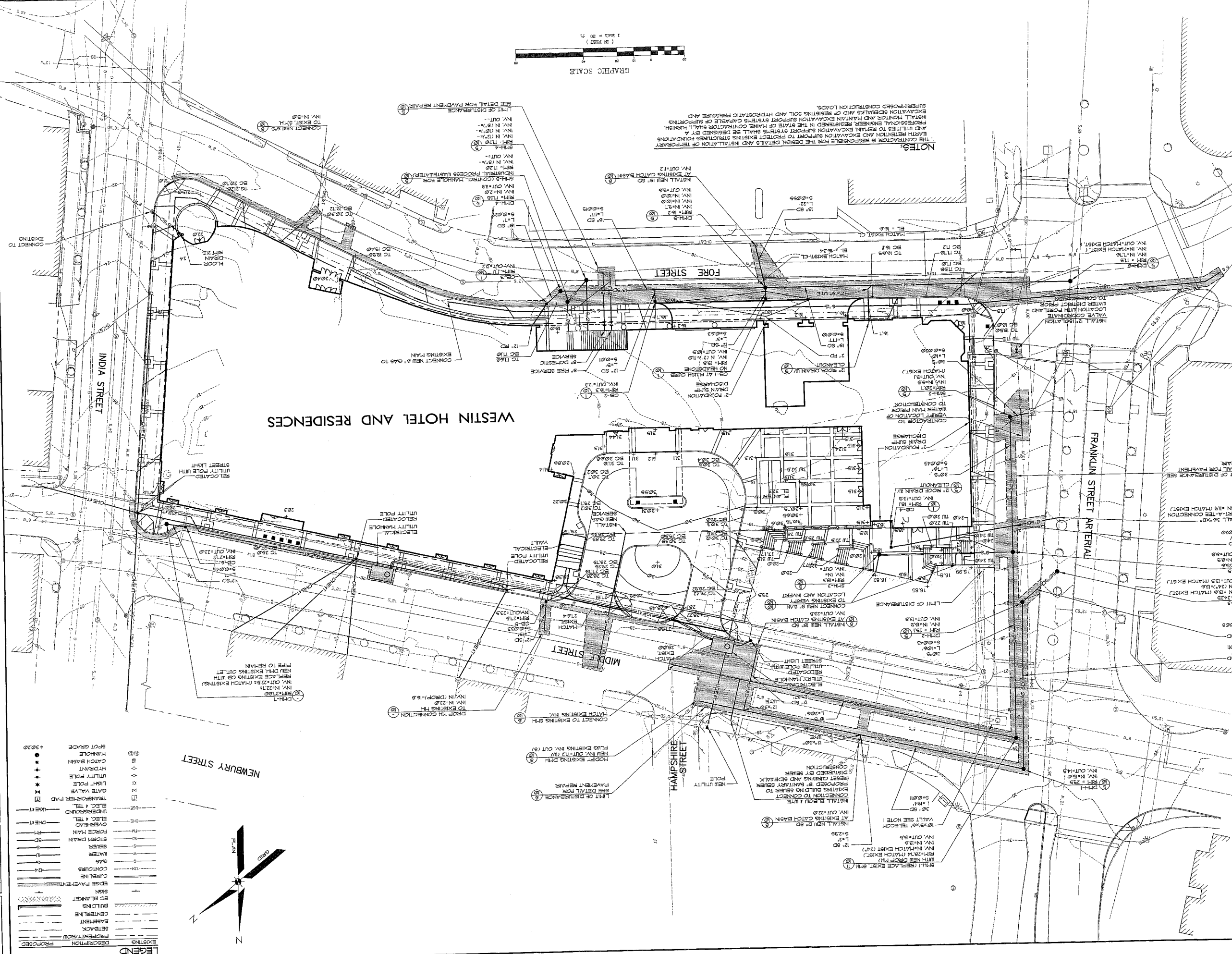
GRADING AND UTILITY PLAN
 OF
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
PME 1 LIMITED PARTNERSHIP
 1741 RESERVUOIR AVENUE
 GRANVILLE, RI 02820

Sabago Technics
 Engineering Experts for a Sustainable World
 400 Main Street
 Portland, ME 04101
 Tel: (207) 858-0277

REV.	DATE	STATUS
A	7-12-05	CONCEPTUAL RECORDING SUBMITTAL
B	7-22-05	SUBMITTED FOR PLANNING BOARD WORKSHOP
C	8-3-05	CONDITIONAL REZONE PUBLIC HEARING
D	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
E	4-25-06	Submittal for Public Review

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SABAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE IN THE FORM OF A REVISION SHEET.

EXISTING	PROPOSED
RETRACT	RETRACT
EASEMENT	EASEMENT
CENTRALINE	CENTRALINE
BUILDING	BUILDING
EC BLANKET	EC BLANKET
EDGE PAVEMENT	EDGE PAVEMENT
CURBLINE	CURBLINE
GAS	GAS
WATER	WATER
SEWER	SEWER
STORM DRAIN	STORM DRAIN
FORCE MAIN	FORCE MAIN
OVERHEAD	OVERHEAD
ELEC. & TEL.	ELEC. & TEL.
UNDERGROUND	UNDERGROUND
WALKWAY	WALKWAY
TRANSFORMER PAD	TRANSFORMER PAD
GATE VALVE	GATE VALVE
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
CATCH BASIN	CATCH BASIN
MANHOLE	MANHOLE
SPOT GRADE	SPOT GRADE



NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, DETAILING AND INSTALLATION OF TEMPORARY EARTH RETENTION AND EXCAVATION SUPPORT TO PROTECT EXISTING STRUCTURES FOUNDATIONS AND UTILITIES TO REMAIN. EXCAVATION SUPPORT SYSTEMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE CAPABLE OF SUPPORTING EXISTING FOUNDATIONS AND MAIN EXCAVATION SYSTEMS CAPABLE OF SUPPORTING EXISTING STRUCTURES AND OF RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED CONSTRUCTION LOADS.

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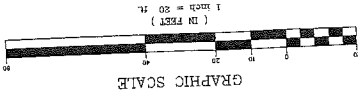
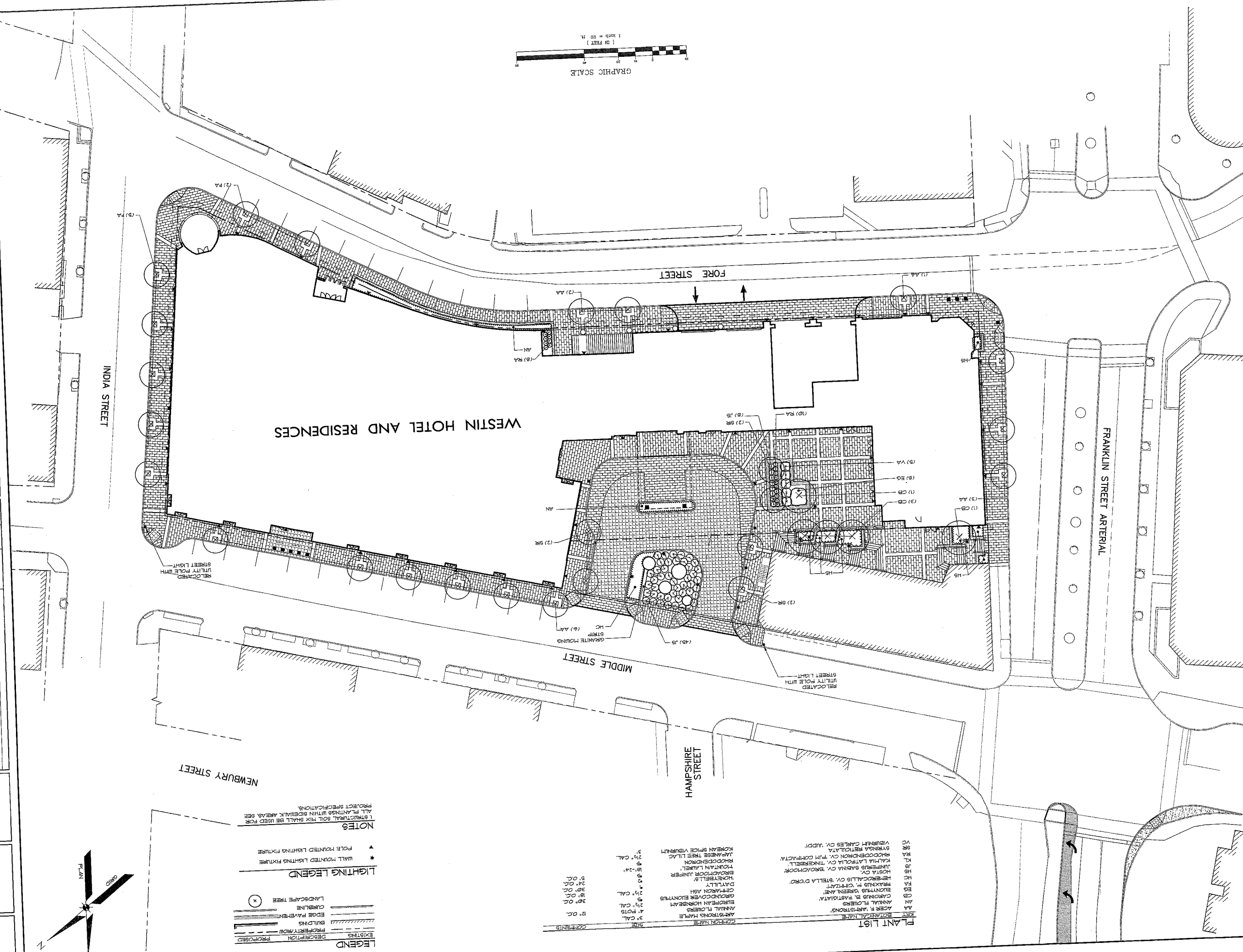
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7-12-05	1"=20'	LANDSCAPE PLAN	WTC	WTC
7-12-05	1"=20'	LANDSCAPE PLAN	WTC	WTC

LANDSCAPE PLAN
 OF:
WESTIN HOTEL AND RESIDENCES PORTLAND
 38 INDIA STREET
 PORTLAND, MAINE
 FOR:
PME 1 LIMITED PARTNERSHIP
 1740 RESERVE DRIVE
 GRANSHAM, RI 02920

Sebago Technics
 Engineering Services You Can Build On
 One Cotton Street
 Westbrook, RI 02891
 Tel: (401) 595-9277

REV.	DATE	BY	STATUS
6	7-12-05	WTC	Submittal for Public Review
5	10-25-05	WTC	Submittal for Site Plan Review
4	8-3-05	WTC	CONDITIONAL REZONE PUBLIC HEARING
3	7-22-05	WTC	CONDITIONAL REZONE BOARD WORKSHOP
2	7-22-05	WTC	CONDITIONAL REZONE BOARD WORKSHOP
1	7-12-05	WTC	CONDITIONAL REZONE SUBMITTAL

THIS PLAN SHALL NOT BE ADORDED WITHOUT WRITERS' CONSENT FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE IN THE WRITERS' SOLE DISCRETION AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
(X)	LANDSCAPE TREE	

LIGHTING LEGEND

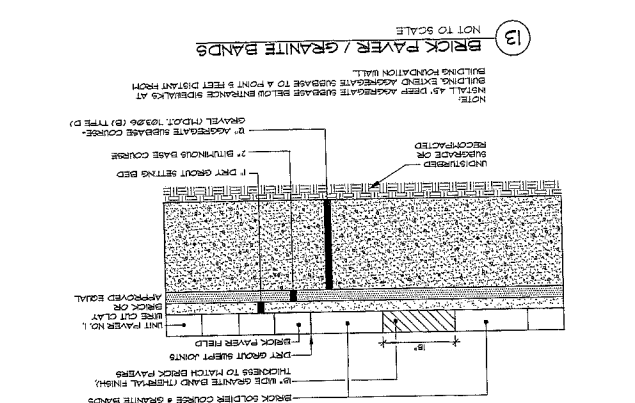
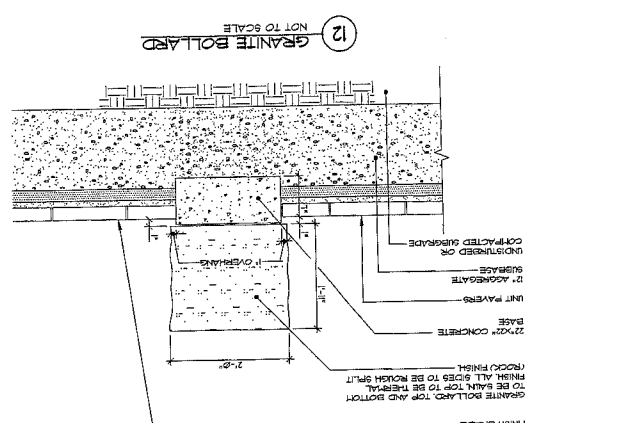
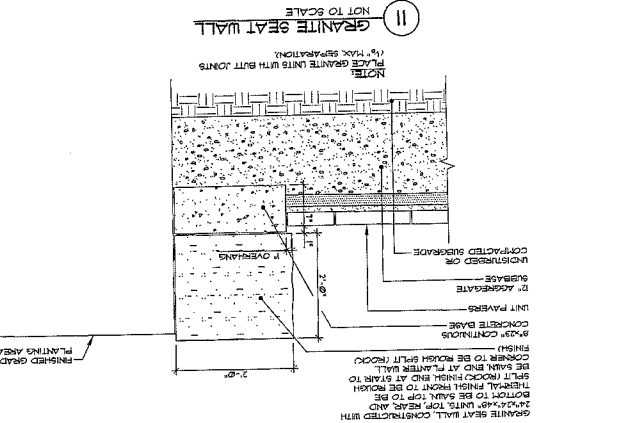
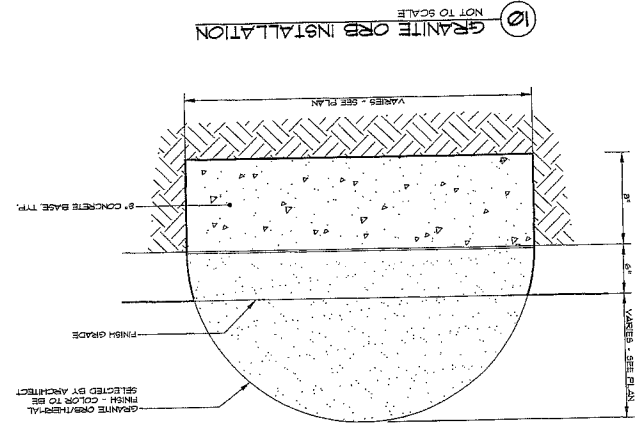
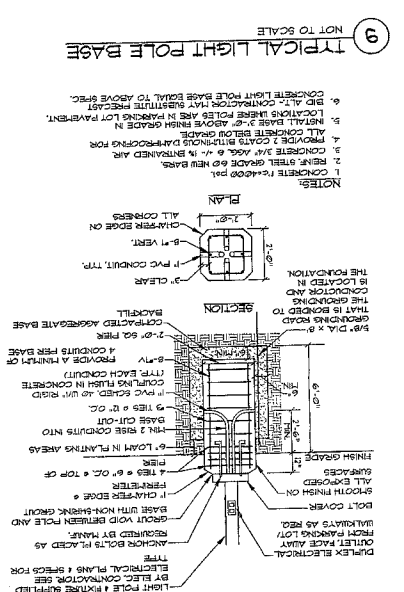
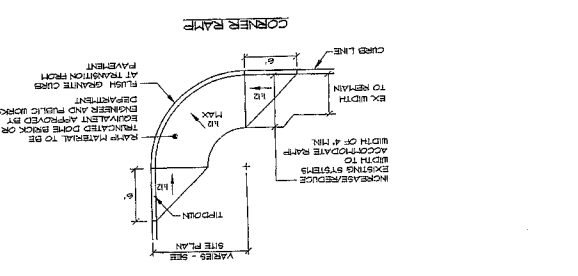
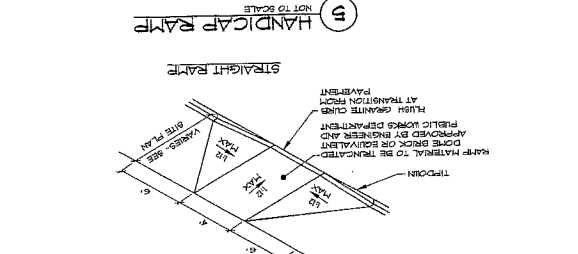
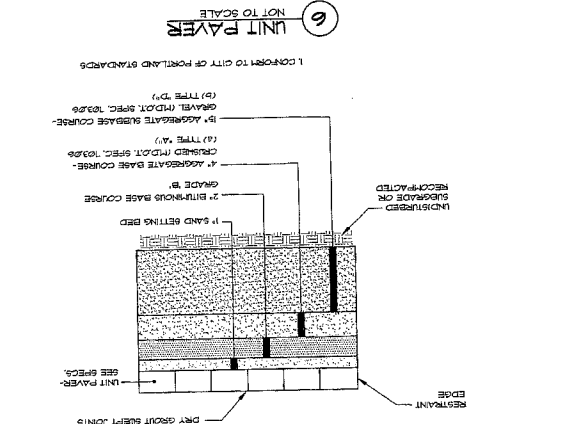
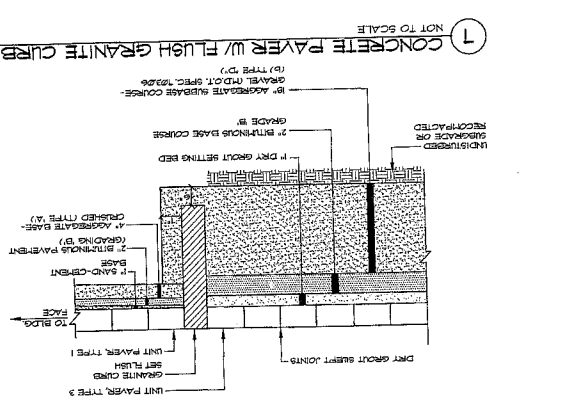
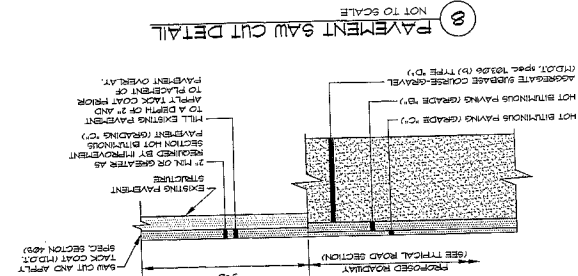
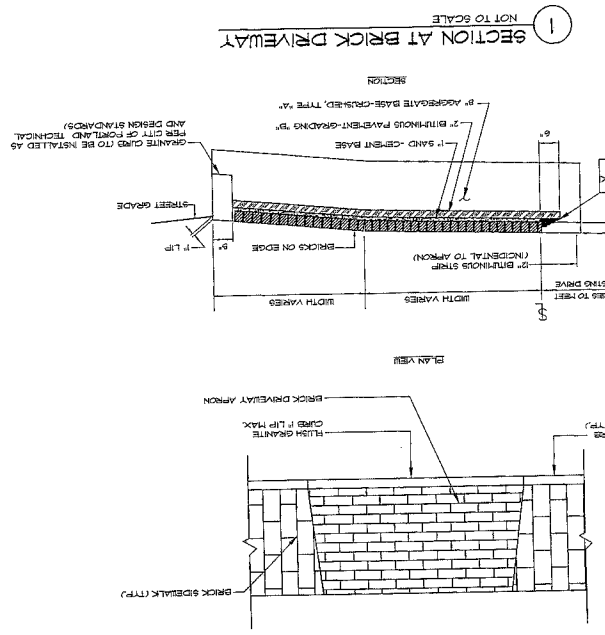
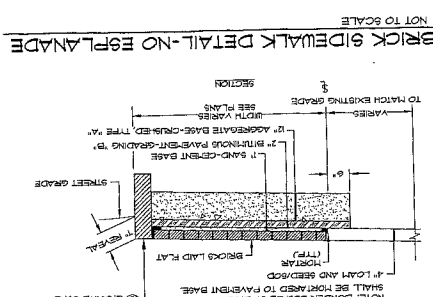
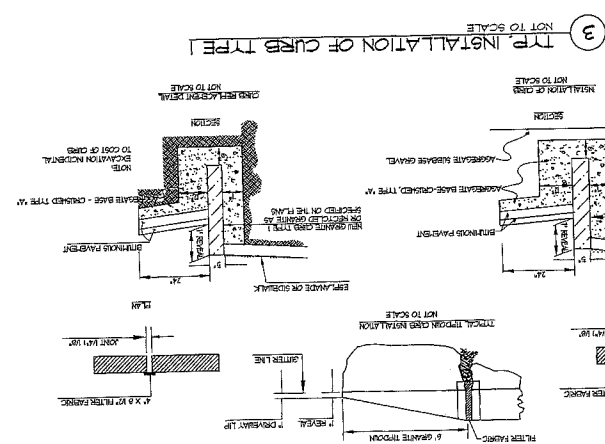
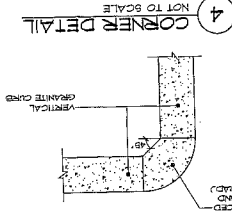
- * WALL MOUNTED LIGHTING FIXTURE
- * POLE MOUNTED LIGHTING FIXTURE

NOTES

1. STRUCTURAL SOIL MIX SHALL BE USED FOR ALL PLANTINGS WITHIN SIDEWALK AREAS, SEE PROJECT SPECIFICATIONS.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONTENTS
AA	ACER F. ARGENTEA	RED BARK MAPLE	3" CAL.	12" O.C.
AB	ANANAS F. FLORIB.	ANANAS PALM	4" POT	30" O.C.
AC	CAROLINUS B. FRAGILITAT.	SMOKY MOUNTAIN CYPRESS	2 1/2" CAL.	30" O.C.
AD	ELONATUS B. GIBBERNAT.	ELON CYPRESS	2 1/2" CAL.	30" O.C.
AE	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AF	STELLA D'ORO	STAR JASMINE	18"-24"	24" O.C.
AG	HEBECOLLEBIS CV. STELLA D'ORO	STAR JASMINE	18"-24"	24" O.C.
AH	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AI	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AJ	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AK	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AL	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AM	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AN	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AO	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AP	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AQ	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AR	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AS	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AT	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AV	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AW	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AX	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AY	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.
AZ	FRAXINUS P. CINEREA	WHITE BARK PINE	3" CAL.	24" O.C.



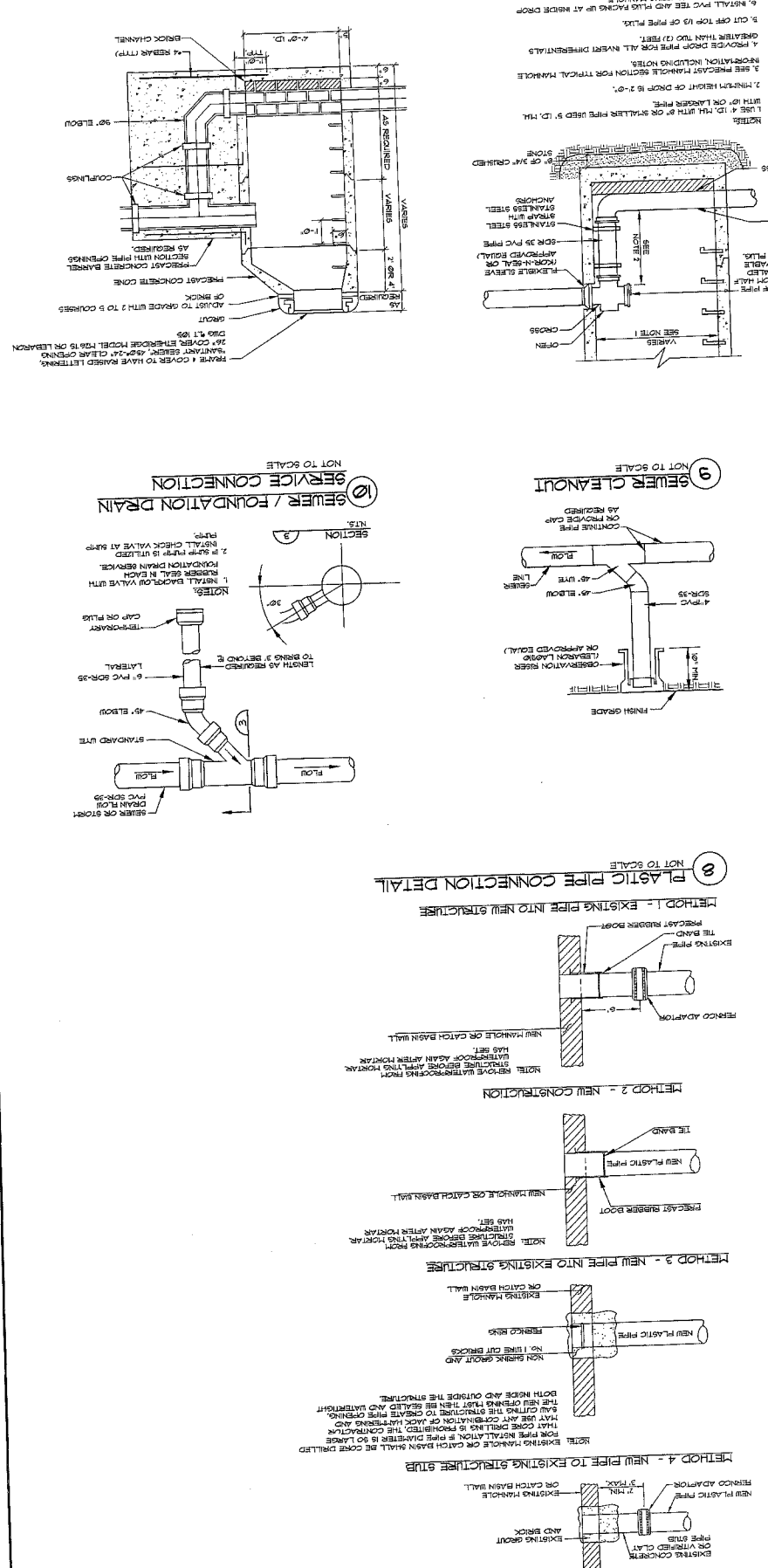
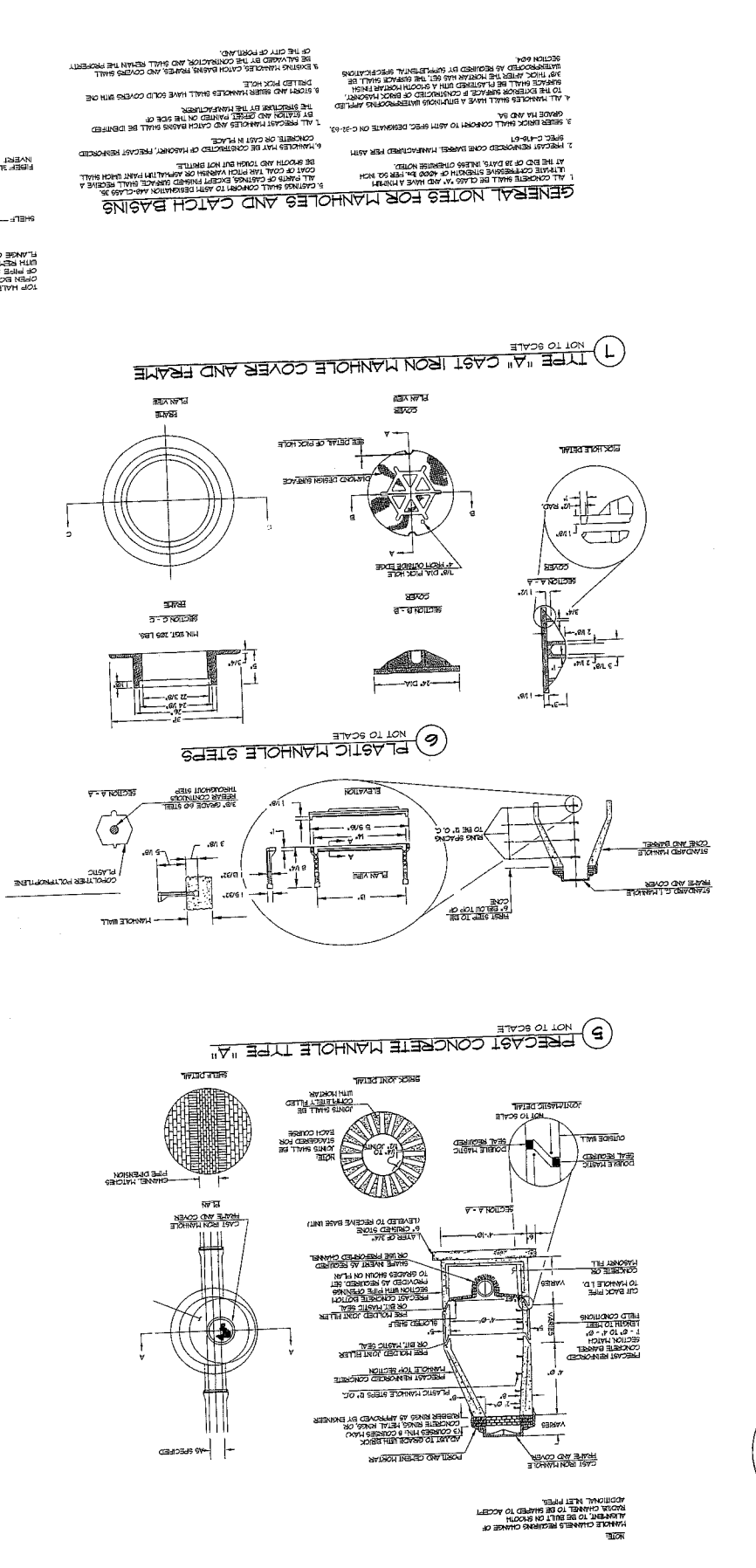
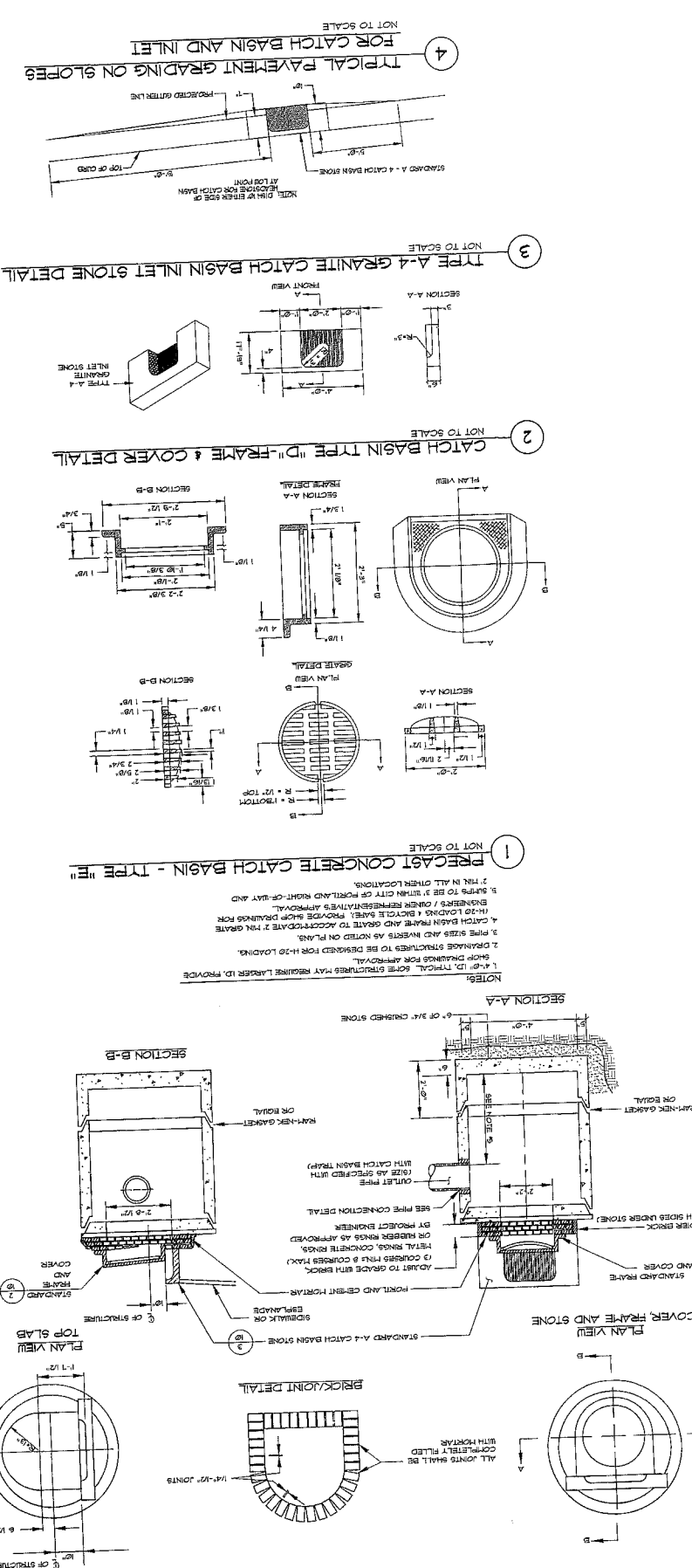
DATE	7-12-05
SCALE	AS SHOWN
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DWG NAME	05090D
DESIGN BY	WTC
CHECKED BY	DLR
FIELD BOOK	

DETAILS
OF
WESTIN HOTEL AND RESIDENCES PORTLAND
38 INDIA STREET
PORTLAND, MAINE
PME 1 LIMITED PARTNERSHIP
1000 WASHINGTON AVENUE
CRANSTON, RI 02910

Sebago Technics
Engineering Engineers Your Own Division
1000 WASHINGTON AVENUE
CRANSTON, RI 02910
TEL (401) 895-0277
FAX (401) 895-0277

REV.	DATE	STATUS
A	7-12-05	CONDICTIONAL REZONING SUBMITTAL
B	7-22-05	CONDICTIONAL REZONE PUBLIC HEARING
C	8-3-05	CONDICTIONAL REZONE PUBLIC HEARING
D	8-3-05	CONDICTIONAL REZONE PUBLIC HEARING
E	10-25-05	SUBMITTED FOR SITE PLAN REVIEW
F	07-12-06	5.0 Approved

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY MODIFICATIONS SHALL BE INDICATED BY A REVISION. THIS PLAN IS THE PROPERTY OF SEBAGO TECHNICS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



GENERAL NOTES FOR MANHOLES AND CATCH BASINS

1. ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI PER 50 MPA.
2. ALL JOINTS SHALL BE COMPLETELY FILLED WITH AN APPROVED POLYURETHANE SEALANT.
3. ALL MANHOLES SHALL HAVE A MINIMUM UNOBSTRUCTED AREA OF 1.5 SQ. FT. (0.14 M²).
4. ALL MANHOLES SHALL HAVE A MINIMUM UNOBSTRUCTED AREA OF 1.5 SQ. FT. (0.14 M²).
5. ALL MANHOLES SHALL HAVE A MINIMUM UNOBSTRUCTED AREA OF 1.5 SQ. FT. (0.14 M²).
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9. ALL MANHOLES SHALL HAVE A MINIMUM UNOBSTRUCTED AREA OF 1.5 SQ. FT. (0.14 M²).
10. ALL MANHOLES SHALL HAVE A MINIMUM UNOBSTRUCTED AREA OF 1.5 SQ. FT. (0.14 M²).

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DATE	7-12-05 AS SHOWN	
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DETAILS		
OF WESTIN HOTEL AND RESIDENCES PORTLAND		
FOR WESTIN HOTEL AND RESIDENCES PORTLAND		
PME 1 LIMITED PARTNERSHIP		
1140 RESERVATION AVENUE		
CRANSTON, RI 02920		
Sebago Technics		
Engineering Experts You Can Build On		
One Cochran Street		
Westport, ME 04091		
Tel: (207) 858-0277		
REV.	DATE	STATUS
A	7-12-05	CONCEPTUAL REVISION SUBMITTAL
B	7-22-05	CONCEPTUAL REVISION SUBMITTAL
C	8-3-05	SUBMITTAL FOR PLANNING BOARD REVIEW
D	8-3-05	CONCEPTUAL REVISION SUBMITTAL
E	10-25-05	FOR SITE PLAN REVIEW
F	10-25-05	FOR PUBLIC HEARING
G	10-25-05	FOR PLANNING BOARD REVIEW
H	10-25-05	FOR PLANNING BOARD REVIEW
I	10-25-05	FOR PLANNING BOARD REVIEW
J	10-25-05	FOR PLANNING BOARD REVIEW
K	10-25-05	FOR PLANNING BOARD REVIEW
L	10-25-05	FOR PLANNING BOARD REVIEW
M	10-25-05	FOR PLANNING BOARD REVIEW
N	10-25-05	FOR PLANNING BOARD REVIEW
O	10-25-05	FOR PLANNING BOARD REVIEW
P	10-25-05	FOR PLANNING BOARD REVIEW
Q	10-25-05	FOR PLANNING BOARD REVIEW
R	10-25-05	FOR PLANNING BOARD REVIEW
S	10-25-05	FOR PLANNING BOARD REVIEW
T	10-25-05	FOR PLANNING BOARD REVIEW
U	10-25-05	FOR PLANNING BOARD REVIEW
V	10-25-05	FOR PLANNING BOARD REVIEW
W	10-25-05	FOR PLANNING BOARD REVIEW
X	10-25-05	FOR PLANNING BOARD REVIEW
Y	10-25-05	FOR PLANNING BOARD REVIEW
Z	10-25-05	FOR PLANNING BOARD REVIEW

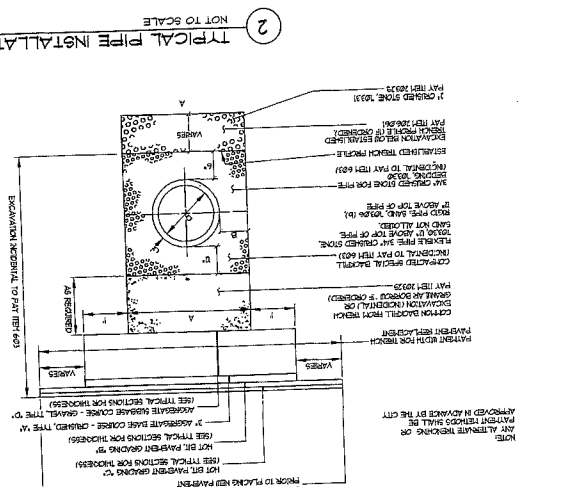
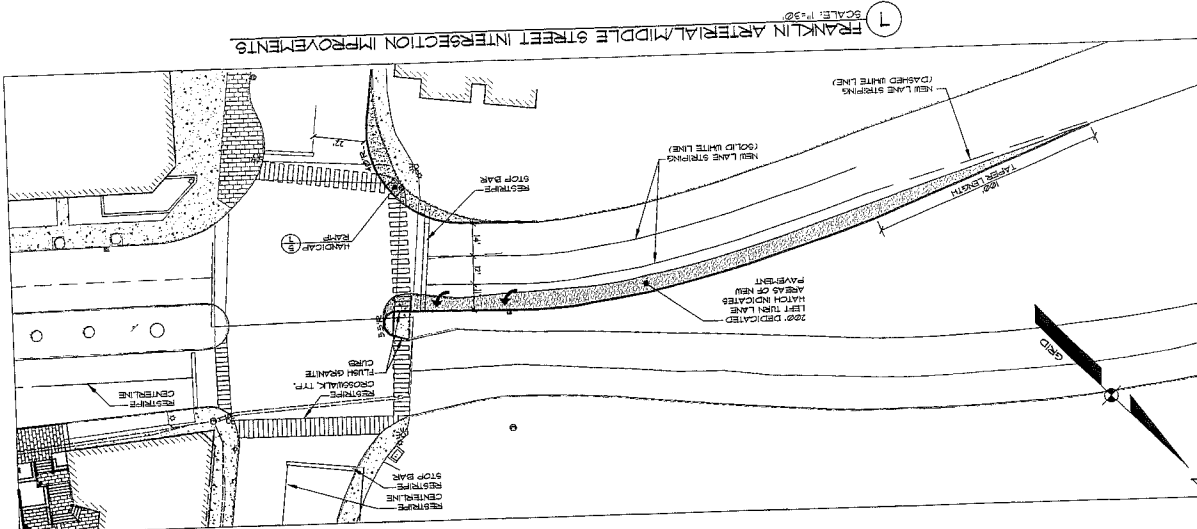
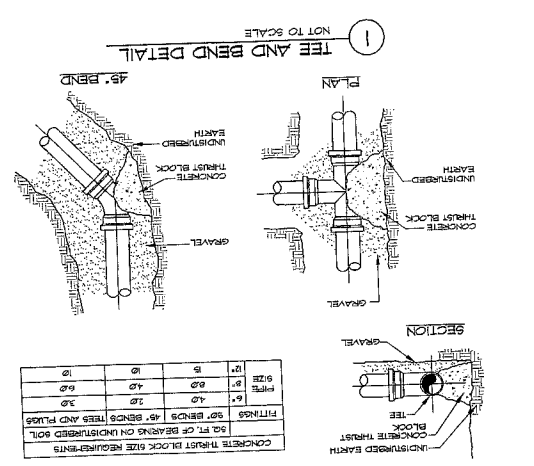
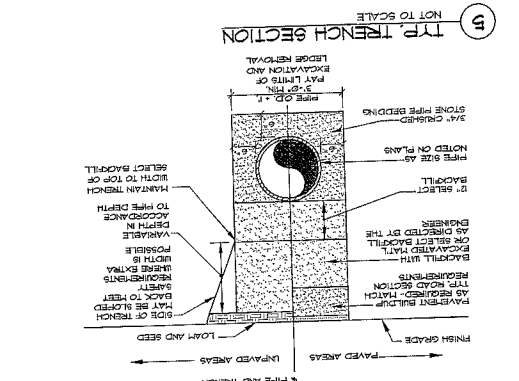
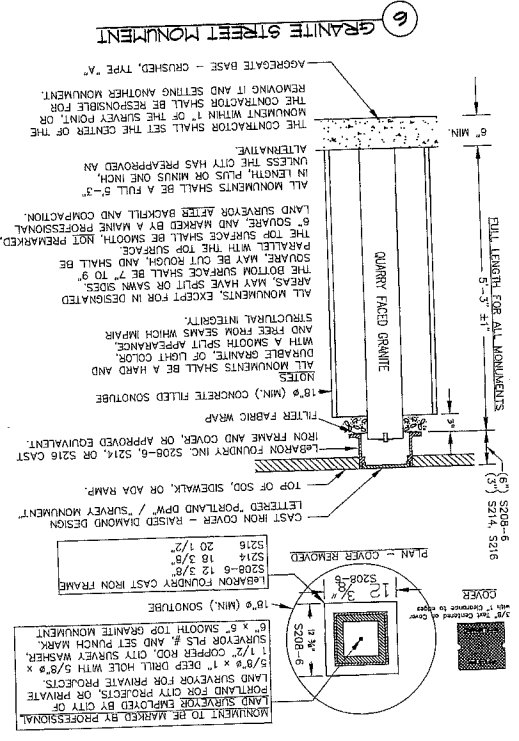
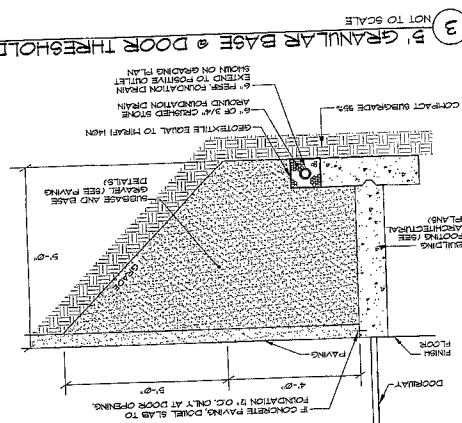
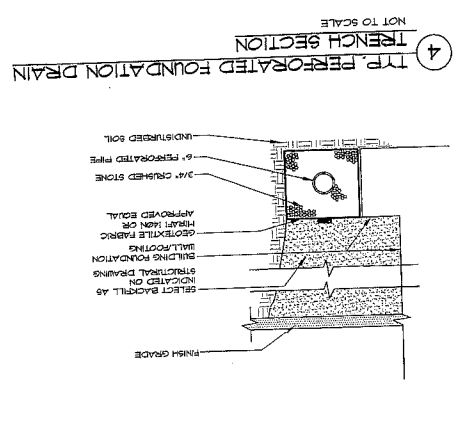


TABLE OF DIMENSIONS
FOR 4" POLYETHYLENE PIPE

PIPE SIZE	PIPE WALL THICKNESS	PIPE OD	PIPE ID	PIPE WEIGHT PER FOOT
4"	0.1875"	4.175"	3.800"	12.50
6"	0.2500"	6.125"	5.625"	21.25
8"	0.3125"	8.125"	7.500"	30.00
10"	0.3750"	10.125"	9.375"	38.75
12"	0.4375"	12.125"	11.250"	47.50
14"	0.5000"	14.125"	13.125"	56.25
16"	0.5625"	16.125"	15.000"	65.00
18"	0.6250"	18.125"	16.875"	73.75
20"	0.6875"	20.125"	18.750"	82.50
22"	0.7500"	22.125"	20.625"	91.25
24"	0.8125"	24.125"	22.500"	100.00
26"	0.8750"	26.125"	24.375"	108.75
28"	0.9375"	28.125"	26.250"	117.50
30"	1.0000"	30.125"	28.125"	126.25



DETAILS
WESTIN HOTEL AND RESIDENCES PORTLAND
1140 RESERVOIR AVENUE
PORTLAND, MAINE
PME 1 LIMITED PARTNERSHIP
CRANSTON, RI 02920

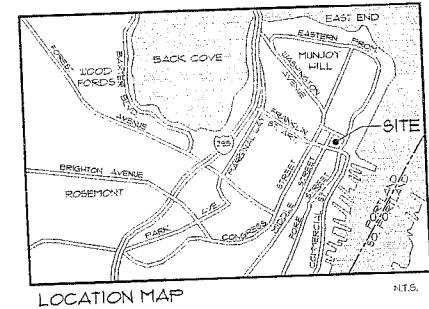
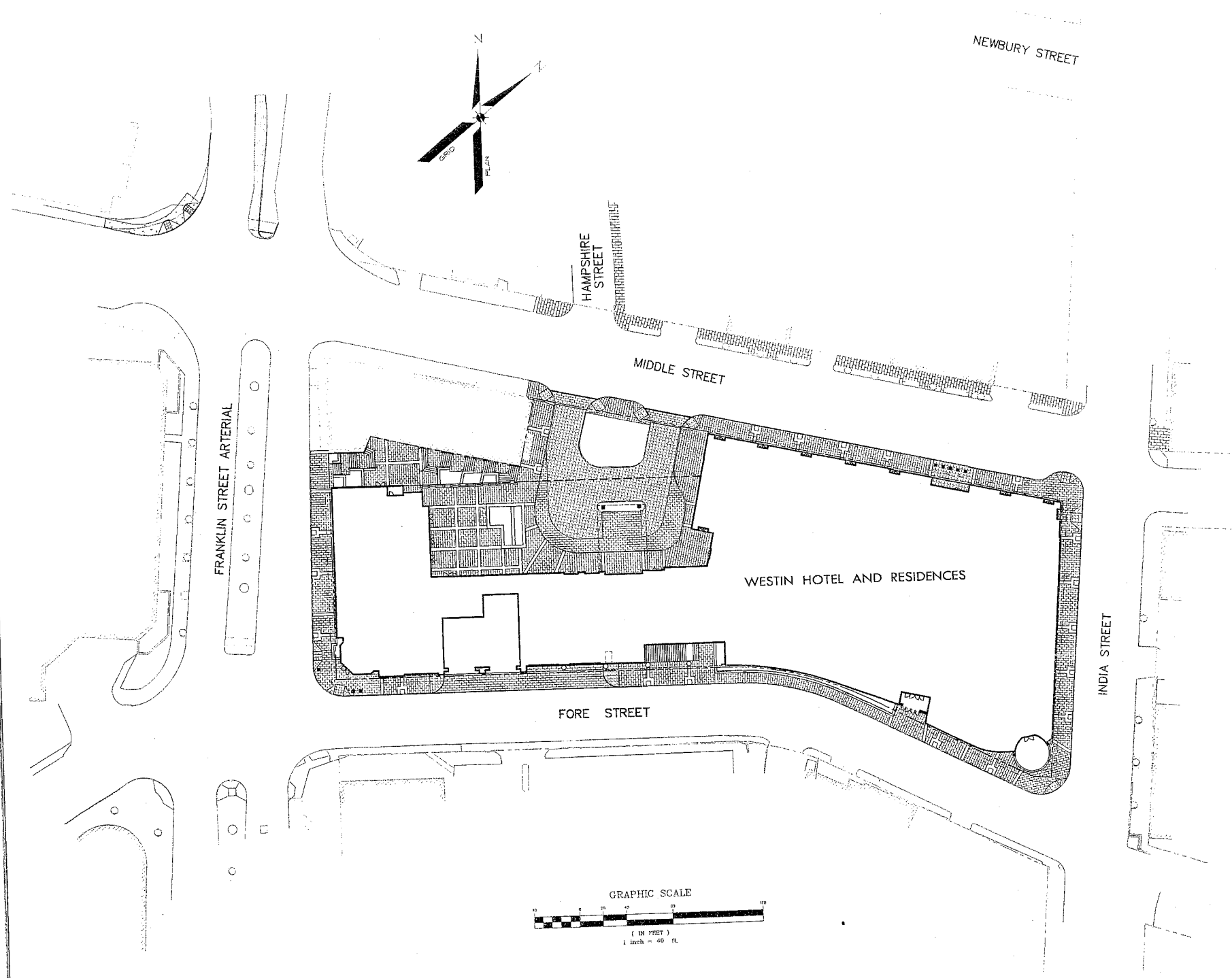
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SCALE: AS SHOWN
PROJ. NO.: DWG. NAME: 050900
FIELD BOOK: DESIGN BY: WTC
DRAWN BY: CHECKED BY: MAL
DATE: 7-12-05

Sabago Technics
Engineering Experts You Can Build On
One Sabago Drive
Portland, Maine 04103
Tel: (207) 886-0277

NO.	DATE	BY	DESCRIPTION
1	7-12-05	WTC	ISSUED FOR PERMITS
2	7-22-05	WTC	ISSUED FOR PERMITS
3	7-22-05	WTC	ISSUED FOR PERMITS
4	7-22-05	WTC	ISSUED FOR PERMITS
5	7-22-05	WTC	ISSUED FOR PERMITS
6	7-22-05	WTC	ISSUED FOR PERMITS
7	7-22-05	WTC	ISSUED FOR PERMITS
8	7-22-05	WTC	ISSUED FOR PERMITS
9	7-22-05	WTC	ISSUED FOR PERMITS
10	7-22-05	WTC	ISSUED FOR PERMITS

WESTIN HOTEL AND RESIDENCES PORTLAND

38 INDIA STREET, PORTLAND, MAINE



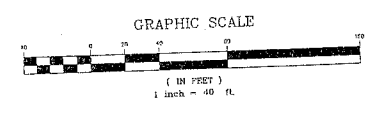
APPLICANT/DEVELOPER:
 PME 1 LIMITED PARTNERSHIP
 1140 RESERVOIR AVENUE
 CRANSTON, RI 02920

ENGINEER/SURVEYOR:

Sebago Technics
 Engineering Expertise You Can Build On
 One Chobol Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

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C4.1	DETAILS
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2 OF 2	SUBDIVISION PLAN



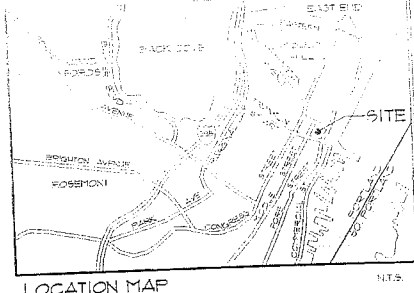
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 Tel (207) 856-0277

THE HOTEL & RESIDENCES
 at
 THE WESTIN
 Portland, Maine
 PME 1 Limited Partnership

COVER SHEET

DLR: 205
 SEBAGO BY: [Signature]
 MSL: 1
 DRAWN BY: [Signature]
 DLR: 7/1
 CHECK BY: [Signature]
 SEBAGO TECHNICS
 Project Designer
 05090C
 Revision

Not Issued For C



GENERAL NOTES

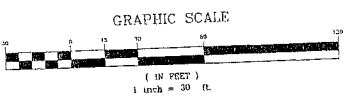
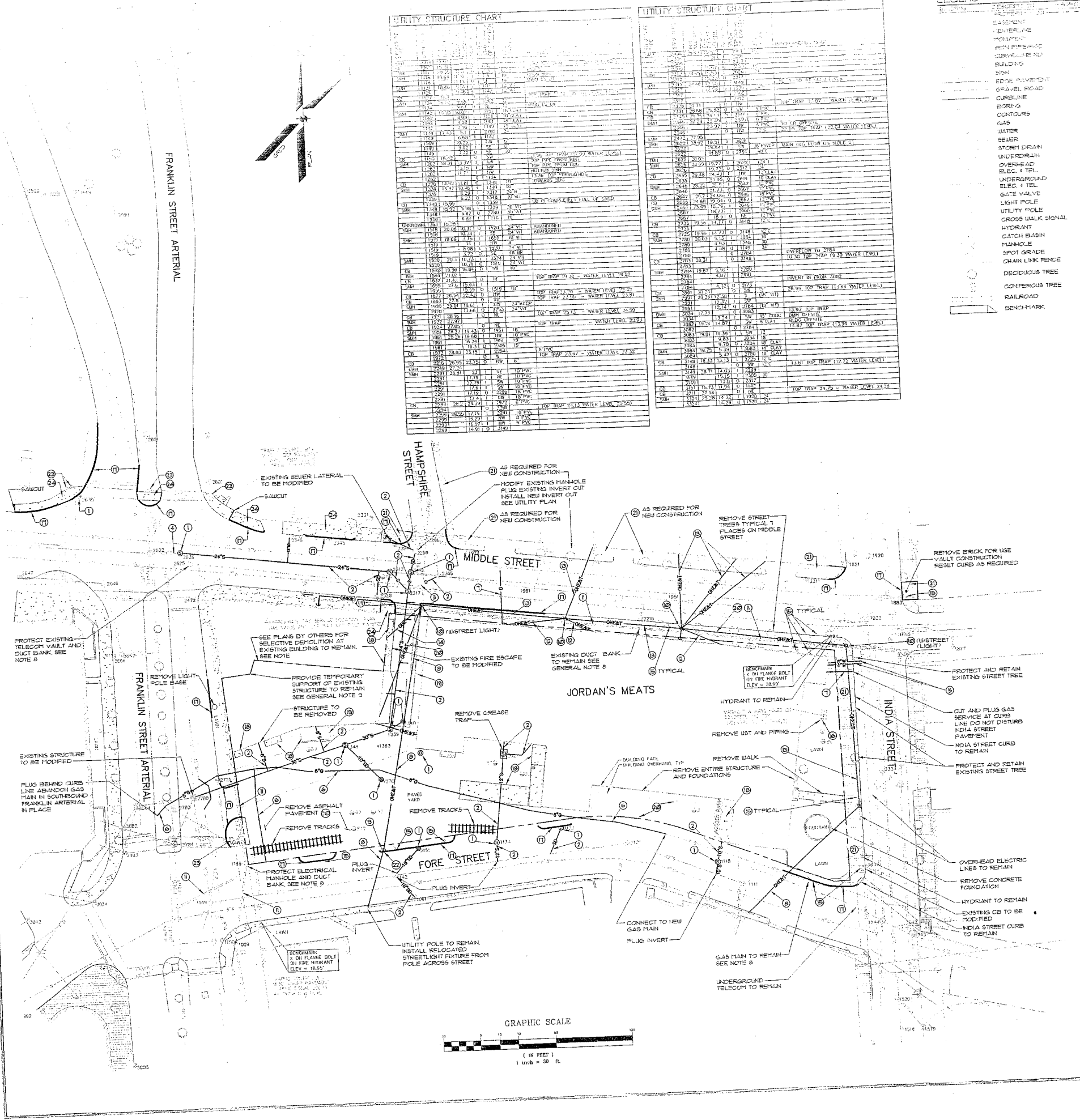
1. ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SHTS, CB'S, HYDRANTS, ETC. AND ON DESIGN RECORD AND/OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS, INC. BY OTHERS. PROXY TO ANY CONSTRUCTION, EXCAVATION TEST BORINGS, DRILLING, ETC. DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A DATE TO DIG DATE OBTAINED. THE SITE LOCATION, DEPTH AND RESPONSIBILITY FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
2. EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. TERMINATED UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE CUT, PLUGGED, REMOVED OR ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP AND/OR JURISDICTION OVER THOSE UTILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL UTILITY SERVICES TO PROPERTIES ABUTTING THE PROJECT SITE AND FOR PROVIDING UTILITY SERVICE TO SUCH PROPERTIES THROUGHOUT THE CONSTRUCTION PERIOD.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH THE PROJECT PHASING AND LOGISTIC PLANS PREPARED BY OTHERS.
5. OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND UTILITY POLES AND APPURTENANCES ARE TO BE REMOVED/RELOCATED BY THE UTILITY COMPANIES OWNING SUCH FACILITIES. CONTRACTOR TO COORDINATE SCHEDULE WITH UTILITY COMPANY AND OWNER.
6. NEW UNDER ELECTRIC, TELEPHONE AND CABLE SERVICES TO ABUTTING PROPERTIES SHALL BE INSTALLED PRIOR TO REMOVAL OF EXISTING OVERHEAD SERVICES.
7. THE EXISTING SANITARY SEWERS SERVING THE ABUTTING PROPERTY SHALL REMAIN IN SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SERVICE BY TEMPORARY AND/OR PERMANENT MEANS THROUGHOUT THE CONSTRUCTION PERIOD.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, DETAILS AND IMPLEMENTATION OF TEMPORARY EARTH RETENTION AND EXCAVATION SUPPORT TO PROTECT EXISTING STRUCTURES, FOUNDATIONS AND UTILITIES TO REMAIN. EXCAVATION SUPPORT SYSTEMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE. CONTRACTOR SHALL FURNISH, INSTALL, MONITOR AND MAINTAIN EXCAVATION SUPPORT SYSTEMS CAPABLE OF SUPPORTING EXISTING AND SUPERIMPOSED CONSTRUCTION AND TRAFFIC LOADS.
9. REFER TO PROJECT SITE LAYOUT PLAN AND GRADING/UTILITY PLANS FOR LIMITS OF NEW CONSTRUCTION.

DEMOLITION KEY

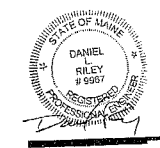
1. REMOVE EXISTING CATCH BASIN/MANHOLE.
2. REMOVE SANITARY SEWER/STORM DRAIN.
3. CUT, PLUS AND ABANDON IN PLACE EXISTING SANITARY SEWER/STORM DRAIN. PROTECT EXISTING WATER, TELECOM UTILITIES TO REMAIN. PLUS MANHOLE INVERTS.
4. EXISTING SANITARY/STORM SEWER TO REMAIN.
5. CUT PLUS AND REMOVE EXISTING WATER SERVICE BEHIND CURB. DO NOT DISTURB PAVEMENT.
6. REMOVE EXISTING GAS MAIN. SEE GENERAL NOTE 3 THIS SHEET.
7. REMOVE EXISTING GAS SERVICE AND METER.
8. REMOVE EXISTING OVERHEAD POWER, TELECOM, CATV. SEE GENERAL NOTES 3 AND 5 THIS SHEET.
9. REMOVE UTILITY POLE. SEE GENERAL NOTES 3 AND 5 THIS SHEET.
10. UTILITY POLE AND STREET LIGHT TO BE RELOCATED WHERE INDICATED. SEE GENERAL NOTES 3 AND 5 THIS SHEET.
11. UNDERGROUND ELECTRIC/TELECOM DUCT BANK TO REMAIN. DO NOT DISTURB.
12. REMOVE OVERHEAD ELECTRIC AND TELECOM SERVICES.
13. RELOCATE OVERHEAD ELECTRIC SERVICE.
14. EXISTING OVERHEAD ELECTRIC SERVICE TO BE REPLACED WITH NEW UNDERGROUND SERVICE. METERS TO BE RELOCATED. SEE GENERAL NOTE 3 THIS SHEET.
15. SIGNS AND PARKING METERS TO BE SALVAGED AND REINSTALLED. PLANS AND SPECIFICATIONS.
16. REMOVE UNDERGROUND STORAGE TANKS. SEE SITE REMEDIATION PLANS AND SPECIFICATIONS.
17. REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REINSTALLATION AS DIRECTED BY ARCHITECT AND APPROVED BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
18. REMOVE CONCRETE PAD/RAMP.
19. REMOVE FENCE.
20. REMOVE BITUMINOUS PAVEMENT.
21. REMOVE EXISTING BRICK SIDEWALK AS REQUIRED FOR EXCAVATION SUPPORT AND BUILDING CONSTRUCTION. SALVAGE INTACT BRICK FOR RECONSTRUCTION OF SIDEWALK.
22. REMOVE STREETLIGHT FROM TRUSS POWER POLE. SALVAGE TO REINSTALL.
23. STREETLIGHT WITH PEDESTRIAN SIGNAL HEAD TO REMAIN.
24. REMOVE CONCRETE SIDEWALK.

UTILITY STRUCTURE CHART

NO.	TYPE	DATE	DEPTH	LOCATION	REMARKS
1	WATER	1985	48"	FRANKLIN ST	12" DIA. WATER MAIN
2	SEWER	1985	48"	FRANKLIN ST	12" DIA. SANITARY SEWER
3	STORM	1985	48"	FRANKLIN ST	18" DIA. STORM DRAIN
4	ELEC.	1985	12"	FRANKLIN ST	4" DIA. OVERHEAD
5	TELECOM	1985	12"	FRANKLIN ST	2" DIA. UNDERGROUND
6	GAS	1985	12"	FRANKLIN ST	8" DIA. UNDERGROUND
7	WATER	1985	48"	MIDDLE ST	12" DIA. WATER MAIN
8	SEWER	1985	48"	MIDDLE ST	12" DIA. SANITARY SEWER
9	STORM	1985	48"	MIDDLE ST	18" DIA. STORM DRAIN
10	ELEC.	1985	12"	MIDDLE ST	4" DIA. OVERHEAD
11	TELECOM	1985	12"	MIDDLE ST	2" DIA. UNDERGROUND
12	GAS	1985	12"	MIDDLE ST	8" DIA. UNDERGROUND



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 PME I Limited Partnership



SITE AND UTIL DEMOLITION

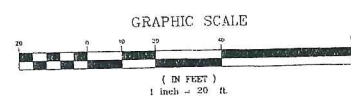
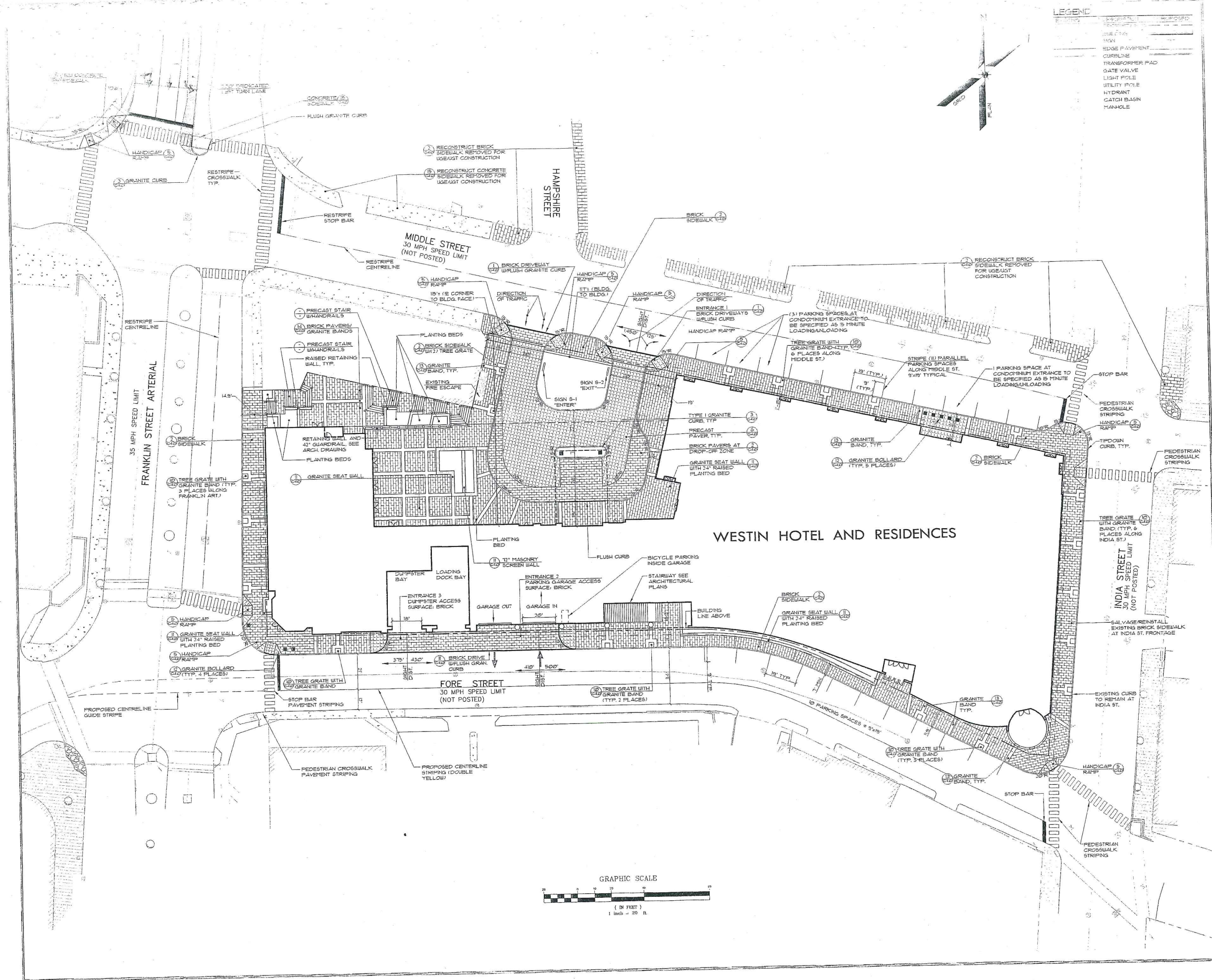
DLR	205
DESIGN BY	1/25
DATE	1/25
CHECK BY	1/25
DATE	1/25
PROJECT	SEBAGO TECHNICS
PROJECT NO.	03090DEMO
DATE	1/25

Not Issued For Construction

LEGEND

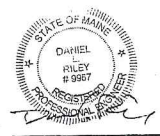
1	SKIN
2	EDGE PAVEMENT
3	CURBLINE
4	TRANSFORMER PAD
5	GATE VALVE
6	LIGHT POLE
7	UTILITY POLE
8	HYDRANT
9	CATCH BASIN
10	HANDHOLE

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 One Orchard Street
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 Tel: (207) 856-0577



A. Final Plan Submission to City
 No. 1 Drawing Issue Description

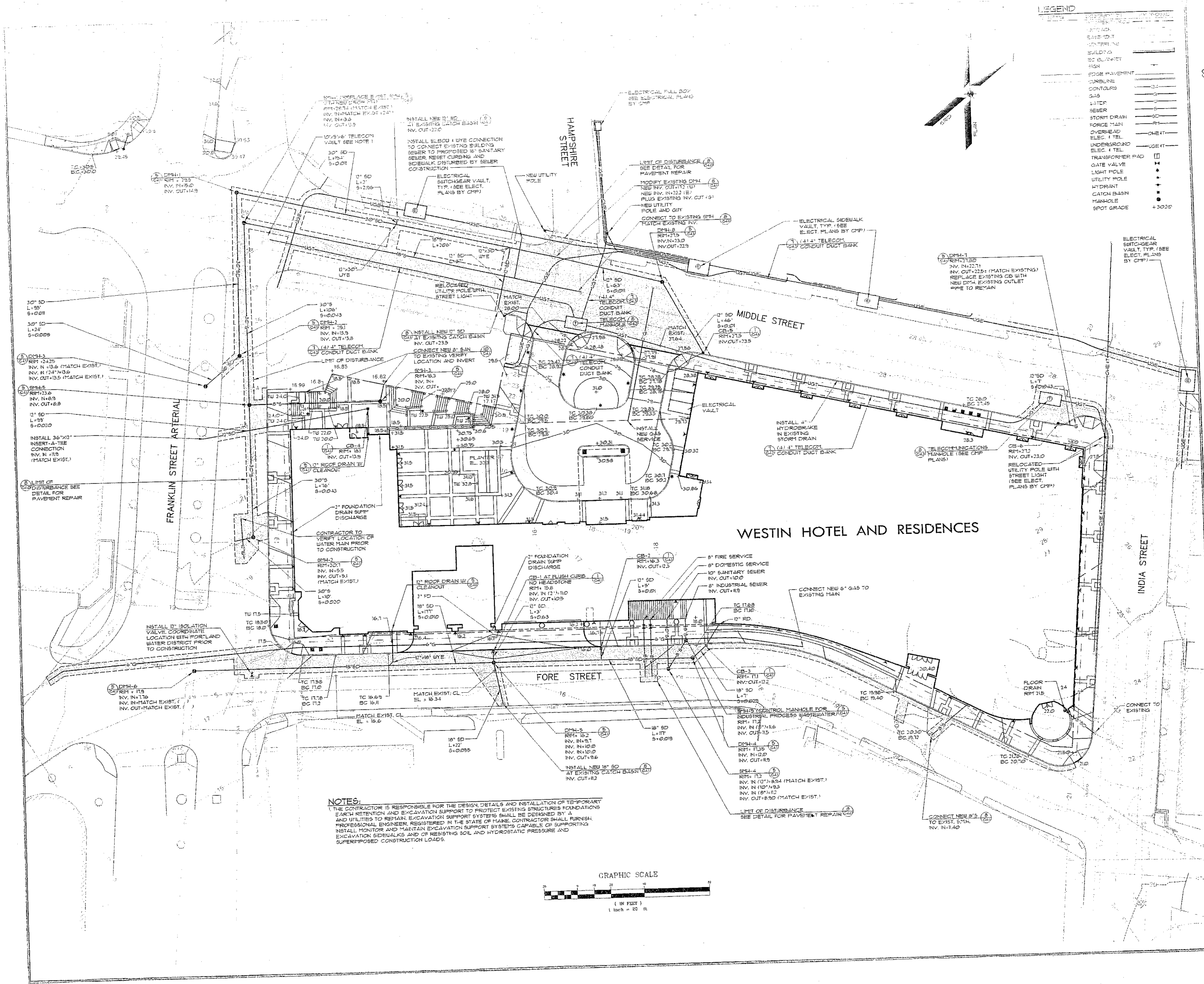
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 at
THE WESTIN
 Portland, Maine
 •
 PME 1 Limited Partnership



SITE LAYOUT PLAN

DLR	20504
DESIGN BY	Project Name
MAL	1"=20'
DRAWN BY	Scale
DLR	7/12/12
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
OSOPPOS	
Planner	

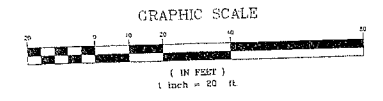
Not Issued For Construction



LEGEND

UTILITY LINE	---
PIPE PAVEMENT	---
UNDERGROUND	---
ELECT. I TEL	---
UNDERGROUND	---
ELECT. I TEL	---
TRANSFORMER PAD	---
GATE VALVE	---
LIGHT POLE	---
UTILITY POLE	---
HYDRANT	---
CATCH BASIN	---
MANHOLE	---
SPOT GRADE	+30.20

NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, DETAILS AND INSTALLATION OF TEMPORARY EARTH RETENTION AND EXCAVATION SUPPORT TO PROTECT EXISTING STRUCTURES FOUNDATIONS AND UTILITIES TO REMAIN. EXCAVATION SUPPORT SYSTEMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF MAINE. CONTRACTOR SHALL FURNISH, INSTALL, MONITOR AND MAINTAIN EXCAVATION SUPPORT SYSTEMS CAPABLE OF SUPPORTING EXCAVATION SIDEWALKS AND OF RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED CONSTRUCTION LOADS.



Sebago Technics
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A Final Plan Submission to City
 No. Drawing Issue Description

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 Portland, Maine
 PME I Limited
 Partnership



**GRADING AND
 UTILITY PLAN**

DLR	2050
DESIGN BY	Project No.
MAL	1-2
DRAWN BY	Date
DLR	7/12
CHECKED	Date
SEBAGO TECHNICS	
Project Designer	
05090GU	
Planner	

Not Issued For Co

PLANT LIST

PLANT	QUANTITY	LOCATION	DATE
CA	1	CA	10' OC
CB	1	CB	10' OC
CC	1	CC	10' OC
CD	1	CD	10' OC
CE	1	CE	10' OC
CF	1	CF	10' OC
CG	1	CG	10' OC
CH	1	CH	10' OC
CI	1	CI	10' OC
CJ	1	CJ	10' OC
CK	1	CK	10' OC
CL	1	CL	10' OC
CM	1	CM	10' OC
CN	1	CN	10' OC
CO	1	CO	10' OC
CP	1	CP	10' OC
CQ	1	CQ	10' OC
CR	1	CR	10' OC
CS	1	CS	10' OC
CT	1	CT	10' OC
CU	1	CU	10' OC
CV	1	CV	10' OC

LEGEND

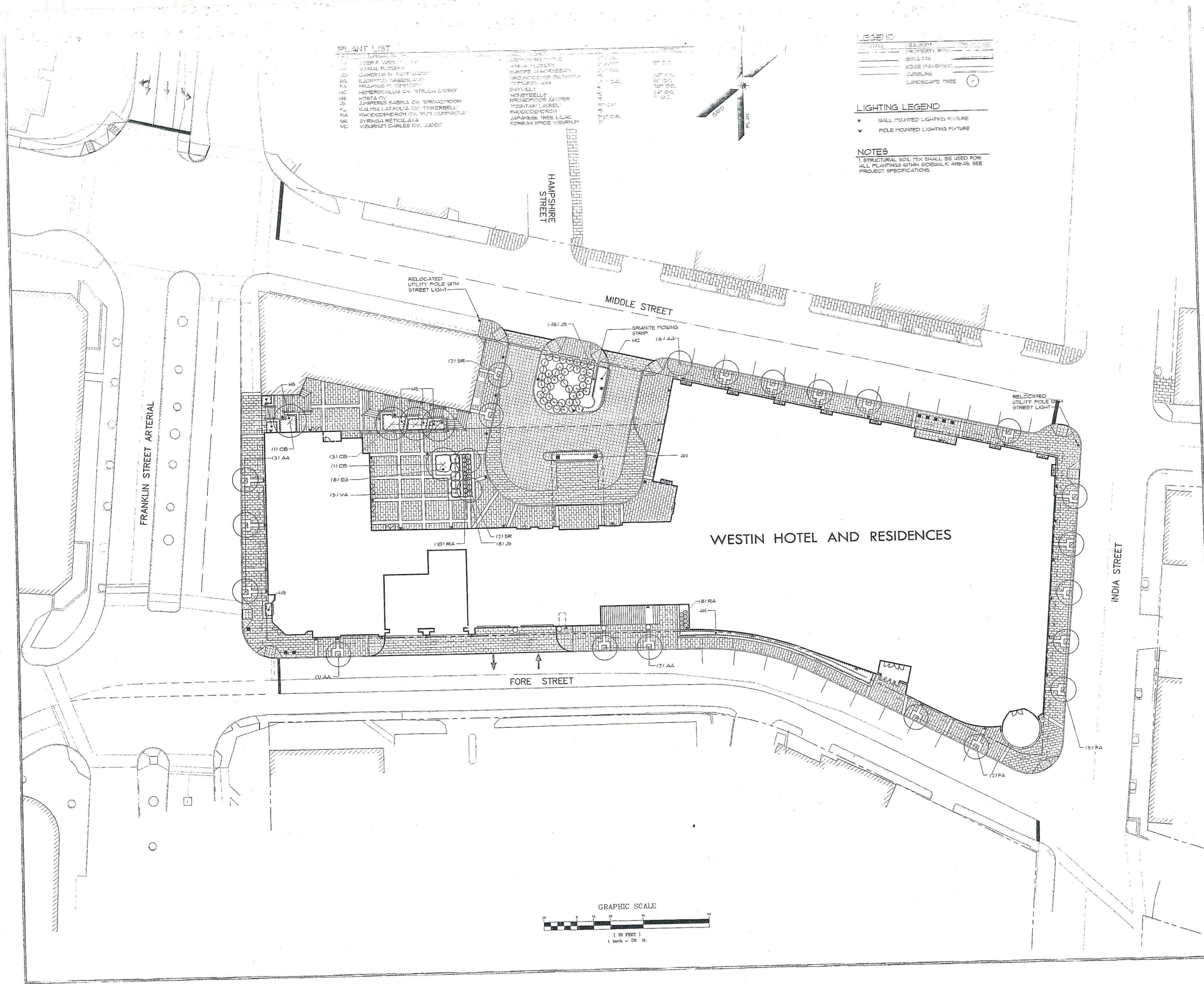
—	PROPERTY LINE
—	LANDSCAPE TREE

LIGHTING LEGEND

●	WALL MOUNTED LIGHTING FIXTURE
▼	POLE MOUNTED LIGHTING FIXTURE

NOTES

1. STRUCTURAL SOIL MIX SHALL BE USED FOR ALL PLANTINGS WITHIN SIDEWALK AREAS. SEE PROJECT SPECIFICATIONS.



A Final Plan Submission to City
 No. Drawing Issue Description

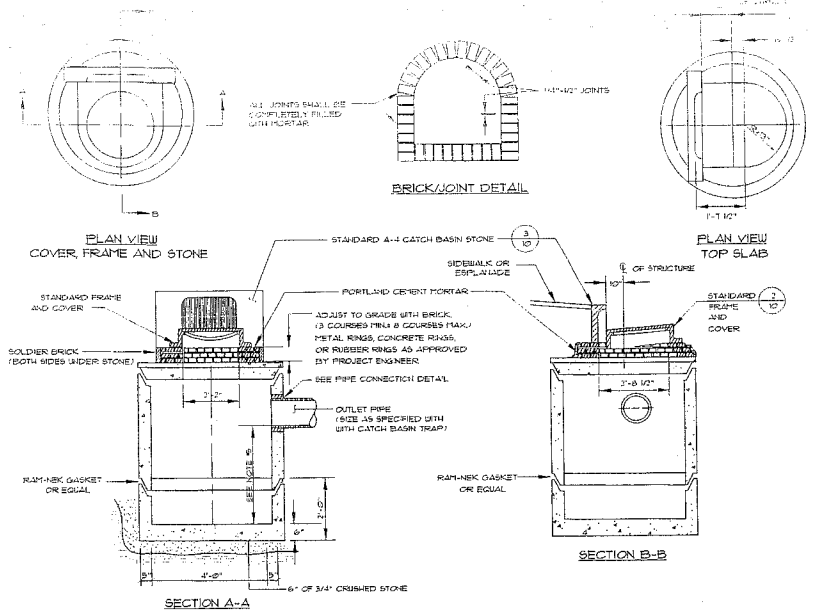
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THE WESTIN
 Portland, Maine
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LANDSCAPE PLAN

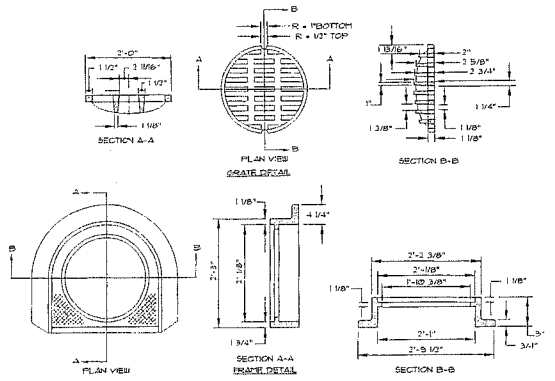
DLR	2005
DESIGN BY	Project
MAL	1"
DRAWN BY	Scale
DLR	7/1
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090L	
Revision	

Not Issued For Construction

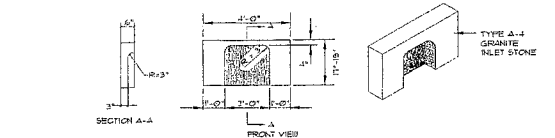


1 PRECAST CONCRETE CATCH BASIN - TYPE "E"
NOT TO SCALE

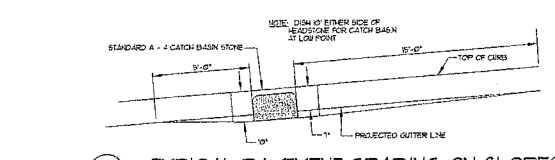
NOTES:
1. 2'-0" ID. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER ID. PROVIDE SHOP DRAWINGS FOR APPROVAL.
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. CATCH BASIN FRAME AND GRATE TO ACCOMMODATE 2" MIN. GRATE H-20 LOADING & BICYCLE SAFETY. PROVIDE SHOP DRAWINGS FOR ENGINEER'S / OWNER REPRESENTATIVE'S APPROVAL.
5. SLOPES TO BE 3" WITHIN CITY OF PORTLAND RIGHT-OF-WAY AND 2" MIN. IN ALL OTHER LOCATIONS.



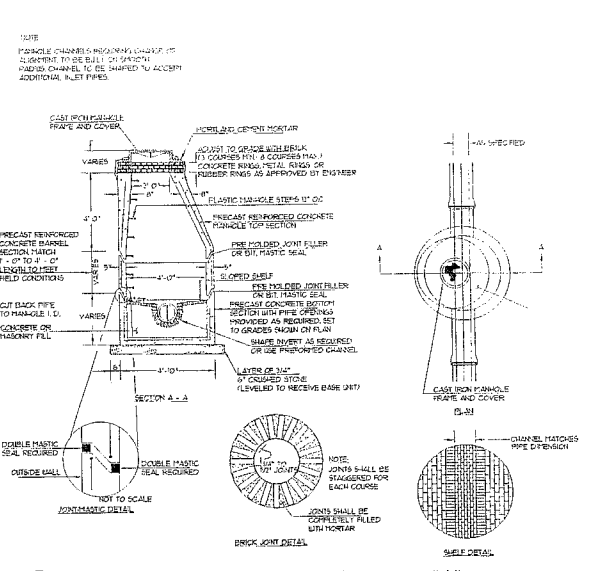
2 CATCH BASIN TYPE "D" - FRAME & COVER DETAIL
NOT TO SCALE



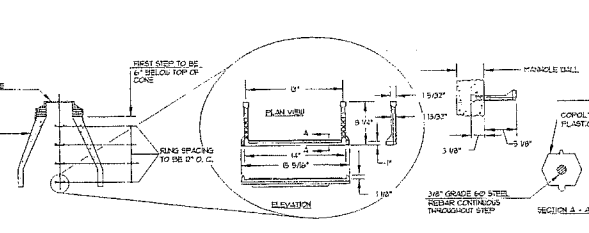
3 TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL
NOT TO SCALE



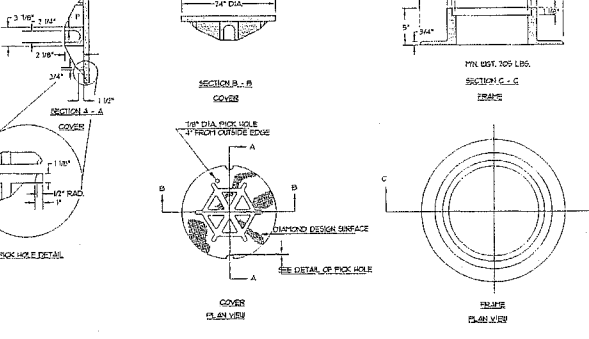
4 TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET
NOT TO SCALE



5 PRECAST CONCRETE MANHOLE TYPE "A"
NOT TO SCALE



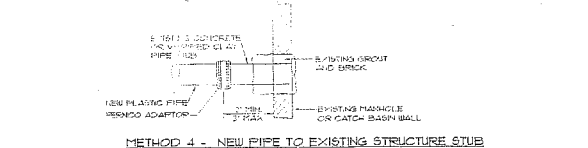
6 PLASTIC MANHOLE STEPS
NOT TO SCALE



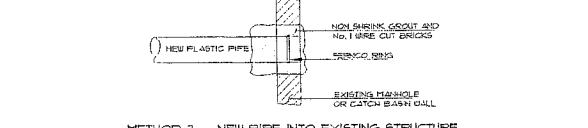
7 TYPE "A" CAST IRON MANHOLE COVER AND FRAME
NOT TO SCALE

GENERAL NOTES FOR MANHOLES AND CATCH BASINS

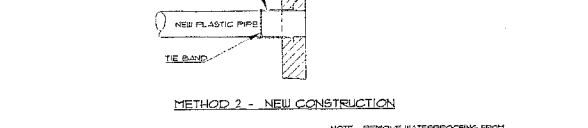
1. ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 5000 PSI PER SQ. YD. AT THE END OF 28 DAYS (UNLESS OTHERWISE NOTED).
2. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE MANUFACTURED PER ASTM SPEC. C-1507.
3. SOLDER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATION C-311-04. GRADE 15A AND 2A.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK, MASONRY SURFACE SHALL BE PLASTERED WITH A MASONRY PORTLAND FINISH 3/8" THICK. AFTER SET, PORTLAND HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A8-CL30-35. ALL PARTS OF CASTINGS EXCEPT FINISHED SURFACE SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ANTI-RUST PAINT WHICH SHALL BE SMOOTH AND TOUGHEN UP NOT ENTIRE.
6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY DESIGN AND SERIAL NUMBER ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED POKER-HOLE.
9. EXISTING MANHOLES CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



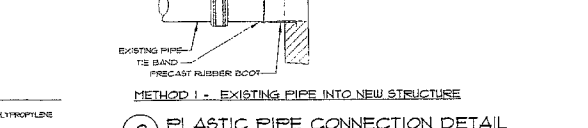
METHOD 4 - NEW PIPE TO EXISTING STRUCTURE STUB



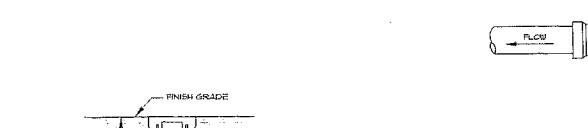
METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE



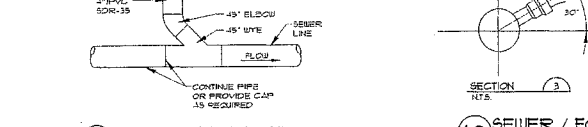
METHOD 2 - NEW CONSTRUCTION



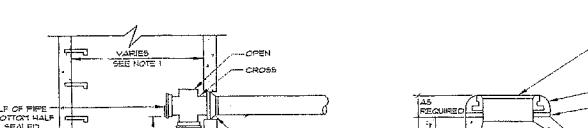
METHOD 1 - EXISTING PIPE INTO NEW STRUCTURE



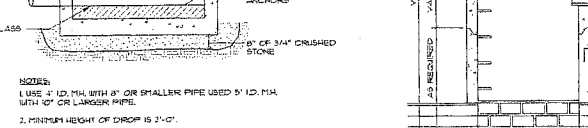
8 PLASTIC PIPE CONNECTION DETAIL
NOT TO SCALE



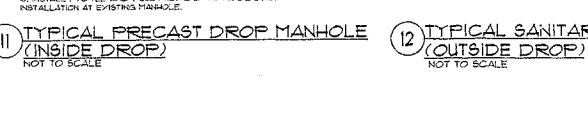
9 SEWER CLEANOUT
NOT TO SCALE



10 SEWER / FOUNDATION DRAIN SERVICE CONNECTION
NOT TO SCALE



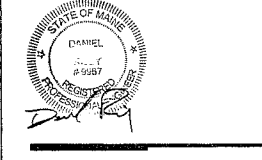
11 TYPICAL PRECAST DROP MANHOLE (INSIDE DROP)
NOT TO SCALE



12 TYPICAL SANITARY DROP MANHOLE (OUTSIDE DROP)
NOT TO SCALE

No.	Crawling Issue Description	Date
A	Final Plan Submission to City	3-28-06

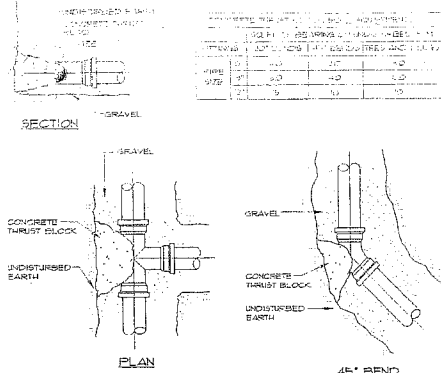
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Portland, Maine
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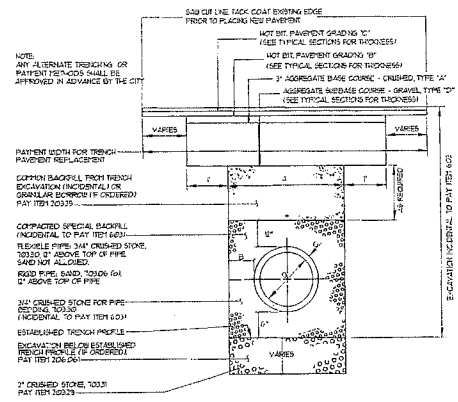
DETAILS

DLR	205042/STI 05090
DESIGN BY	Project Number
MAL	AS SHOWN
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICA	
Project Number	05090D
Revision	

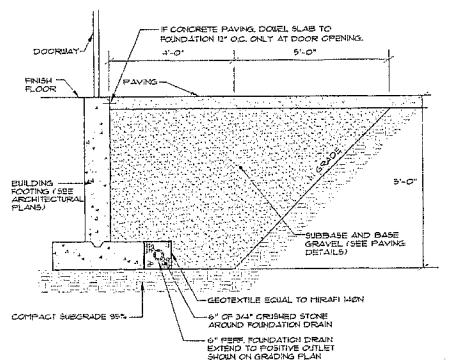
C4.1



1 TEE AND BEND DETAIL
NOT TO SCALE



2 TYPICAL PIPE INSTALLATION DETAIL
NOT TO SCALE



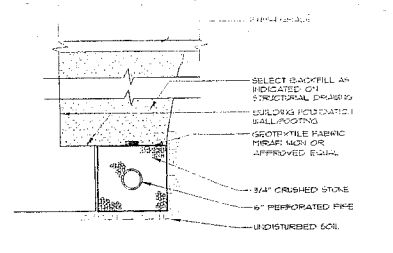
3 5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE

TABLE OF DIMENSIONS
EVC TRUSS, G.P.P. & POLYETHYLENE PIPE

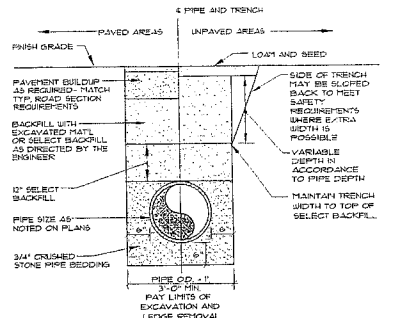
PIPE SIZE (IN)	MIN. TRENCH WIDTH (IN)	MIN. TRENCH DEPTH (IN)	MIN. TRENCH LENGTH (IN)
12	12	12	12
15	15	15	15
18	18	18	18
21	21	21	21
24	24	24	24

TABLE OF DIMENSIONS
REINFORCED CONCRETE PIPE

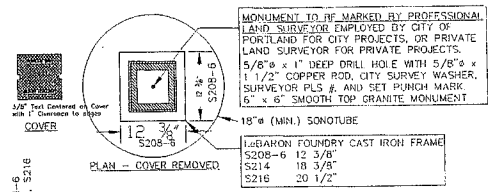
PIPE SIZE (IN)	MIN. TRENCH WIDTH (IN)	MIN. TRENCH DEPTH (IN)	MIN. TRENCH LENGTH (IN)
12	12	12	12
15	15	15	15
18	18	18	18
21	21	21	21
24	24	24	24



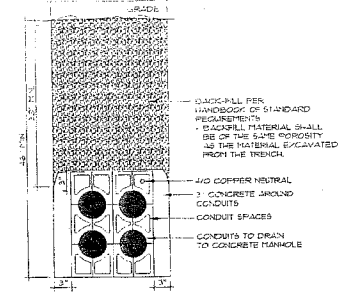
4 TYP. PERFORATED FOUNDATION DRAIN TRENCH SECTION
NOT TO SCALE



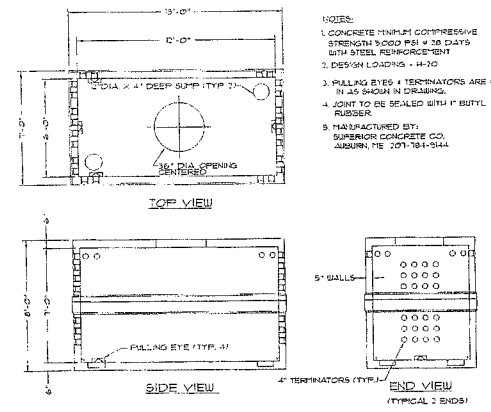
5 TYP. TRENCH SECTION
NOT TO SCALE



6 GRANITE STREET MONUMENT
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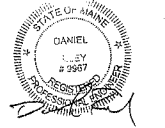
7 2x2 5\"/>



8 TELECOMMUNICATIONS MANHOLE
NOT TO SCALE

No.	Description	Date
1	Final Plan Submission to City	3-28-06

THE HOTEL & RESIDENCES
at
THE WESTIN
Portland, Maine
PME I Limited
Partnership



DETAILS

DLR	205042/STI 05090
DESIGN BY	Project Manager
MAL	AS SHOWN
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
050900	
Revised	

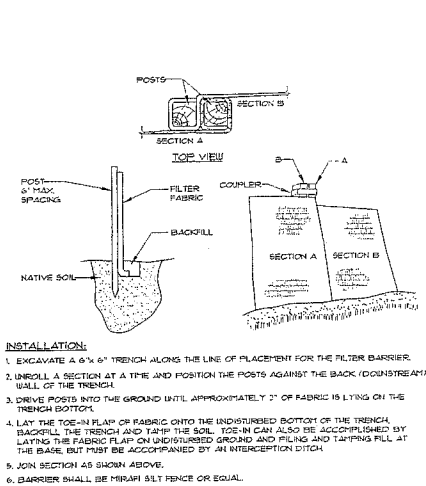
C4.2

CONSTRUCTION NOTES

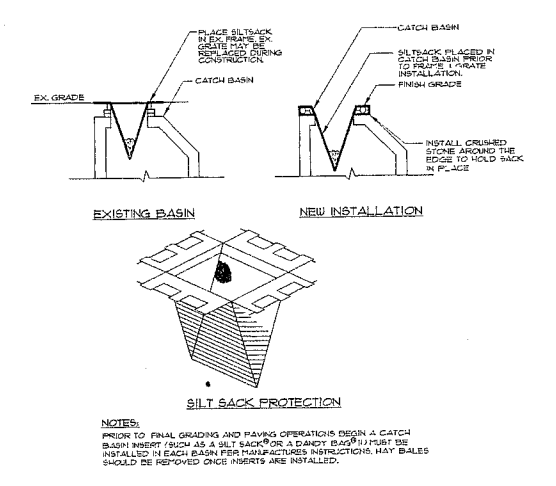
1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING THESE OBLIGATIONS WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND COORDINATE WITH THE WORKS THAT BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
11. IMMEDIATELY UPON COMPLETION OF CUT/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
12. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL CONFIRM SETBACKS AND BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DIFFERENCES AFFECTING BUILDING OR SITE CONSTRUCTION.
13. REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH SUITABLE INTERFACE FOR ALL FILLS.

1. HOUR INCHES OF LOAM SHALL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOL CLAY LUMP, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER AND WITHOUT ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 2. SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TEST SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14 DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:

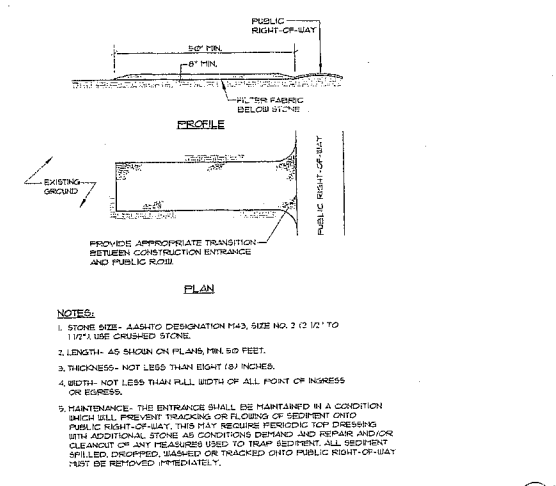
ITEM	APPLICATION RATE
10-30-30 FERTILIZER	15 LB/1000 SF
(N-P2O5-K2O) OR EQUAL	
GROUND LIMESTONE (50% CALCIUM + MAGNESIUM OXIDE)	15 LB/1000 SF
 3. FOLLOWING SEED BED PREPARATION SHALL AREAS, FILL AREAS AND BACK SLOPE, SHALL BE SEED AT A RATE OF 3 LB/1000 SF WITH A MIXTURE OF 3% CREeping RED FESCUE, 6% RED TOP, 25% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 34% WHITE CLOVER.
 4. EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISH SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
 5. ALL MAY GALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.
 6. THE INSPECTING ENGINEER AT HIS/HER DISCRETION MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AND/OR SUPPLEMENTAL VEGETATIVE PROVISIONS TO MAINTAIN STABILITY OF EARTHWORKS AND FINISH GRADED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY SUPPLEMENTAL MEASURES AS DIRECTED BY THE INSPECTING ENGINEER. FAILURE TO COMPLY WITH THE ENGINEER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- D. CONSTRUCTION SCHEDULE**
 SITE IMPROVEMENTS ARE SCHEDULED TO BEGIN IN FALL OF 2004. CONSTRUCTION DURATION IS ANTICIPATED TO BE 36 MONTHS TO TIME OF SUBSTANTIAL COMPLETION.
- | SCHEDULE | WEEK 1 - WEEK 3 |
|---|-------------------------------|
| 1. EROSION CONTROL MEASURES PLACED. | MONTH 1 - MONTH 3 |
| 2. SITE CLEARING AND GRUBBING. | MONTH 1 - MONTH 36 |
| 3. CONSTRUCTION OF SITE IMPROVEMENTS. | OCT. 3 OF CONSTRUCTION YEAR |
| 4. MULCH SPREAD FOR WINTER EROSION CONTROL. | MONTH 15 |
| 5. START FINAL SEEDINGS ON PREPARED AREAS (DURING GROWTH SEASON). | MONTH 15 |
| 6. BIWEEKLY MONITORING OF VEGETATIVE GROWTH. | MONTH 15 |
| 7. RESEEDING OF AREAS, IF NEEDED. | MONTH 15 |
| 8. REMOVAL OF EROSION CONTROL DEVICES. | UPON FINAL PROJECT COMPLETION |
- * DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.
- E. INSPECTIONS/MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN. THROUGHOUT THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.**
1. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH 3 LB/1000 SF AND MULCHED, AND RE-USED AS REQUIRED. SILTATION FENCINGS SHALL BE PLACED ADJACENT FROM STOCKPILE. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND INSPECTING ENGINEER.
 2. ALL SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSPECTED BEFORE AND AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.
 3. A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF THE EXISTING ROAD AND THE ACCESS DRIVE. ROADWAY AREAS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.
 4. CATCH BASIN INLET PROTECTION SHALL BE PLACED WITHIN EXISTING CATCH BASINS IN THE CONSTRUCTION AREA PRIOR TO CONSTRUCTION. INLET PROTECTION FOR PROPOSED CATCH BASINS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF THE CATCH BASIN PIPING.
 5. ALL AREAS SHALL BE SEEDING AND STABILIZED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.
- C. VEGETATION PLAN** REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE ROADWAY IMPROVEMENTS. DISTURBED AREAS SHALL ALSO BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. SEE MULCHING REQUIREMENTS IN SECTION B(14) ABOVE. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LB/1000 SQ. FT. TO PROVIDE WINTER PROTECTION. SEEDING AREAS SHALL BE COVERED WITH EROSION CONTROL MESH. SEE WINTER PROTECTION REQUIREMENTS IN SECTION B (15) ABOVE.



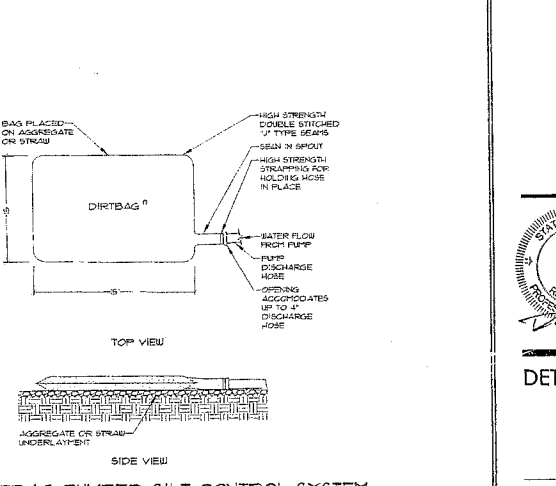
1 FILTER BARRIER
NOT TO SCALE



2 CATCH BASIN PROTECTION DETAIL (FOR PAVED AREAS)
NOT TO SCALE



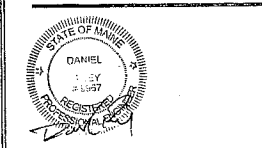
3 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



4 DIRTBAG PUMPED SILT CONTROL SYSTEM
NOT TO SCALE

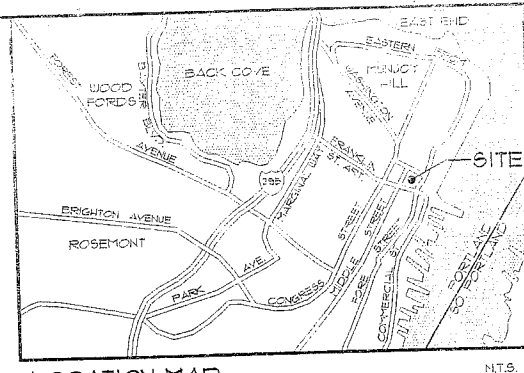
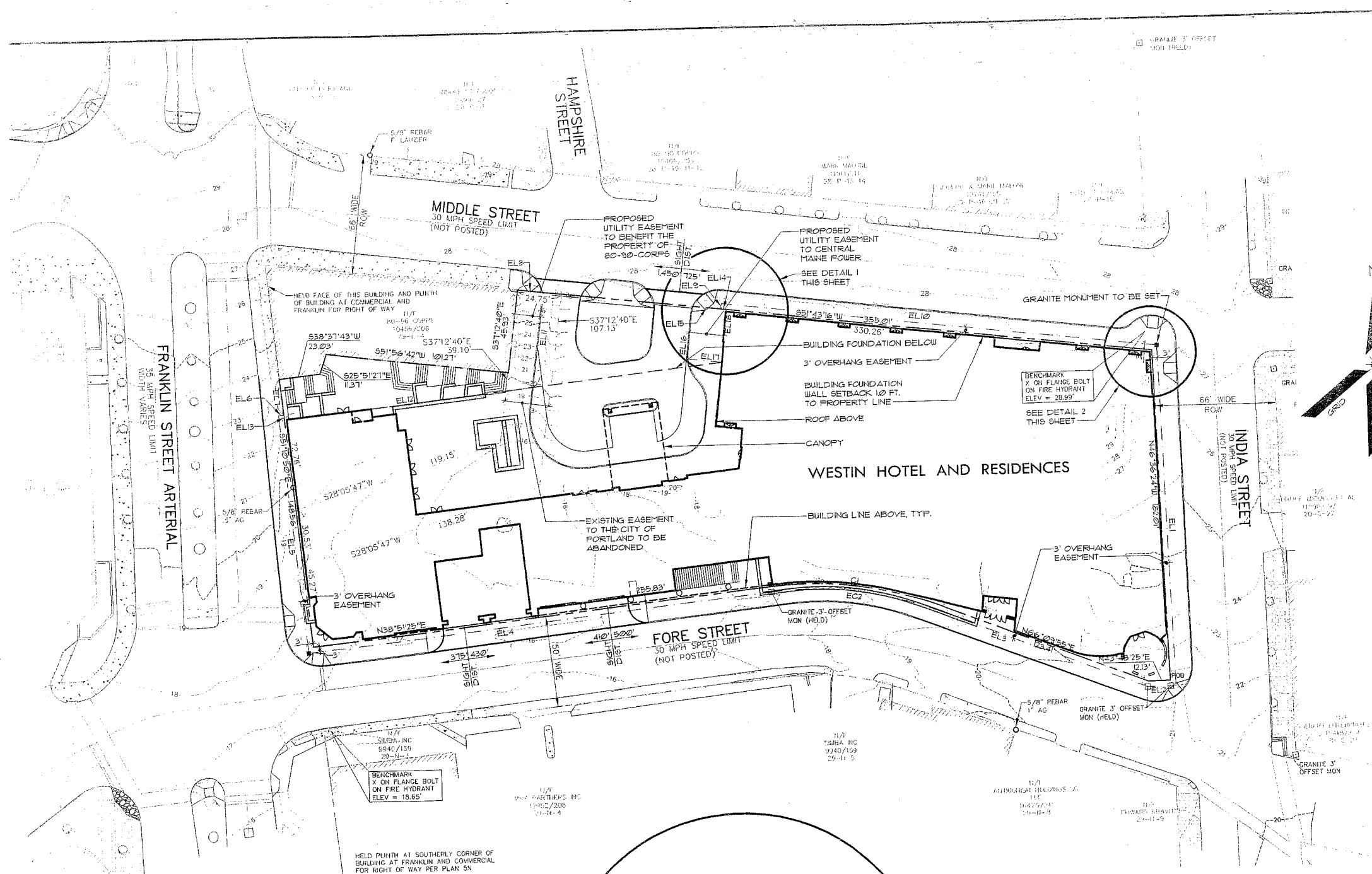
No.	Drawing Issue Description	Date
A	Final Plan Submission to City	3-28-06

THE HOTEL & RESIDENCES
at
THE WESTIN
Portland, Maine
PME 1 Limited Partnership



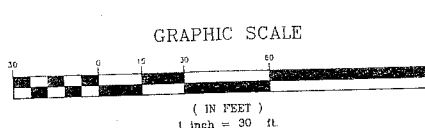
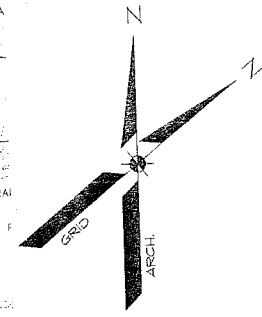
DETAILS

DLR	205042/STI 05090
DESIGN BY	Project Number
MAL	AS SHOWN
DRAWN BY	Scale
DLR	7/12/05
CHECK BY	Date
SEBAGO TECHNICS	
Project Designer	
05090D	
Revision	



LEGEND

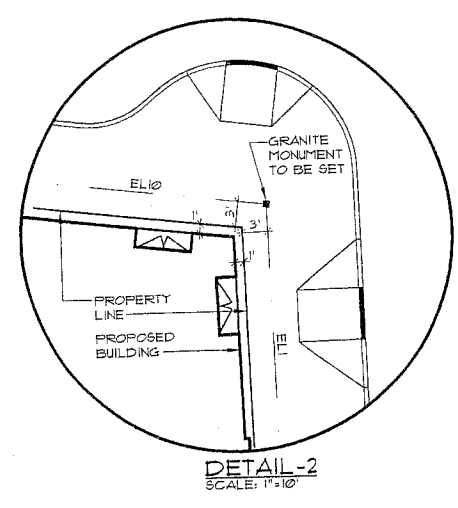
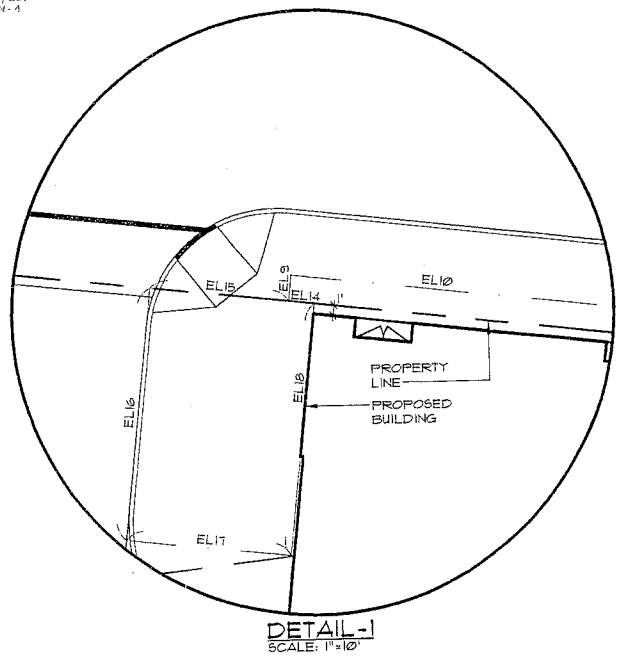
EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW	
	MONUMENT	
	BUILDING	
	SIGN	
	EDGE PAVEMENT	
	CURBSIDE	
	CONCRETE	
	BRICK	
	GRANITE/COBBLE	



NOTE:
SEE SUBDIVISION PLAN-SHEET 2 OF 2 FOR GENERAL NOTES AND EASEMENT AND PROPERTY LINE TABLES.

**APPROVAL-
CITY OF PORTLAND
PLANNING BOARD**

STATE OF MAINE
CUMBERLAND COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ 20____
AT _____ h _____ m _____ AND RECORDED IN
PLAN BOOK _____ PAGE _____
ATTEST _____ REGISTRAR



Sebago Technics
Engineering Expertise You Can Build On
One Chebot Street
Westport, ME 04091
Tel: (207) 866-0277

PROJECT NO. 05090
FIELD BOOK 824
DESIGN CHD
CHECK MWE
DATE 10-18-05
DRAWN MNE/AL

SUBDIVISION PLAN-SHEET 1 OF 2
OF:
WESTIN HOTEL AND RESIDENCES
PORTLAND
FOR:
PME 1 LIMITED PARTNERSHIP
FOR RECORD OWNER:
107 FIRST AVENUE, SUITE 110
NEEDHAM, MA 02494
SEE NOTE 2 (SHEET 2)

REV.	BY:	DATE:	STATUS:
A	DLR	10-13-05	SUBMIT SUBDIVISION PLAN TO CLIENT FOR REVIEW
B	DLR	09-25-05	SUBMITTED FOR SITE PLAN REVIEW
C	DLR	09-09-05	FINAL PLAN/CITY CONDITION OF APPROVAL
D	DLR	09-09-05	FINAL PLAN SUBMISSION TO CITY

THIS PLAN SHALL NOT BE NOTIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SHEET 1 OF 2

GENERAL NOTES:

- 1. APPLICANT, PME 1 LIMITED PARTNERSHIP...
2. THE RECORD OWNERS OF THE PARCEL ARE...
3. THE PROPERTY IS SHOWN AS LOTS 1, 2, 43 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP...
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 175 AC.
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY...
6. TOTAL AREA OF PARCEL TO BE LEFT NON-VEGETATED IS APPROXIMATELY 168 AC.
7. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
8. SPACE AND BULK CRITERIA PER B-3 DOWNTOWN BUSINESS DISTRICT
9. THE SITE IS SUBJECT TO A CONDITIONAL REZONING AGREEMENT APPROVED BY THE PORTLAND CITY COUNCIL ON SEPTEMBER 19, 2005...
10. THE WESTIN HOTEL AND RESIDENCES PORTLAND IS A PRIVATE CONDOMINIUM DEVELOPMENT...
11. THE PROJECT INCLUDES UP TO 244 HOTEL ROOMS, UP TO 97 RESIDENTIAL CONDOMINIUMS...

Table with 3 columns: FLOOR, RESIDENTIAL CONDOMINIUM UNITS, HOTEL/CONDOMINIUM UNITS. Rows 1-10 showing unit counts per floor.

GENERAL NOTES: (CONTINUED)

- 12. THE WESTIN HOTEL AND RESIDENCES PORTLAND IS A PRIVATE DEVELOPMENT...
13. THE USE OF THE OWNER'S PRIVATE PROPERTY BY THE PUBLIC IS BY PERMISSION FROM THE OWNER...
14. A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND...
15. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY...
16. ALL CURBS SHALL BE DESIGNED AND BUILT WITH TIP-DOWNS AT ALL DRIVEWAYS AND CROSSWALKS...
17. ALL ELECTRIC, TELEPHONE AND CABLE TV SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH THE STANDARDS OF CENTRAL MAINE POWER CO...
18. ALL WATER MAINS, SERVICES AND ASSOCIATED AFFURTEANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS...
19. ALL NATURAL GAS MAINS, SERVICES AND ASSOCIATED AFFURTEANCES SHALL BE IN CONFORMANCE WITH PORTLAND GAS MAINS STANDARDS...
20. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK...
21. THE FACILITY IS SERVICED BY CITY SEWER, WATER, GAS, UNDERGROUND ELECTRIC, STORM DRAINAGE, TELEPHONE AND CABLE...
22. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS INSPECTION SERVICES DIVISION...
23. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION...
24. BARRIERS, SIGNS, MARKERS, BARRICADES OR FLAGMEN APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE EMPLOYED TO REGULATE TRAFFIC...
25. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12...
26. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE...
27. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION...
28. ALL SANITARY SERVICES AND AFFURTEANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PARKS AND PUBLIC WORKS SEWER DIVISION...
29. ALL NEW CONNECTIONS, RECONNECTIONS, ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK...
30. A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PARKS DEPARTMENT AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY...
31. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN...
32. LANDSCAPING SHALL MEET THE 'ARBOCULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES' OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES...
33. SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS...
34. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK...
35. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING...
36. ALL DISTURBED AREA ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREA SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER MATERIALS...
37. PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER...

EASEMENT LINE DATA

Table with 3 columns: LINE, DIRECTION, DISTANCE. Rows EL1 through EL18.

PROPERTY LINE CURVE DATA

Table with 5 columns: CURVE, LENGTH, RADIUS, CRD. BEARING, CRD. DIST. Row C1.

EASEMENT LINE CURVE DATA

Table with 5 columns: CURVE, LENGTH, RADIUS, CRD. BEARING, CRD. DIST. Row EC2.

SUBDIVISION PLAN-SHEET 2 OF 2
WESTIN HOTEL AND RESIDENCES PORTLAND
FOR: PME 1 LIMITED PARTNERSHIP
FOR RECORD OWNER:
197 FIRST AVENUE, SUITE 110
NEEDHAM, MA 02494

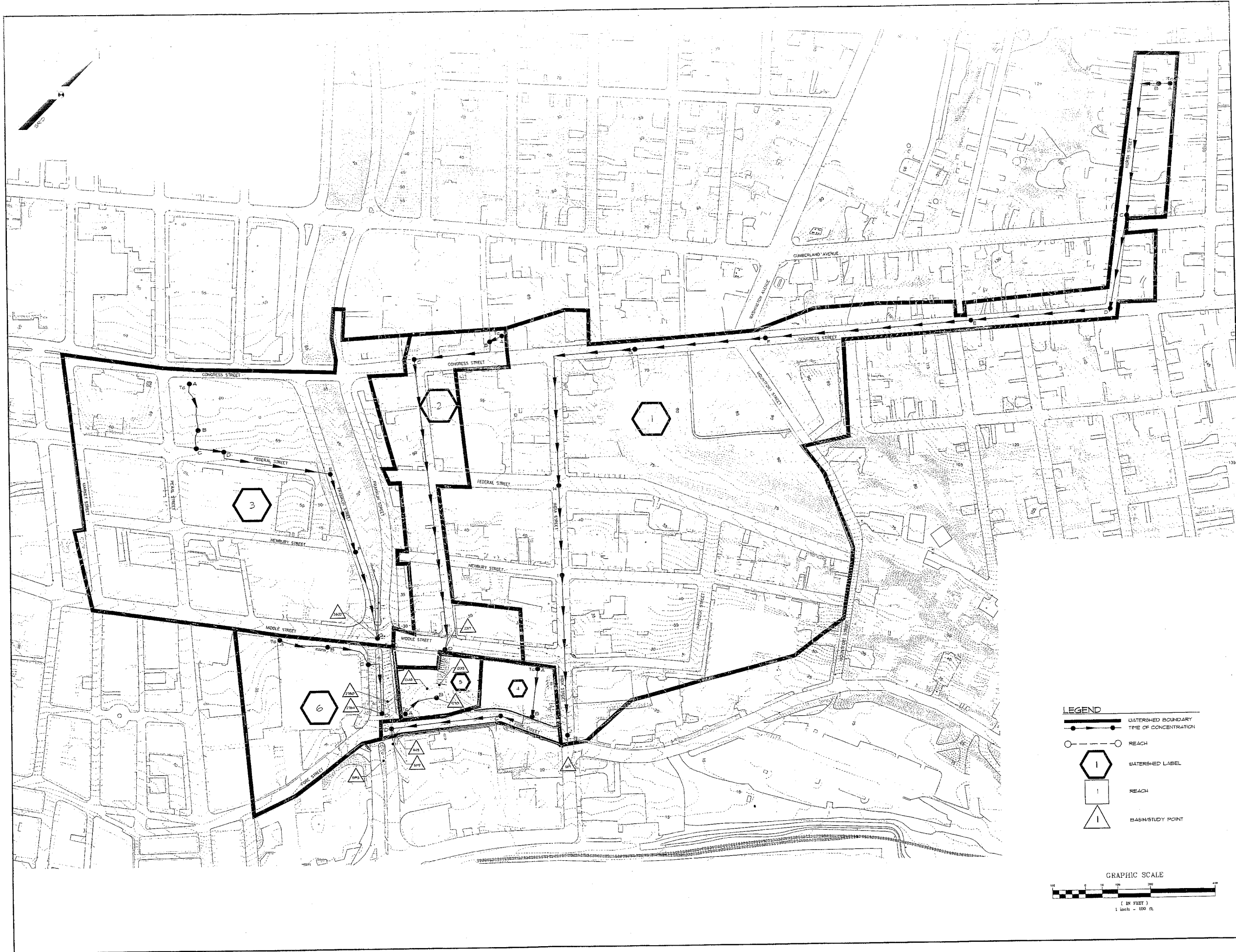
APPROVAL-
CITY OF PORTLAND
PLANNING BOARD

STATE OF MAINE
CUMBERLAND COUNTY SS REGISTRY OF DEEDS
RECEIVED 10-18-05 20
PLAN BOOK 10-18-05 PAGE 1 AND RECORDED IN
ATTEST REGISTRAR

DATE SCALE
10-18-05 1"=30'
SHEET 2 OF 2

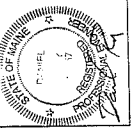
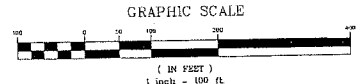
Vertical table with columns: DATE, ACTION, BY, STATUS. Rows for various plan submissions and reviews.

Sebago Technics logo and contact information: Engineering Expertise You Can Build On, One Credit Street, Westbrook, ME 04092-1339, Tel: (207) 626-0271.



LEGEND

- WATERSHED BOUNDARY
- TIME OF CONCENTRATION
- REACH
- WATERSHED LABEL
- REACH
- BASIN STUDY POINT



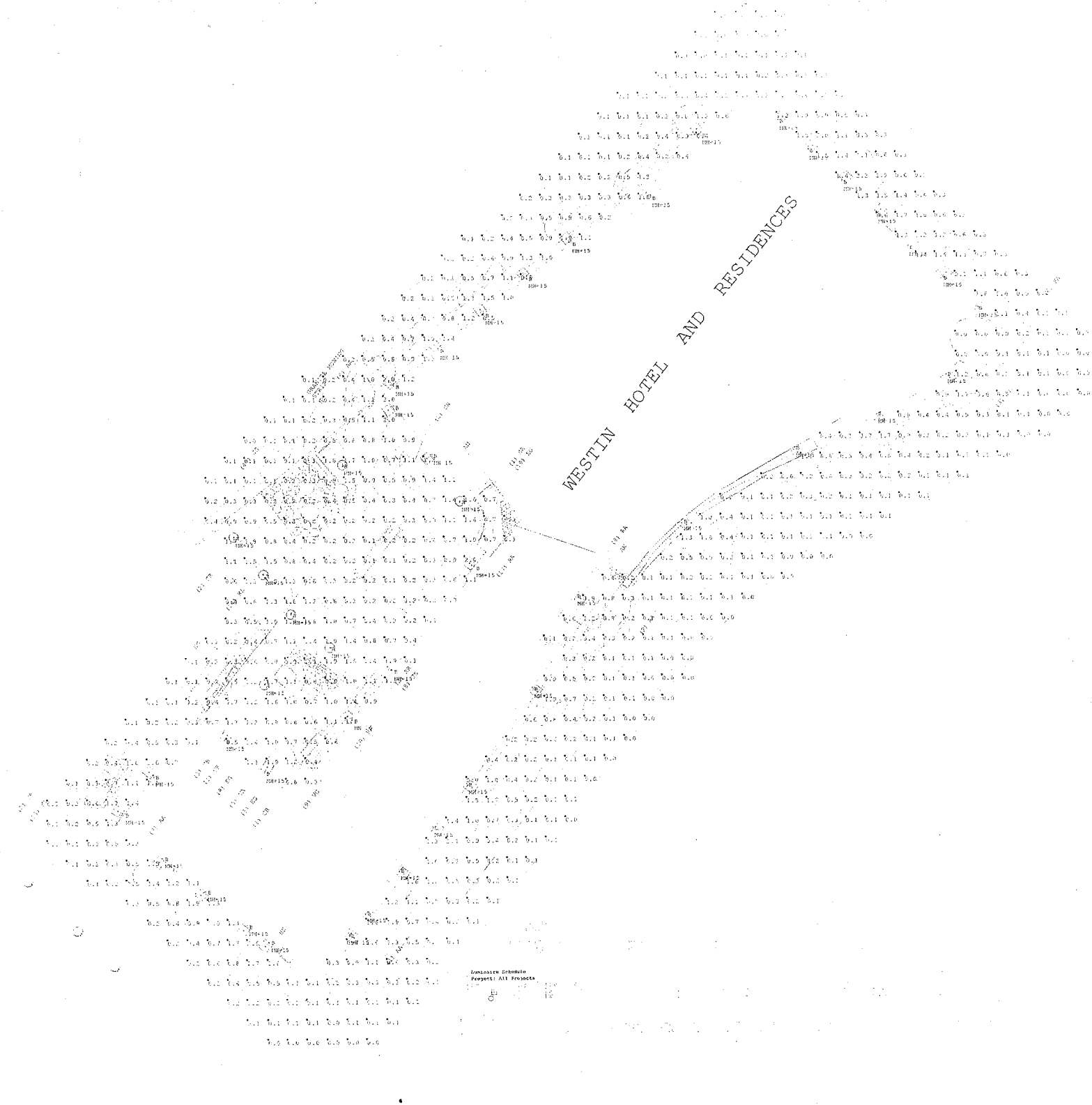
DATE	DESCRIPTION
7-1-05	FINAL PLAN SUBMISSION TO CITY
05-09-05	DATE
05-09-05	STATUS
THIS PLAN SHALL NOT BE LOANED, REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SEBAGO TECHNICS, INC.	

Sebago Technics
 Engineering Expenses You Can Build On
 One Oregon Street
 Portland, Oregon 97204
 Tel: (503) 851-0277

PRE DEVELOPMENT WATERSHED PLAN
 WESTIN HOTEL AND RESIDENCES PORTLAND
 FOR: PME 1 LIMITED PARTNERSHIP
 1000 SW 3RD AVE
 PORTLAND, OR 97204

DATE	SCALE
7-1-05	1"=100'
PROJ. NO.	DWG NAME
05090	05090SWP
FIELD BOOK	DESIGN BY
	MTW
DRAWN BY	CHECKED BY
MTW/MAL	DLR

View 1: Plan Rotated 0 Tilted 0
 Scale: 1 inch = 30 Ft.



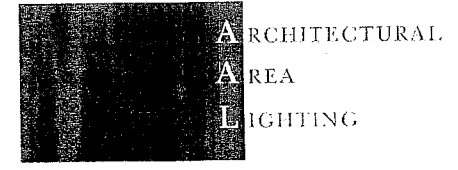
NOTES
 (1) EXACT MOUNTING DETAILS TO BE DETERMINED AS ADVISED BY OTHERS.
 (2) ALL FIXTURES TO BE SHOWN WITH THE EFFECT OF SHADOWING TO BE BY THE ARCHITECT'S OFFICE WITHIN THE AREA.
 (3) READINGS SHOWN ARE INDICATED BY DOTTED LINES TAKEN AT GRADE.
 (4) FIXTURE ORIENTATION IS SUCH THAT 'S' IS TO THE RIGHT OF DRAWING AND 'O' IS TO THE TOP OF DRAWING AS SHOWN.
 (5) THIS ANGLE IS TO THE PASSING AND LOWERING OF THE FIXTURE HEAD.
 (6) THE LAYOUT DRAWING MUST BE COORDINATED WITH SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.

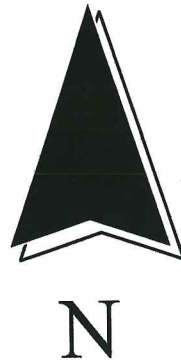
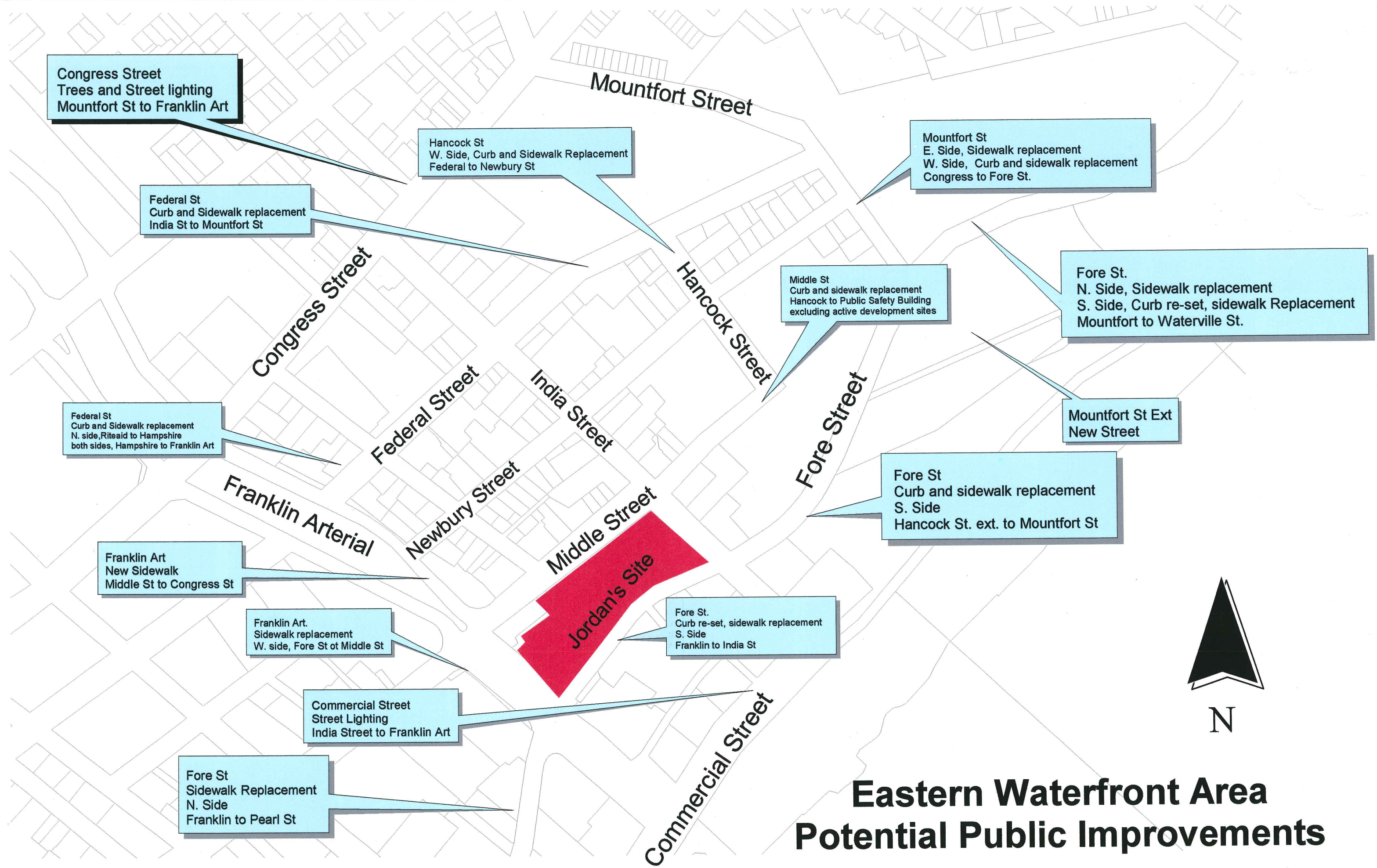
TITLE
**WESTIN HOTEL
 SIDEWALK & LANDSCAPE
 REVISED LIGHTING LAYOUT**

DESIGNED BY:
J. JACOBS
 SCALE: AS SHOWN
 REFERENCE: AL051018
 SHEET 1 OF 1

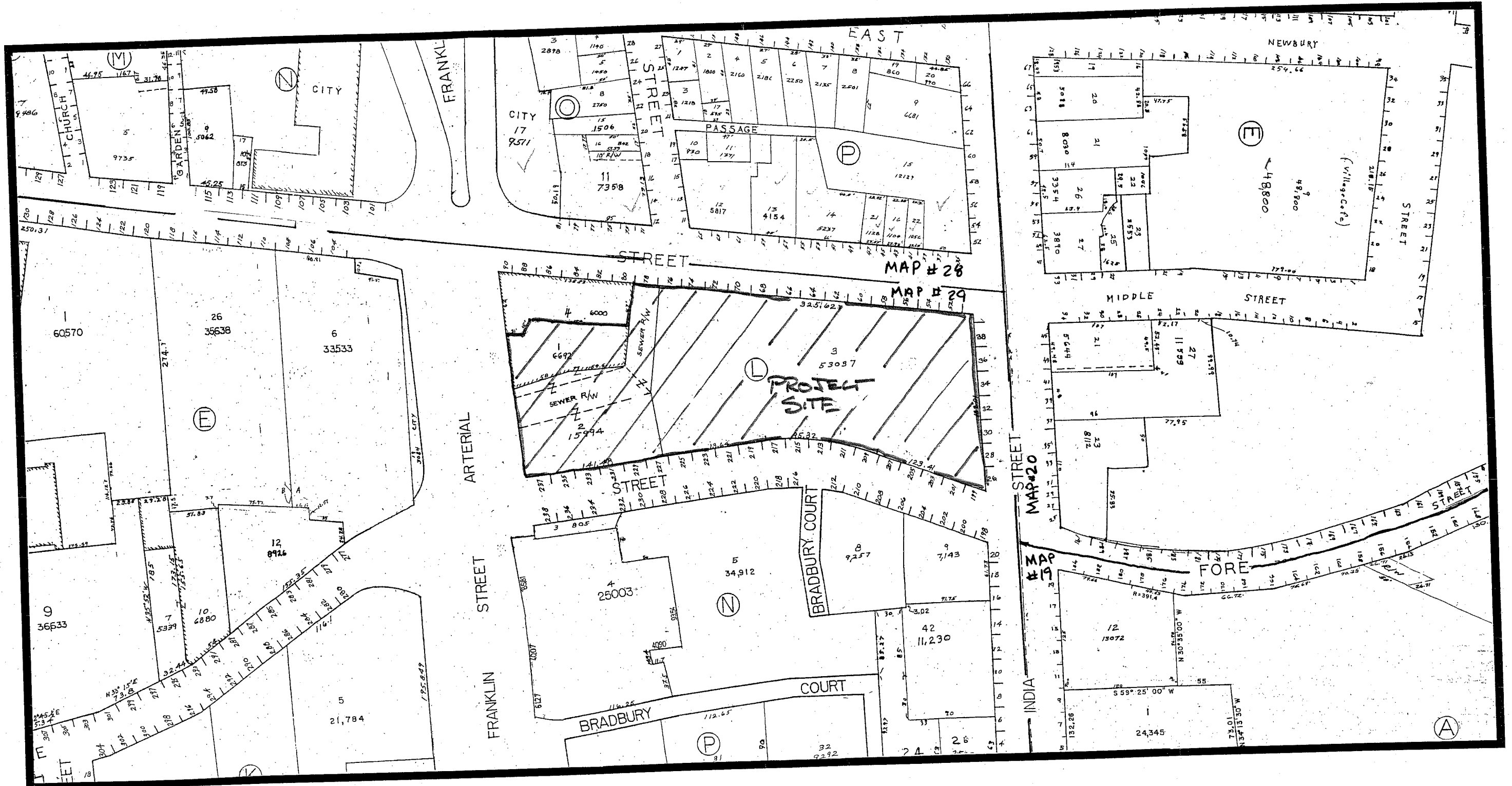
DATE: 11/8/2005
 LIGHTING LAYOUT GENERATED BY LIGHTING APPLICATION SCIENCES IN SAN MARCOS, TEXAS

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Eastern Waterfront Area Potential Public Improvements



VICINITY MAP
 PORTLAND, ME
 MAP # 19, 20, 28 & 29
 SCALE 1" = 50'±



WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

VIEW ALONG FORE STREET

P



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ARCHITECTS



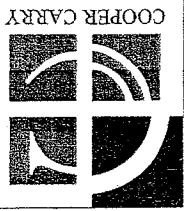
WINTON SCOTT
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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

VIEW FROM INDIA STREET
LOOKING NORTH

P

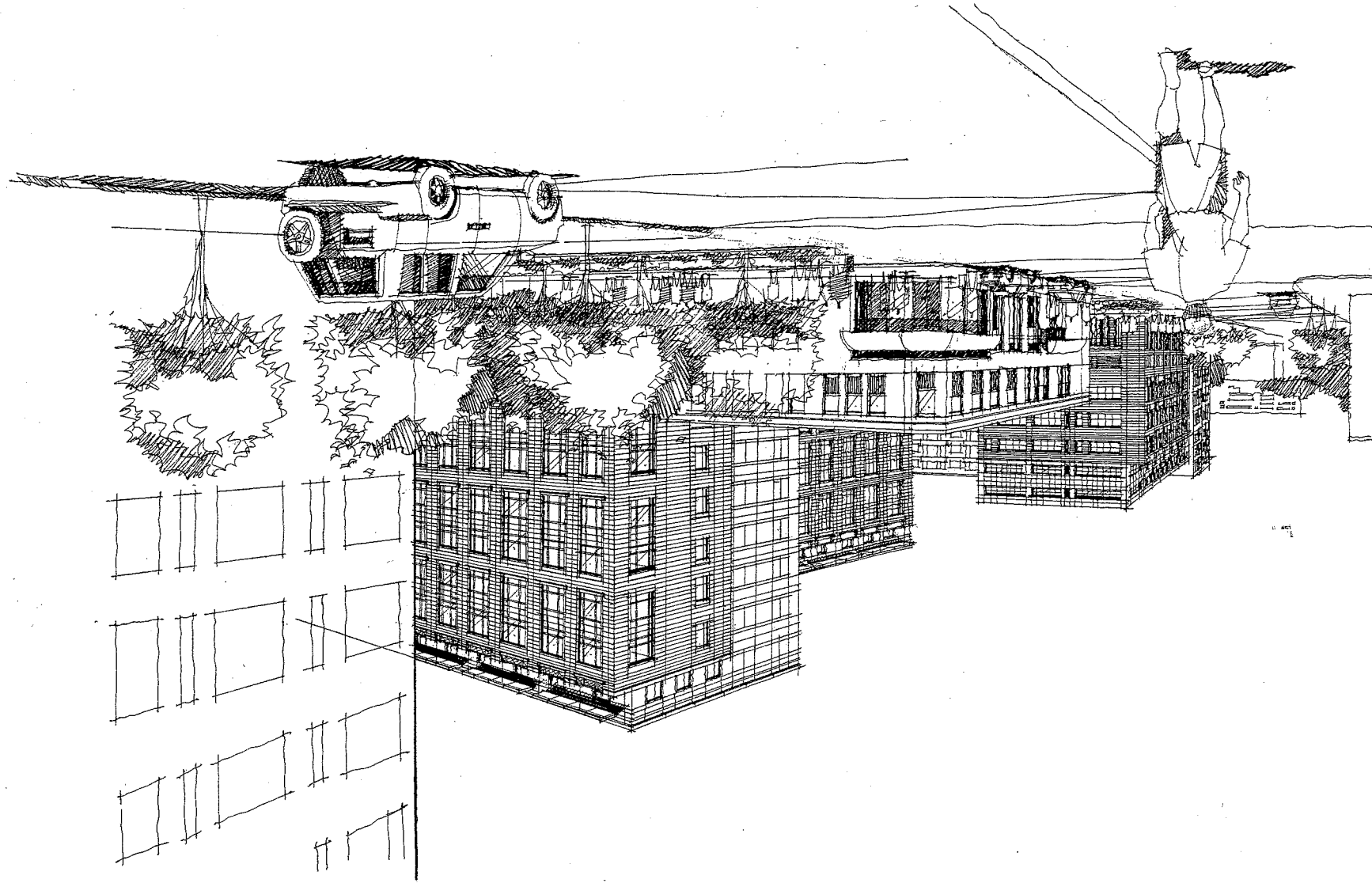


COOPER CARRY
ARCHITECTS

WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

VIEW FROM FRANKLIN ARTERIAL

d





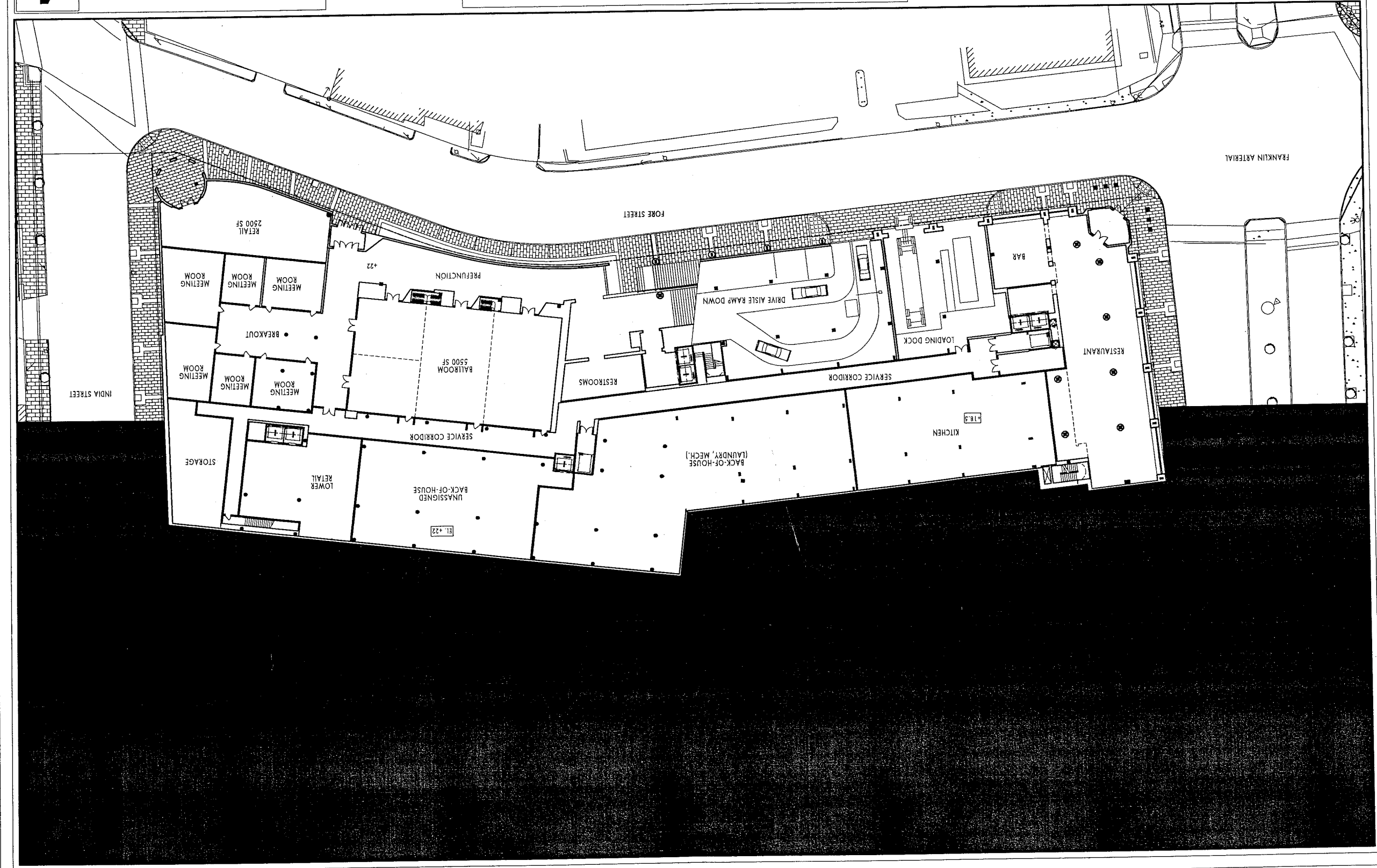
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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

1/16" = 1'-0"

RESTAURANT ENTRY LEVEL
+18'-4"





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WESTIN HOTEL and RESIDENCES PORTLAND

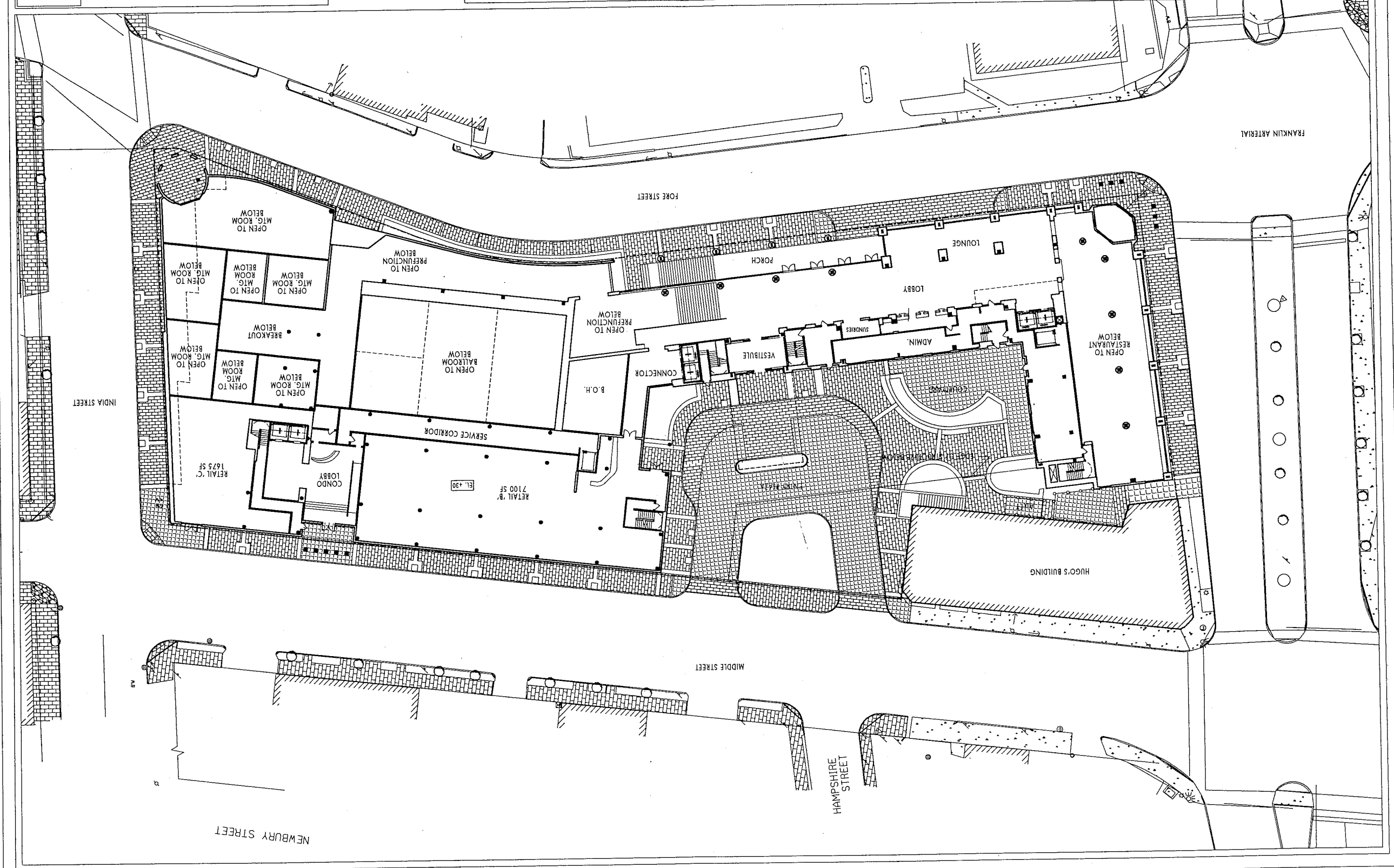
Portland, Maine

HOTEL LOBBY LEVEL

1/16" = 1'-0"

+31'-4"

2





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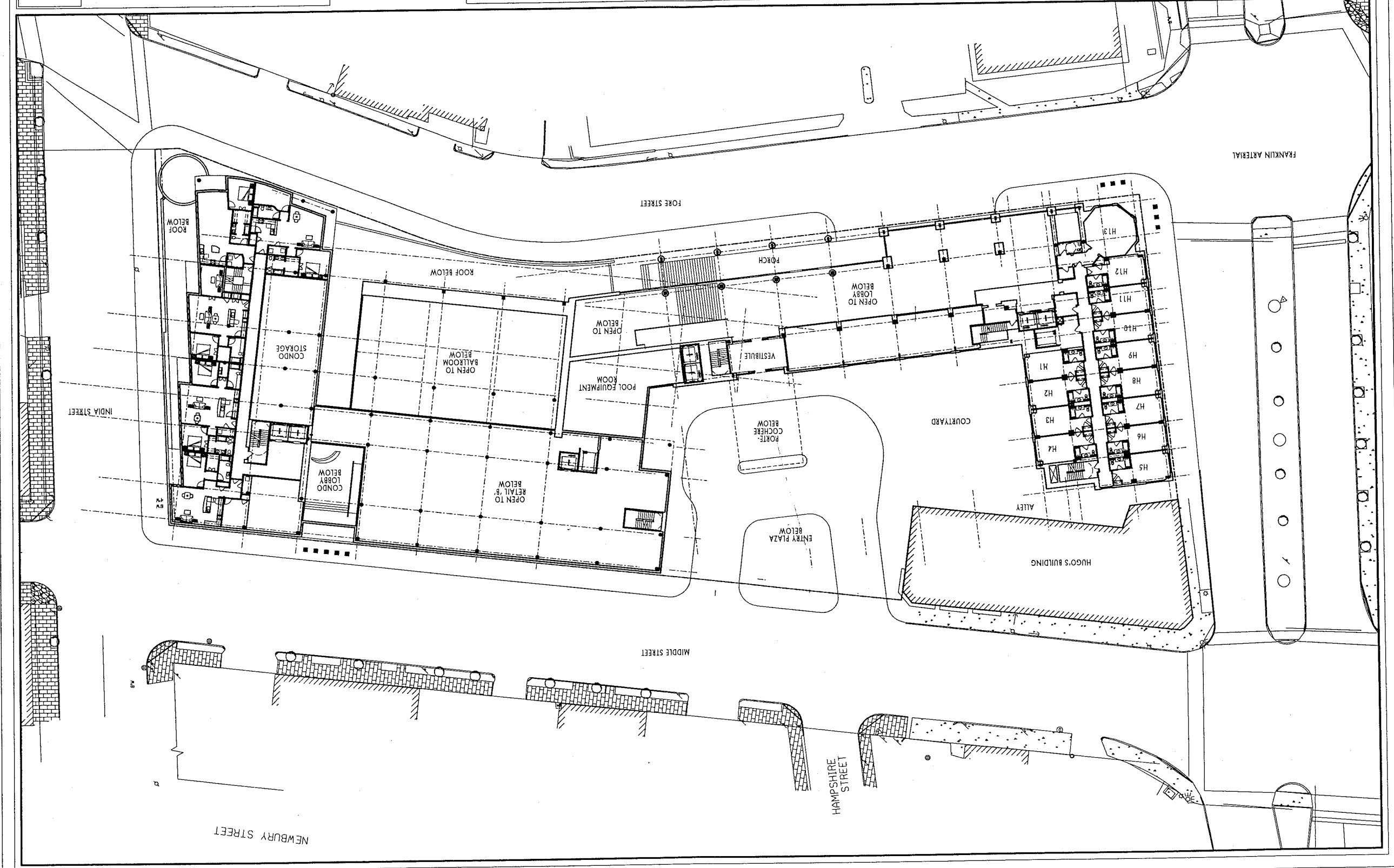
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

INTERSTITIAL LEVEL /
FIRST FLOOR OF CONDOS

+41'-4"

3



FRANKLIN ARTERIAL

FORE STREET

INDIA STREET

MIDDLE STREET

HAMPSHIRE STREET

NEWBURY STREET

HUGO'S BUILDING

COURTYARD

ENTRY PLAZA

PORTE-COCHERE

POOL EQUIPMENT

VESTIBULE

OPEN TO BELOW

OPEN TO BALLROOM

CONDO STORAGE

CONDO LOBBY

ROOF BELOW

OPEN TO LOBBY

PORCH

+51'-4"



FIRST GUESTROOM LEVEL /
POOL TERRACE

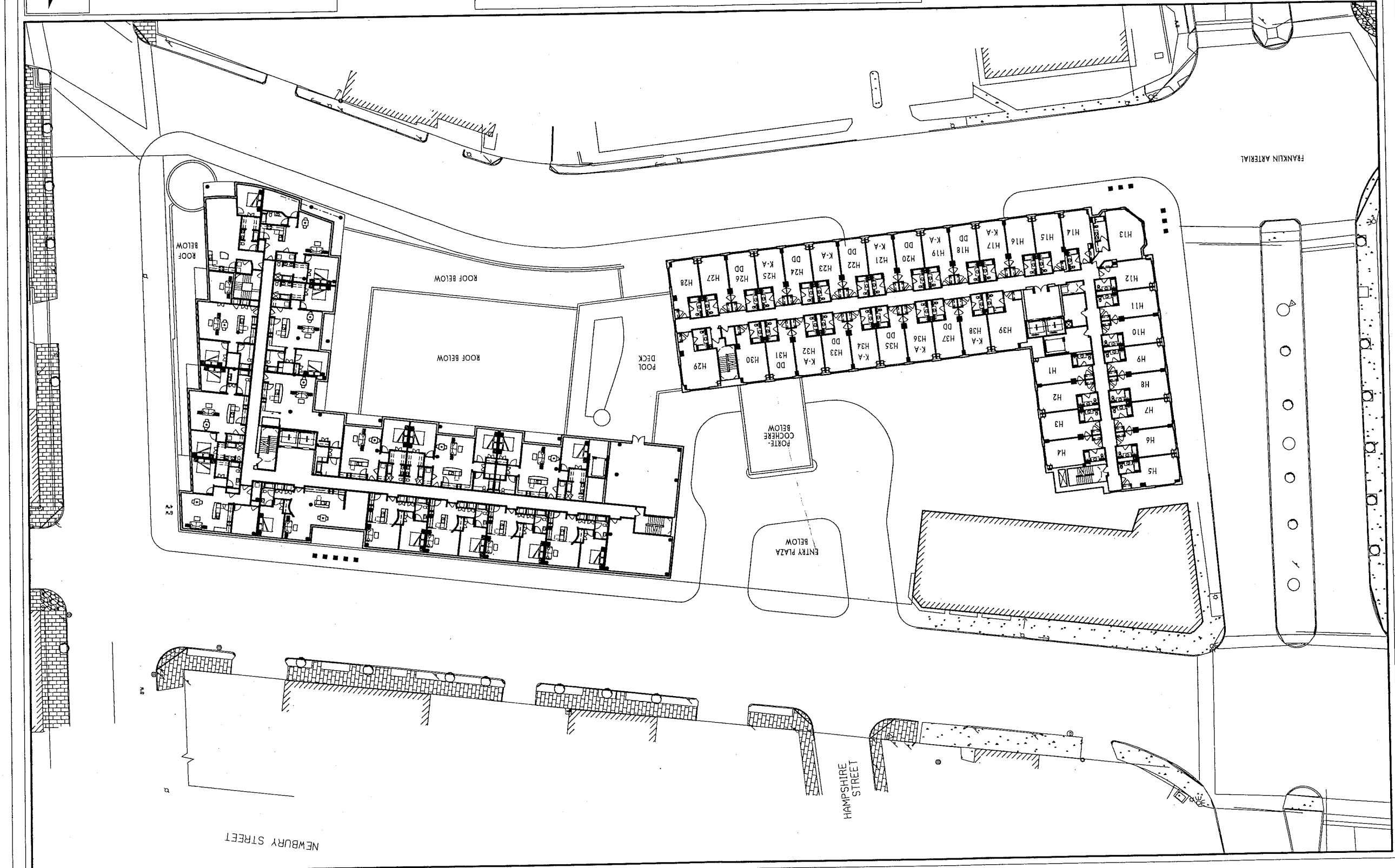
1/16" = 1'-0"

WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

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ROOF BELOW

ROOF BELOW

ROOF BELOW

POOL DECK

PORTE-COCHERE BELOW

ENTRY PLAZA BELOW

FRANKLUN ARTERIAL

48

2

NEWBURY STREET

HAMPSHIRE STREET



COOPER CARRY

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WESTIN HOTEL and RESIDENCES PORTLAND

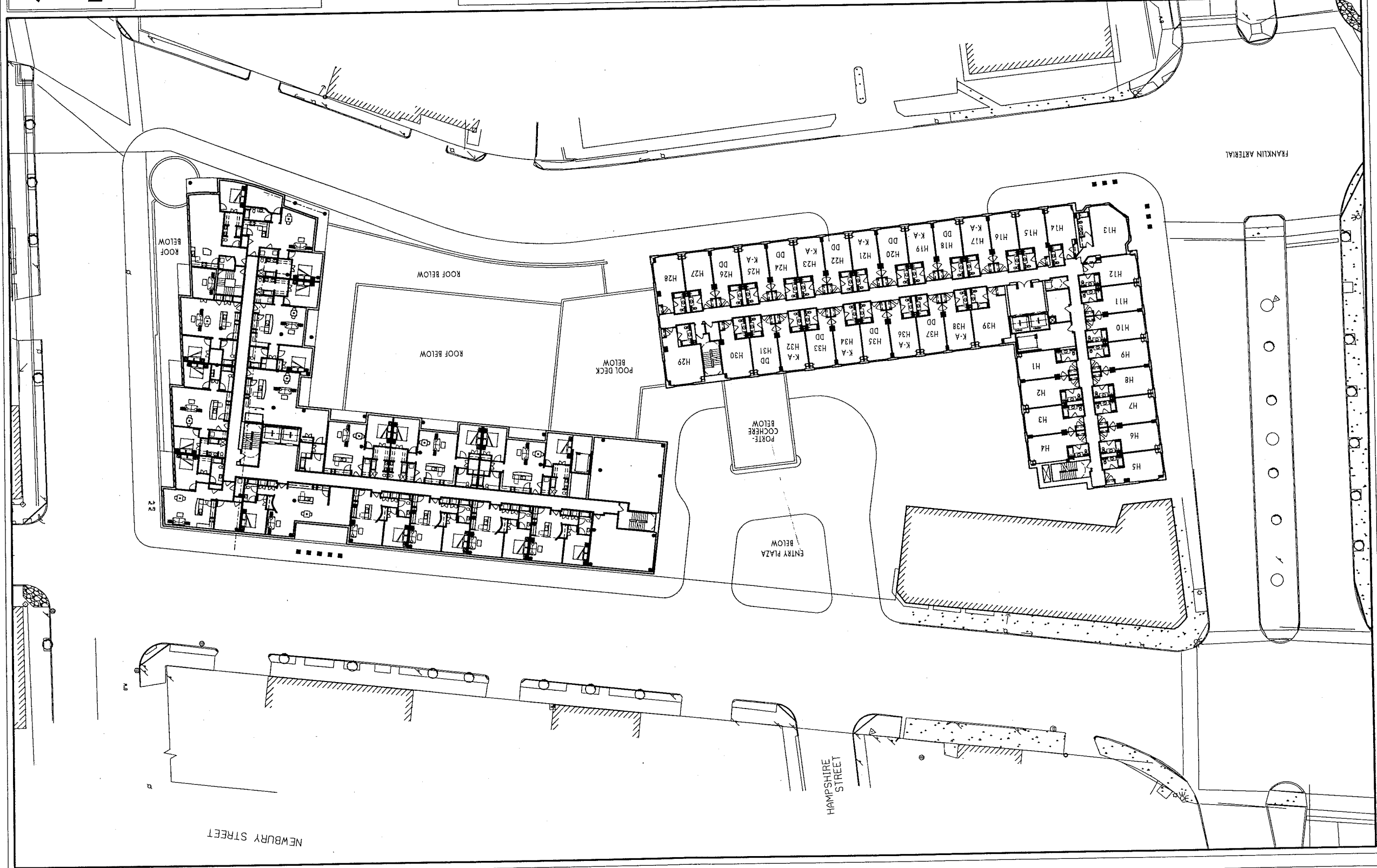
Portland, Maine

LEVELS 5 AND 6

1/16" = 1'-0"

+61'-4" & +71'-4"

5-6





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WESTIN HOTEL and RESIDENCES PORTLAND

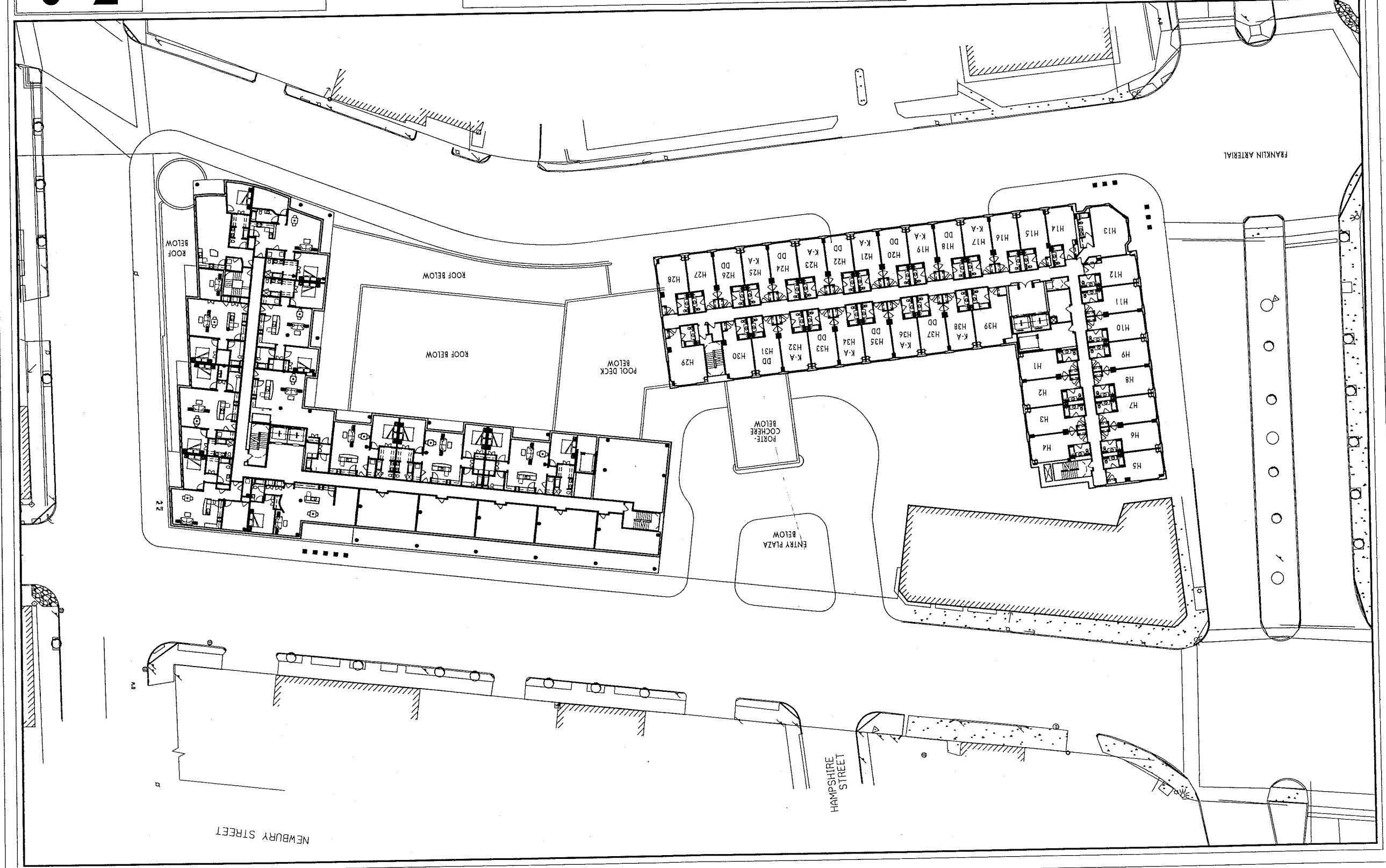
Portland, Maine

LEVELS 7 AND 8

1/16" = 1'-0"

+81'-4" & +91'-4"

7-8





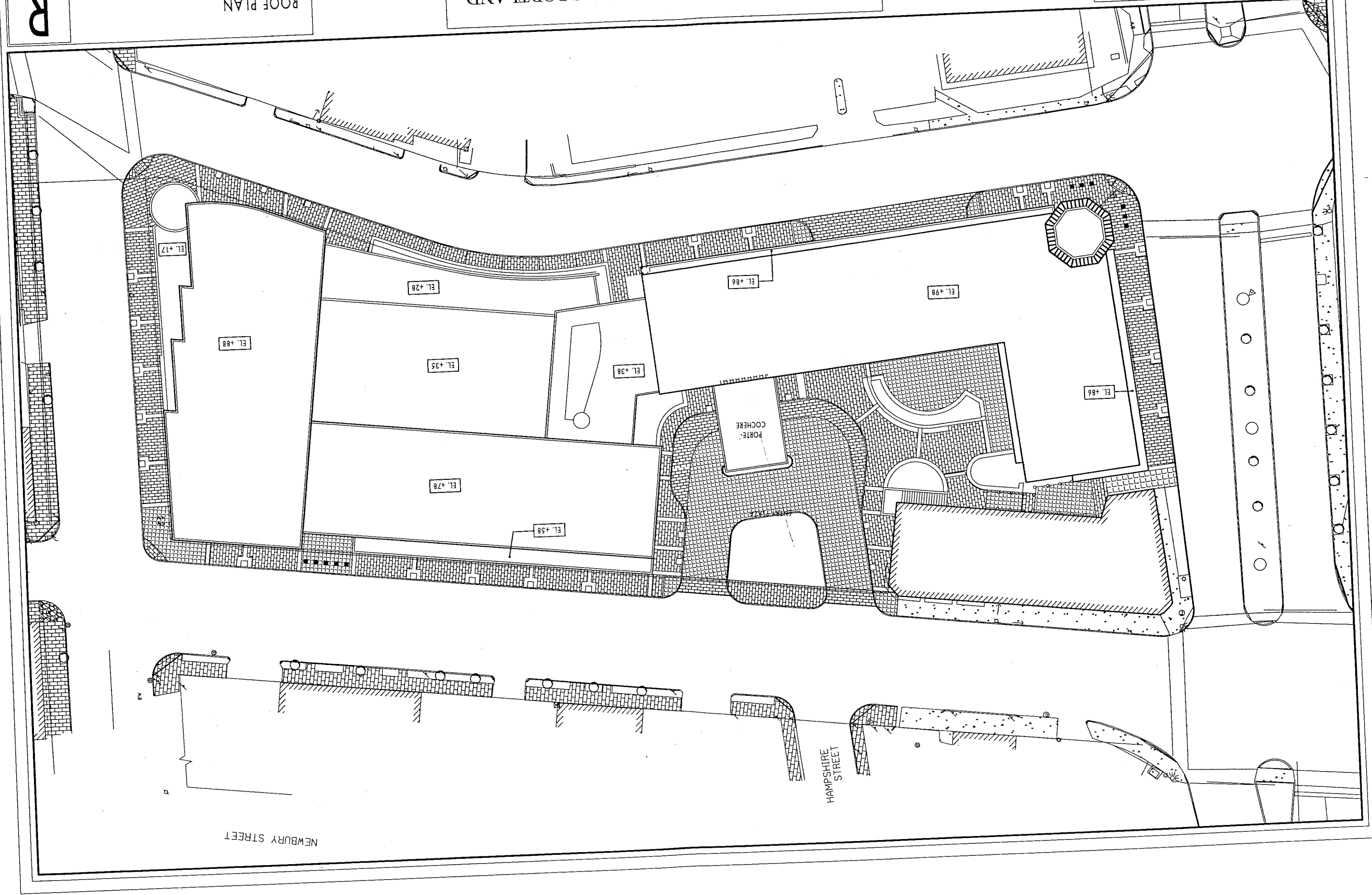
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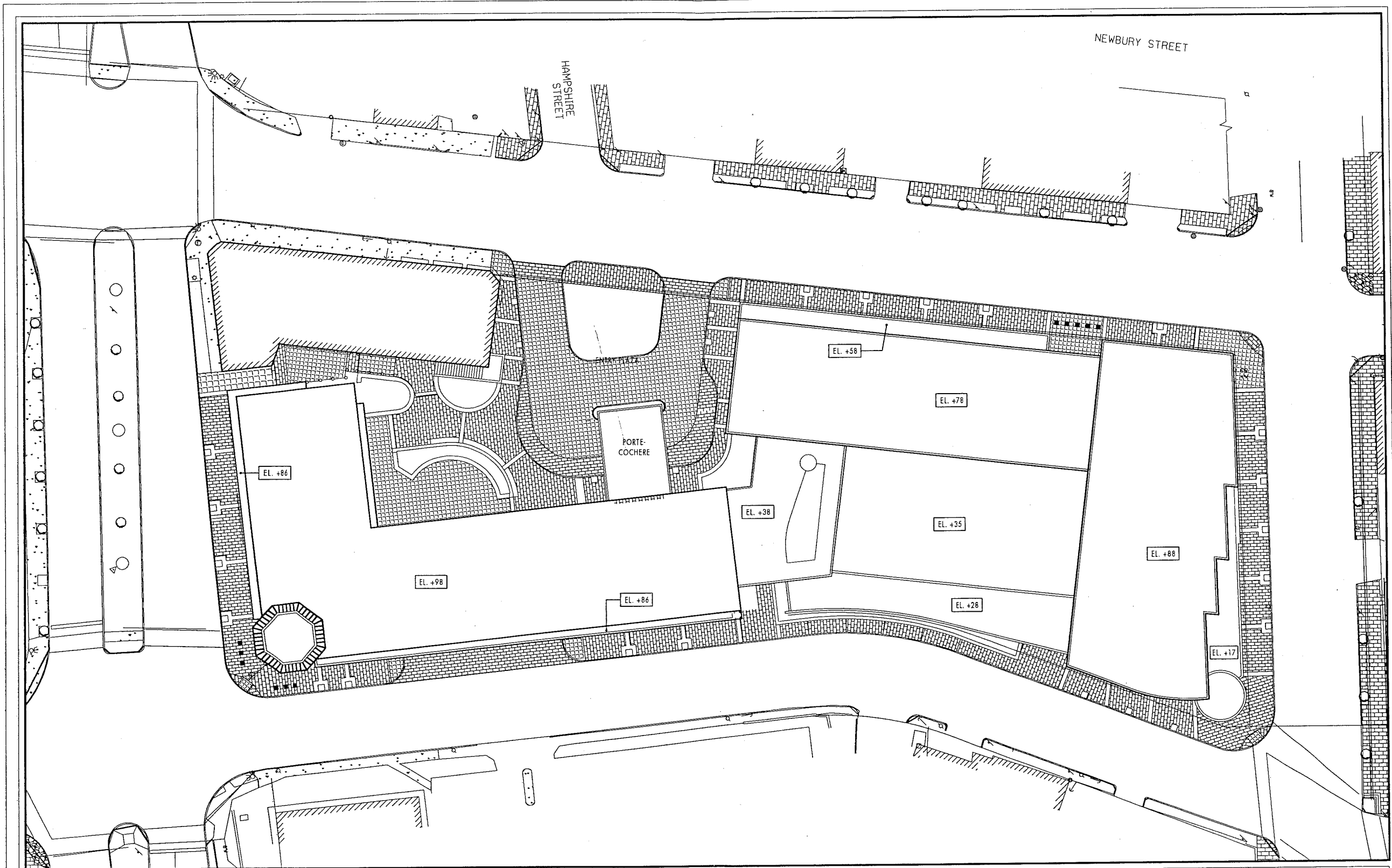
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

ROOF PLAN
1/16" = 1'-0"

R





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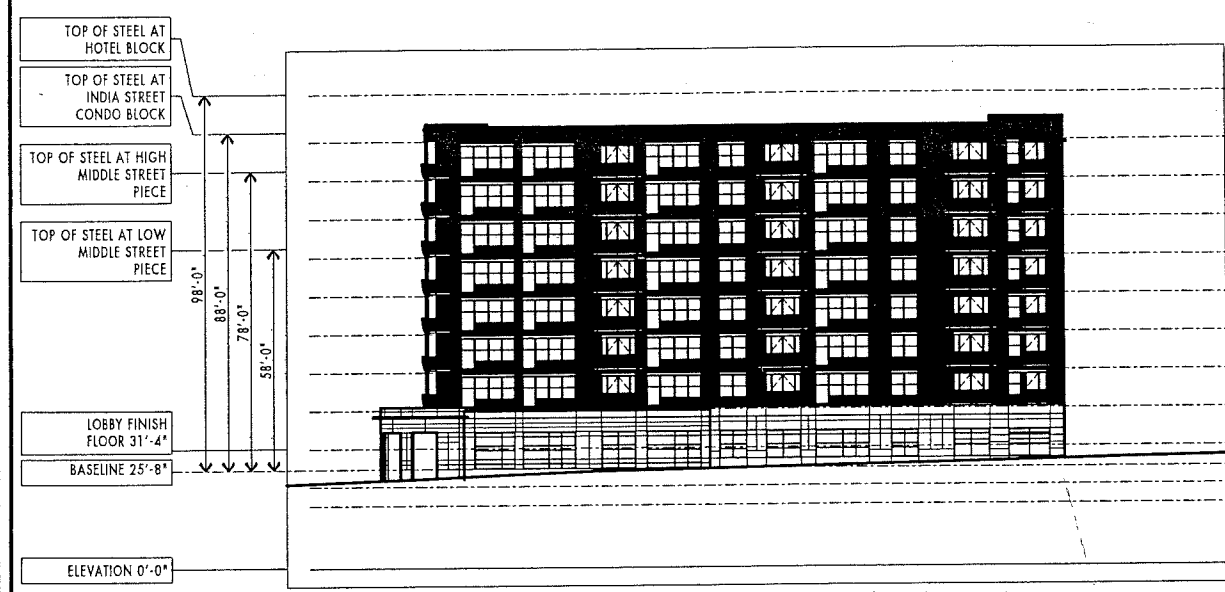
WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

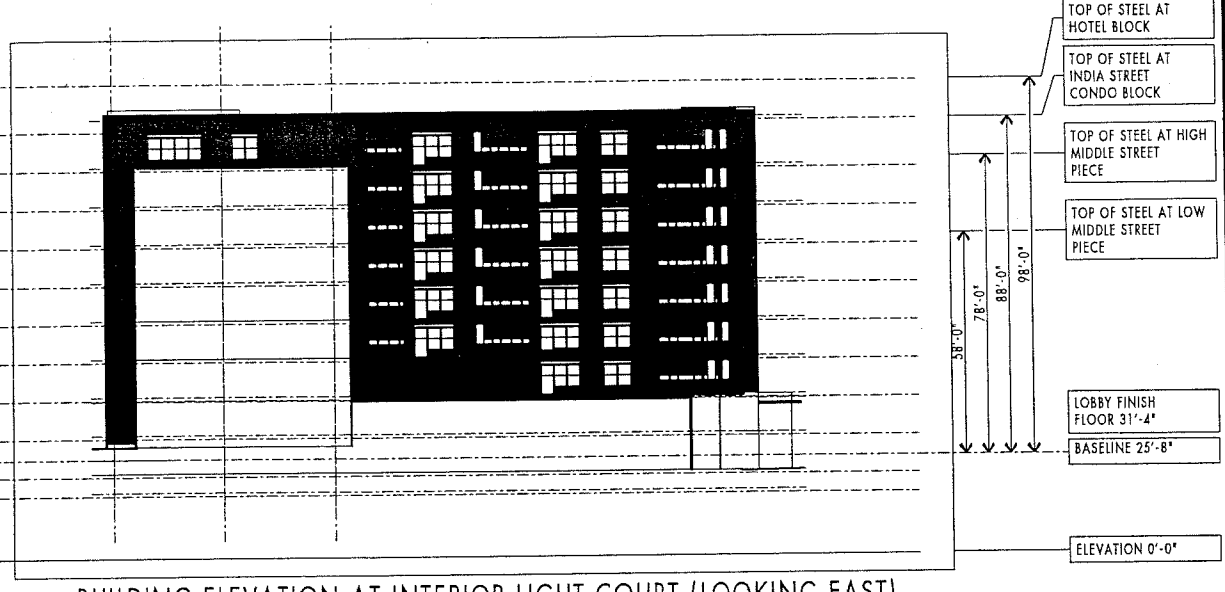
ROOF PLAN

1/16" = 1'-0"

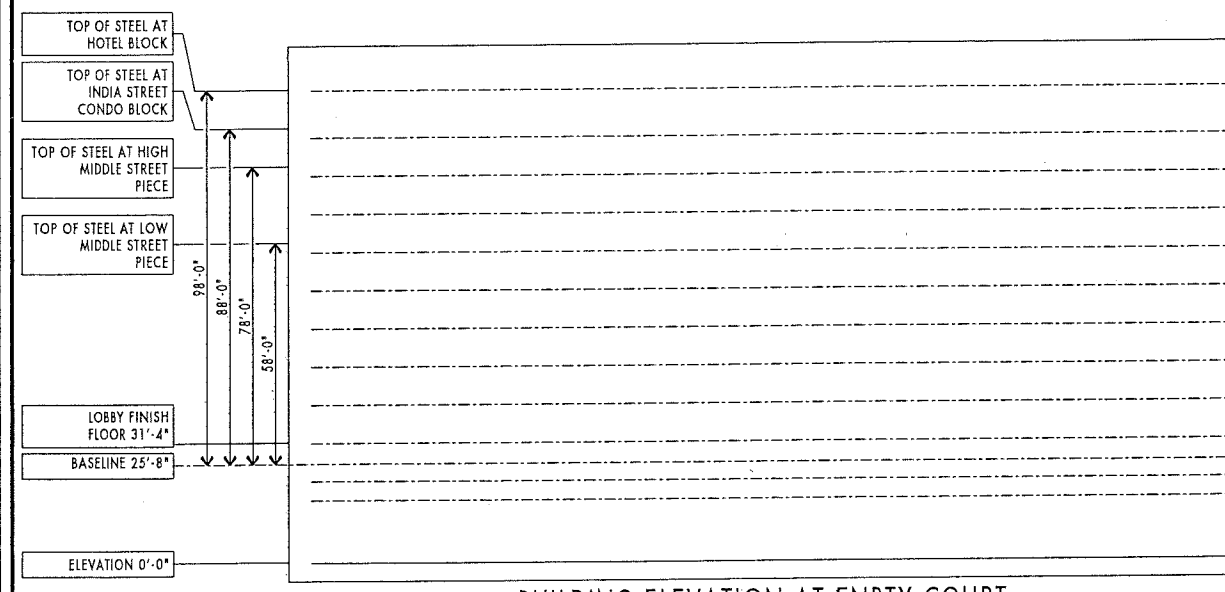
R



BUILDING ELEVATION ALONG INDIA STREET



BUILDING ELEVATION AT INTERIOR LIGHT COURT (LOOKING EAST)



BUILDING ELEVATION AT ENRTY COURT



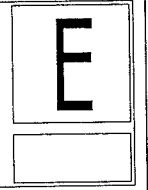
BUILDING ELEVATION ALONG FRANKLIN ARTERIAL

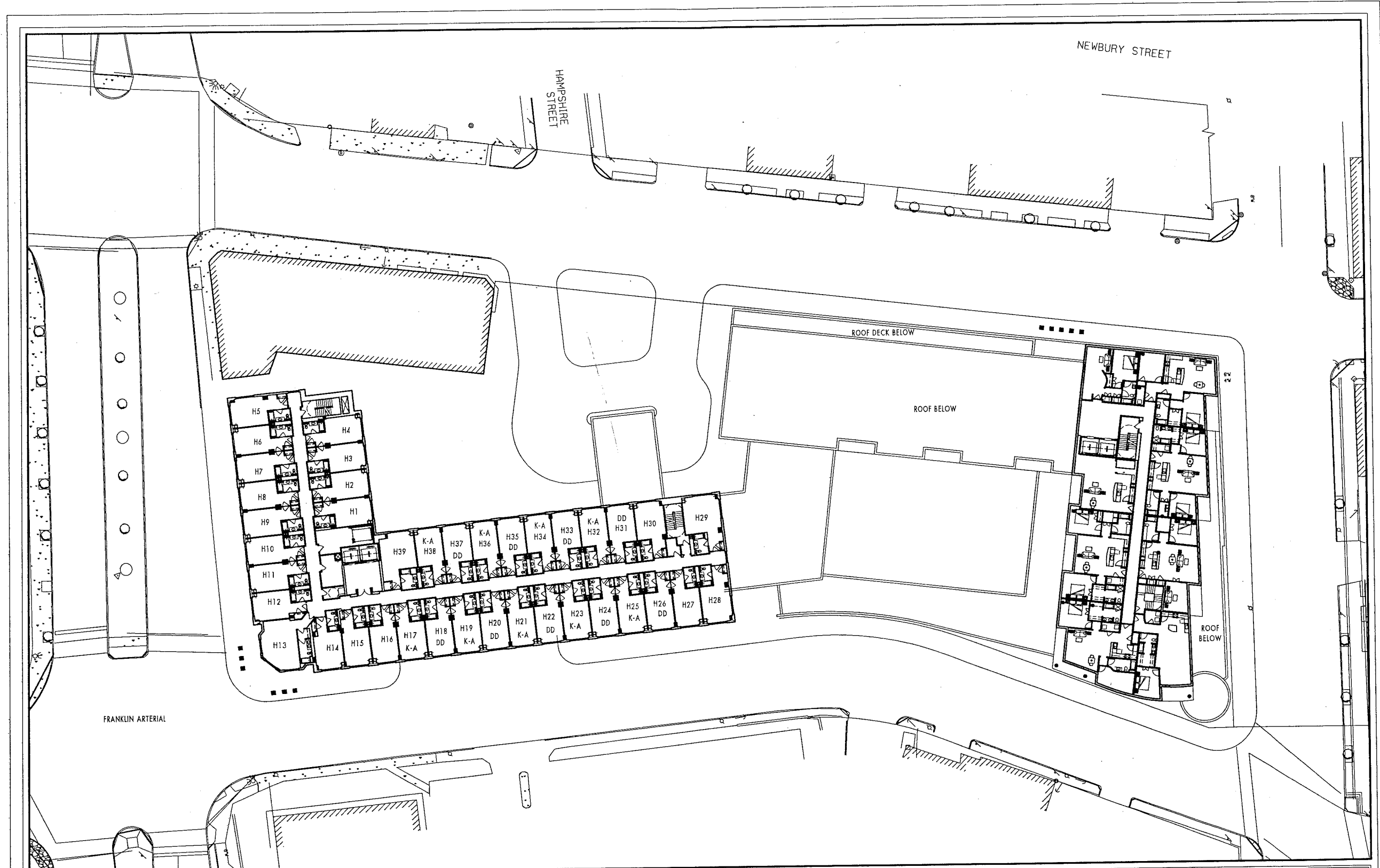


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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

BUILDING ELEVATIONS
1/16" = 1'-0"





COOPER CARRY

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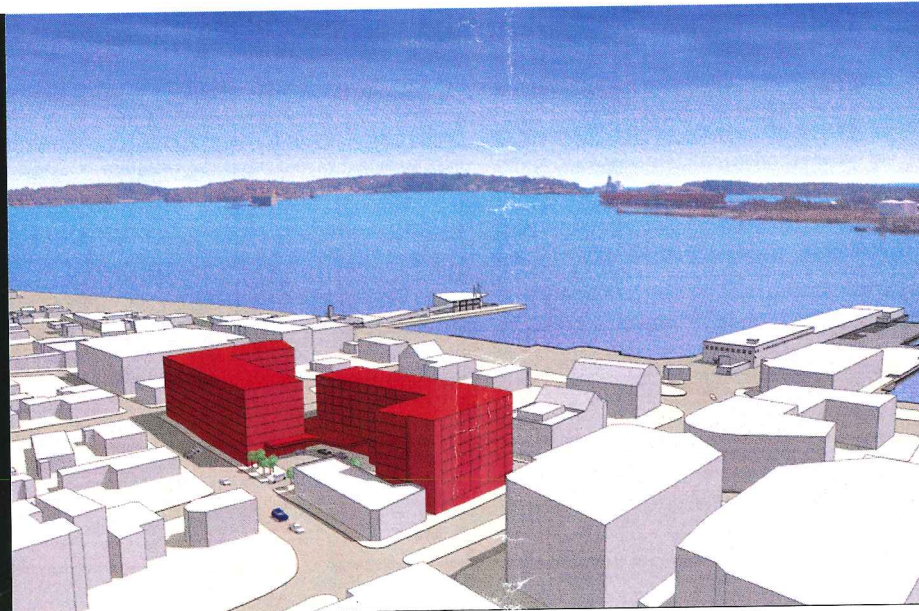
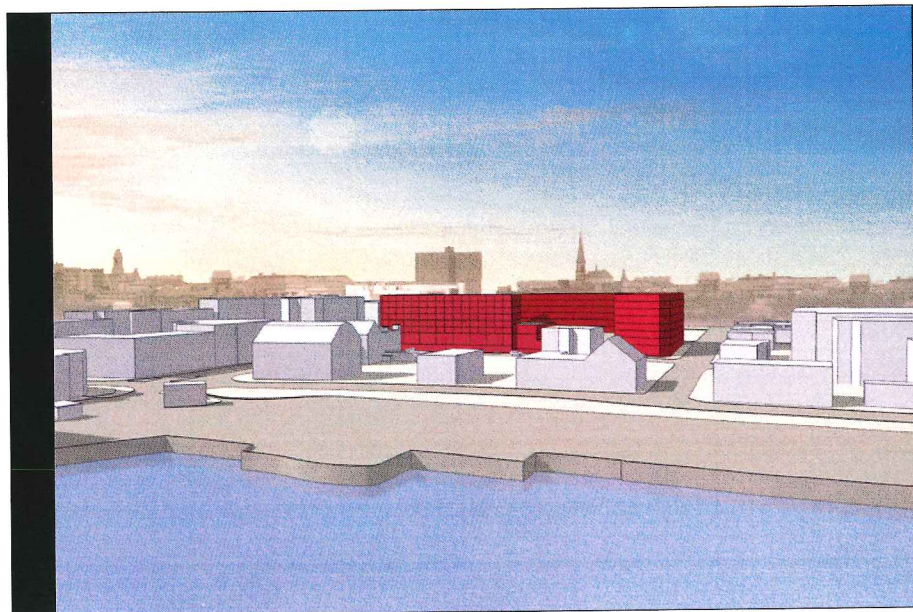
WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

LEVEL 9

1/16" = 1'-0"

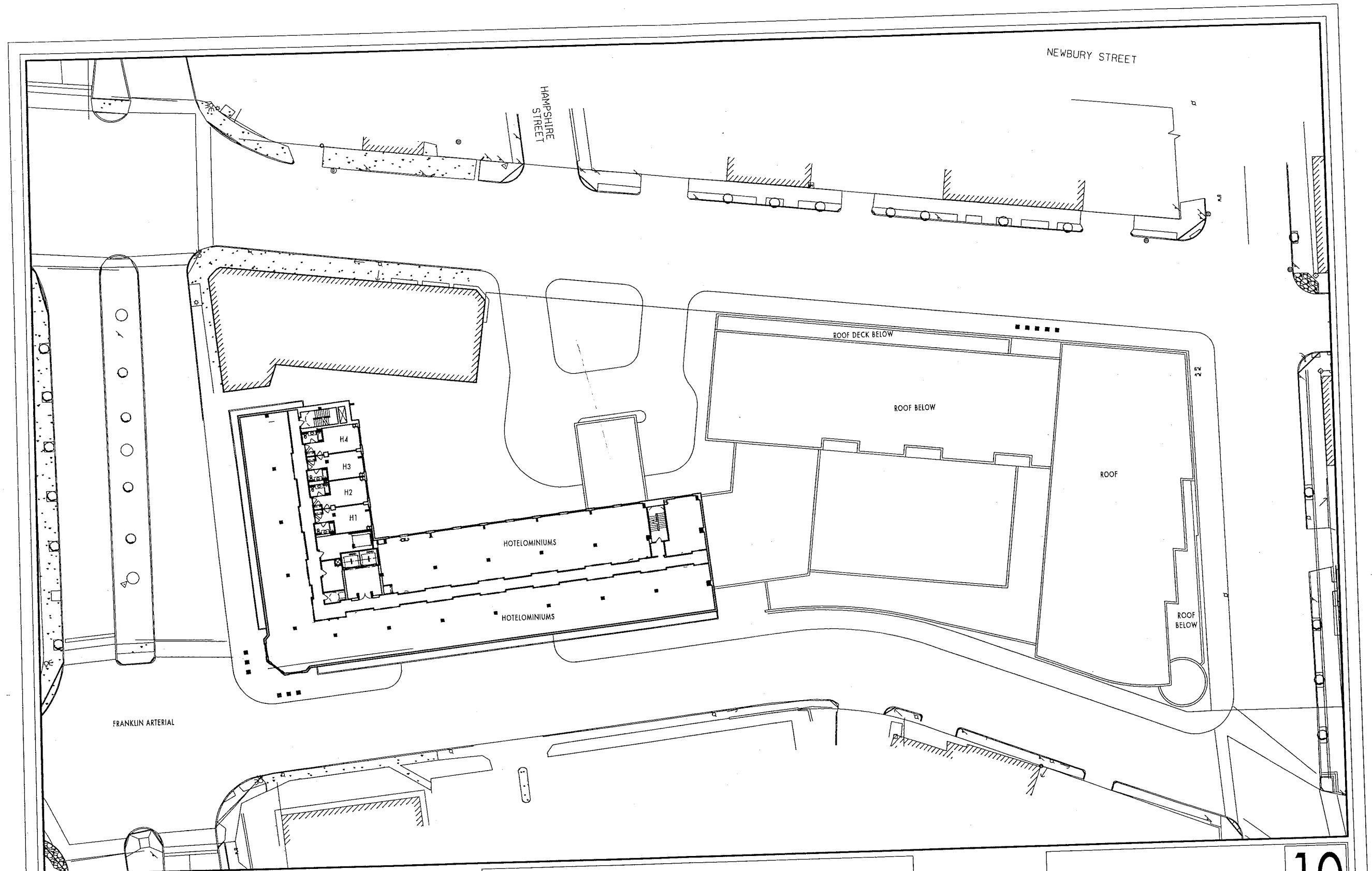
9

+101'-4"



WESTIN HOTEL and RESIDENCES

Community Development Committee
Submission 5/8/05



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WESTIN HOTEL and RESIDENCES PORTLAND

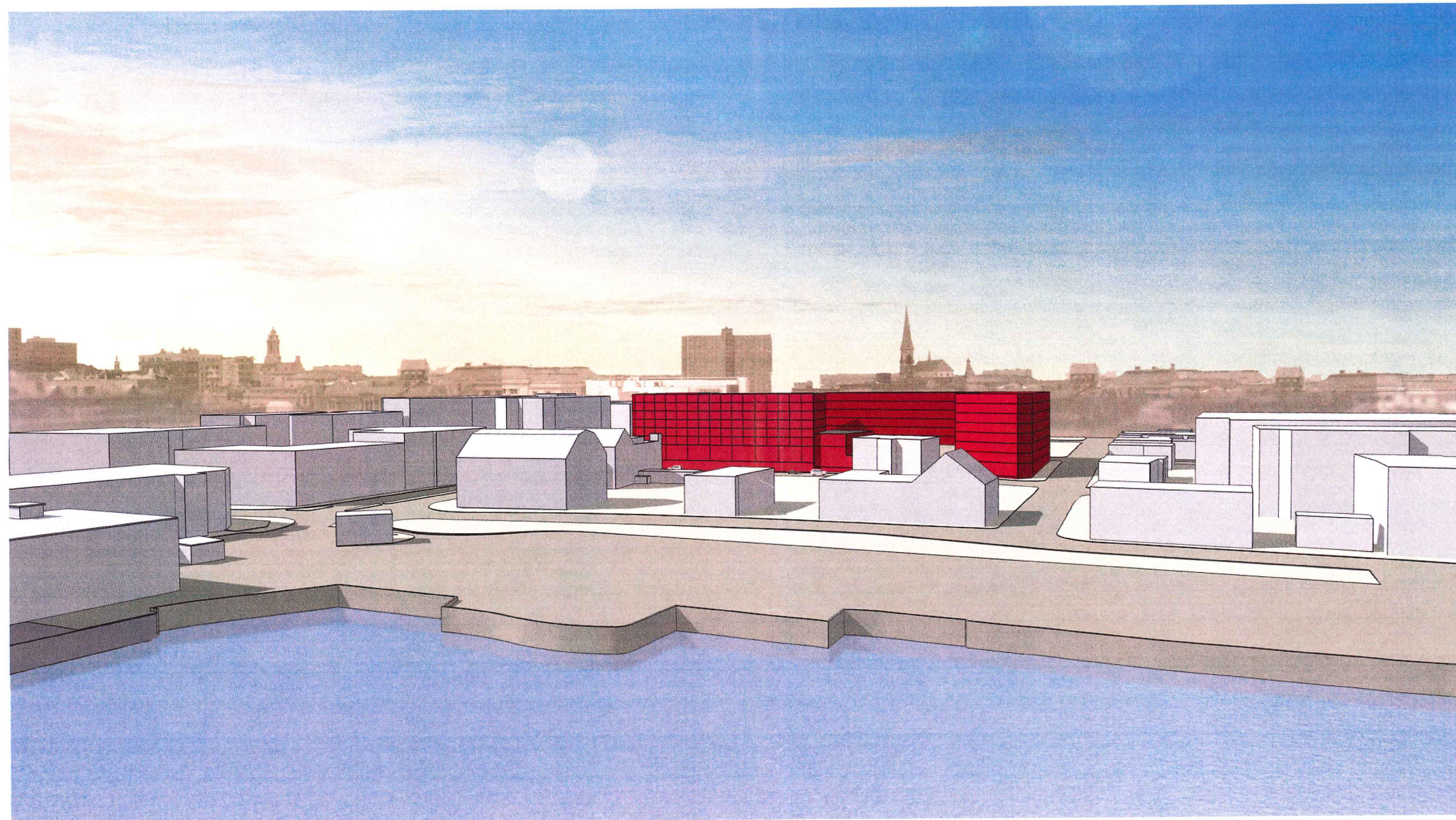
Portland, Maine

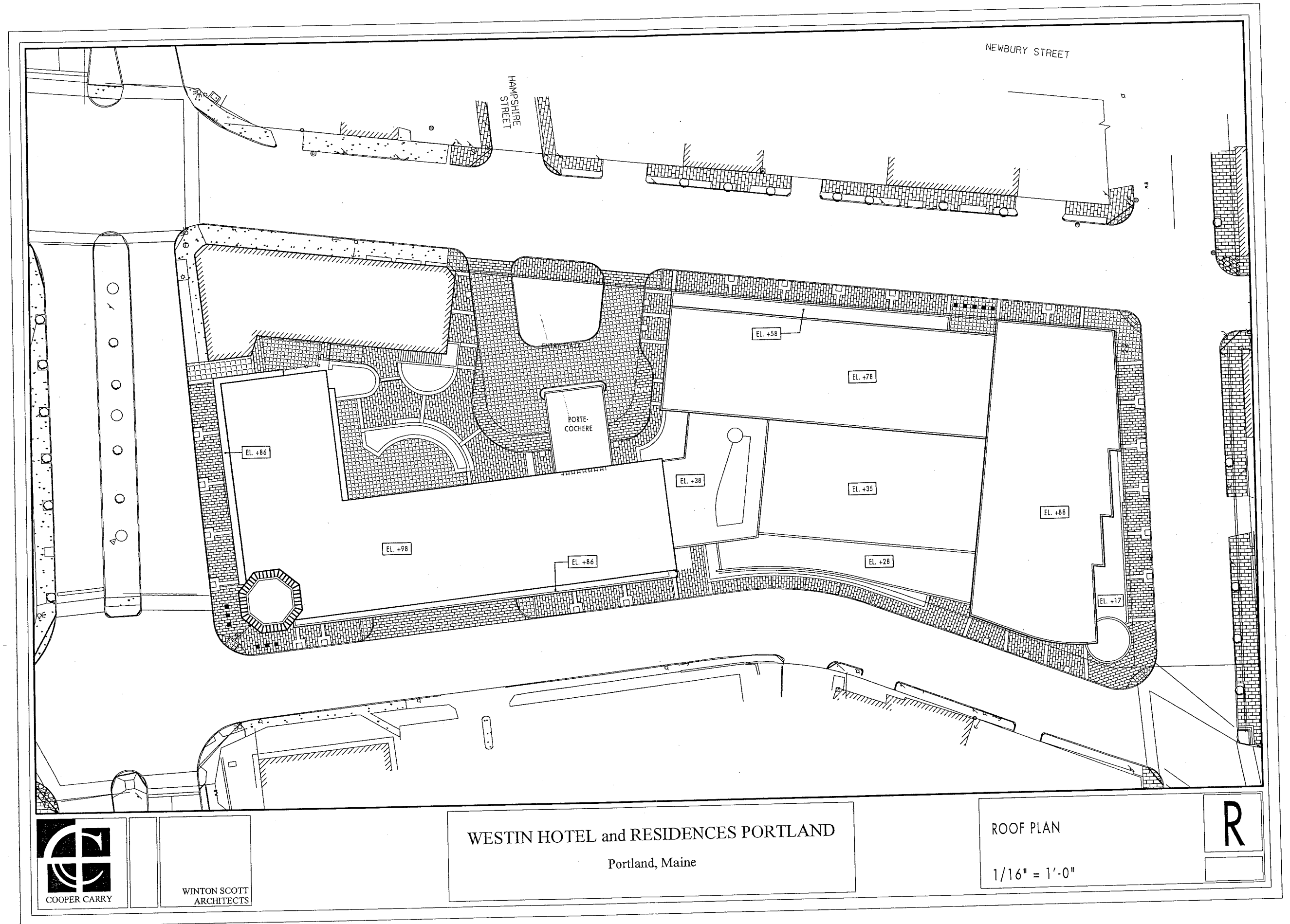
HOTELOMINIUM LEVEL

1/16" = 1'-0"

10

+111'-4"





COOPER CARRY

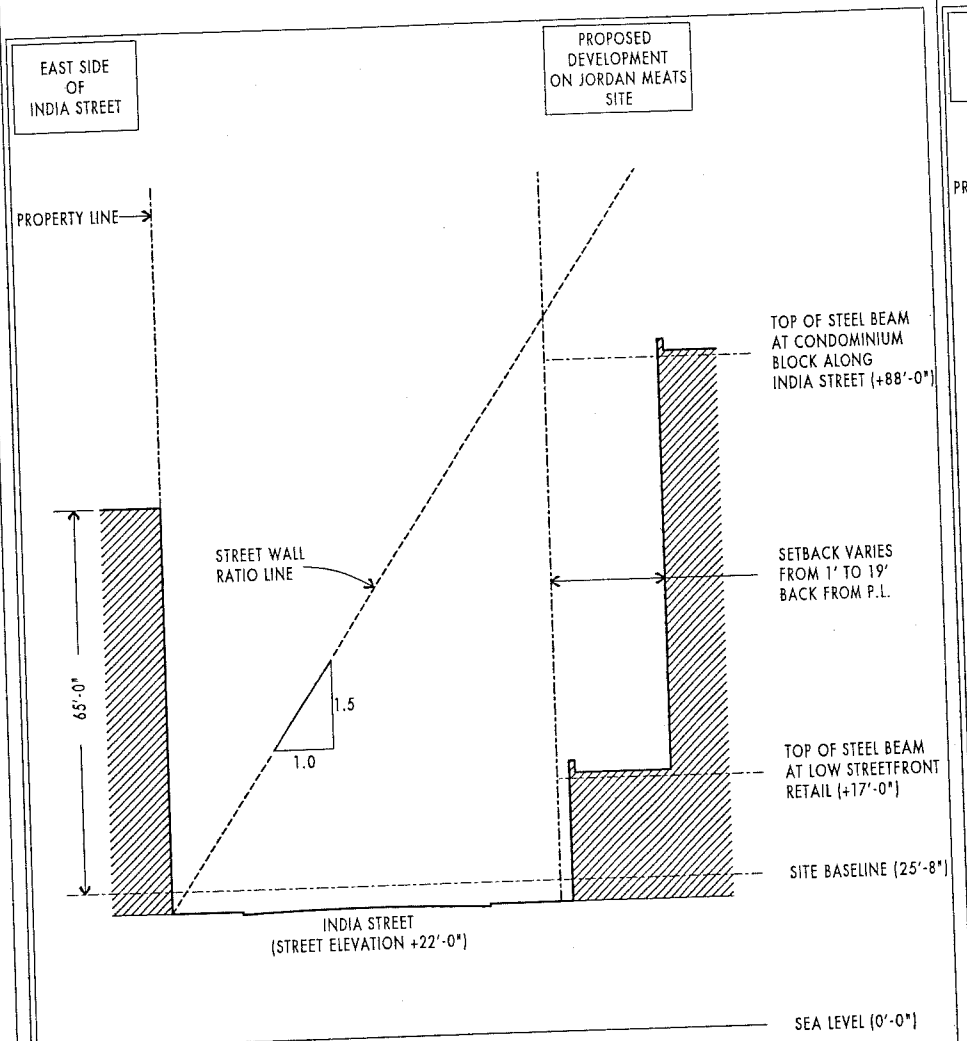
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WESTIN HOTEL and RESIDENCES PORTLAND
Portland, Maine

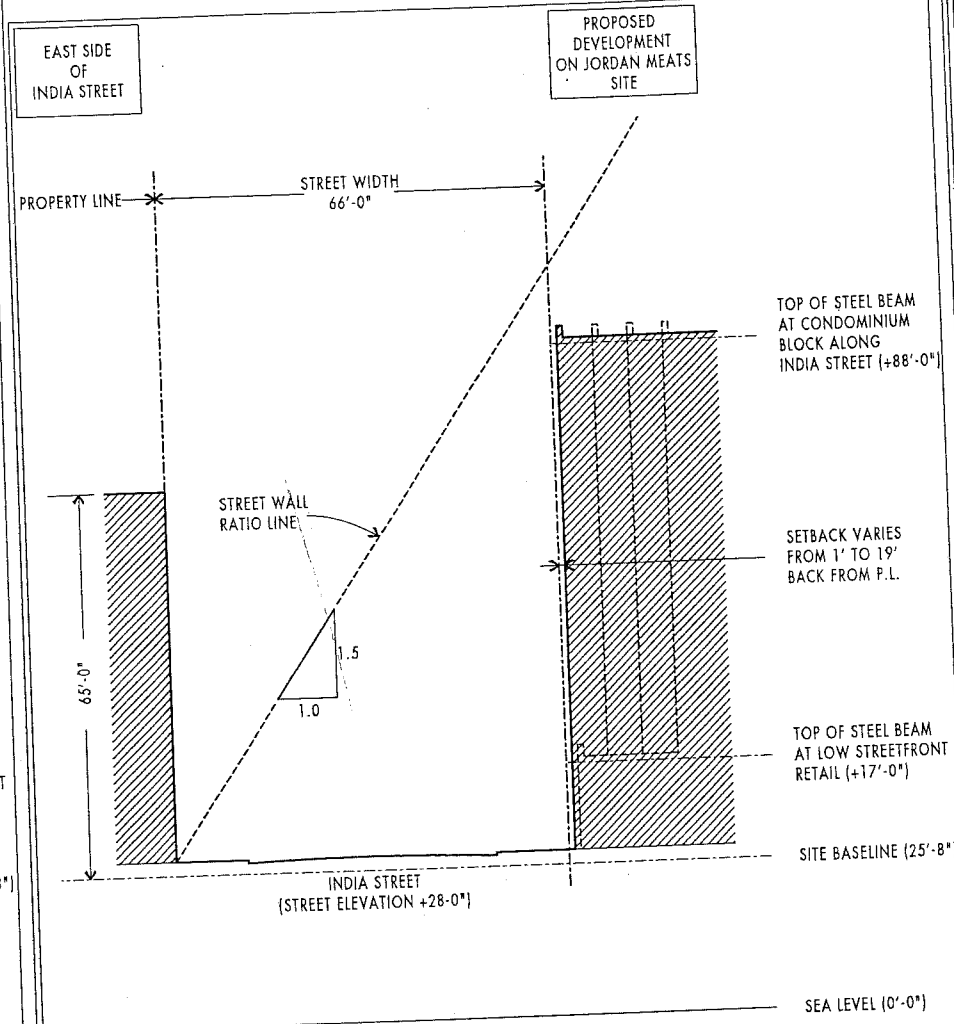
ROOF PLAN
1/16" = 1'-0"

R

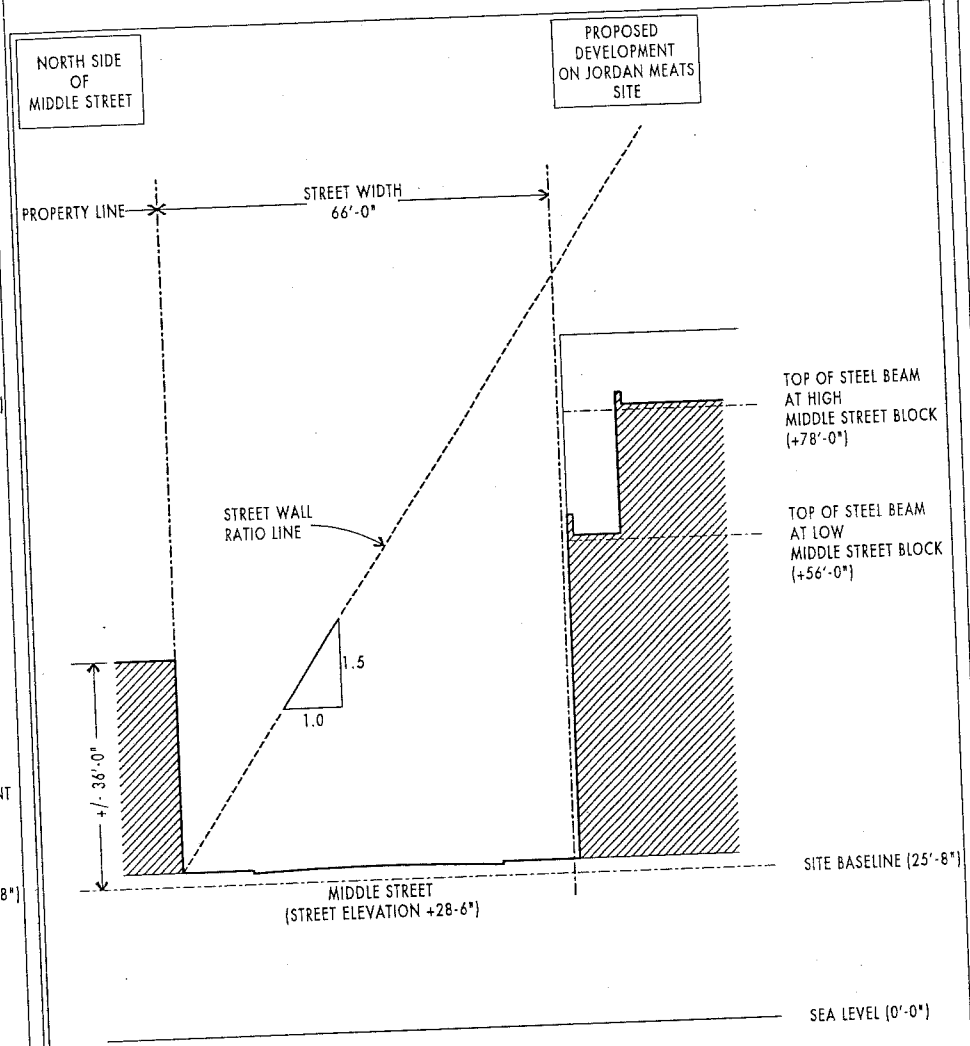




INDIA STREET
 @
 INTERSECTION WITH
 FORE STREET
 LOOKING TOWARDS PORTLAND HARBOR



INDIA STREET
 @
 INTERSECTION WITH
 MIDDLE STREET
 LOOKING TOWARDS PORTLAND HARBOR



MIDDLE STREET
 @
 MID-BLOCK
 LOOKING NORTHEAST

NOTE: THESE SECTIONS ARE BASED ON FIGURE 32 FROM THE "PORTLAND MAINE DOWNTOWN HEIGHT STUDY", DATED FEBRUARY 1989

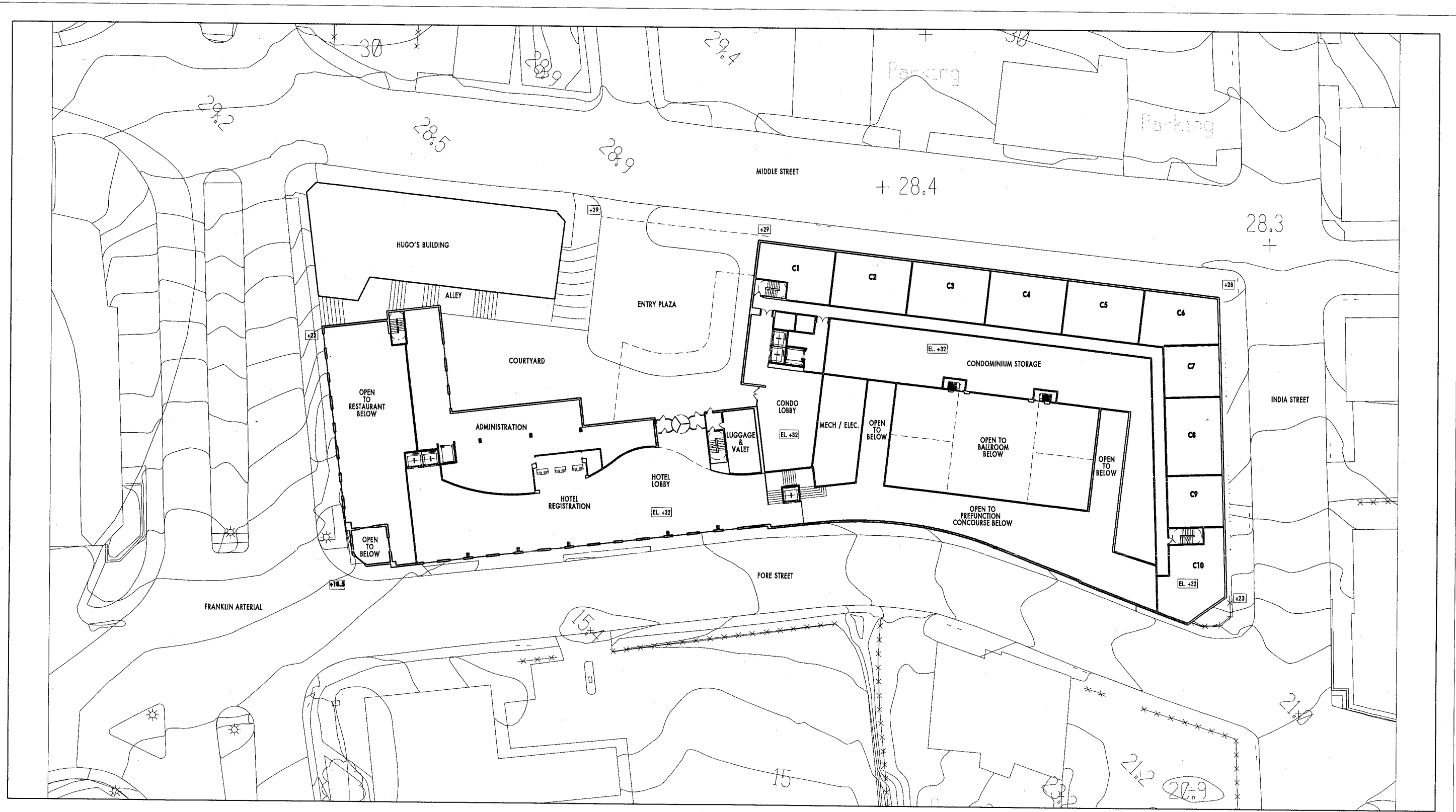


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WESTIN HOTEL and RESIDENCES PORTLAND
 Portland, Maine

STREET WALL SECTIONS

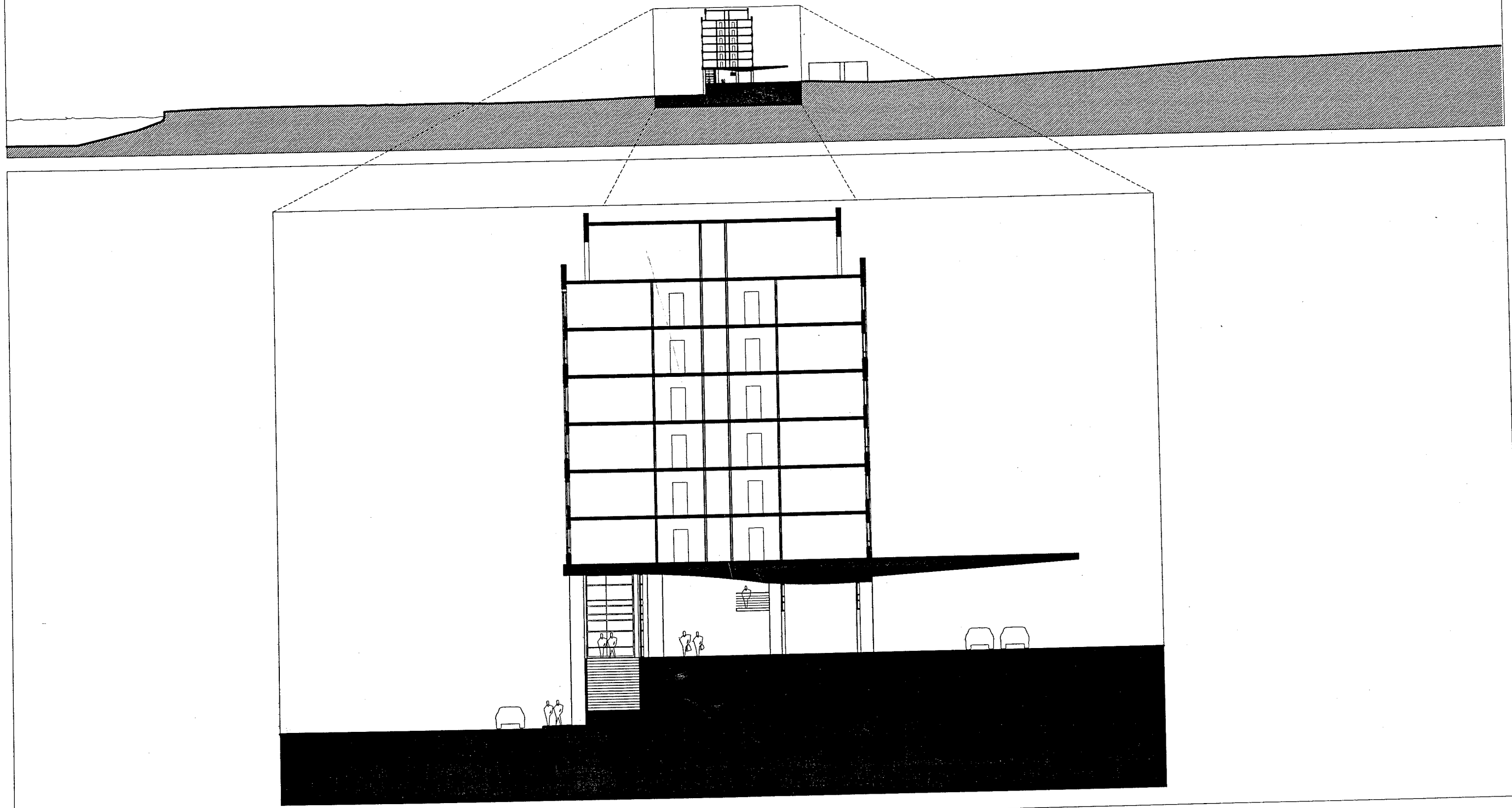
S
 SECTIONS



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WESTIN HOTEL AND RESIDENCES
PORTLAND, MAINE
JUNE 14, 2005

ENTRY LEVEL
ELEVATION +32'-0"
1" = 50'-0"



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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

SITE SECTION

1/8" = 1'-0"

S



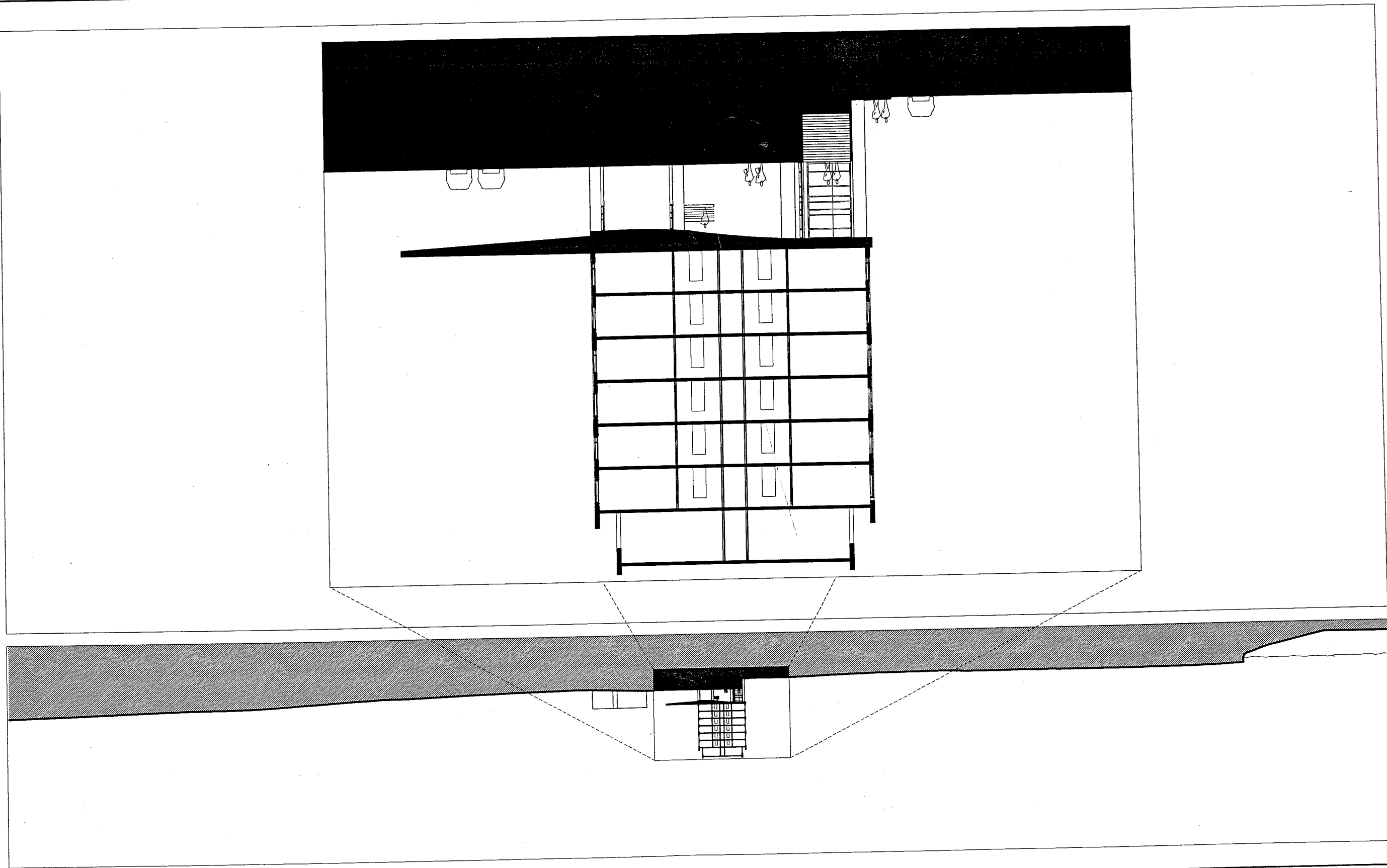
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WESTIN HOTEL and RESIDENCES PORTLAND

Portland, Maine

SITE SECTION
1/8" = 1'-0"

S

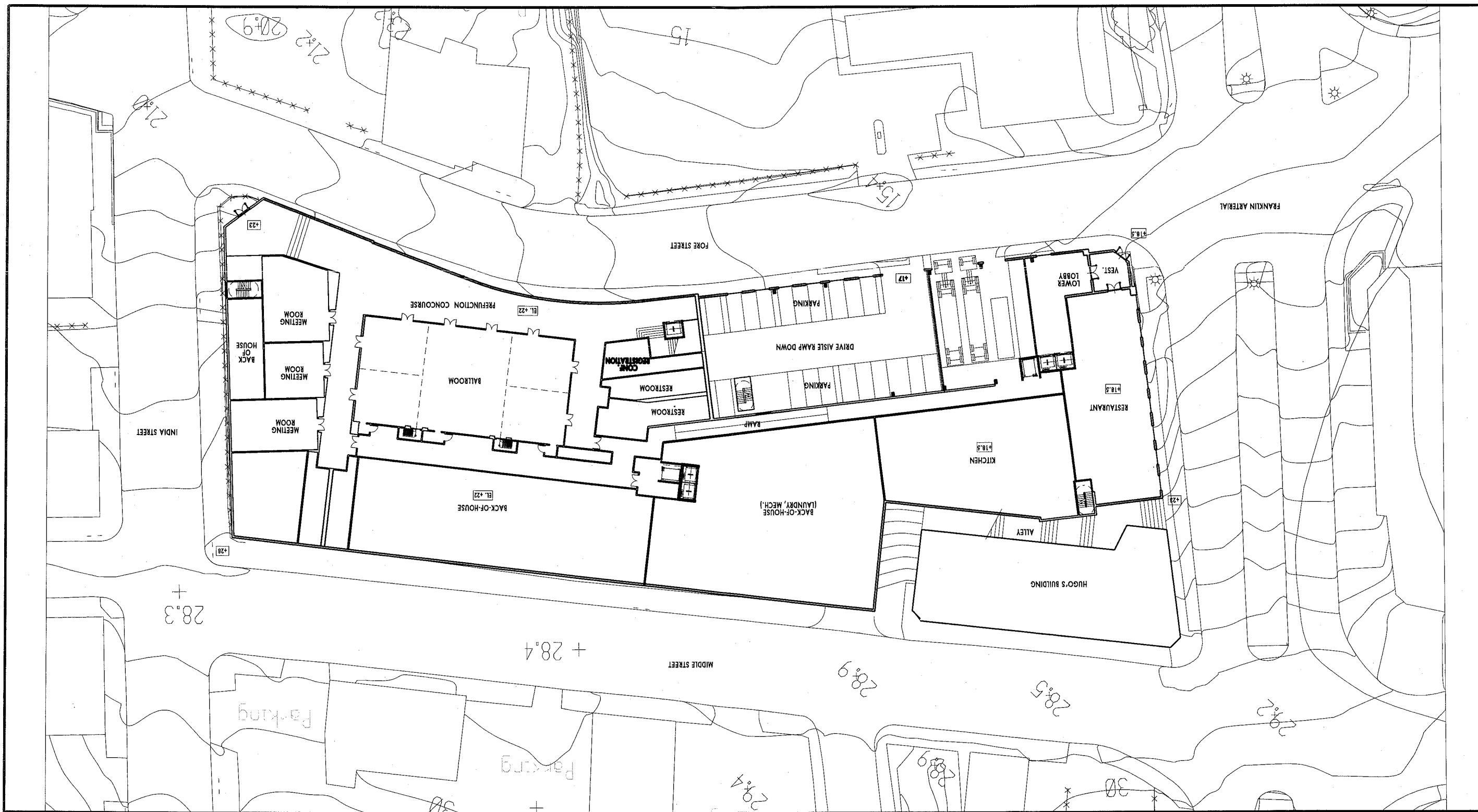




Winton Scott Architects

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE JUNE 14, 2005

FORE STREET LEVEL
ELEVATION +18.5 / +22
1" = 50'-0"





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WESTIN HOTEL and RESIDENCES PORTLAND

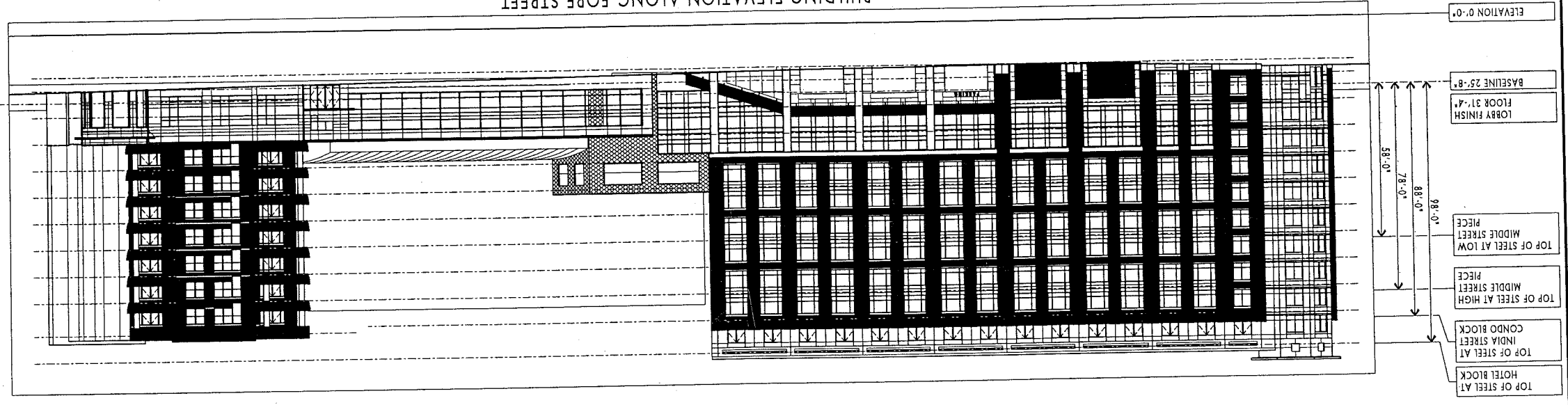
Portland, Maine

BUILDING ELEVATIONS

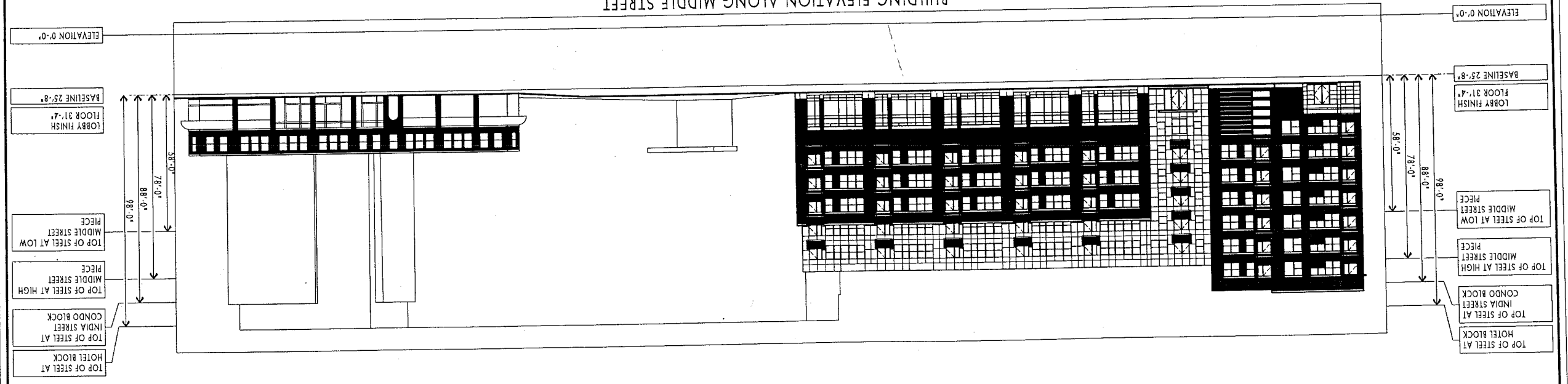
1/16" = 1'-0"

E

BUILDING ELEVATION ALONG FORE STREET



BUILDING ELEVATION ALONG MIDDLE STREET



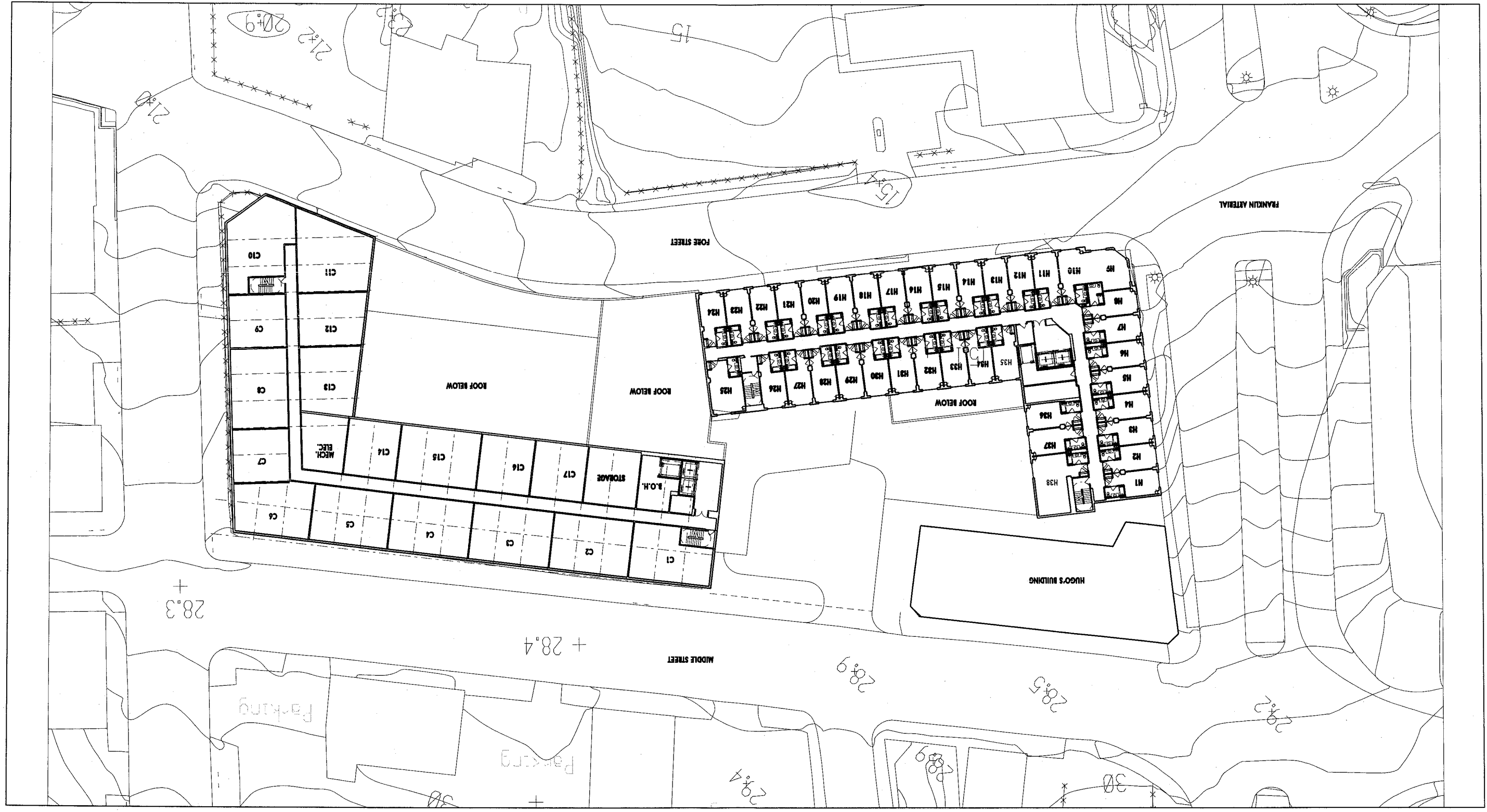
1" = 50'-0"

TYPICAL UPPER LEVEL

WESTIN HOTEL AND RESIDENCES PORTLAND, MAINE

JUNE 14, 2005

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PORTLAND MIXED USE PROJECT
 DIAGRAMMATIC SECTIONAL STUDY

