

29-L-1

207-209 Fore St.

2 Unit Condo.

Opechee Construction



Attachment 11c

Fore Street View
July 20, 2010

Parking Structure with Potential Future Building



Attachment 11b

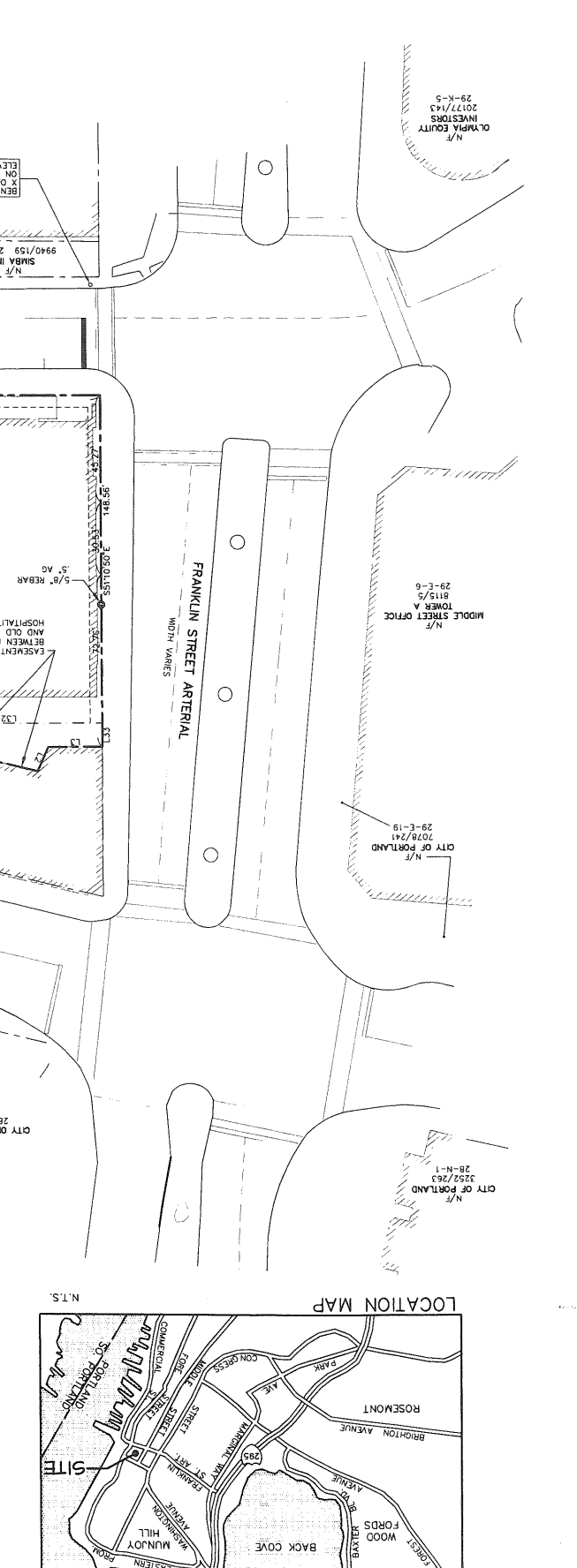
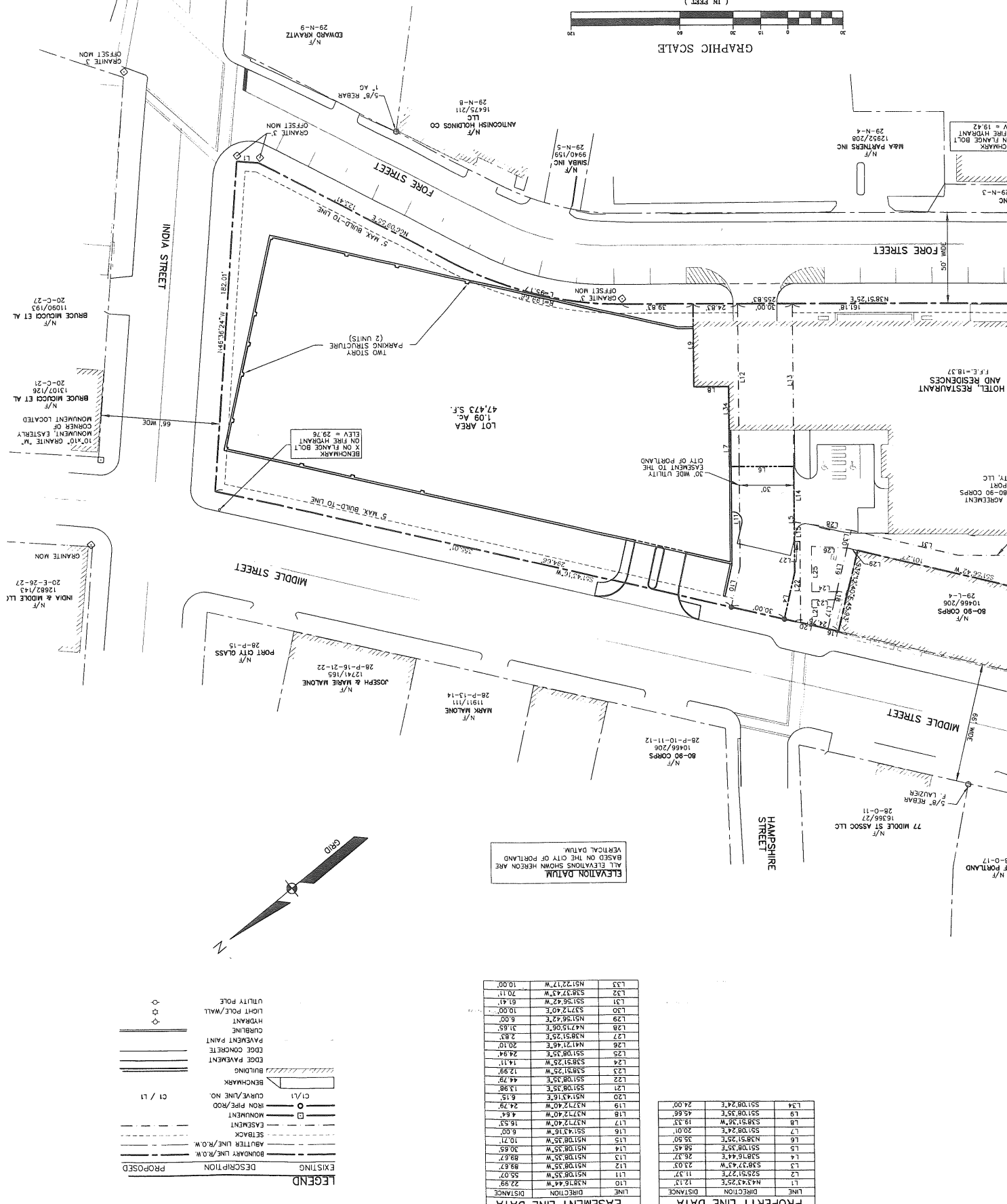
DATE: 02-22-10
 SCALE: 1"=20'
 DRAWN BY: SKL
 SHEET 1 OF 1
S01

SECTIONAL
 SUBDIVISION
 PLAN
 PORTLAND, ME
 PARKING
 LOT

OPETHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT, NH 03228
 PHONE: (603) 571-8889 FAX: (603) 237-9191

NO.	DATE	REVISION
1		PER SHEET REVIEW COMMENTS
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1. APPLICANT: FORD INDIA MIDDLE, LLC 11 CORPORATE DRIVE, BELMONT, NEW HAMPSHIRE 03228
 2. THE RECORD OF THE PROJECT IS FILED DATED 02/22/10 AT THE OFFICE OF THE CLERK OF COURTS, BELMONT, NEW HAMPSHIRE 03228.
 3. THE PROJECT IS A PORTION OF LOT 36 BLOCK 1 ON THE CITY OF PORTLAND TAX MAP 29.
 4. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
 5. BOUNDARY AND PROPORTION INFORMATION SHOWN HEREON IS BASED UPON AN OLD ALTA SURVEY THAT ALTA SURVEYING, INC. PERFORMED DATED DECEMBER 4, 2009 REVEALED THROUGH DEEDS.
 6. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
 7. SPACE AND BUILDING REGULATIONS FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
 (a) MIN. LOT SIZE: NONE
 (b) MIN. STREET FRONTAGE: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (c) MIN. LOT AREA: NONE
 (d) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (e) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (f) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (g) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (h) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (i) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (j) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (k) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
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 (m) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (n) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
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 (q) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (r) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (s) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (t) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (u) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (v) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (w) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (x) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (y) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 (z) MAX. BUILDING HEIGHT: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 8. APPLICANT INTENDS TO DEVELOP THE PROPERTY AS A PRIVATE CONDOMINIUM DEVELOPMENT THAT APPROXIMATELY 47,473 SQUARE FEET.
 9. THE CITY OF PORTLAND PLANNING BOARD HAS APPROVED THE SUBDIVISION OF THE PROPERTY INTO FOUR RESIDENTIAL TOWNHOUSE UNITS AND TWO PARKING SPACES ON THE LAND INTO TWO SUBDIVISIONS. UNDER THE SECTIONAL RECORDING ACT, THE APPLICANT WILL RETAIN RIGHTS TO CONSTRUCT ADDITIONAL UNITS.
 10. THE APPLICANT INTENDS TO DEVELOP THE PROPERTY AS A PRIVATE CONDOMINIUM DEVELOPMENT THAT APPROXIMATELY 47,473 SQUARE FEET.
 11. A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO TWO OR MORE LOTS, INCLUDING LOTS OR MORE WITHIN ANY ONE LOT, TRACT OR PARCEL OF LAND.
 12. THE APPLICANT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONDOMINIUM ASSOCIATION.
 13. THE APPLICANT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONDOMINIUM ASSOCIATION.
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 32. THE APPLICANT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONDOMINIUM ASSOCIATION.
 33. THE APPLICANT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONDOMINIUM ASSOCIATION.

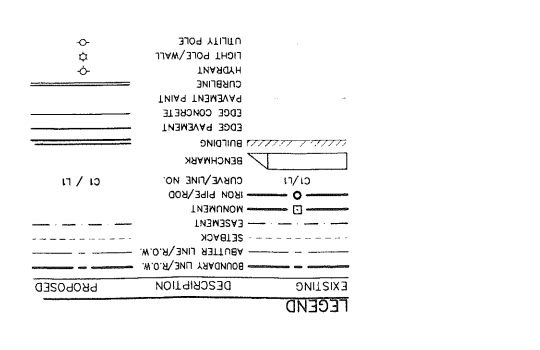


EASEMENT LINE DATA

LINE	DIRECTION	DISTANCE
L1	N38°42'25"E	22.99'
L2	S85°32'27"E	11.37'
L3	S81°16'44"E	28.37'
L4	S81°16'44"E	28.37'
L5	S81°16'44"E	28.37'
L6	N88°51'25"E	30.65'
L7	S81°16'44"E	28.37'
L8	N77°22'40"W	16.53'
L9	S81°16'44"E	28.37'
L10	N77°22'40"W	16.53'
L11	S81°16'44"E	28.37'
L12	S81°16'44"E	28.37'
L13	S81°16'44"E	28.37'
L14	S81°16'44"E	28.37'
L15	S81°16'44"E	28.37'
L16	S81°16'44"E	28.37'
L17	S81°16'44"E	28.37'
L18	N77°22'40"W	16.53'
L19	S81°16'44"E	28.37'
L20	S81°16'44"E	28.37'
L21	S81°16'44"E	28.37'
L22	S81°16'44"E	28.37'
L23	S81°16'44"E	28.37'
L24	S81°16'44"E	28.37'
L25	S81°16'44"E	28.37'
L26	S81°16'44"E	28.37'
L27	S81°16'44"E	28.37'
L28	S81°16'44"E	28.37'
L29	S81°16'44"E	28.37'
L30	S81°16'44"E	28.37'
L31	S81°16'44"E	28.37'
L32	S81°16'44"E	28.37'
L33	S81°16'44"E	28.37'

PROPERTY LINE DATA

LINE	DIRECTION	DISTANCE
L1	N38°42'25"E	22.99'
L2	S85°32'27"E	11.37'
L3	S81°16'44"E	28.37'
L4	S81°16'44"E	28.37'
L5	S81°16'44"E	28.37'
L6	N88°51'25"E	30.65'
L7	S81°16'44"E	28.37'
L8	N77°22'40"W	16.53'
L9	S81°16'44"E	28.37'
L10	N77°22'40"W	16.53'
L11	S81°16'44"E	28.37'
L12	S81°16'44"E	28.37'
L13	S81°16'44"E	28.37'
L14	S81°16'44"E	28.37'
L15	S81°16'44"E	28.37'
L16	S81°16'44"E	28.37'
L17	S81°16'44"E	28.37'
L18	N77°22'40"W	16.53'
L19	S81°16'44"E	28.37'
L20	S81°16'44"E	28.37'
L21	S81°16'44"E	28.37'
L22	S81°16'44"E	28.37'
L23	S81°16'44"E	28.37'
L24	S81°16'44"E	28.37'
L25	S81°16'44"E	28.37'
L26	S81°16'44"E	28.37'
L27	S81°16'44"E	28.37'
L28	S81°16'44"E	28.37'
L29	S81°16'44"E	28.37'
L30	S81°16'44"E	28.37'
L31	S81°16'44"E	28.37'
L32	S81°16'44"E	28.37'
L33	S81°16'44"E	28.37'



Attachment 12

PARKING LOT
FORE STREET
PORTLAND, MAINE

PREPARED BY:



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 527-9090 FAX (603) 527-9191

JUNE 22, 2010

SHEET INDEX:

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C02	EXISTING CONDITIONS	06-22-10
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C04b	SITE PLAN - (2ND FLOOR)	08-03-10
C05a	GRADING AND UTILITIES PLAN - (1ST FLOOR)	08-03-10
C05b	GRADING AND UTILITIES PLAN - (2ND FLOOR)	08-03-10
C06a	EROSION CONTROL PLAN - (1ST FLOOR)	08-03-10
C06b	EROSION CONTROL PLAN - (2ND FLOOR)	08-03-10
C07	LANDSCAPING PLAN	08-03-10
C08	LIGHTING PLAN	08-03-10
C09	CONSTRUCTION DETAILS	07-20-10
C10	DRAINAGE DETAILS	07-20-10

LAST REVISED

OWNER/APPLICANT:
FORE INDIA MIDDLE, LLC
11 CORPORATE DRIVE
BELMONT, NH 03320

AGENT:
OPECHEE CONSTRUCTION CORPORATION
11 CORPORATE DRIVE
BELMONT, NH 03220

DATE: 06-22-10
 SCALE: 1"=30'
 DRAWN BY: SML
 SHEET 1 OF 10
C01

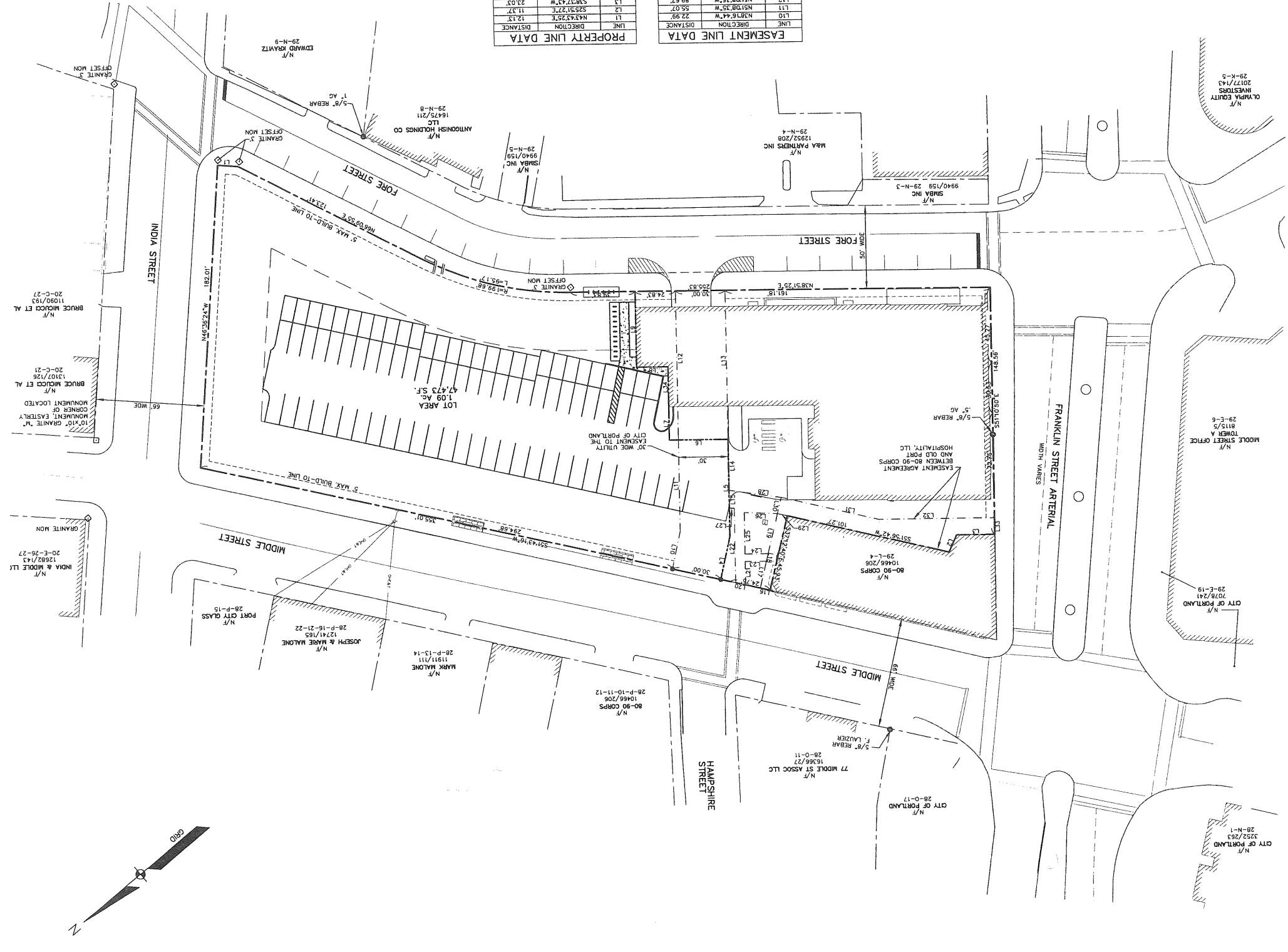
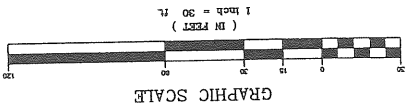
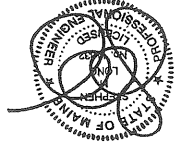
PROJECT:
PARKING LOT
 PORTLAND, ME

PROPERTY INFORMATION

OPETCHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT ME 05112
 PHONE (603) 371-9890 FAX (603) 371-9111

DATE	REVISION	REVISION SCHEDULE
1-20-10	PER STAFF REVIEW COMMENTS	

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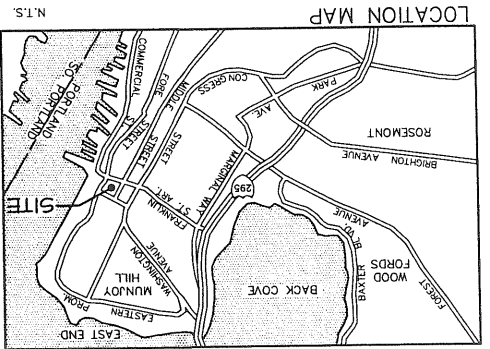


PROPERTY LINE DATA

LINE	DIRECTION	DISTANCE
L1	N43°17'20"E	12.13
L2	S25°51'27"E	11.57
L3	S38°14'21"W	23.03
L4	S31°16'44"E	26.37
L5	S51°08'30"E	30.65
L6	N38°51'25"E	35.50
L7	S51°08'30"E	20.01
L8	S38°14'21"W	19.33
L9	S51°08'30"E	45.66
L10	S51°08'30"E	24.00

EASEMENT LINE DATA

LINE	DIRECTION	DISTANCE
L10	N43°17'20"E	22.99
L11	N51°08'30"W	55.07
L12	N51°08'30"W	89.67
L13	N51°08'30"W	30.65
L14	N51°08'30"W	30.65
L15	N51°08'30"W	10.71
L16	S51°43'16"W	6.00
L17	N37°24'00"W	16.53
L18	N37°24'00"W	4.64
L19	N37°24'00"W	24.79
L20	N51°43'16"E	6.15
L21	S51°08'30"E	13.98
L22	S51°08'30"E	44.78
L23	S38°14'21"W	12.99
L24	S38°14'21"W	14.11
L25	S51°08'30"E	20.10
L26	N47°15'06"E	31.65
L27	N38°51'25"E	2.83
L28	N47°15'06"E	24.94
L29	S51°08'30"E	10.00
L30	S37°24'00"E	10.00
L31	S38°14'21"W	61.41
L32	S38°14'21"W	70.11
L33	N51°22'17"W	10.00



GENERAL NOTES:

- THE RECORD OWNER OF THE PARCEL IS FORE INDIA MIDDLE, LLC, 11 CORPORATE DRIVE, BELMONT, NEW HAMPSHIRE. NEW HAMPSHIRE DEED BOOK 27869 PAGE 66. DEEDS AND PLANS REFERENCED AS RECORDED ARE ON FILE AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORR).
- THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 S.F.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN APRIL OF 2005. WITH FIELD INSPECTION PERFORMED IN NOVEMBER OF 2009 AND JANUARY OF 2010 AND RESEARCH UPDATES PERFORMED IN FEBRUARY OF 2010.
- PLAN REFERENCES:
 - ALTA SURVEY LAND TITLE SURVEY OF JORDAN'S MEATS PROPERTY, FORE STREET, INDIA STREET, MIDDLE, FRANKLIN ST ARTERIAL, PORTLAND, MAINE. PREPARED BY SEBAGO TECHNICS DATED DECEMBER 4, 2010.
 - SUBDIVISION PLAN OF HOTEL, RESTAURANT AND PORTSIDE RESIDENCES 207 & 209 FORE STREET, PORTLAND, MAINE. PREPARED BY SEBAGO TECHNICS DATED FEBRUARY 10, 2010.
 - REVISIONS TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) PANEL NUMBER 220051 0014 B BY THE ENTIRE LOCUS PROPERTY IS LOCATED WITHIN THE CITY OF PORTLAND B-3 ZONE AND WITHIN THE DOWNTOWN ENTERTAINMENT OVERLAY ZONE. THE MIDDLE STREET AREA ABUTTING THE LOCUS SITE IS WITHIN THE PEDESTRIAN ENCOURAGED AREA WHICH IS NOT MANDATORY BUT ENCOURAGED.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) PANEL NUMBER 220051 0014 B BY THE ENTIRE LOCUS PROPERTY IS LOCATED WITHIN ZONE C AREAS OF MINIMAL FLOODING.

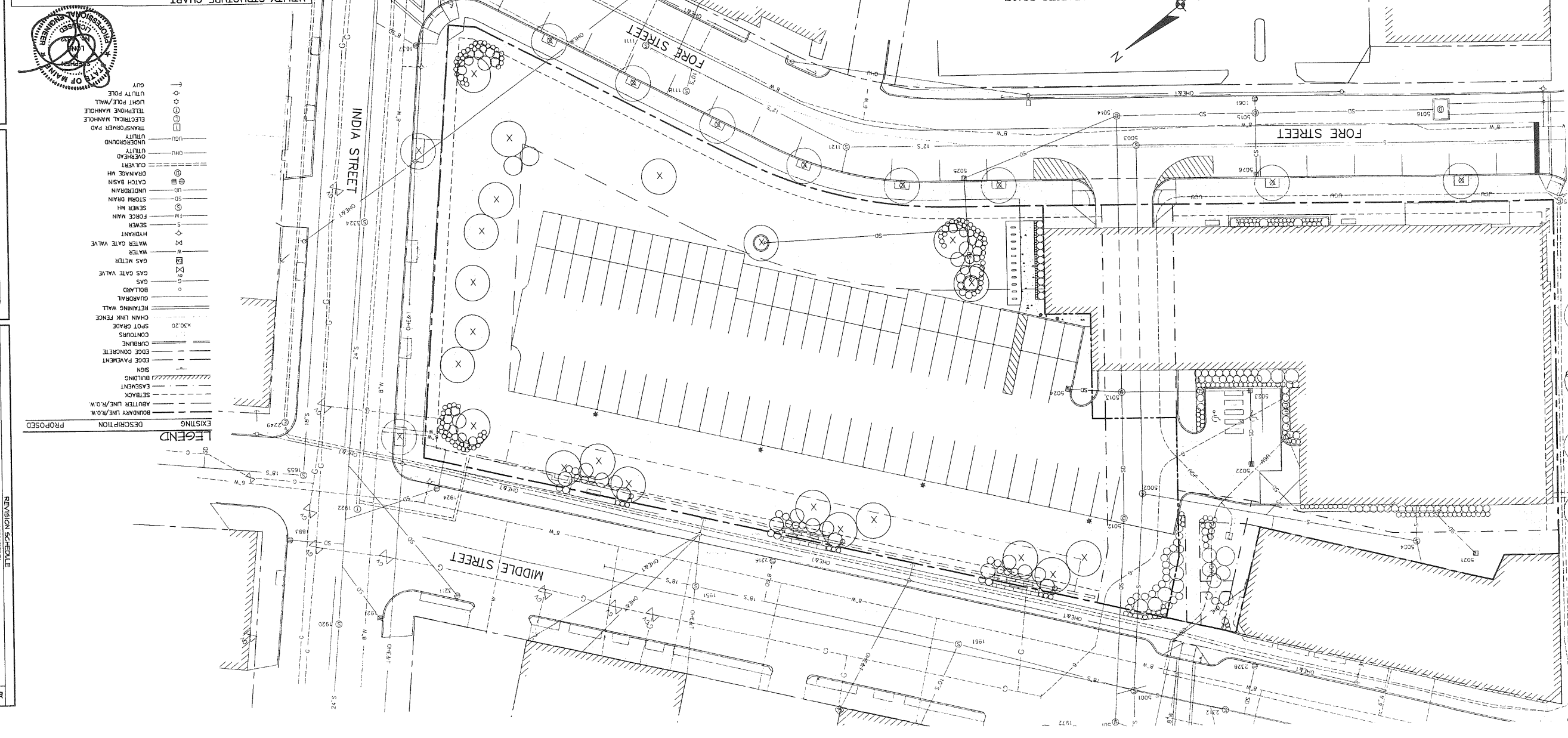
STRUCTURE #	STRUCTURE TYPE	INVERT ELEVATION (PLAN)	TO/FROM	OTHER #	OTHER TYPE	OTHER SIZE (INCHES)
1099	SMH	2109	TO/FROM			
1061	SMH	1825	TO/FROM			
1118	SMH	2041	TO/FROM			
1171	SMH	1899	TO/FROM			
1121	SMH	1923	TO/FROM			
1124	SMH	1728	TO/FROM			
1142	SMH	1822	TO/FROM			
1192	SMH	1728	TO/FROM			
1203	SMH	1923	TO/FROM			
1243	SMH	1899	TO/FROM			
1318	SMH	1825	TO/FROM			
1340	SMH	1672	TO/FROM			
1348	SMH	1728	TO/FROM			
1349	SMH	1825	TO/FROM			
1352	SMH	1825	TO/FROM			
1353	SMH	1825	TO/FROM			
1354	SMH	1825	TO/FROM			
1355	SMH	1825	TO/FROM			
1356	SMH	1825	TO/FROM			
1357	SMH	1825	TO/FROM			
1358	SMH	1825	TO/FROM			
1359	SMH	1825	TO/FROM			
1360	SMH	1825	TO/FROM			
1361	SMH	1825	TO/FROM			
1362	SMH	1825	TO/FROM			
1363	SMH	1825	TO/FROM			
1364	SMH	1825	TO/FROM			
1365	SMH	1825	TO/FROM			
1366	SMH	1825	TO/FROM			
1367	SMH	1825	TO/FROM			
1368	SMH	1825	TO/FROM			
1369	SMH	1825	TO/FROM			
1370	SMH	1825	TO/FROM			
1371	SMH	1825	TO/FROM			
1372	SMH	1825	TO/FROM			
1373	SMH	1825	TO/FROM			
1374	SMH	1825	TO/FROM			
1375	SMH	1825	TO/FROM			
1376	SMH	1825	TO/FROM			
1377	SMH	1825	TO/FROM			
1378	SMH	1825	TO/FROM			
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1380	SMH	1825	TO/FROM			
1381	SMH	1825	TO/FROM			
1382	SMH	1825	TO/FROM			
1383	SMH	1825	TO/FROM			
1384	SMH	1825	TO/FROM			
1385	SMH	1825	TO/FROM			
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1389	SMH	1825	TO/FROM			
1390	SMH	1825	TO/FROM			
1391	SMH	1825	TO/FROM			
1392	SMH	1825	TO/FROM			
1393	SMH	1825	TO/FROM			
1394	SMH	1825	TO/FROM			
1395	SMH	1825	TO/FROM			
1396	SMH	1825	TO/FROM			
1397	SMH	1825	TO/FROM			
1398	SMH	1825	TO/FROM			
1399	SMH	1825	TO/FROM			
1400	SMH	1825	TO/FROM			

STRUCTURE #	STRUCTURE TYPE	INVERT ELEVATION (PLAN)	TO/FROM	OTHER #	OTHER TYPE	OTHER SIZE (INCHES)
1500	SMH	2107	TO/FROM			
1542	SMH	2073	TO/FROM			
1544	SMH	2129	TO/FROM			
1545	SMH	2129	TO/FROM			
1546	SMH	2129	TO/FROM			
1547	SMH	2129	TO/FROM			
1548	SMH	2129	TO/FROM			
1549	SMH	2129	TO/FROM			
1550	SMH	2129	TO/FROM			
1551	SMH	2129	TO/FROM			
1552	SMH	2129	TO/FROM			
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1554	SMH	2129	TO/FROM			
1555	SMH	2129	TO/FROM			
1556	SMH	2129	TO/FROM			
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1569	SMH	2129	TO/FROM			
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1572	SMH	2129	TO/FROM			
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1574	SMH	2129	TO/FROM			
1575	SMH	2129	TO/FROM			
1576	SMH	2129	TO/FROM			
1577	SMH	2129	TO/FROM			
1578	SMH	2129	TO/FROM			
1579	SMH	2129	TO/FROM			
1580	SMH	2129	TO/FROM			

STRUCTURE #	STRUCTURE TYPE	INVERT ELEVATION (PLAN)	TO/FROM	OTHER #	OTHER TYPE	OTHER SIZE (INCHES)
1855	SMH	2827	TO/FROM			
1856	SMH	2827	TO/FROM			
1857	SMH	2827	TO/FROM			
1858	SMH	2827	TO/FROM			
1859	SMH	2827	TO/FROM			
1860	SMH	2827	TO/FROM			
1861	SMH	2827	TO/FROM			
1862	SMH	2827	TO/FROM			
1863	SMH	2827	TO/FROM			
1864	SMH	2827	TO/FROM			
1865	SMH	2827	TO/FROM			
1866	SMH	2827	TO/FROM			
1867	SMH	2827	TO/FROM			
1868	SMH	2827	TO/FROM			
1869	SMH	2827	TO/FROM			
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1874	SMH	2827	TO/FROM			
1875	SMH	2827	TO/FROM			
1876	SMH	2827	TO/FROM			
1877	SMH	2827	TO/FROM			
1878	SMH	2827	TO/FROM			
1879	SMH	2827	TO/FROM			
1880	SMH	2827	TO/FROM			

STRUCTURE #	STRUCTURE TYPE	INVERT ELEVATION (PLAN)	TO/FROM	OTHER #	OTHER TYPE	OTHER SIZE (INCHES)
2061	SMH	1951	TO/FROM			
2062	SMH	1951	TO/FROM			
2063	SMH	1951	TO/FROM			
2064	SMH	1951	TO/FROM			
2065	SMH	1951	TO/FROM			
2066	SMH	1951	TO/FROM			
2067	SMH	1951	TO/FROM			
2068	SMH	1951	TO/FROM			
2069	SMH	1951	TO/FROM			
2070	SMH	1951	TO/FROM			
2071	SMH	1951	TO/FROM			
2072	SMH	1951	TO/FROM			
2073	SMH	1951	TO/FROM			
2074	SMH	1951	TO/FROM			
2075	SMH	1951	TO/FROM			
2076	SMH	1951	TO/FROM			
2077	SMH	1951	TO/FROM			
2078	SMH	1951	TO/FROM			
2079	SMH	1951	TO/FROM			
2080	SMH	1951	TO/FROM			

STRUCTURE #	STRUCTURE TYPE	INVERT ELEVATION (PLAN)	TO/FROM	OTHER #	OTHER TYPE	OTHER SIZE (INCHES)
2249	SMH	1857	TO/FROM			
2250	SMH	1857	TO/FROM			
2251	SMH	1857	TO/FROM			
2252	SMH	1857	TO/FROM			
2253	SMH	1857	TO/FROM			
2254	SMH	1857	TO/FROM			
2255	SMH	1857	TO/FROM			
2256	SMH	1857	TO/FROM			
2257	SMH	1857	TO/FROM			
2258	SMH	1857	TO/FROM			
2259	SMH	1857	TO/FROM			
2260	SMH	1857	TO/FROM			
2261	SMH	1857	TO/FROM			
2262	SMH	1857	TO/FROM			
2263	SMH	1857	TO/FROM			
2264	SMH	1857	TO/FROM			
2265	SMH	1857	TO/FROM			
2266	SMH	1857	TO/FROM			
2267	SMH	1857	TO/FROM			
2268	SMH	1857	TO/FROM			
2269	SMH	1857	TO/FROM			
2270	SMH	1857	TO/FROM			



DATE: 06-22-10
SCALE: 1"=30'
DRAWN BY: SML
SHEET: 2 OF 10

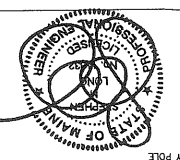
PROJECT: PARKING LOT
PORTLAND, ME

EXISTING CONDITIONS

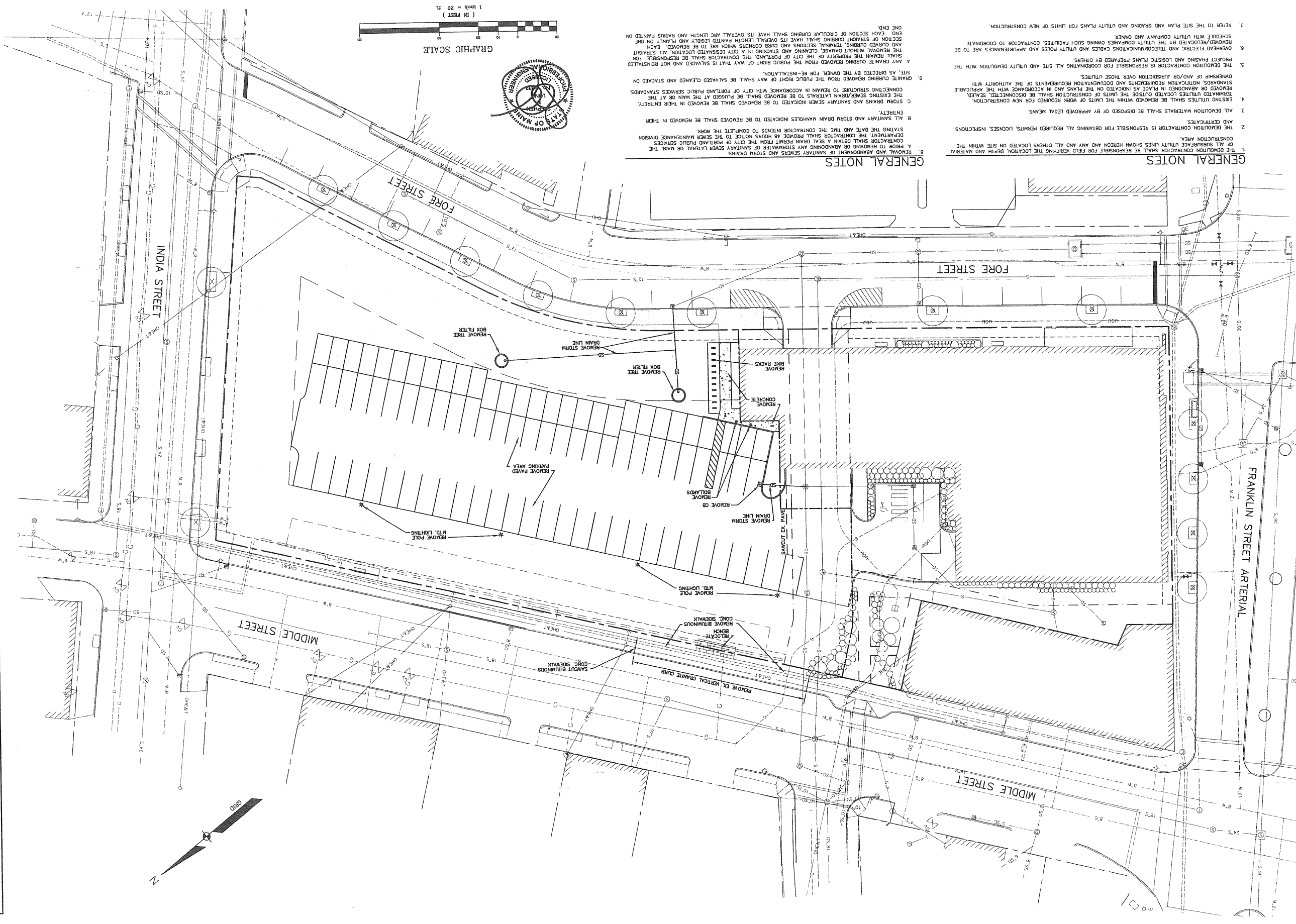
OPENCEE
CONSTRUCTION CORPORATION
11 COMMERCE AVENUE, PORTLAND, ME 04103
PHONE: (603) 237-8800 FAX: (603) 517-4161

DATE: 1-20-10
REVISED SCHEDULE
NON-CONSTRUCTION

FOR STAFF REVIEW COMMENTS
SML
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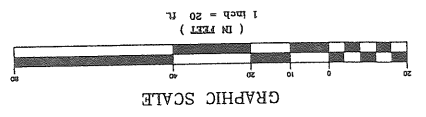
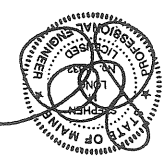


LEGEND
 PROPOSED DESCRIPTION
 EXISTING DESCRIPTION
 BOUNDARY LINE/R.O.W.
 CASBACK
 CASCKENT
 BUILDING
 SIGN
 EDGE PAVEMENT
 CONCRET
 CURBLINE
 CONTOURS
 SPOT GRADE
 CHAIN LINK FENCE
 RETAINING WALL
 QUADRANT
 BOLLARD
 GAS
 GAS WATER VALVE
 WATER
 WATER GATE VALVE
 HYDRANT
 SEWER
 FORCE MAIN
 SEWER MH
 STORM DRAIN
 CATCH BASIN
 DRAINAGE MH
 CULVERT
 OVERHEAD
 UNDERGROUND
 UTILITY
 TRANSFORMER PAD
 ELECTRICAL MANHOLE
 TELEPHONE MANHOLE
 LIGHT POLE/WALL
 UTILITY POLE
 GUY



- GENERAL NOTES**
1. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
 2. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND CERTIFICATES.
 3. ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF BY APPROVED LEGAL MEANS.
 4. EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. TERMINATED UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE DISCONNECTED, SEPARATED OR ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS, NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP OF ANY/OR JURISDICTION OVER THOSE UTILITIES.
 5. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH THE PROJECT PHYSICIAN AND LOGISTICS PLANS PREPARED BY OTHERS.
 6. OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND UTILITY POLES AND APPURTENANCES ARE TO BE REMOVED/RELOCATED BY THE UTILITY COMPANIES OWNING SUCH FACILITIES. CONTRACTOR TO COORDINATE SCHEDULE WITH UTILITY COMPANY AND OWNER.
 7. REFER TO THE SITE PLAN AND GRADING AND UTILITY PLANS FOR LIMITS OF NEW CONSTRUCTION.

- GENERAL NOTES**
8. REMOVAL AND ABANDONMENT OF SANITARY SEWERS AND STORM DRAINS. CONTRACTOR SHALL OBTAIN A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION PRIOR TO REMOVAL OR ABANDONMENT OF SANITARY SEWERS OR STORM DRAINS.
 9. REMOVE EX. VERTICAL GRANITE CURB.
 10. REMOVE EX. SANITARY SEWER BRANCH.
 11. REMOVE EX. CONCRETE SEWERWALK.
 12. REMOVE EX. SANITARY BRANCH.
 13. REMOVE EX. CONCRETE SEWERWALK.
 14. REMOVE EX. SANITARY BRANCH.
 15. REMOVE EX. CONCRETE SEWERWALK.
 16. REMOVE EX. SANITARY BRANCH.
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 96. REMOVE EX. SANITARY BRANCH.
 97. REMOVE EX. CONCRETE SEWERWALK.
 98. REMOVE EX. SANITARY BRANCH.
 99. REMOVE EX. CONCRETE SEWERWALK.
 100. REMOVE EX. SANITARY BRANCH.



DATE: 06-22-10	PROJECT: PARKING LOT	<p>COPCHEE CONSTRUCTION CORPORATION 11 CORPORATE DRIVE, BELMONT NH 03220 PHONE (603) 537-8008 FAX (603) 232-9191</p>						
SCALE: 1"=20'	POSTLAND, ME							
DRAWN BY: SML	DEMOLITION PLAN	<table border="1"> <tr> <th>DATE</th> <th>REVISION SCHEDULE</th> </tr> <tr> <td>7-20-10</td> <td>PER STAFF REVIEW COMMENTS</td> </tr> <tr> <td>8-03-10</td> <td>PER STAFF REVIEW COMMENTS</td> </tr> </table>	DATE	REVISION SCHEDULE	7-20-10	PER STAFF REVIEW COMMENTS	8-03-10	PER STAFF REVIEW COMMENTS
DATE	REVISION SCHEDULE							
7-20-10	PER STAFF REVIEW COMMENTS							
8-03-10	PER STAFF REVIEW COMMENTS							
SHEET: 3 OF 10		<table border="1"> <tr> <td>BY</td> <td>SML</td> </tr> <tr> <td>DATE</td> <td>06-22-10</td> </tr> </table>	BY	SML	DATE	06-22-10		
BY	SML							
DATE	06-22-10							

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C04a
 SHEET: 40 OF 10
 DRAWN BY: SKL
 DATE: 08-22-10
 SCALE: 1"=20'

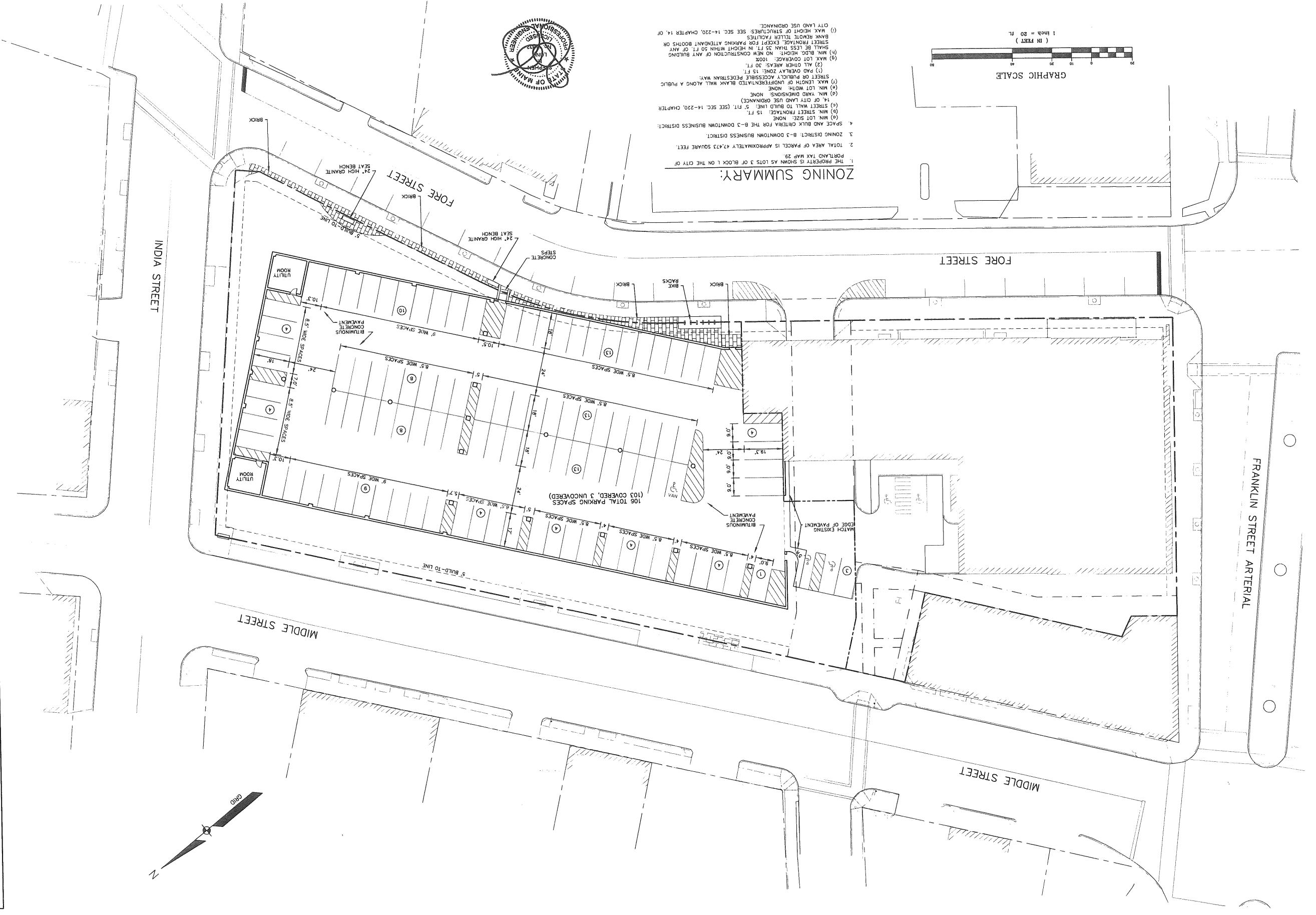
PROJECT: PARKING LOT
 PORTLAND, ME

SITE PLAN
 (FIRST FLOOR)

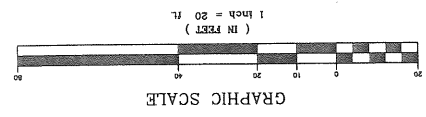
OPECHEE
 CONSTRUCTION CORPORATION
 11 CORNACI DRIVE, BELMONT NH 03316
 PHONE: (603) 851-1830 FAX: (603) 851-5444

DATE	REVISION SCHEDULE
1-20-10	PER STAFF REVIEW COMMENTS
8-03-10	PER STAFF REVIEW COMMENTS
8-04-10	PER STAFF REVIEW COMMENTS

BY: SKL
 DATE: 8/24/10
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- ZONING SUMMARY:
1. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK 1 ON THE CITY OF PORTLAND TAX MAP 28.
 2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
 3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
 4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
 - (a) MIN. LOT SIZE: NONE
 - (b) MIN. STREET FRONTAGE: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 - (c) STREET WALL TO BUILD LINE: 5 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 - (d) MIN. YARD DIMENSIONS: NONE
 - (e) MAX. LENGTH OF UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY: NONE
 - (f) MAX. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 35 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK SERVICE TELLER FACILITIES
 - (g) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE.
 - (1) ALL OTHER AREAS: 30 FT.
 - (2) MAX. LOT COVERAGE: 100%
 - (3) MIN. BULK CRITERIA: NONE
 - (4) MIN. BULK CRITERIA: NONE



DATE: 06-22-10
 SCALE: 1"=20'
 DRAWN BY: SHL
 SHEET: 40 OF 10
C04b

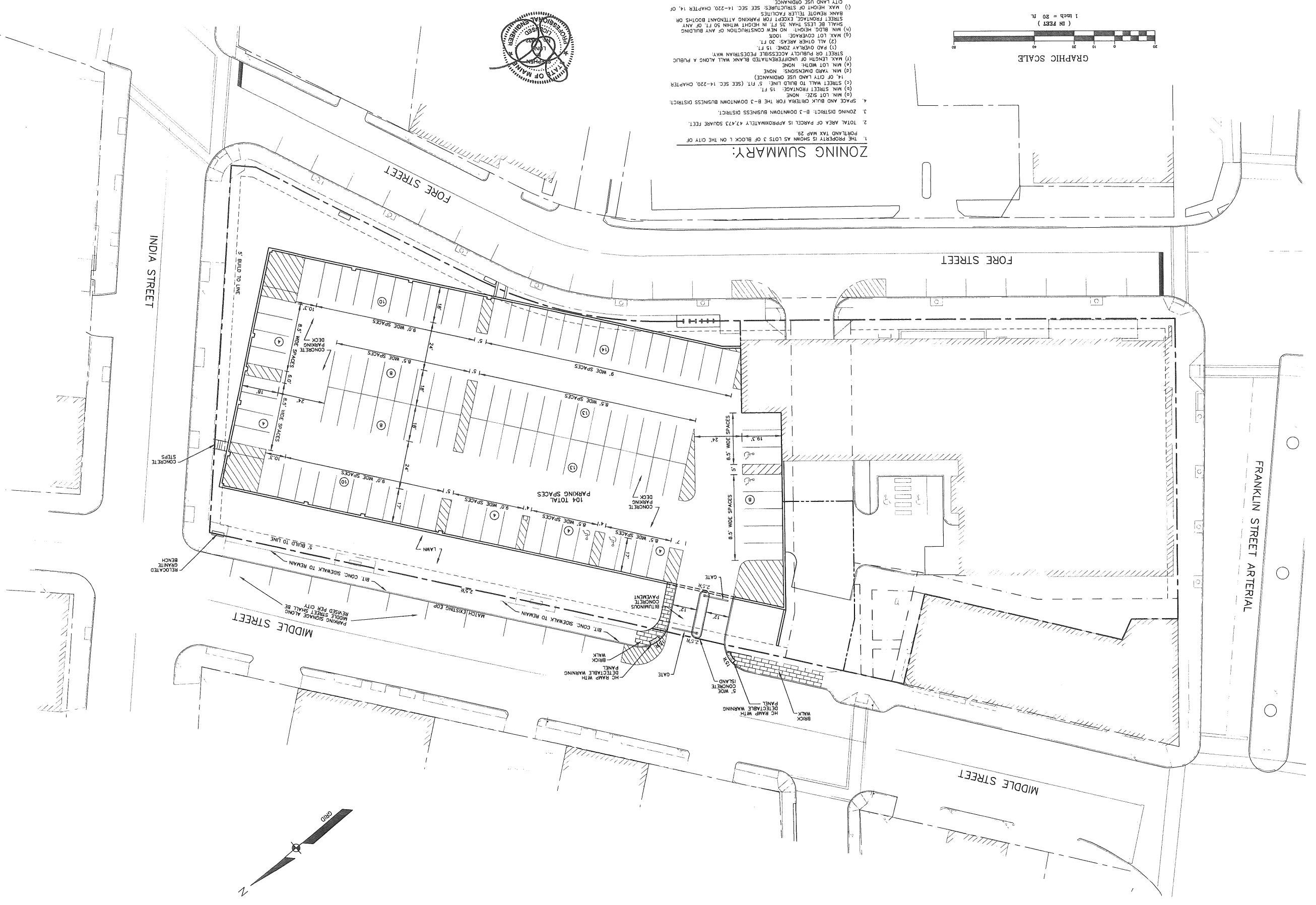
PROJECT:
PARKING LOT
 PORTLAND, ME

SITE PLAN
PLAN
(SECOND FLOOR)

COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT, NH 03220
 PHONE (603) 527-8088 FAX (603) 527-8191

REVISION SCHEDULE	
DATE	DESCRIPTION
7-20-10	PER STAFF REVIEW COMMENTS
8-03-10	PER STAFF REVIEW COMMENTS
8-04-10	PER STAFF REVIEW COMMENTS

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ZONING SUMMARY:

1. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK 1 ON THE CITY OF PORTLAND TAX MAP 29
2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
 - (a) MIN. LOT SIZE: NONE
 - (b) MIN. STREET FRONTAGE: 15 FT.
 - (c) STREET WALL TO BUILD LINE: 5 FT. (SEE SEC. 14-220, CHAPTER 14 OF CITY LAND USE ORDINANCE)
 - (d) MIN. YARD DIMENSIONS: NONE
 - (e) MIN. LOT WIDTH: NONE
 - (f) STREET OR PUBLICLY ACCESSIBLE FEDESTRIAN WAY: STREET OR PUBLICLY ACCESSIBLE FEDESTRIAN WAY.
 - (g) ALL OTHER AREAS: 30 FT.
 - (h) PAD OVERLAY ZONE: 15 FT.
 - (i) MAX. OVERLAY ZONE: 15 FT.
 - (j) MAX. LOT COVERAGE: 100%
 - (k) MIN. BLDG. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 50 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE EXCEPT FOR PARKING ATTACHMENT BOOTHS OR BANK REMOTE TELLER FACILITIES
 - (l) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE



DATE: 06-22-10
 SCALE: 1"=20'
 DRAWN BY: SML
 SHEET: 50 OF 10
C05a

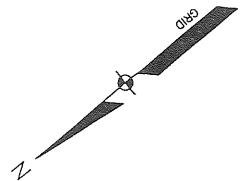
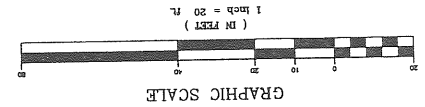
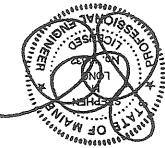
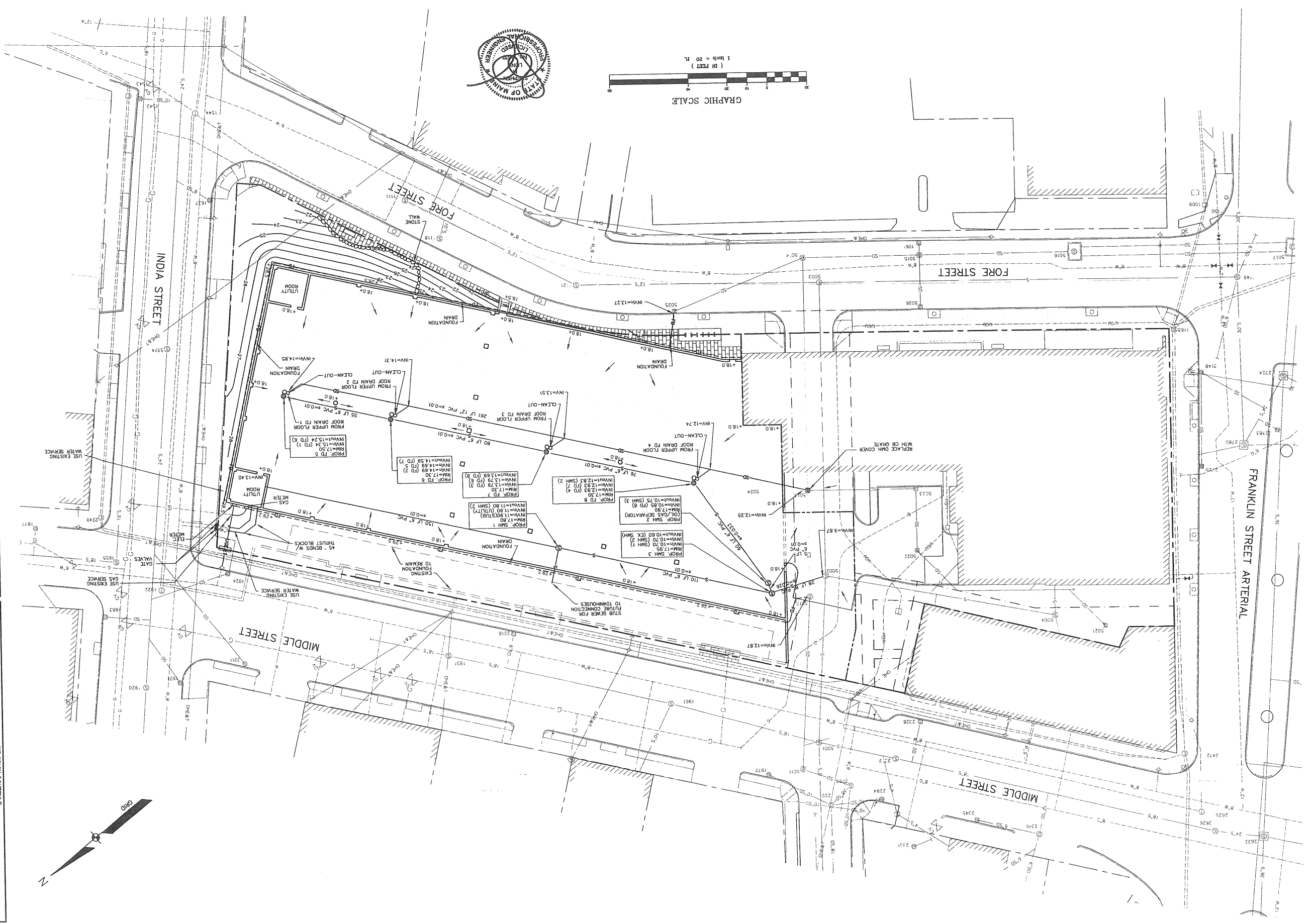
PROJECT:
PARKING LOT
 PORTLAND, ME

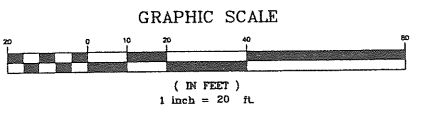
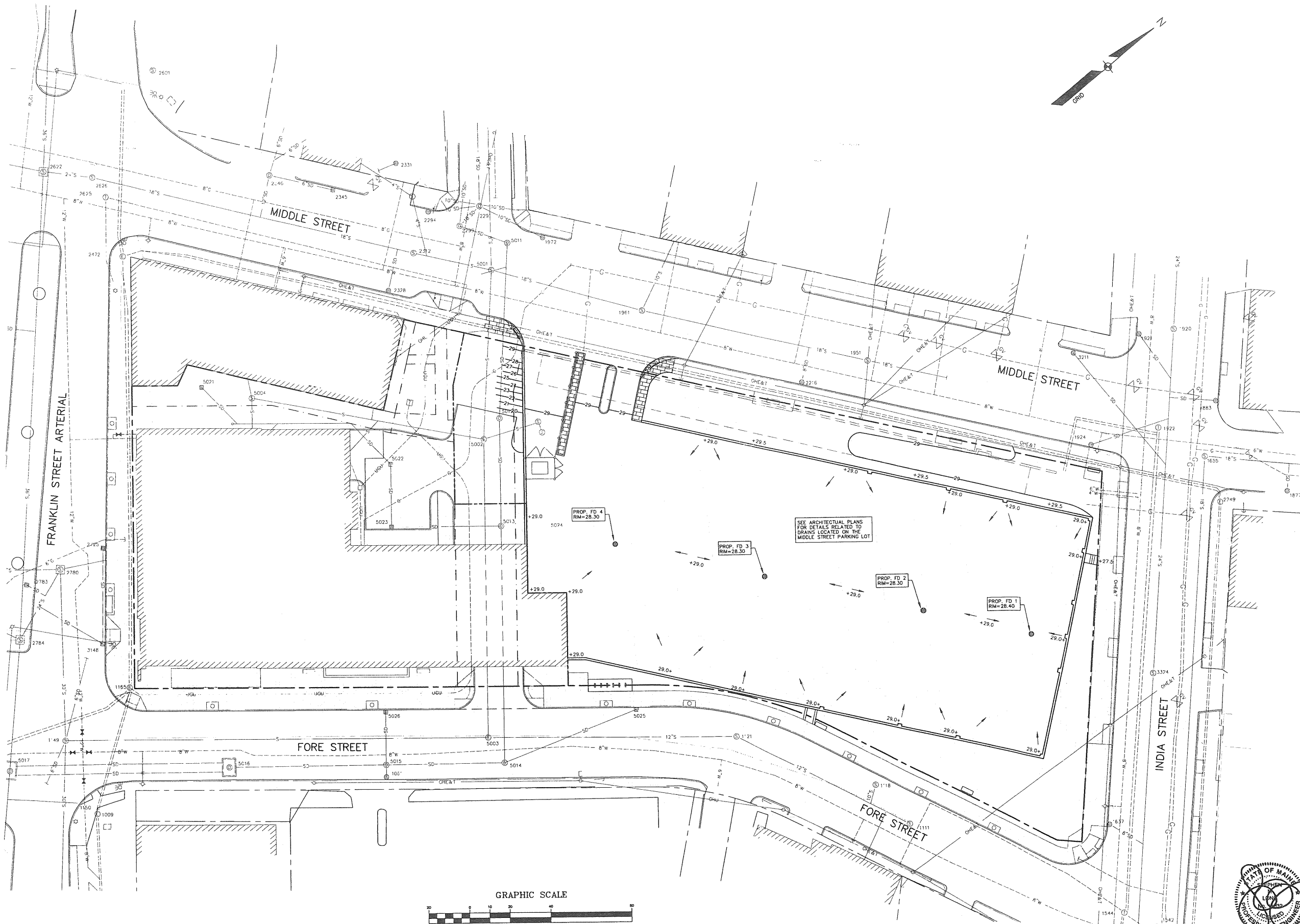
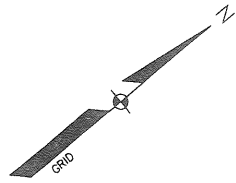
GRADING AND UTILITIES PLAN (FIRST FLOOR)

OPCHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT, NH 03218
 PHONE (603) 531-9008 FAX (603) 531-9191

REVISION SCHEDULE	
DATE	REVISION DESCRIPTION
7-20-10	PER STAFF REVIEW COMMENTS
8-03-10	PER STAFF REVIEW COMMENTS

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DATE	REVISION	DESCRIPTION
7-20-10		PER STAFF REVIEW COMMENTS
8-03-10		PER STAFF REVIEW COMMENTS

COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT, NH 03320
 PHONE (603) 237-9999 FAX (603) 237-5191

GRADING AND UTILITIES PLAN
 (SECOND FLOOR)

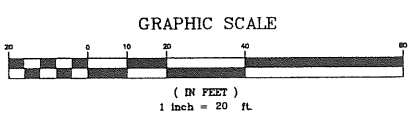
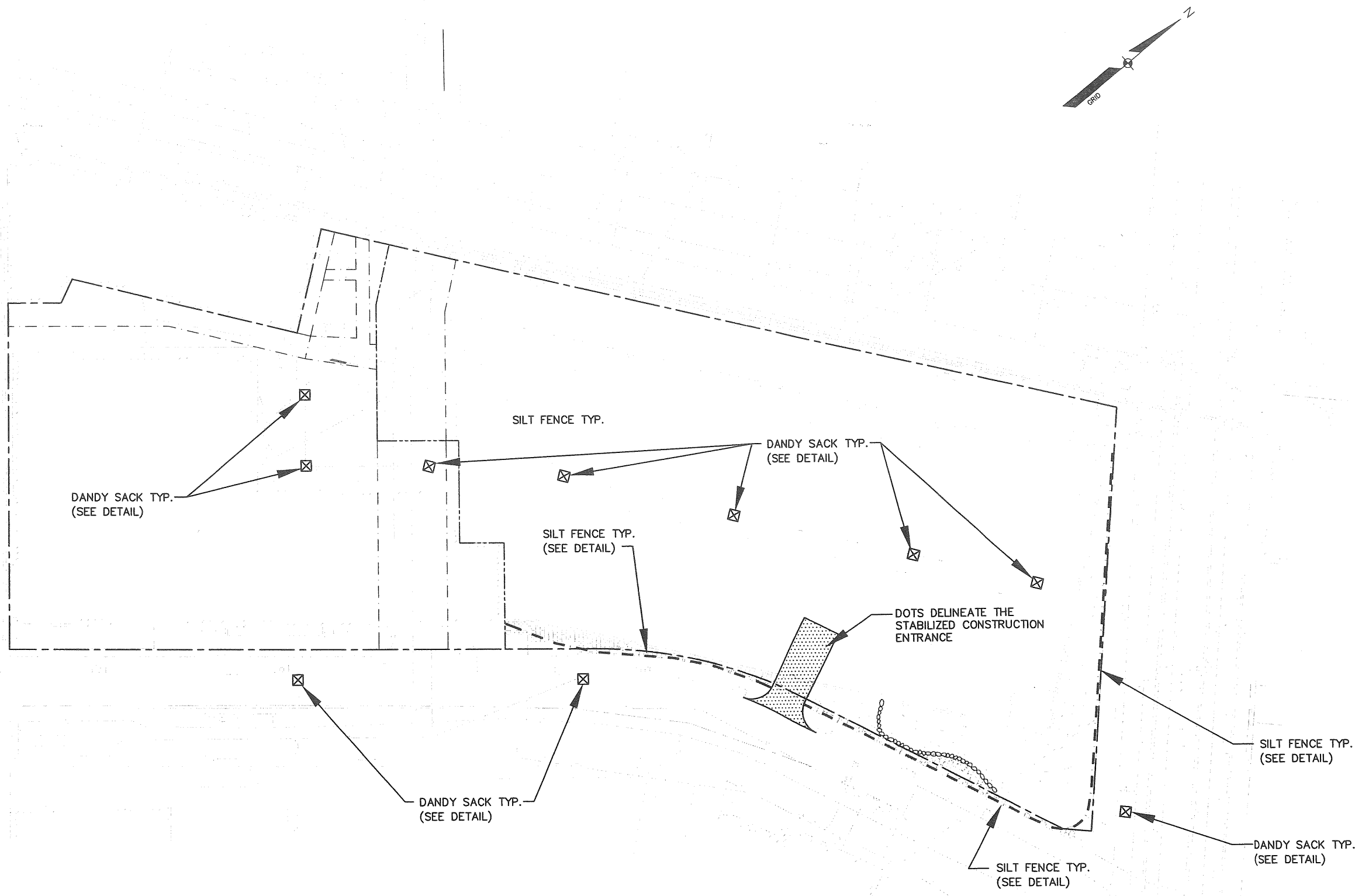
PARKING LOT
 PORTLAND, ME

PROJECT: C05b
 DATE: 06-22-10
 SCALE: 1"=20'
 DRAWN BY: SM

SHEET: 50 OF 10



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DATE	BY	REVISION SCHEDULE
1-20-10	SM-L	PER STAFF REVIEW COMMENTS
8-09-10	SM-L	PER STAFF REVIEW COMMENTS

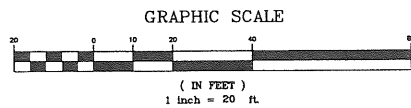
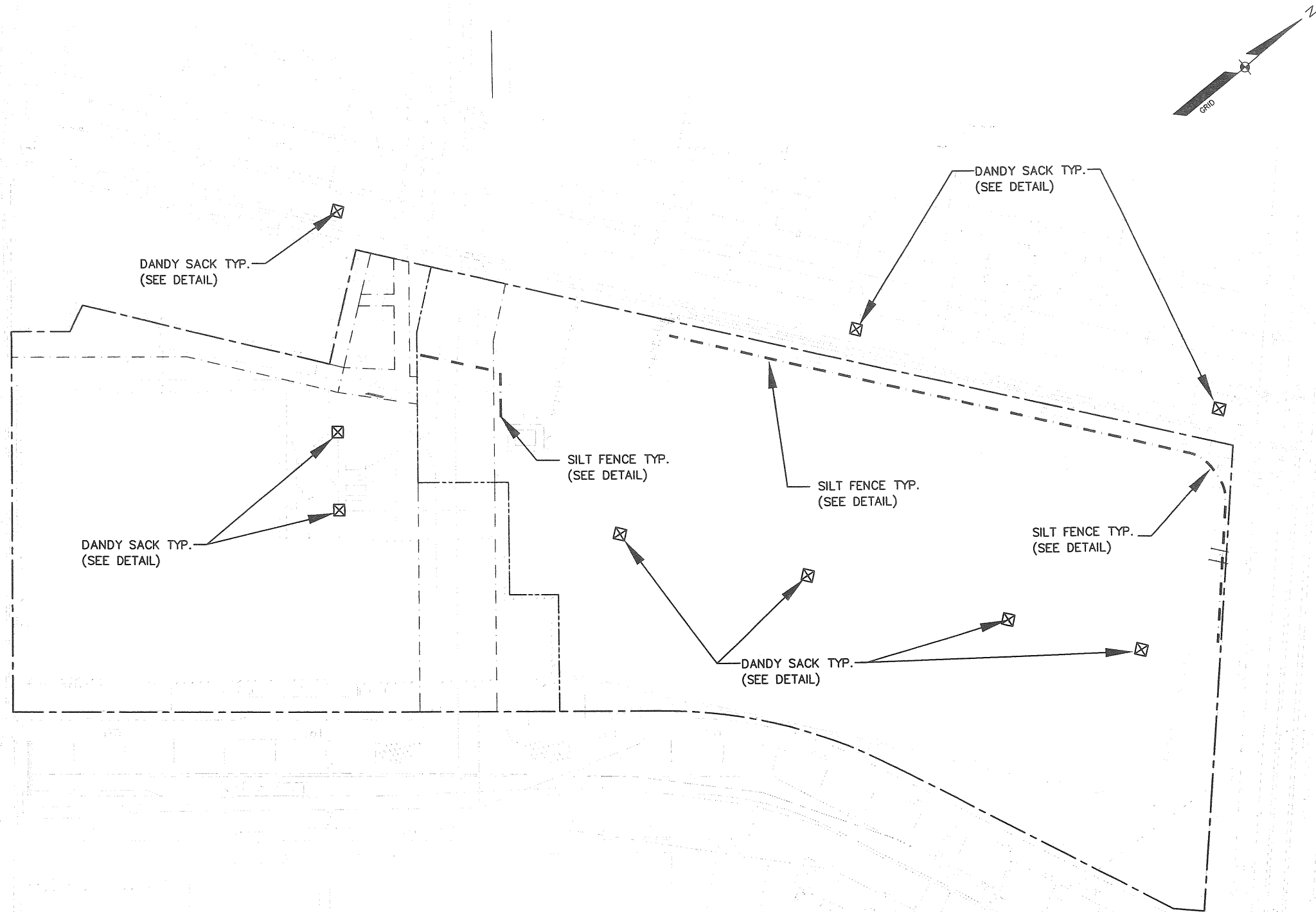
COPECHED
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT NH 03320
 PHONE (603) 337-9990 FAX (603) 337-9191

EROSION CONTROL
 PLAN
 (FIRST FLOOR)

PROJECT: PORTLAND, ME
 PARKING LOT

DATE: 06-22-10
 SCALE: 1"=20'
 DRAWN BY: SM-L
C06a
 SHEET: 6a OF 10

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DATE	REVISION DESCRIPTION	BY
7-20-10	PER STAFF REVIEW COMMENTS	SM
8-03-10	PER STAFF REVIEW COMMENTS	SM

COPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03319
PHONE (603) 277-8098 FAX (603) 277-1191

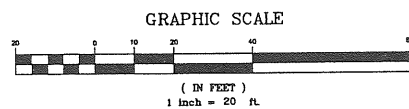
EROSION CONTROL
PLAN
(SECOND FLOOR)

PROJECT:
PARKING LOT
PORTLAND, ME

DATE: 06-22-10
SCALE: 1"=20'
DRAWN BY: SM
C06b
SHEET: 66 OF 10



LIGHTING STATISTICS	
AVERAGE	1.2 fc
MINIMUM	0.2 fc
MAXIMUM	5.0 fc



LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER/ CATALOG NO.	LAMPS	MOUNTING
A	AREA LIGHT WITH HIGH PERFORMANCE SR4SC OPTICS, CLEAR FLAT GLASS.	LITHONIA LIGHTING KAD 175M SR4SC	ONE 175-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	POLE MOUNTED 20' HEIGHT
B	EXISTING AREA LIGHT WITH HIGH PERFORMANCE SR4SC OPTICS, CLEAR FLAT GLASS.	HOLOPHANE LIGHTING ESU 175PM MA CMC 45-64319	ONE 175-WATT CLEAR METAL HALIDE LAMP, VERTICAL MOUNTED.	POLE MOUNTED 21' HEIGHT
C	EXISTING AREA LIGHT WITH HIGH PERFORMANCE SR4SC OPTICS, CLEAR FLAT GLASS.	HOLOPHANE LIGHTING ESU 175PM MA CMC 45-64319	ONE 175-WATT CLEAR METAL HALIDE LAMP, VERTICAL MOUNTED.	POLE MOUNTED 16' HEIGHT

REVISION SCHEDULE		BY
DATE	REVISION DESCRIPTION	
1-20-10	PER STAFF REVIEW COMMENTS	SM-L
8-03-10	PER STAFF REVIEW COMMENTS	SM-L

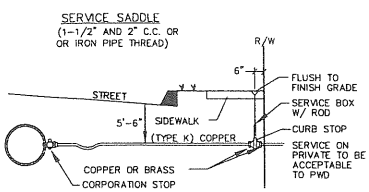
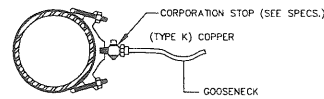
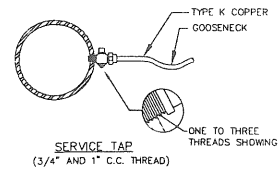
COPECHED
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03320
PHONE (603) 337-9990 FAX (603) 337-9191

LIGHTING PLAN
(SECOND FLOOR)

PROJECT: PARKING LOT
PORTLAND, ME

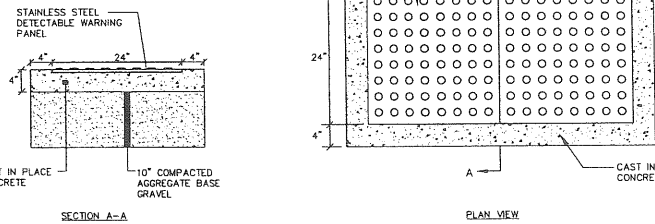
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DRAWN BY: SM-L
C08
SHEET: 8 OF 10

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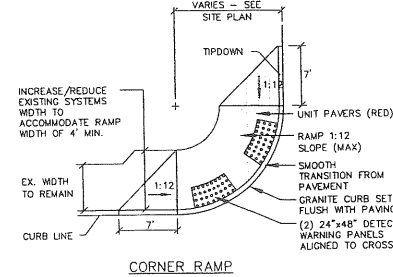


TYPICAL SERVICE CONNECTION
NOT TO SCALE

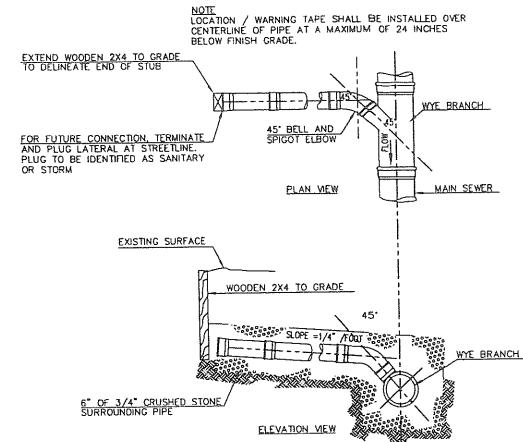
- NOTES:
1. STAINLESS STEEL TRUNCATED DOME PANELS SHALL BE AS MANUFACTURED BY ADVANTAGE TACTILE SYSTEMS, INC. (WWW.ADVANTAGETACTILE.COM), OR APPROVED EQUAL.
 2. CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR MDOT CLASS A STRUCTURAL CONCRETE, MINIMUM COMPRESSIVE STRENGTH 4,000 PSI.
 3. TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. TRUNCATED DOME BRICKS ARE NOT ALLOWED.
 4. THE "YELLOW" COLOR SHALL BE USED IN ALL SIDEWALK RAMP MADE OF CONCRETE OR ASPHALT, FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
 5. FOR ALL BRICK SIDEWALK RAMP, "TAN COATED".



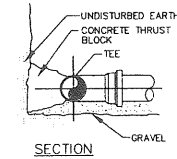
SIDEWALK RAMP DETECTABLE WARNING PANEL
NOT TO SCALE



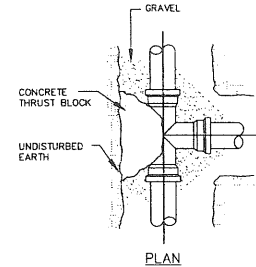
SEWER CLEAN-OUT
NOT TO SCALE



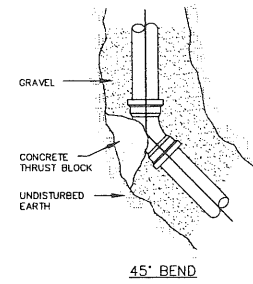
TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL
NOT TO SCALE



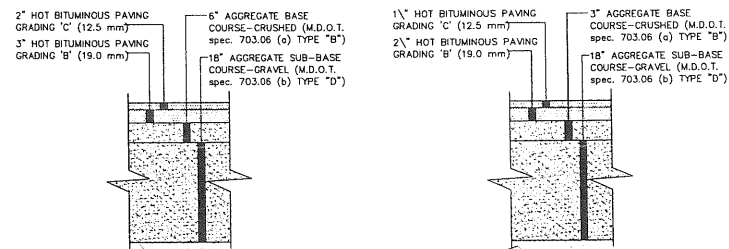
CONCRETE THRUST BLOCK SIZE REQUIREMENTS				
FITTINGS	90° BENDS	45° BENDS	TEES AND PLUGS	
PIPE SIZE	6"	8"	12"	
	4.0	4.0	15	
	2.0	4.0	10	
	3.0	6.0	10	



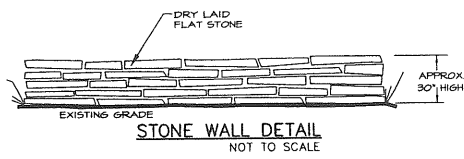
TEE AND BEND DETAIL
NOT TO SCALE



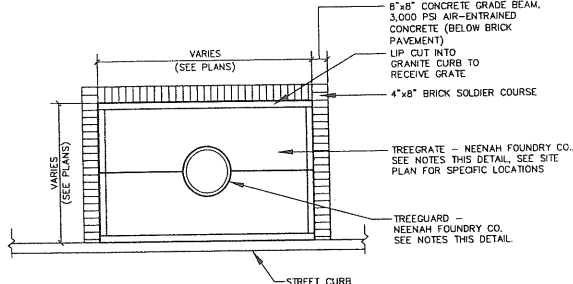
45° BEND



TYPICAL PAVEMENT REPAIR SECTION FOR PUBLIC STREETS
NOT TO SCALE

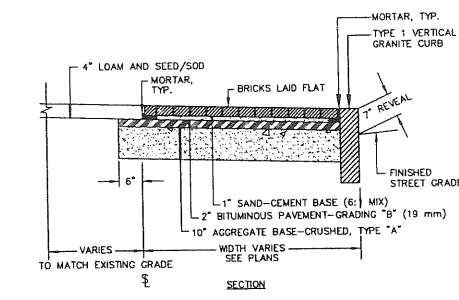


STONE WALL DETAIL
NOT TO SCALE

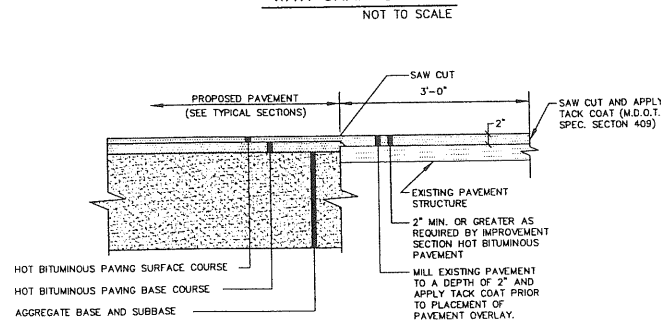


- NOTES:
1. USE R-8808 W/ 12\"/>
 2. USE R-8802-4 W/ 18\"/>

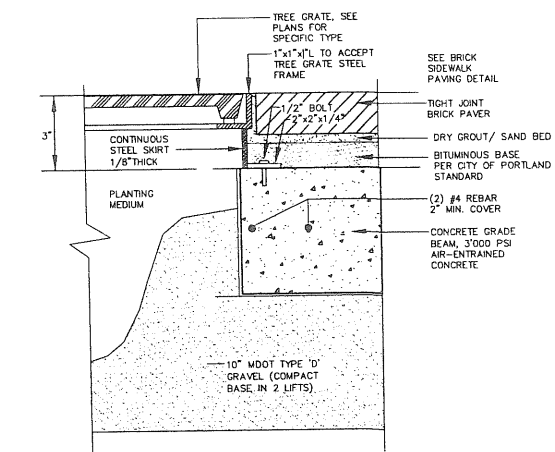
TREE GRATE DETAIL
NOT TO SCALE



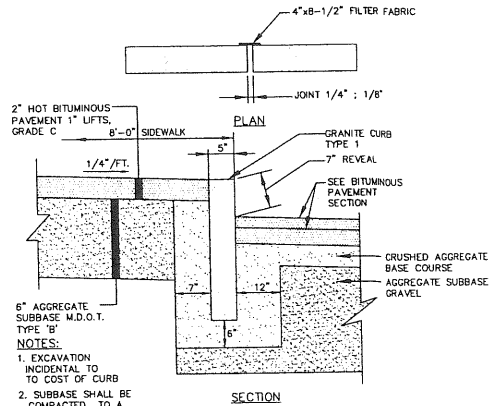
BRICK SIDEWALK WITH GRANITE CURB
NOT TO SCALE



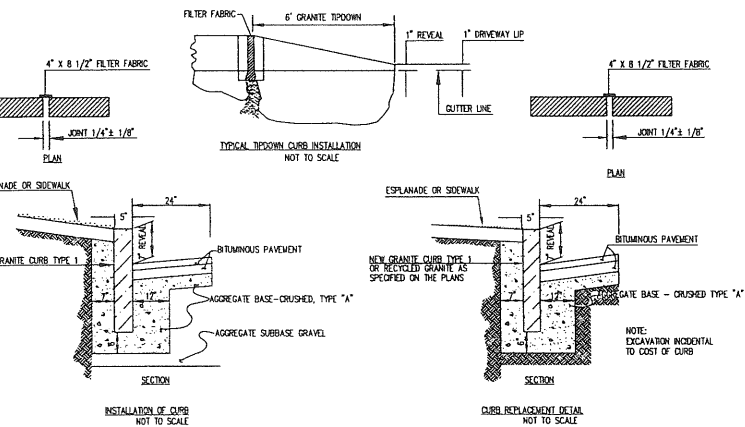
PAVEMENT SAW CUT DETAIL
NOT TO SCALE



TYPICAL SECTION TREE GRATE FRAME
NOT TO SCALE



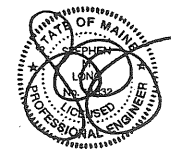
BITUMINOUS SIDEWALK WITH GRANITE CURB
NOT TO SCALE



TYP. INSTALLATION OF CURB TYPE 1
NOT TO SCALE

2x2 5\"/>

NOT TO SCALE



REVISION SCHEDULE	
NO.	REVISION DESCRIPTION

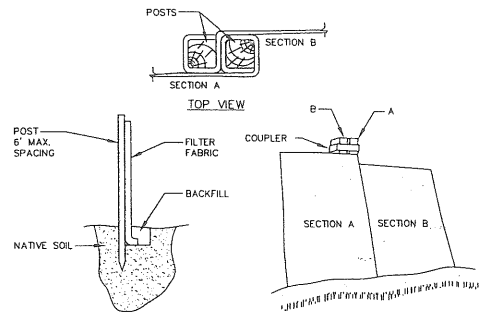
COPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03120
PHONE (603) 827-8996 FAX (603) 827-8191

CONSTRUCTION DETAILS

PARKING LOT

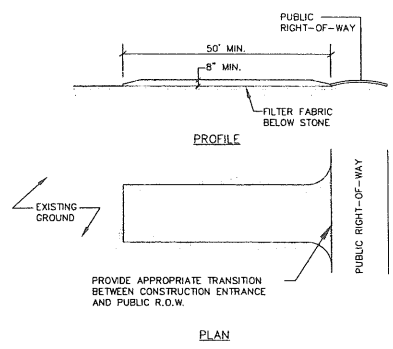
DATE: 06-22-10
SCALE: 1"=20'
DRAWN BY: SML
C09
SHEET: 9 OF 10

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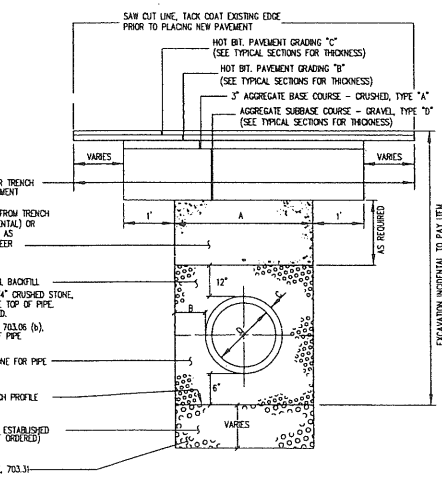
- INSTALLATION:**
1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 5. JOIN SECTION AS SHOWN ABOVE.
 6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

SILT FENCE
NOT TO SCALE

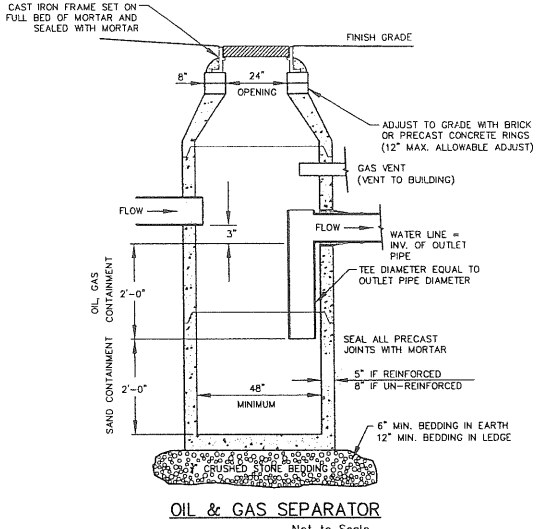


- NOTES:**
1. STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
 2. LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
 3. THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 5. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

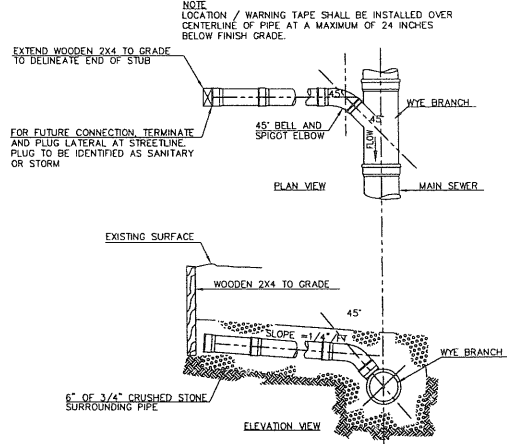
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



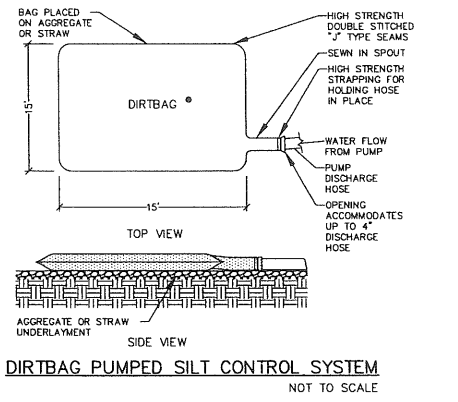
TYPICAL PIPE INSTALLATION DETAIL
NOT TO SCALE



OIL & GAS SEPARATOR
Not to Scale



TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL
NOT TO SCALE



DIRTBAG PUMPED SILT CONTROL SYSTEM
NOT TO SCALE

TABLE OF DIMENSIONS REINFORCED CONCRETE PIPE

D	A	B	C	VOL. BASE /100'	UNSHEDDED O. D. BEHLL
12"	3'-0"	0'-10"	0'-2"	8.319	10 3/8"
15"	3'-0"	0'-8 1/4"	0'-2 1/4"	8.626	24 1/8"
18"	3'-0"	0'-6 1/2"	0'-2 1/2"	9.225	78"
21"	3'-0 1/2"	0'-6"	0'-2 3/4"	9.266	31 7/8"
24"	3'-6"	0'-6"	0'-3"	11.233	35 3/4"
27"	3'-9 1/2"	0'-6"	0'-3 1/4"	12.655	19"
30"	4'-1"	0'-6"	0'-3 1/2"	14.120	19"
33"	4'-4 1/2"	0'-6"	0'-3 3/4"	15.122	19"
36"	4'-8"	0'-6"	0'-4"	17.336	19"
42"	5'-3"	0'-6"	0'-4 1/2"	20.726	19"
48"	5'-10"	0'-6"	0'-5"	24.463	19"
54"	6'-6"	0'-6"	0'-5 1/2"	28.524	19"
60"	7'-0"	0'-6"	0'-6"	32.607	19"
66"	7'-7"	0'-6"	0'-6 1/2"	37.074	19"
72"	8'-2"	0'-6"	0'-7"	41.886	19"
78"	8'-9"	0'-6"	0'-7 1/2"	46.891	19"
84"	9'-4"	0'-6"	0'-8"	52.149	19"
90"	9'-11"	0'-6"	0'-8 1/2"	57.769	19"
96"	10'-6"	0'-6"	0'-9"	63.552	19"

27 in. THROUGH 96 in. INCLUSIVE - TONGUE & GROOVE JOINTS

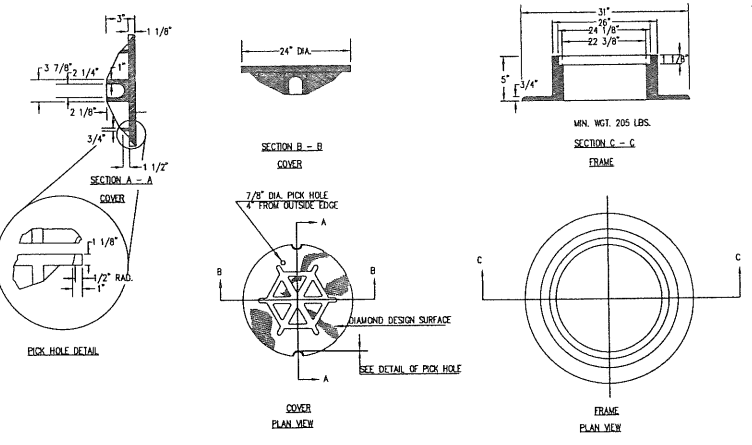
TABLE OF DIMENSIONS PVC, TRUSS, CMP, & POLYETHYLENE PIPE

D	A	B	C	VOL. BASE /100'	INSPIRE (E.D. 6) SOCKET
8"	3'-0"	1'-1 1/2"	0'-1 1/2"	7.358	10 3/8"
10"	3'-0"	1'-0 3/8"	0'-0 5/8"	7.658	12 1/2"
12"	3'-0"	0'-11 3/8"	0'-0 5/8"	7.932	14 1/2"
14"	3'-0"	0'-10 3/8"	0'-0 5/8"	8.178	16 3/4"
16"	3'-0"	0'-9 1/4"	0'-0 3/4"	8.447	19"
18"	3'-0"	0'-8 1/4"	0'-0 3/4"	8.683	21 1/8"
20"	3'-0"	0'-7 3/8"	0'-0 3/4"	8.815	23 3/8"
22"	3'-1 1/4"	0'-6"	0'-0 7/8"	9.633	27 3/4"
24"	3'-5 1/4"	0'-6"	0'-1 1/8"	10.959	31 1/8"
30"	3'-8 1/4"	0'-6"	0'-1 1/8"	12.156	34 1/2"
33"	3'-11 3/4"	0'-6"	0'-1 3/8"	13.513	38 1/8"
36"	4'-2 3/4"	0'-6"	0'-1 3/8"	14.910	19"

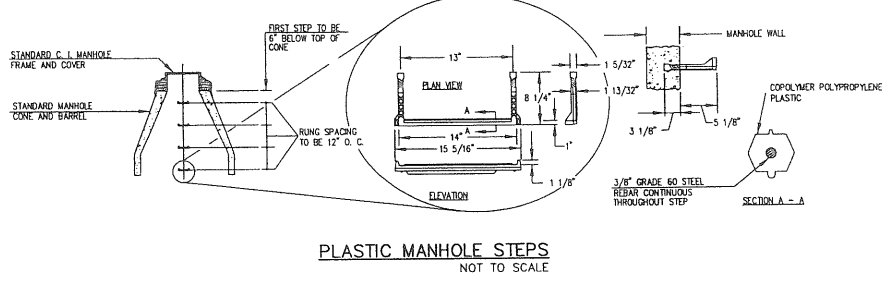
A = WIDTH OF UNSHEATHED TRENCH

- GENERAL NOTES FOR MANHOLES AND CATCH BASINS**
1. ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
 2. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE MANUFACTURED PER ASTM SPEC. C-478-67.
 3. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
 4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
 5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TIGHT BUT NOT BRITTLE.
 6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
 7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND DETAIL, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
 8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED PICK HOLE.
 9. EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
 10. SEE PLANS FOR STRUCTURES THAT REQUIRE BOLTED AND SEALED SANITARY MANHOLE COVERS. BOLTED COVERS SHALL BE ETHERIDGE FOUNDRY Q24M OR EQUAL. PROVIDE NEOPRENE GASKET AND STAINLESS STEEL BOLTS.

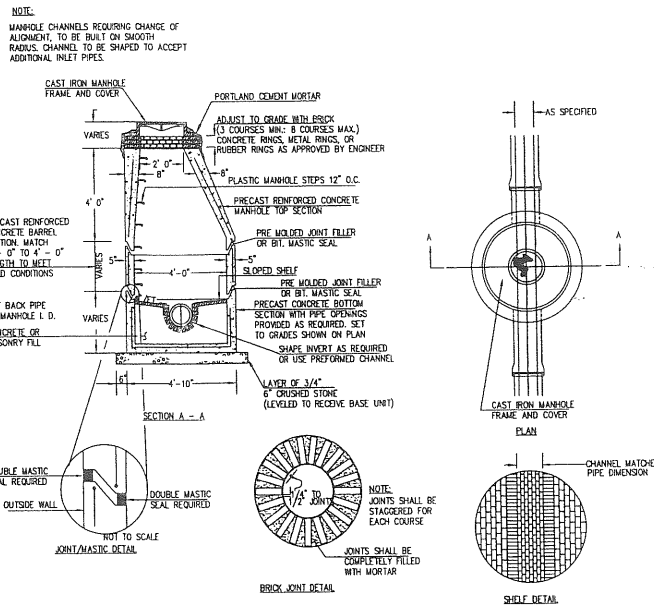
TYPE "A" CAST IRON MANHOLE COVER AND FRAME
NOT TO SCALE



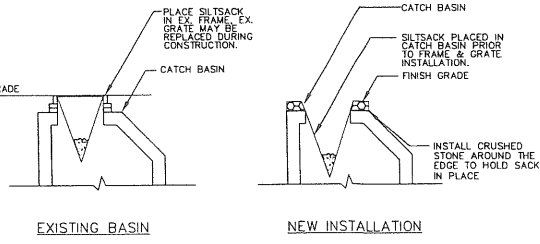
PRECAST CONCRETE MANHOLE TYPE "A"
NOT TO SCALE



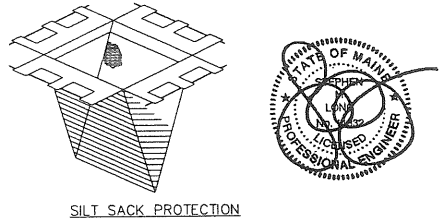
PLASTIC MANHOLE STEPS
NOT TO SCALE



TYP. PERFORATED FOUNDATION DRAIN TRENCH SECTION
NOT TO SCALE

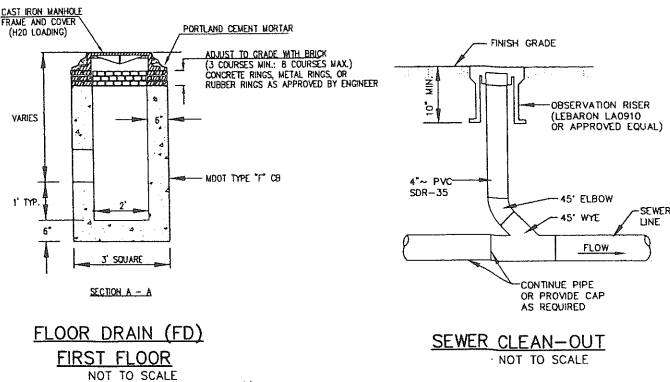


EXISTING BASIN NEW INSTALLATION



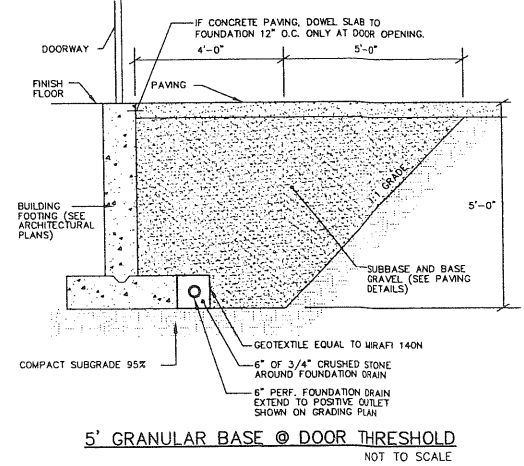
SILT SACK PROTECTION

CATCH BASIN PROTECTION DETAIL (FOR PAVED AREAS)
NOT TO SCALE



FLOOR DRAIN (FD) FIRST FLOOR
NOT TO SCALE

SEWER CLEAN-OUT
NOT TO SCALE



5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE

REVISIONS SCHEDULE

DATE	REVISION DESCRIPTION

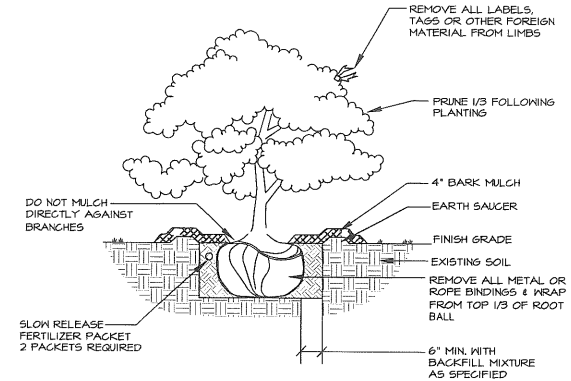
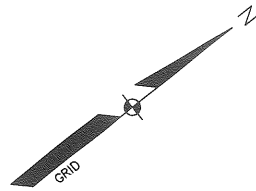
COPECHEE
CONSTRUCTION CORPORATION
11 COPPERATE DRIVE, BELMONT, NH 03210
PHONE (603) 337-8988 FAX (603) 337-8191

DRAINAGE DETAILS

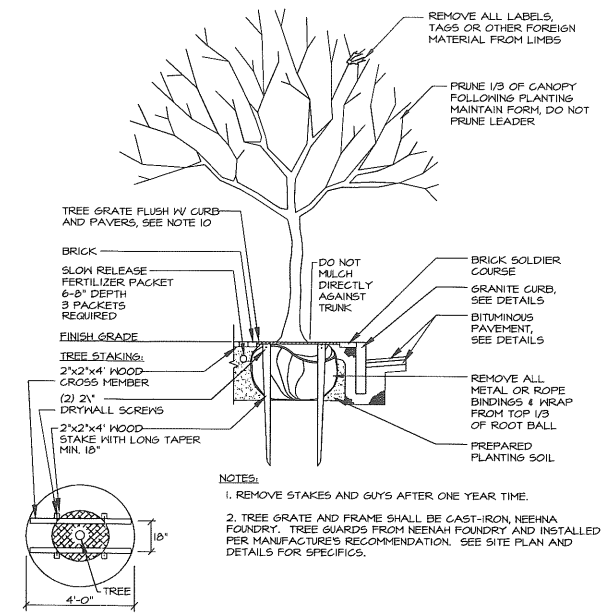
PARKING LOT

DATE: 06-22-10
SCALE: 1"=20'
DRAWN BY: SML
C10
SHEET: 10 OF 10

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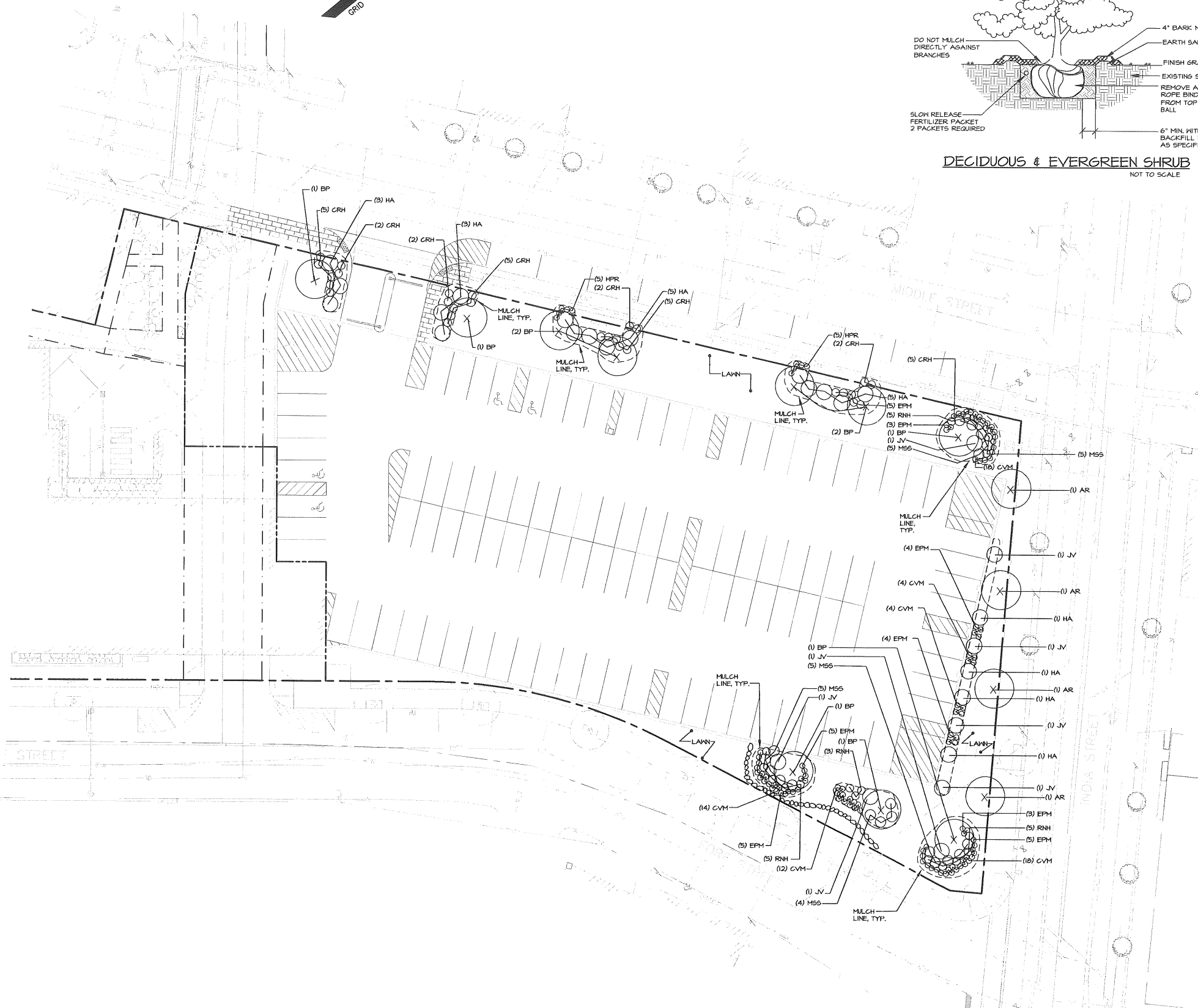


DECIDUOUS & EVERGREEN SHRUB
NOT TO SCALE



STREET/SHADE TREE
NOT TO SCALE

- NOTES:**
1. REMOVE STAKES AND GUYS AFTER ONE YEAR TIME.
 2. TREE GRATE AND FRAME SHALL BE CAST-IRON, NEEHAH FOUNDRY. TREE GUARDS FROM NEEHAH FOUNDRY AND INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE SITE PLAN AND DETAILS FOR SPECIFICS.

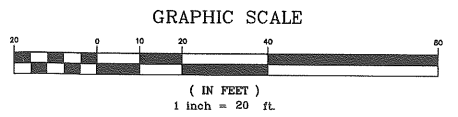


LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE LANDSCAPE CONTRACTOR ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYS, WRAPPINGS, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL PLANTING BEDS AND SPECIMEN TREES SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE SITE CONTRACTOR SHALL PROVIDE STRUCTURAL SOIL MIX FOR STREET TREES AND ADJACENT AREA (3' BEHIND CURB).
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AR	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2-2 1/2' GALIPER
BP	BETULA PAPPYRIFERA 'RENAISSANCE REFLECTION'	WHITE BIRCH	8-10' CLUMP
CRH	GIMIFUGA RAMOSA 'HILLSIDE BLACK BEAUTY'	HILLSIDE BLACK BEAUTY BUSHBANE	NO. 1 CONT.
CVM	CONEROPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM TICKSEED	NO. 1 CONT.
EPM	ECHINACEA PURPUREA 'MAGNIS'	PURPLE CONEFLOWER	NO. 1 CONT.
HA	HYDRANGEA ARBORESCENS 'DARDOM'	WHITE DOME HYDRANGEA	18-24" HST.
HPR	HOSTA PLANTAGINEA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	NO. 1 CONT.
JV	JUNIFERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIFER	NO. 1 CONT.
MSS	MISCANTHUS SINENSIS 'SARBANDE'	SARBANDE SILVER GRASS	18-24" HST.
RNH	RUDBECKIA NITIDA 'HERBSTONNE'	EARLY BIRD GOLD CONEFLOWER	NO. 1 CONT.
UA	ULMUS AMERICANA 'PRINSTON'	PRINCETON AMERICAN ELM	2-2 1/2' GALIPER



DATE	REVISION SCHEDULE	REVISION DESCRIPTION
7-20-10	PER STAFF REVIEW COMMENTS	
8-03-10	PER STAFF REVIEW COMMENTS	
8-04-10	PER STAFF REVIEW COMMENTS	

LOPECHED
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 327-9696 FAX (603) 327-9191

LANDSCAPING PLAN

PARKING LOT
PORTLAND, ME

PROJECT: **C07**
DATE: 06-22-10
SCALE: 1"=20'
DRAWN BY: SHL
SHEET: 7 OF 10