

29-L-1

207-209 Fore St.

2 Unit Condo.

Opechee Construction

# PARKING LOT AND RESIDENCES FORE STREET PORTLAND, MAINE

PREPARED BY:



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191

JUNE 22, 2010

OWNER/APPLICANT:

FORE INDIA MIDDLE, LLC  
11 CORPORATE DRIVE  
BELMONT, NH 03320

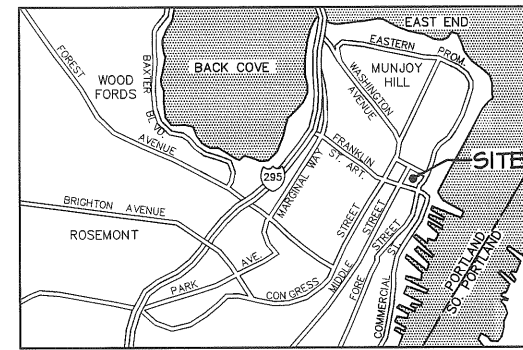
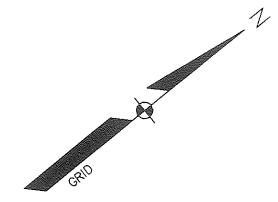
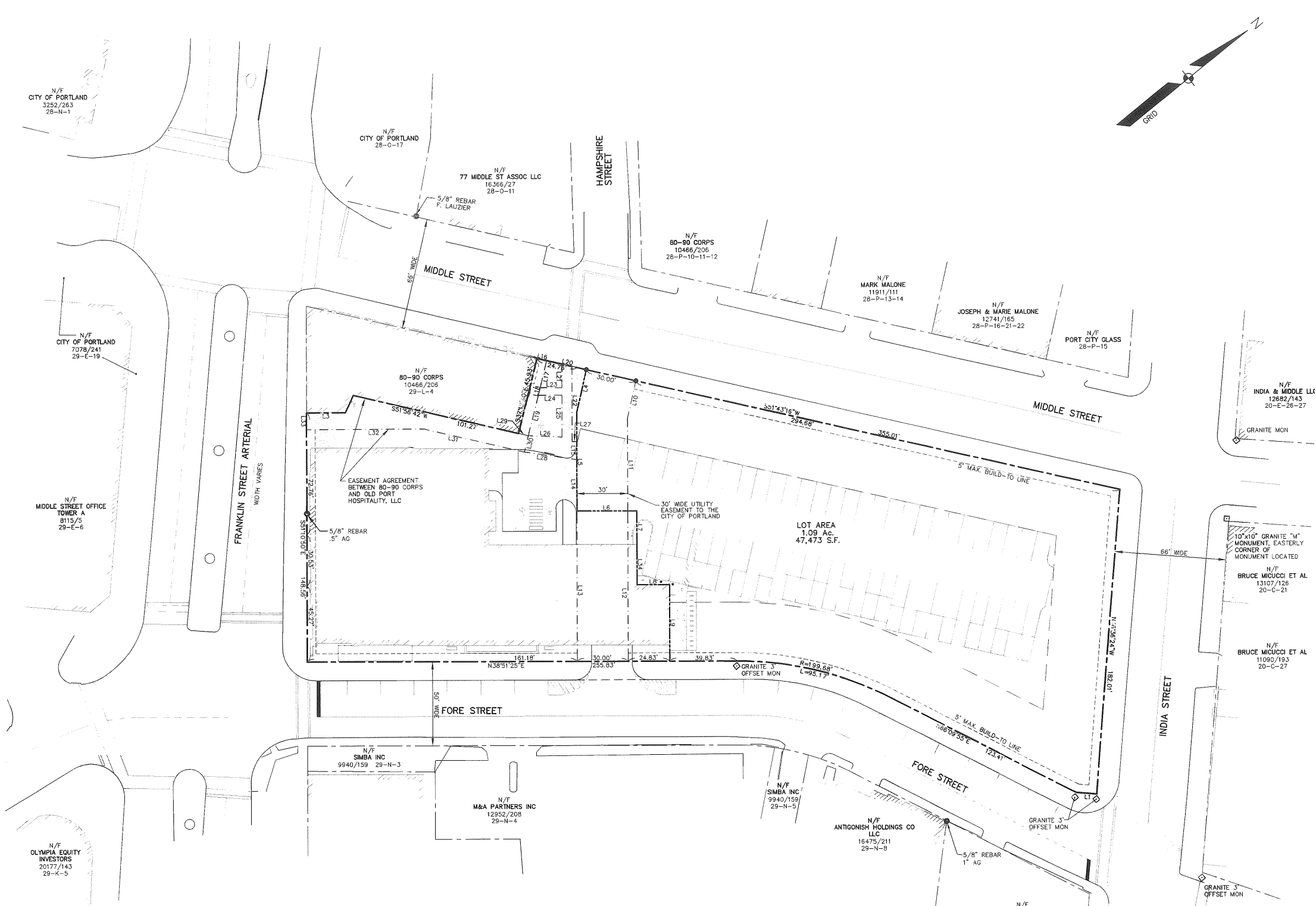
AGENT:

OPECHEE CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE  
BELMONT, NH 03220

SHEET INDEX:

LAST REVISED

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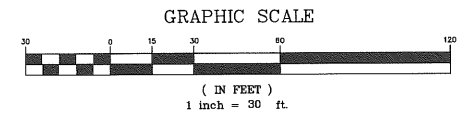
LOCATION MAP N.T.S.

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS FORE INDIA MIDDLE, LLC, 11 CORPORATE DRIVE, BELMONT, NEW HAMPSHIRE BY DEED IN DEED BOOK 27850 PAGE 68. DEEDS AND PLANS REFERENCED AS RECORDED ARE ON FILE AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 S.F.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND ALTA SURVEY BY SEBAGO TECHINCS, INC. PERFORMED IN APRIL OF 2006, WITH FIELD INSPECTION PERFORMED IN NOVEMBER OF 2009 AND JANUARY OF 2010 AND RESEARCH UPDATES PERFORMED IN FEBRUARY OF 2010.
5. PLAN REFERENCES:
  - A. "ALTA/ACSM LAND TITLE SURVEY OF JORDAN'S MEATS PROPERTY, FORE STREET, INDIA STREET, MIDDLE FRANKLIN ST ARTERIAL, PORTLAND, MAINE." PREPARED BY SEBAGO TECHINCS DATED DECEMBER 4, 2010.
  - B. "SUBDIVISION PLAN OF HOTEL, RESTAURANT AND PORTSIDE RESIDENCES 207 & 209 FORE STREET, PORTLAND, MAINE." PREPARED BY SEBAGO TECHINCS DATED FEBRUARY 10, 2010.
6. THE PROPERTY IS LOCATED WITHIN THE CITY OF PORTLAND B-3 ZONE AND WITHIN THE DOWNTOWN ENTERTAINMENT OVERLAY ZONE. THE MIDDLE STREET AREA ADJUTING THE LOCUS SITE IS WITHIN THE "PEDESTRIAN ENCOURAGED AREA" WHICH IS NOT MANDATORY BUT ENCOURAGED.
7. BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) PANEL NUMBER "230051 0014 B" THE ENTIRE LOCUS PROPERTY IS LOCATED WITHIN ZONE C "AREAS OF MINIMAL FLOODING".

EASEMENT LINE DATA		
LINE	DIRECTION	DISTANCE
L10	N38°16'44"W	22.99'
L11	N51°08'35"W	55.07'
L12	N51°08'35"W	89.67'
L13	N51°08'35"W	89.67'
L14	N51°08'35"W	30.65'
L15	N51°08'35"W	10.71'
L16	S51°43'16"W	6.00'
L17	N37°12'40"W	16.63'
L18	N37°12'40"W	4.84'
L19	N37°12'40"W	24.79'
L20	N51°43'16"E	6.15'
L21	S51°08'35"E	13.98'
L22	S51°08'35"E	44.79'
L23	S38°51'25"W	12.89'
L24	S38°51'25"W	14.11'
L25	S51°08'35"E	24.94'
L26	N41°21'46"E	20.10'
L27	N38°51'25"E	2.83'
L28	N42°15'06"E	31.85'
L29	N51°56'42"E	6.00'
L30	S37°12'40"E	10.00'
L31	S51°56'42"W	61.41'
L32	S38°37'43"W	70.11'
L33	N51°22'17"W	10.00'

PROPERTY LINE DATA		
LINE	DIRECTION	DISTANCE
L1	N43°43'25"E	12.13'
L2	S43°51'27"E	41.37'
L3	S38°37'43"W	23.03'
L4	S38°16'44"E	26.37'
L5	S51°08'35"E	58.45'
L6	N38°51'25"E	35.50'
L7	S51°08'24"E	20.01'
L8	S38°51'26"W	19.33'
L9	S51°08'35"E	45.66'
L34	S51°08'24"E	24.00'



REVISION	SCHEDULE	DESCRIPTION

**COPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT NH 03228  
PHONE (603) 527-9980 FAX (603) 527-9191

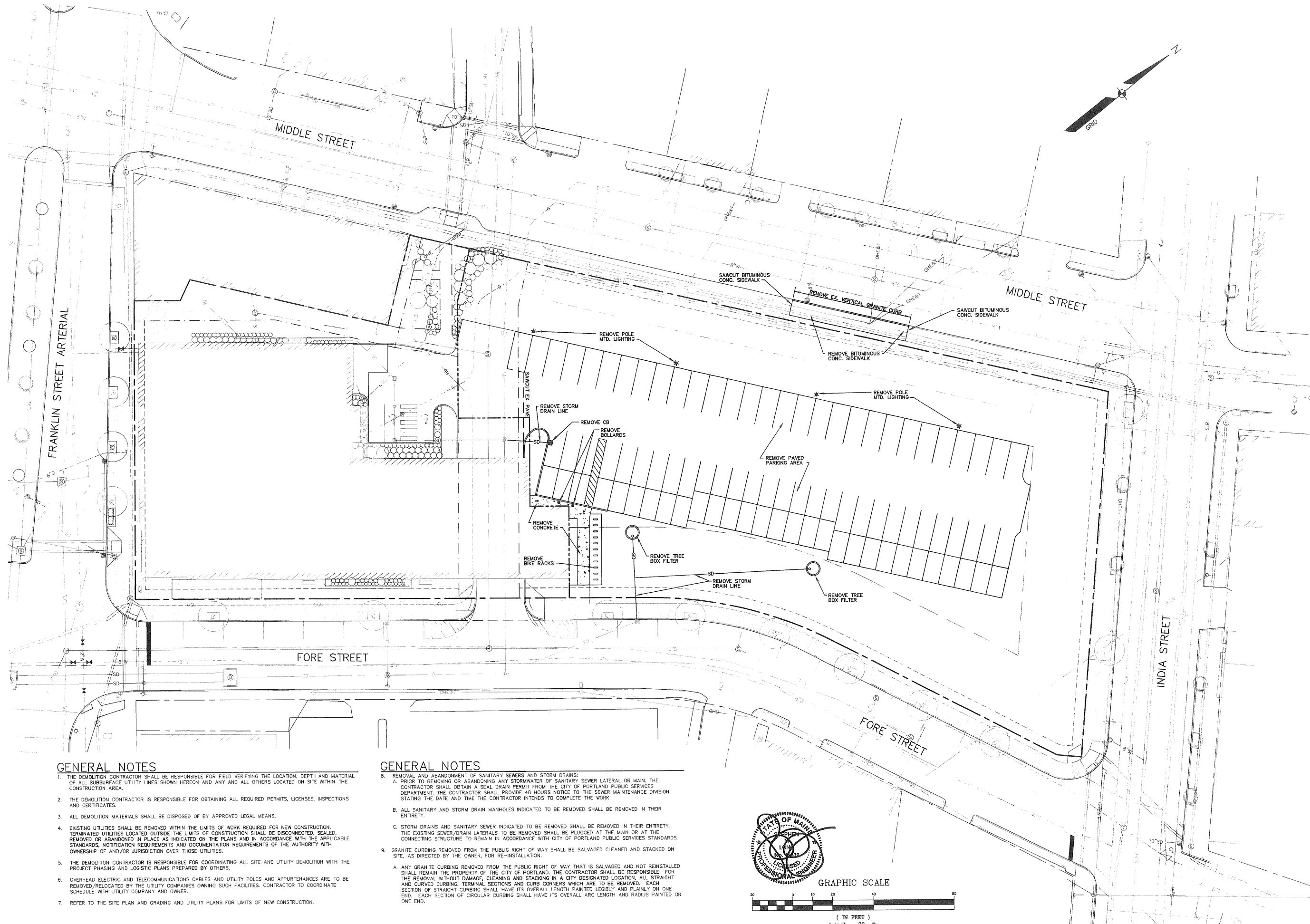
**PROPERTY INFORMATION**

**PARKING LOT AND RESIDENCES**  
PORTLAND, ME

PROJECT: C01  
DATE: 06-22-10  
SCALE: 1"=30'  
DRAWN BY: 9ML  
SHEET: 1 OF 10





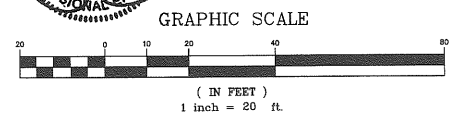
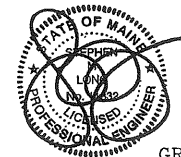


**GENERAL NOTES**

1. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
2. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND CERTIFICATES.
3. ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF BY APPROVED LEGAL MEANS.
4. EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. TERMINATED UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE DISCONNECTED, SEALED, REMOVED OR ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS, NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP OF AND/OR JURISDICTION OVER THOSE UTILITIES.
5. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH THE PROJECT PHASING AND LOGISTIC PLANS PREPARED BY OTHERS.
6. OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND UTILITY POLES AND APPURTENANCES ARE TO BE REMOVED/RELOCATED BY THE UTILITY COMPANIES OWNING SUCH FACILITIES. CONTRACTOR TO COORDINATE SCHEDULE WITH UTILITY COMPANY AND OWNER.
7. REFER TO THE SITE PLAN AND GRADING AND UTILITY PLANS FOR LIMITS OF NEW CONSTRUCTION.

**GENERAL NOTES**

8. REMOVAL AND ABANDONMENT OF SANITARY SEWERS AND STORM DRAINS:
  - A. PRIOR TO REMOVING OR ABANDONING ANY STORMWATER OF SANITARY SEWER LATERAL OR MAIN, THE CONTRACTOR SHALL OBTAIN A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION STATING THE DATE AND TIME THE CONTRACTOR INTENDS TO COMPLETE THE WORK.
  - B. ALL SANITARY AND STORM DRAIN MANHOLES INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY.
  - C. STORM DRAINS AND SANITARY SEWER INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. THE EXISTING SEWER/DRAIN LATERALS TO BE REMOVED SHALL BE PLUGGED AT THE MAIN OR AT THE CONNECTING STRUCTURE TO REMAIN IN ACCORDANCE WITH CITY OF PORTLAND PUBLIC SERVICES STANDARDS.
9. GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY SHALL BE SALVAGED CLEANED AND STACKED ON SITE, AS DIRECTED BY THE OWNER, FOR RE-INSTALLATION.
  - A. ANY GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY THAT IS SALVAGED AND NOT REINSTALLED SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL WITHOUT DAMAGE, CLEANING AND STACKING IN A CITY DESIGNATED LOCATION. ALL STRAIGHT AND CURVED CURBING, TERMINAL SECTIONS AND CURB CORNERS WHICH ARE TO BE REMOVED, EACH SECTION OF STRAIGHT CURBING SHALL HAVE ITS OVERALL LENGTH PAINTED LEGIBLY AND PLAINLY ON ONE END. EACH SECTION OF CIRCULAR CURBING SHALL HAVE ITS OVERALL ARC LENGTH AND RADIUS PAINTED ON ONE END.



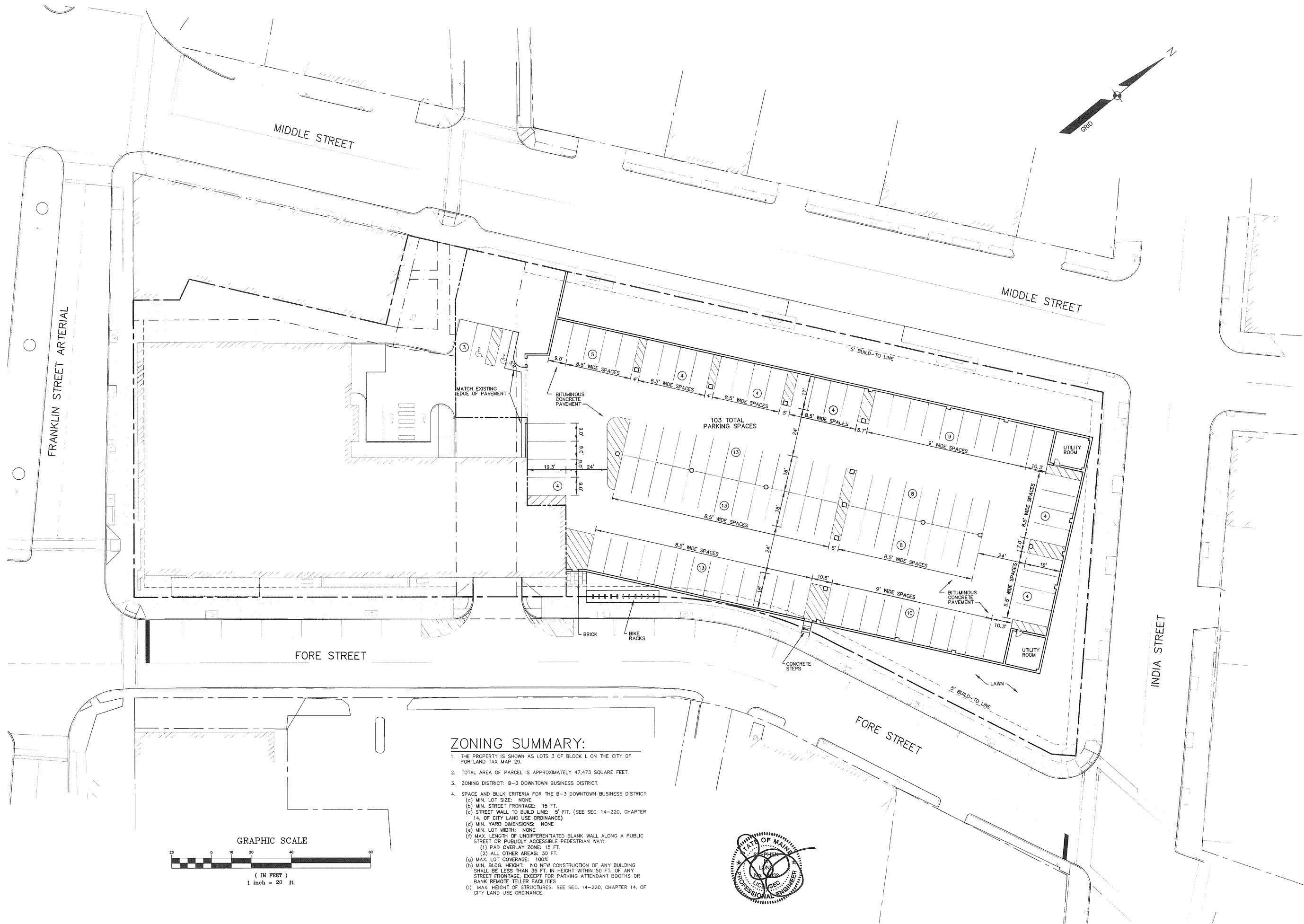
DATE	REVISION	SCHEDULE

**COPECHEE**  
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 11 CORPORATE DRIVE, BELMONT NH 03228  
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**DEMOLITION PLAN**

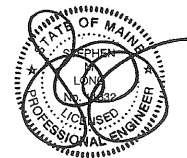
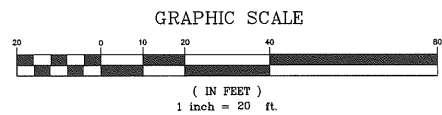
PROJECT: **PARKING LOT AND RESIDENCES**  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: S.M.L.  
**C03**  
 SHEET: 3 OF 10



**ZONING SUMMARY:**

1. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
  - (a) MIN. LOT SIZE: NONE
  - (b) MIN. STREET FRONTAGE: 15 FT.
  - (c) STREET WALL TO BUILD LINE: 5' FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
  - (d) MIN. YARD DIMENSIONS: NONE
  - (e) MIN. LOT WIDTH: NONE
  - (f) MAX. LENGTH OF UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY:
    - (1) PAD OVERLAY ZONE: 15 FT.
    - (2) ALL OTHER AREAS: 30 FT.
  - (g) MAX. LOT COVERAGE: 100%
  - (h) MIN. BLDG. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 35 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK REMOTE TELLER FACILITIES
  - (i) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE.



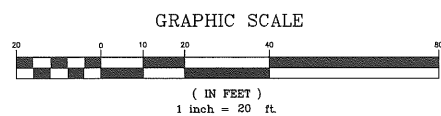
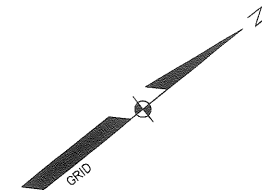
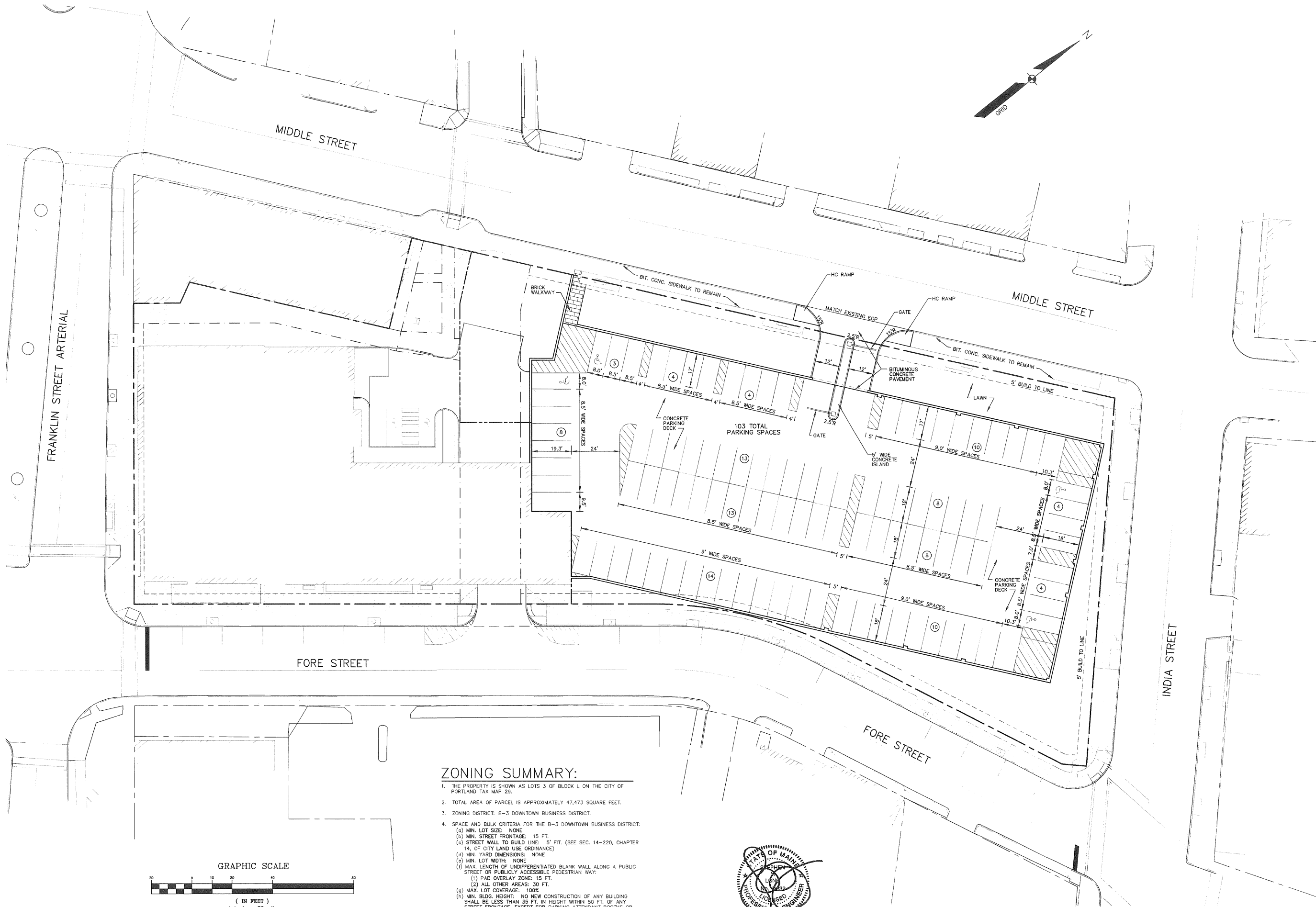
DATE	BY	REVISION SCHEDULE	REVISION DESCRIPTION

**COPECHEE**  
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 11 CORPORATE DRIVE, BELMONT NH 03220  
 PHONE (603)577-9890 FAX (603)577-1151

**SITE PLAN  
 AND RESIDENCES  
 (FIRST FLOOR)**

PROJECT: **PARKING LOT AND RESIDENCES**  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: S.M.L.  
**C04a**  
 SHEET: 4a OF 10



**ZONING SUMMARY:**

1. THE PROPERTY IS SHOWN AS LOTS J OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
  - (a) MIN. LOT SIZE: NONE
  - (b) MIN. STREET FRONTAGE: 15 FT.
  - (c) STREET WALL TO BUILD LINE: 5' FIT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
  - (d) MIN. YARD DIMENSIONS: NONE
  - (e) MIN. LOT WIDTH: NONE
  - (f) MAX. LENGTH OF UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY:
    - (1) PAD OVERLAY ZONE: 15 FT.
    - (2) ALL OTHER AREAS: 30 FT.
  - (g) MAX. LOT COVERAGE: 100%
  - (h) MIN. BLDG. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 35 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK REMOTE TELLER FACILITIES
  - (i) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE.



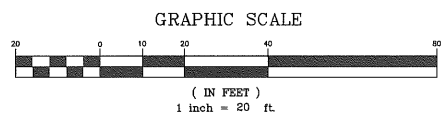
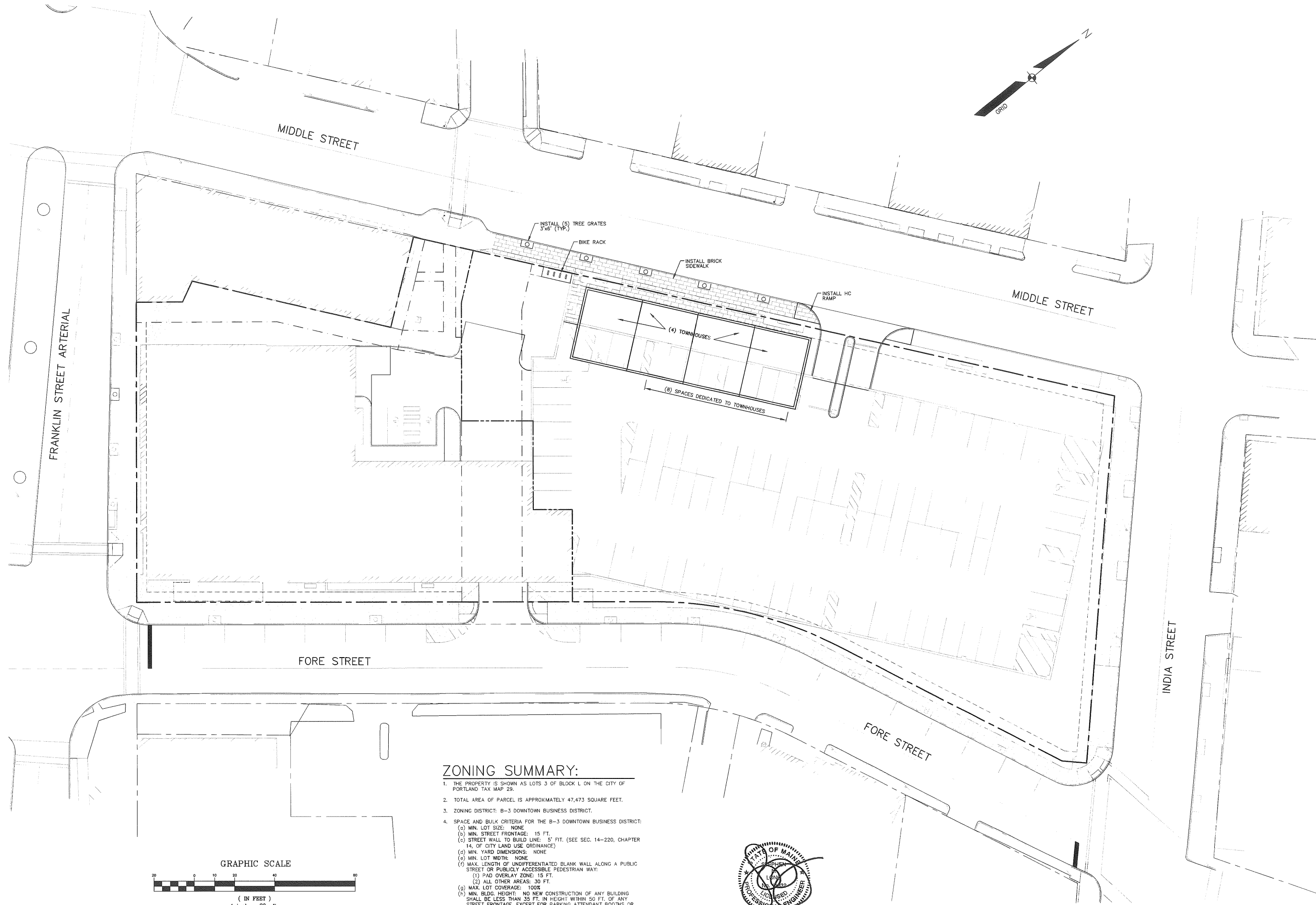
DATE	BY

**LOPECHED**  
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 11 CORPORATE DRIVE, BELMONT NH 03320  
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**SITE PLAN  
 AND RESIDENCES  
 (SECOND FLOOR)**

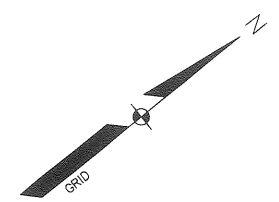
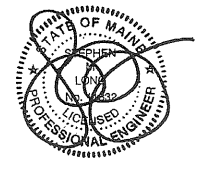
PROJECT: **PARKING LOT AND RESIDENCES**  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: SJE  
**C04b**  
 SHEET: 4b OF 10



**ZONING SUMMARY:**

1. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
  - (a) MIN. LOT SIZE: NONE
  - (b) MIN. STREET FRONTAGE: 15 FT.
  - (c) STREET WALL TO BUILD LINE: 5' FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
  - (d) MIN. YARD DIMENSIONS: NONE
  - (e) MIN. LOT WIDTH: NONE
  - (f) MAX. LENGTH OF UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY:
    - (1) PAD OVERLAY ZONE: 15 FT.
    - (2) ALL OTHER AREAS: 30 FT.
  - (g) MAX. LOT COVERAGE: 100%
  - (h) MIN. BLDG. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 35 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK REMOTE TELLER FACILITIES
  - (i) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE.



REVISION	DATE	BY	DESCRIPTION

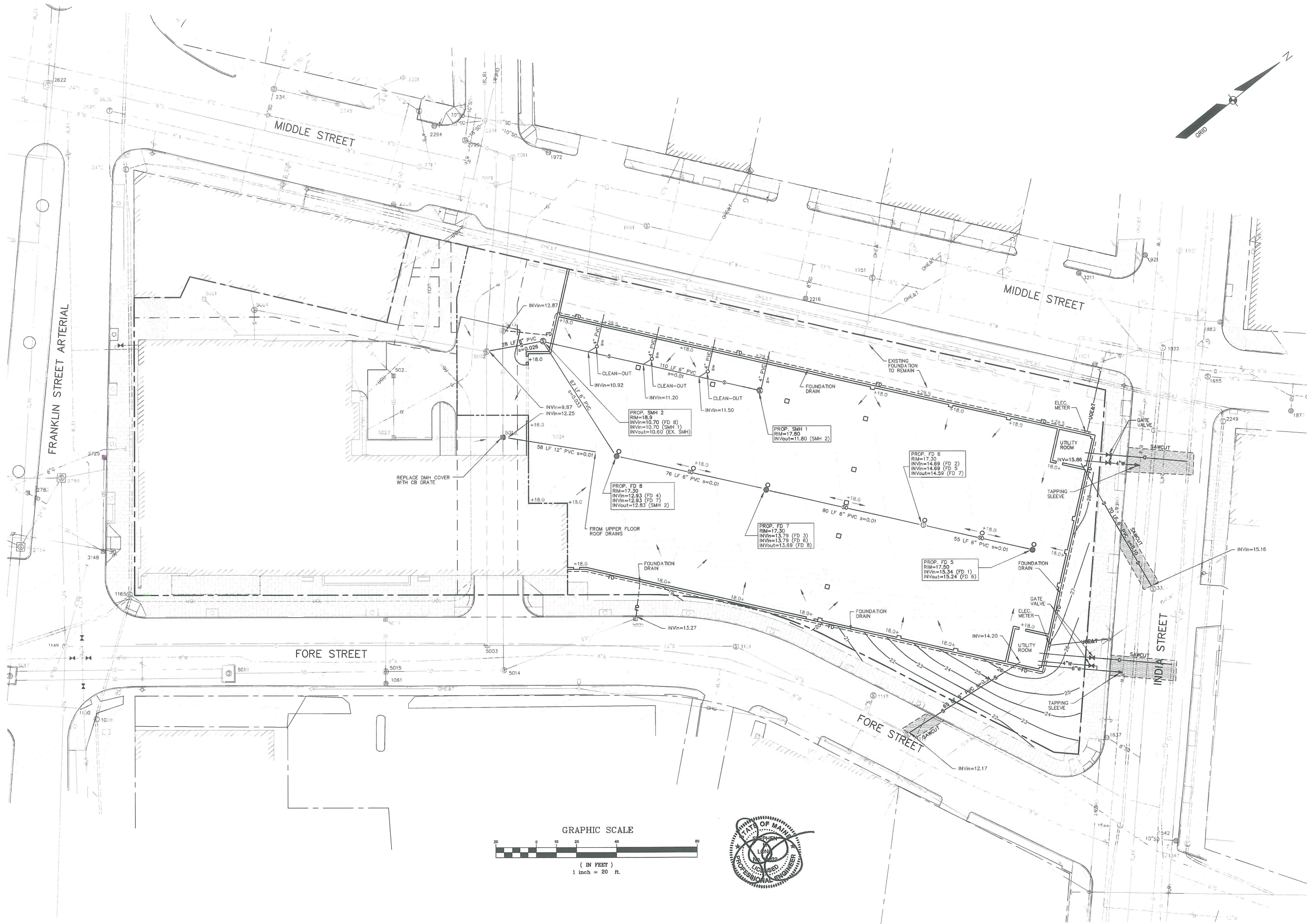
**COPECHEE**  
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 11 CORPORATE DRIVE, BELMONT NH 03220  
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**SITE PLAN  
 (TOWNHOUSES)**

**PARKING LOT  
 AND RESIDENCES**  
 PORTLAND, ME

PROJECT: **C04c**  
 DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: SHL  
 SHEET: 4c OF 10





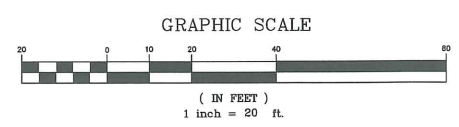
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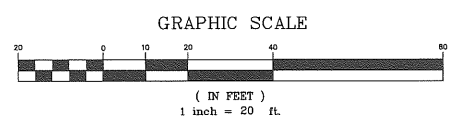
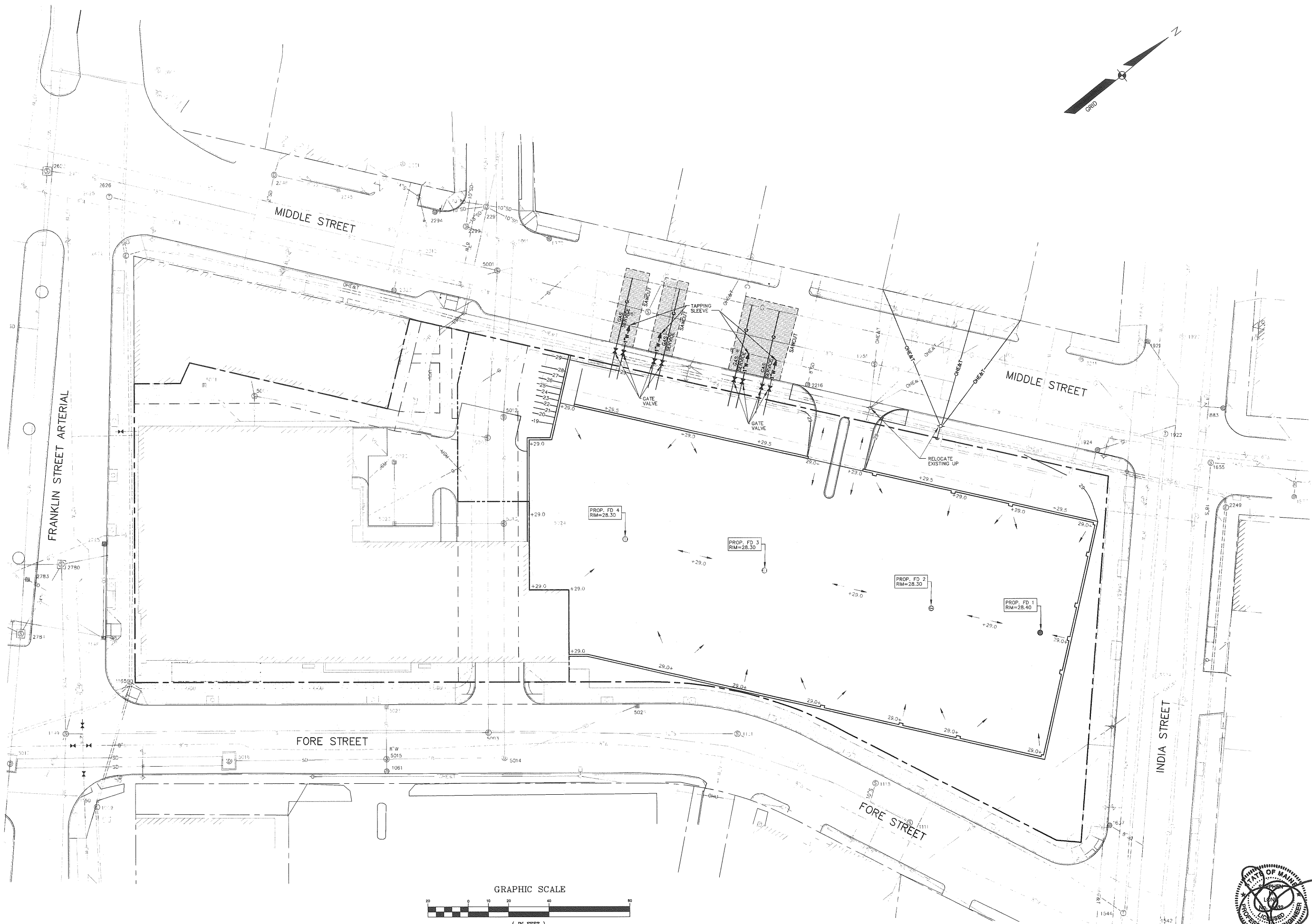
**COPECHEE**  
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 11 CORPORATE DRIVE, BELMONT NH 03228  
 PHONE (603) 527-9890 FAX (603) 527-9191

**GRADING AND UTILITIES PLAN (FIRST FLOOR)**

**PROJECT:** PARKING LOT AND RESIDENCES  
 PORTLAND, ME

**DATE:** 06-22-10  
**SCALE:** 1"=20'  
**DRAWN BY:** SM  
**C05a**  
 SHEET: 5a OF 10





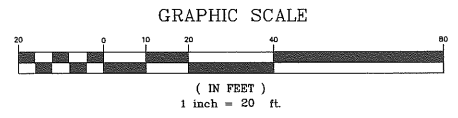
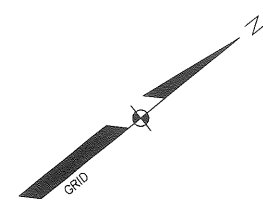
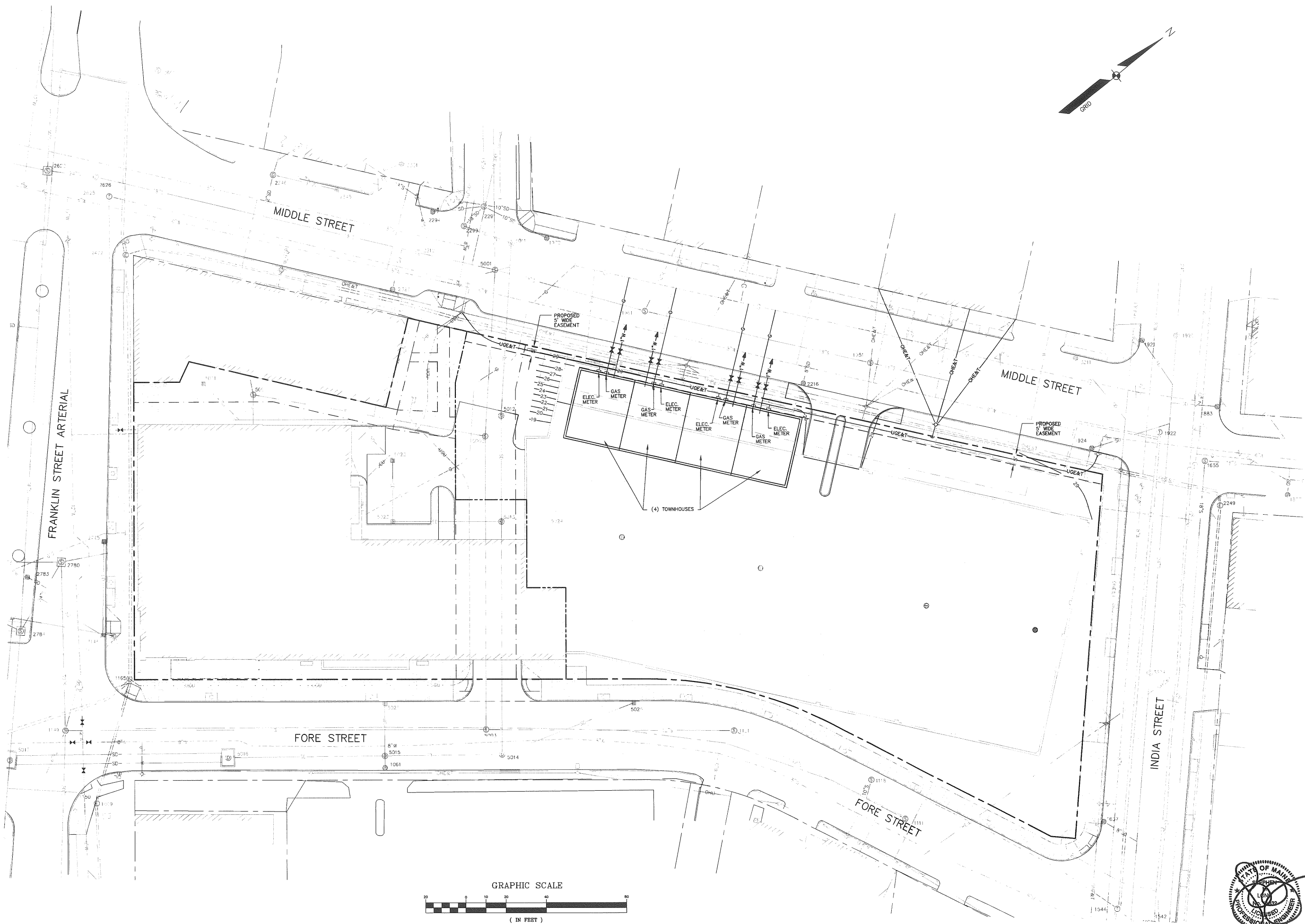
DATE	REVISION SCHEDULE	REVISION DESCRIPTION

**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT, NH 03226  
 PHONE (603) 221-9999 FAX (603) 221-7191

**GRADING AND UTILITIES PLAN (SECOND FLOOR)**

PROJECT: **PARKING LOT AND RESIDENCES (SECOND FLOOR)**  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: SHL  
**C05b**  
 SHEET: 5b OF 10



DATE	BY

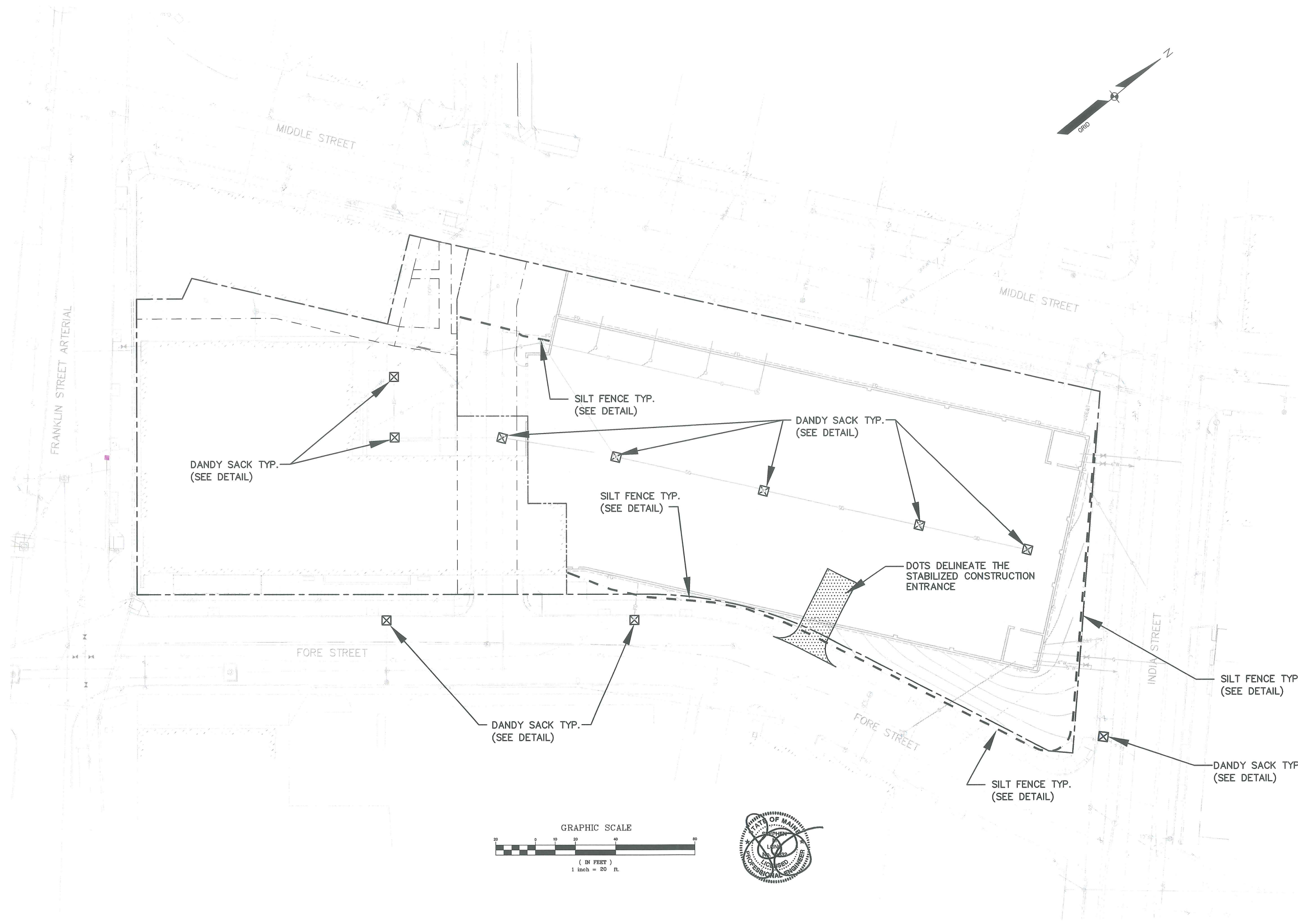
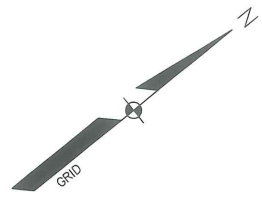
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 11 CORPORATE DRIVE, BELMONT NH 03220  
 PHONE (603) 527-9999 FAX (603) 527-4191

GRADING AND  
 UTILITIES PLAN  
 (TOWNHOUSES)

PROJECT:  
 PARKING LOT  
 AND RESIDENCES  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: S.H.L.  
**C05c**  
 SHEET: 5c OF 10





DANDY SACK TYP.  
(SEE DETAIL)

SILT FENCE TYP.  
(SEE DETAIL)

DANDY SACK TYP.  
(SEE DETAIL)

SILT FENCE TYP.  
(SEE DETAIL)

DOTS DELINEATE THE  
STABILIZED CONSTRUCTION  
ENTRANCE

FORE STREET

DANDY SACK TYP.  
(SEE DETAIL)

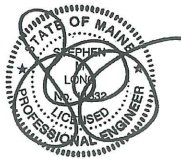
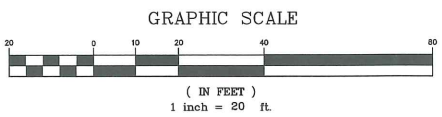
FORE STREET

SILT FENCE TYP.  
(SEE DETAIL)

SILT FENCE TYP.  
(SEE DETAIL)

DANDY SACK TYP.  
(SEE DETAIL)

INDIA STREET



DATE	BY	REVISION SCHEDULE	REVISION DESCRIPTION

**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03220  
 PHONE (603) 327-9090 FAX (603) 327-9191

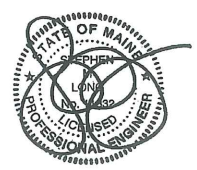
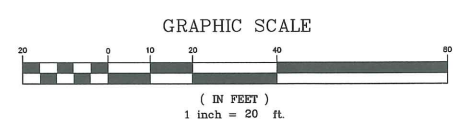
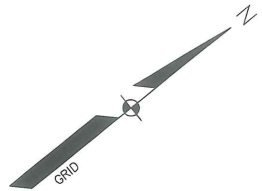
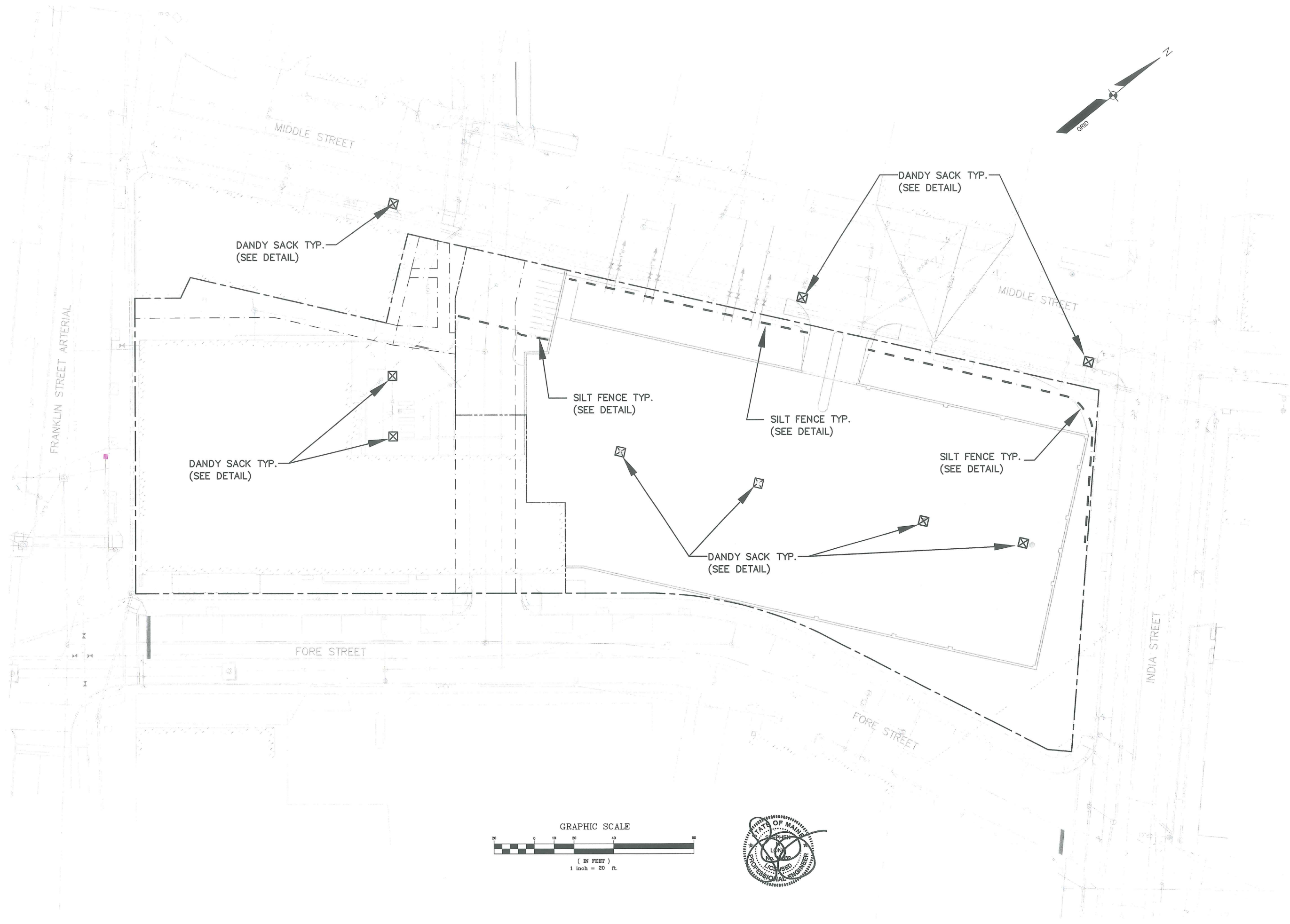
**EROSION CONTROL  
 PLAN  
 (FIRST FLOOR)**

PROJECT: **PARKING LOT  
 AND RESIDENCES**  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: SML

**C06a**  
 SHEET: 6a OF 10





DATE	BY	REVISION DESCRIPTION

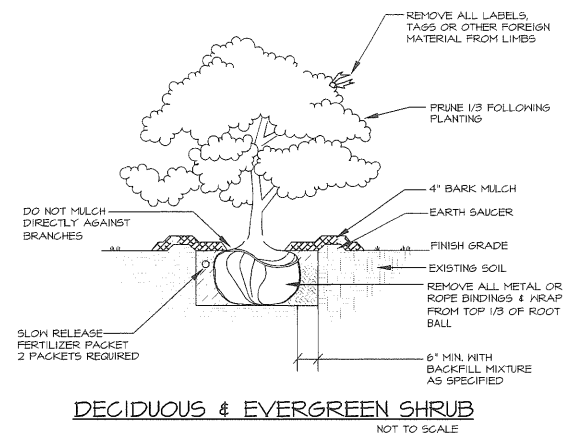
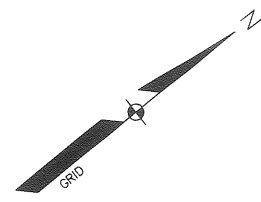
**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03226  
 PHONE (603) 527-9090 FAX (603) 527-5191

**EROSION CONTROL  
 PLAN  
 (SECOND FLOOR)**

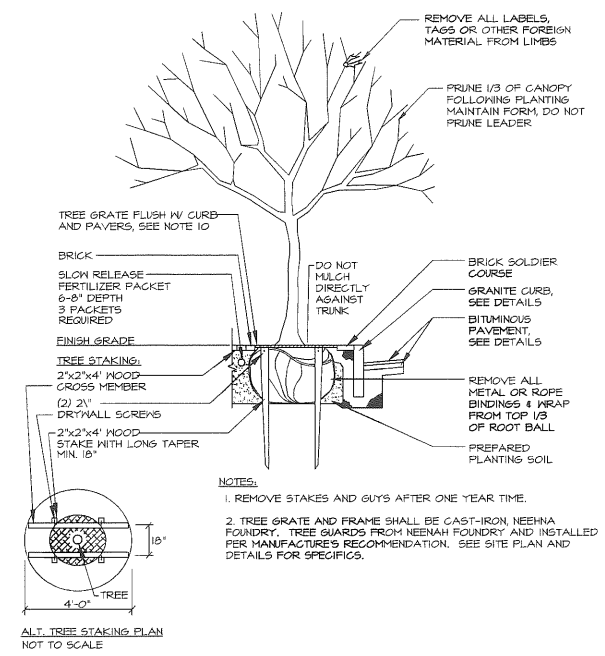
PROJECT: **PARKING LOT  
 AND RESIDENCES**  
 PORTLAND, ME

DATE: 06-22-10  
 SCALE: 1"=20'  
 DRAWN BY: S.M.L.  
**C06b**  
 SHEET: 6b OF 10

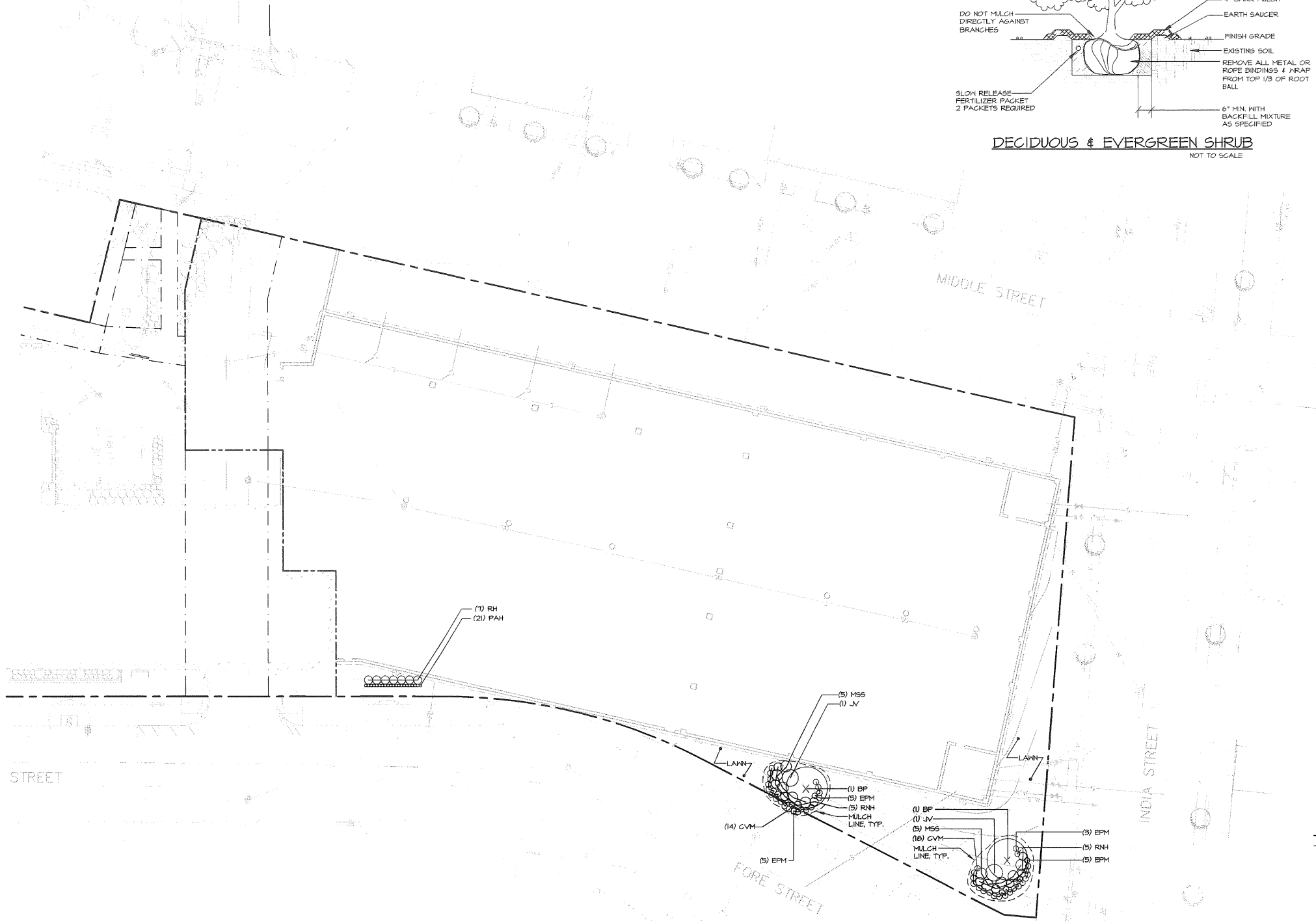




**DECIDUOUS & EVERGREEN SHRUB**  
NOT TO SCALE



**STREET/SHADE TREE**  
NOT TO SCALE

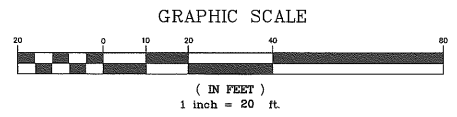


**LANDSCAPE NOTES**

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE LANDSCAPE CONTRACTOR ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPINGS, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL PLANTING BEDS AND SPECIMEN TREES SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE SITE CONTRACTOR SHALL PROVIDE STRUCTURAL SOIL MIX FOR STREET TREES AND ADJACENT AREA (3' BEHIND CURB).
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPRINGDALE PEAT MOSS, AND ONE PART HORTICULTURAL FERTILITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 6 INCHES.

**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
BP	BETULA PAPPYRIFERA 'RENAISSANCE REFLECTION'	WHITE BIRCH	8-10' CLUMP
CVM	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM TICKSEED	NO. 1 CONT.
EPM	ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	NO. 1 CONT.
JV	JUNIFERUS VIRGINIANA 'GREY OAK'	GREY OAK JUNIPER	18-24" HGT.
M55	MISCANTHUS SINENSIS 'SARABANDE'	SARABANDE SILVER GRASS	NO. 1 CONT.
PAH	PENNISETUM ALOPECUROIDES 'HAEMEL'	FOUNTAIN GRASS	NO. 1 CONT.
RH	ROSA 'HONEYSHRETT'	HONEYSHRETT SHRUBROSE	18-24" HGT.
RNH	RUDBECKIA NITIDA 'HERBSTSONNE'	EARLY BIRD GOLD CONEFLOWER	NO. 1 CONT.



REVISION SCHEDULE	REVISION DESCRIPTION
DATE	

**LOPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 527-5090 FAX (603) 527-9191

**LANDSCAPING PLAN (FIRST FLOOR)**

**PARKING LOT AND RESIDENCES**

DATE: 06-22-10  
SCALE: 1"=20'  
DRAWN BY: SML  
**CO7a**  
SHEET: 7 OF 10



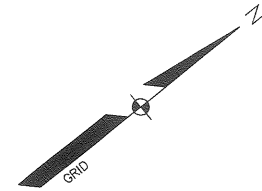




FRANKLIN STREET ARTERIAL

MIDDLE STREET

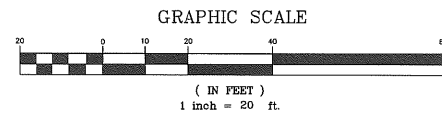
MIDDLE STREET



FORE STREET

INDIA STREET

FORE STREET



LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER/ CATALOG NO.	LAMPS	MOUNTING
A	AREA LIGHT WITH HIGH PERFORMANCE SR4SC OPTICS, CLEAR FLAT GLASS.	LITHONIA LIGHTING KAD 250S SR4SC	ONE 250-WATT CLEAR ET-18 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	POLE MOUNTED 15' HEIGHT

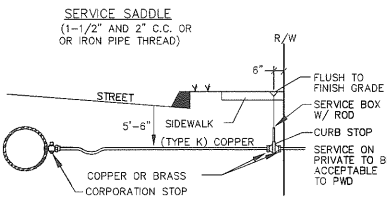
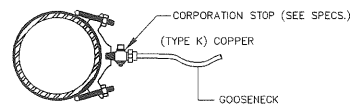
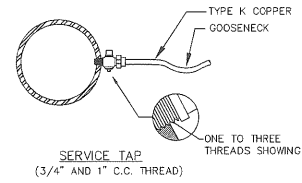
DATE	REVISION SCHEDULE
	REVISION DESCRIPTION

**COPECHEE**  
CONSTRUCTION CORPORATION  
115 GARFIELD BLVD. BELLEVILLE, NJ 07003  
PHONE (609) 327-5000 FAX (609) 327-9101

LIGHTING  
PLAN  
(SECOND FLOOR)

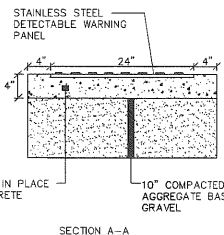
PROJECT  
PARKING LOT  
AND RESIDENCES  
PORTLAND, ME

DATE: 06-22-10  
SCALE: 1"=20'  
DRAWN BY: SML  
**C08**  
SHEET: 8 OF 10

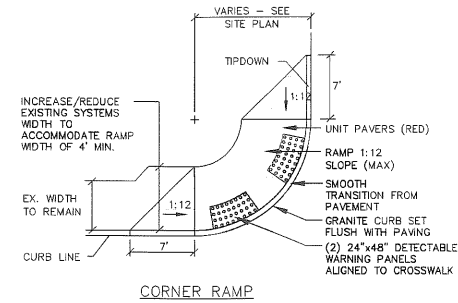
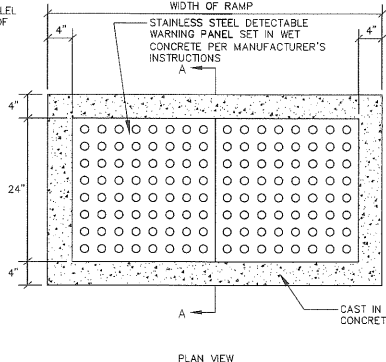


**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE

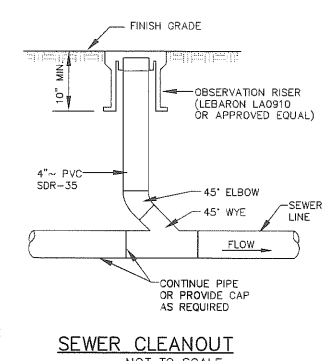
- NOTES:**
1. STAINLESS STEEL TRUNCATED DOME PANELS SHALL BE AS MANUFACTURED BY ADVANTAGE TACTILE SYSTEMS, INC. (WWW.ADVANTAGETACTILE.COM), OR APPROVED EQUAL.
  2. CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR M30 CLASS A STRUCTURAL CONCRETE, MINIMUM COMPRESSIVE STRENGTH 4,000 PSI.
  3. TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. TRUNCATED DOME BRICKS ARE NOT ALLOWED.
  4. THE "YELLOW" COLOR SHALL BE USED IN ALL SIDEWALK RAMP MADE OF CONCRETE OR ASPHALT. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
  5. FOR ALL BRICK SIDEWALK RAMP, "TAN COATED".



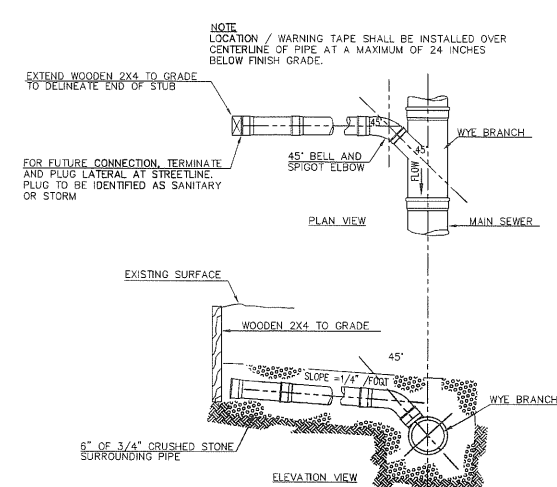
**SIDEWALK RAMP DETECTABLE WARNING PANEL**  
NOT TO SCALE



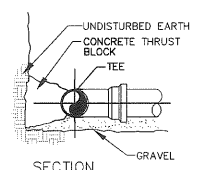
**CORNER RAMP**



**SEWER CLEANOUT**  
NOT TO SCALE

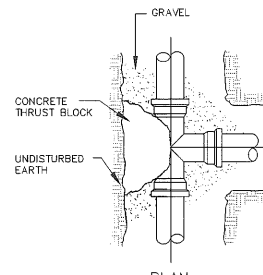


**TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL**  
NOT TO SCALE

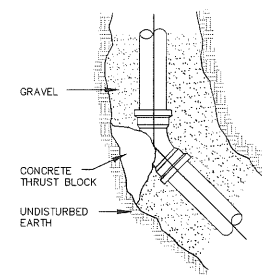


**SECTION**

CONCRETE THRUST BLOCK SIZE REQUIREMENTS			
FITTINGS	90° BENDS	45° BENDS	TEES AND PLUGS
PIPE SIZE	4.0	2.0	3.0
8"	8.0	4.0	6.0
12"	15	10	10

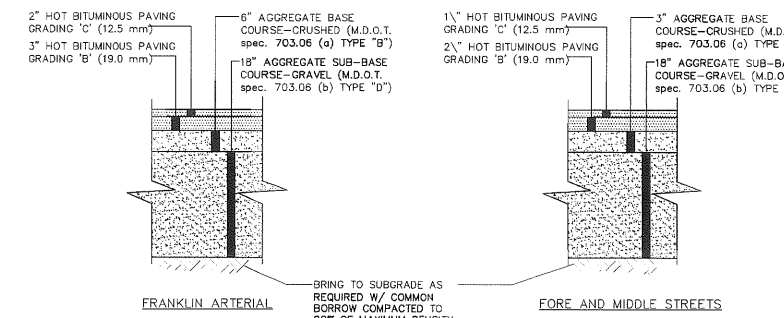


**PLAN**



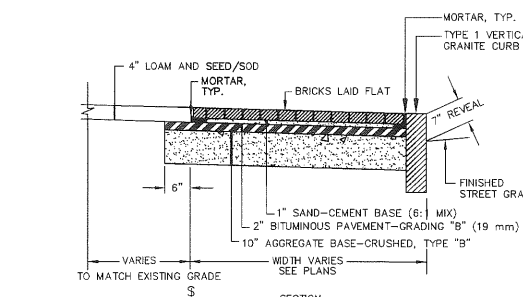
**45° BEND**

**TEE AND BEND DETAIL**  
NOT TO SCALE

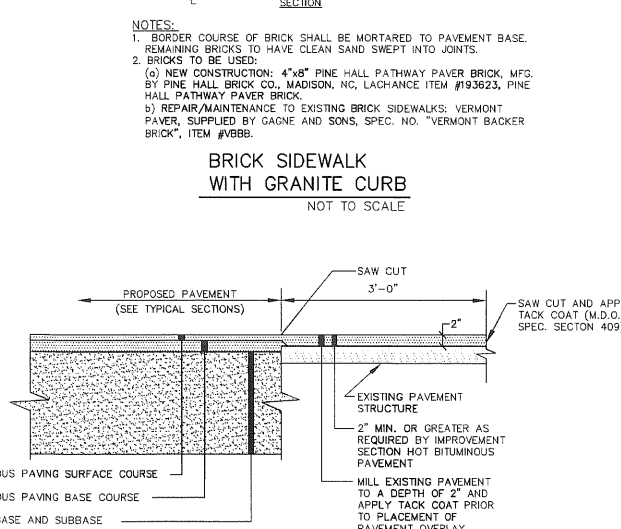


- NOTE:**
1. COMPACT GRAVEL SUB-BASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

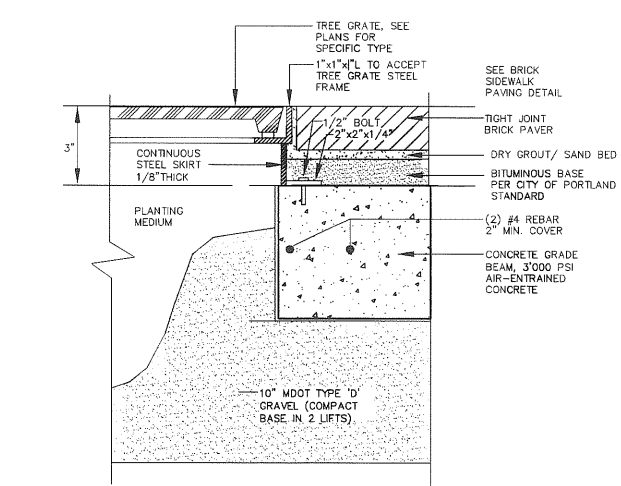
**TYPICAL PAVEMENT REPAIR SECTION FOR PUBLIC STREETS**  
NOT TO SCALE



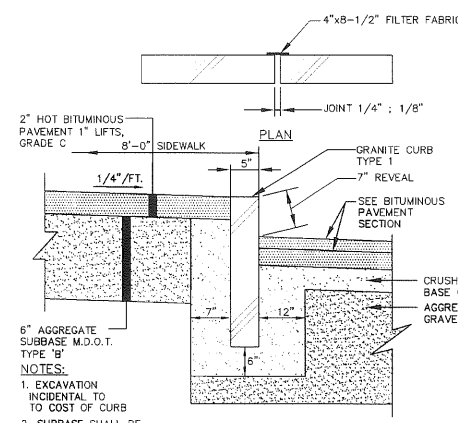
**BRICK SIDEWALK WITH GRANITE CURB**  
NOT TO SCALE



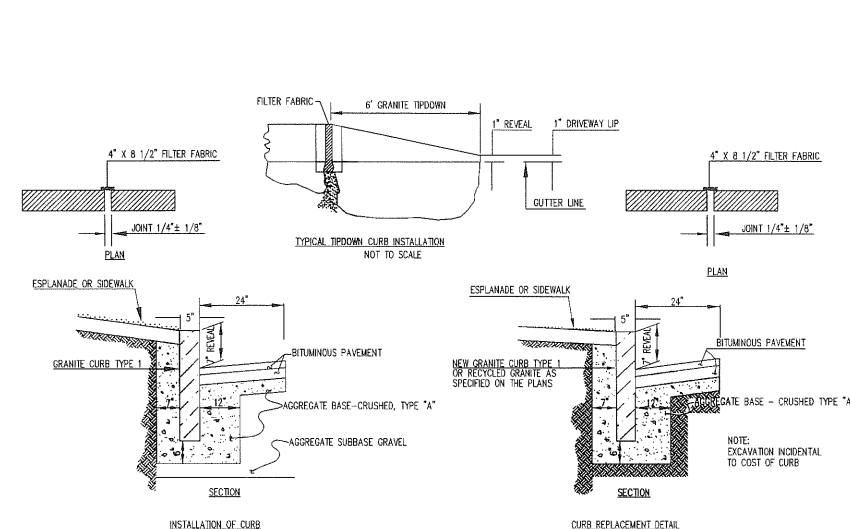
**PAVEMENT SAW CUT DETAIL**  
NOT TO SCALE



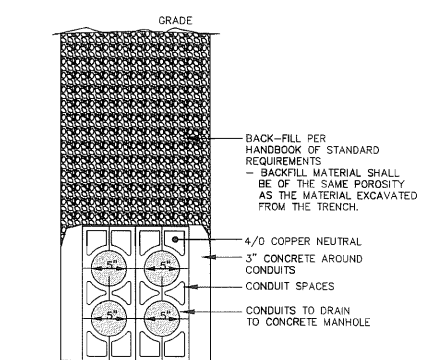
**TYPICAL SECTION TREE GRATE FRAME**  
NOT TO SCALE



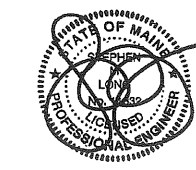
**BITUMINOUS SIDEWALK WITH GRANITE CURB**  
NOT TO SCALE



**TYP. INSTALLATION OF CURB TYPE 1**  
NOT TO SCALE



**2x2 5\"/>**



DATE	REVISION DESCRIPTION

**COPECHE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NH 03320  
PHONE (603) 337-9096 FAX (603) 337-9191

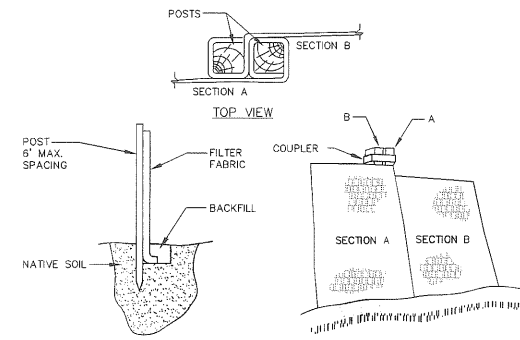
**CONSTRUCTION DETAILS**

**PARKING LOT AND RESIDENCES**  
PORTLAND, ME

DATE: 06-22-10  
SCALE: 1"=20"  
DRAWN BY: SML

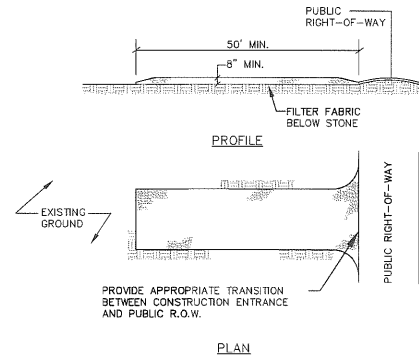
**C09**  
SHEET: 4 OF 10

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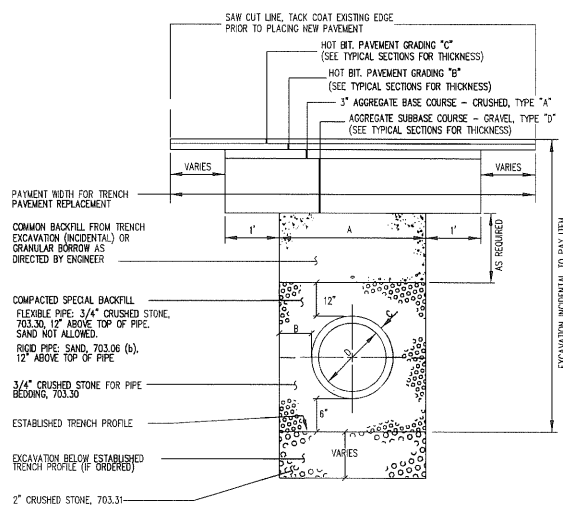
- INSTALLATION:**
1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

**SILT FENCE**  
NOT TO SCALE

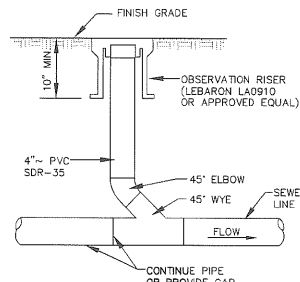


- NOTES:**
1. STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
  2. LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
  3. THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
  4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  5. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

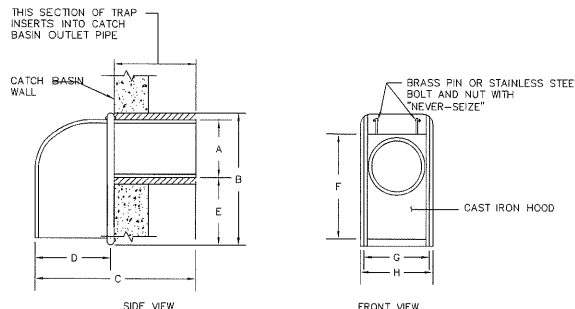
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**TYPICAL PIPE INSTALLATION DETAIL**  
NOT TO SCALE



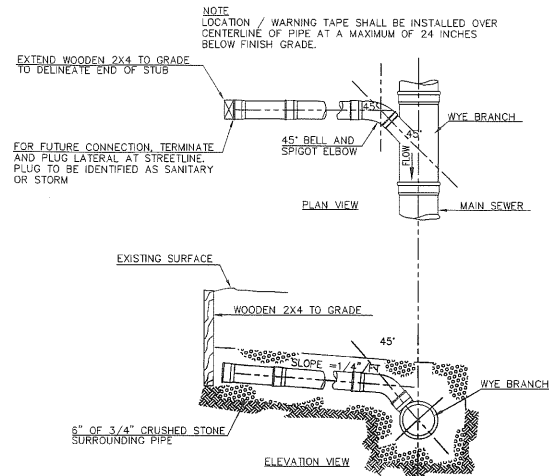
**SEWER CLEANOUT**  
NOT TO SCALE



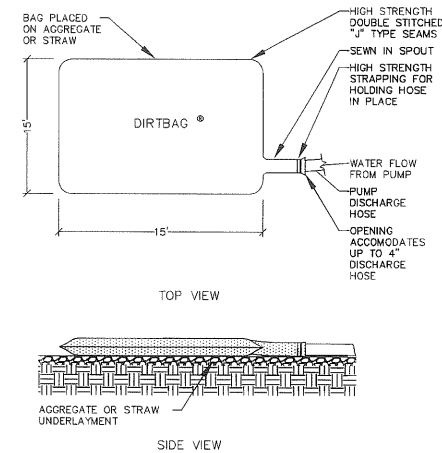
SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	6 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

(AS MANUFACTURED BY THE ETHERIDGE FOUNDRY IN PORTLAND, ME.)  
NOTE: CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT AS SUPPLIED BY THE LEBARON FOUNDRY, MODEL # L 202 "STANDARD CATCH BASIN TRAP"

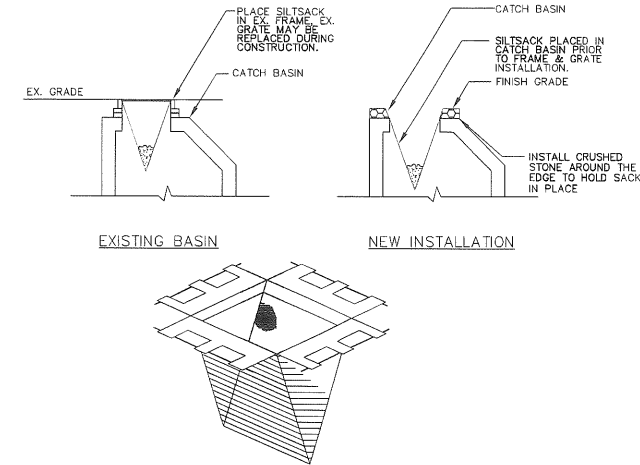
**CASCO TRAP DETAIL**  
NOT TO SCALE



**TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL**  
NOT TO SCALE



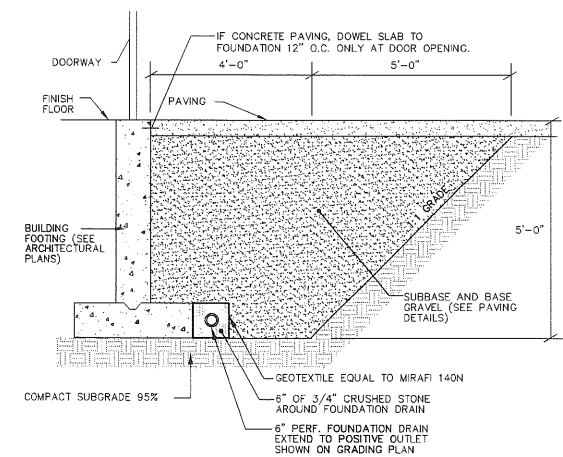
**DIRTBAG PUMPED SILT CONTROL SYSTEM**  
NOT TO SCALE



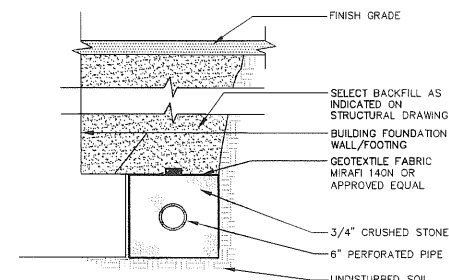
**SILT SACK PROTECTION**

**NOTES:**  
PRIOR TO FINAL GRADING AND PAVING OPERATIONS BEGIN A CATCH BASIN INSERT (SUCH AS A SILT SACK OR A DANDY BAG) MUST BE INSTALLED IN EACH BASIN PER MANUFACTURER'S INSTRUCTIONS. HAY BALES SHOULD BE REMOVED ONCE INSERTS ARE INSTALLED.

**CATCH BASIN PROTECTION DETAIL (FOR PAVED AREAS)**  
NOT TO SCALE

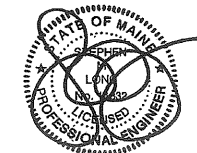


**5' GRANULAR BASE @ DOOR THRESHOLD**  
NOT TO SCALE



**TYP. PERFORATED FOUNDATION DRAIN TRENCH SECTION**  
NOT TO SCALE

- GENERAL NOTES FOR MANHOLES AND CATCH BASINS**
1. ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
  2. PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-478-67
  3. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
  4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
  5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
  6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
  7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
  8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED POK HOLE.
  9. EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
  10. SEE PLANS FOR STRUCTURES THAT REQUIRE BOLTED AND SEALED SANITARY MANHOLE COVERS. BOLTED COVERS SHALL BE ETHERIDGE FOUNDRY G245N OR EQUAL. PROVIDE NEOPRENE GASKET AND STAINLESS STEEL BOLTS.



DATE	BY	REVISION SCHEDULE	REVISION DESCRIPTION

**COPECEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT NH 03220  
PHONE (603) 237-9999 FAX (603) 237-9191

**DRAINAGE DETAILS**

**PARKING LOT AND RESIDENCES**  
PORTLAND, ME

PROJECT: **C10**

DATE: 06-22-10  
SCALE: 1"=20'  
DRAWN BY: SHL

SHEET: 10 OF 10