

29-L-1

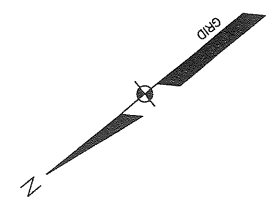
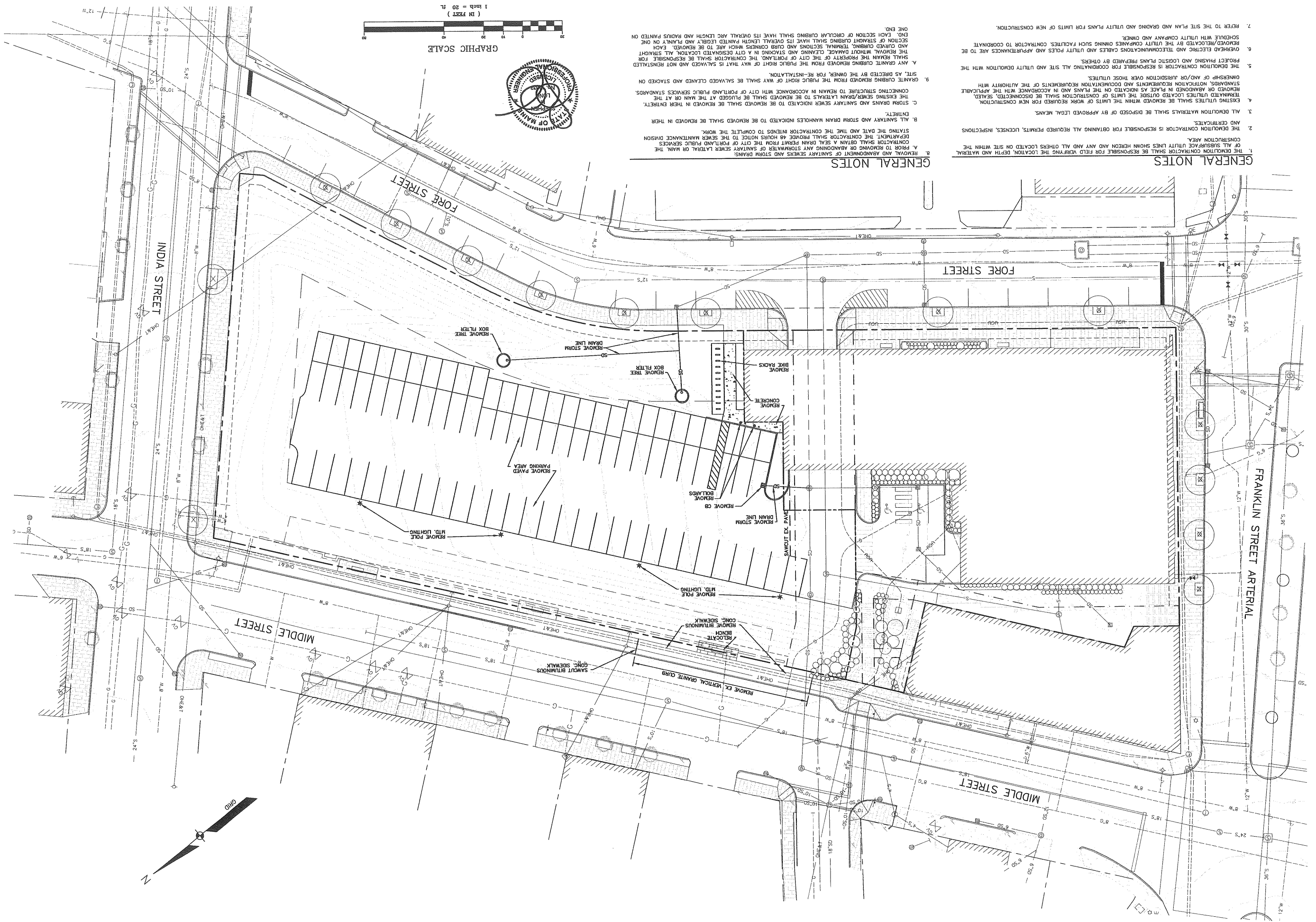
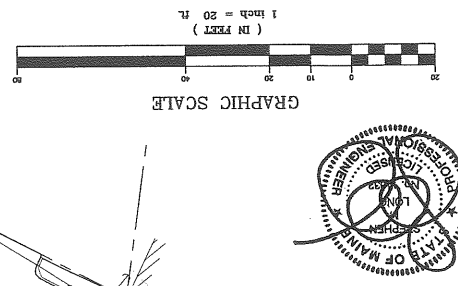
207-209 Fore St.

2 Unit Condo.

Op & chee Construction

- GENERAL NOTES**
1. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
 2. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND CERTIFICATES.
 3. ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF BY APPROVED LEGAL MEANS.
 4. EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. REMAINING UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE DISCONNECTED, SEALED, AND ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS, NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP OF AND/OR JURISDICTION OVER THOSE UTILITIES.
 5. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH THE PROJECT PHASING AND LOGISTICS RESPONSIBLE FOR OTHERS.
 6. OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND UTILITY POLES AND APPURTENANCES ARE TO BE REMOVED/RELOCATED BY THE UTILITY COMPANIES OWNING SUCH FACILITIES. CONTRACTOR TO COORDINATE SCHEDULE WITH UTILITY COMPANY AND OWNER.
 7. REFER TO THE SITE PLAN AND GRADING AND UTILITY PLANS FOR LIMITS OF NEW CONSTRUCTION.

- GENERAL NOTES**
- A. REMOVE AND ABANDONMENT OF SANITARY SEWERS AND STORM DRAINS.
CONTRACTOR SHALL OBTAIN A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION PRIOR TO REMOVING OR ABANDONING ANY STORMWATER OF SANITARY SEWER LATERAL OR MAIN. THE CONTRACTOR SHALL OBTAIN A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION PRIOR TO REMOVING OR ABANDONING ANY STORMWATER OF SANITARY SEWER LATERAL OR MAIN.
 - B. ALL SANITARY AND STORM DRAIN MARKERS INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY.
 - C. STORM DRAINS AND SANITARY SEWERS INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. THE EXISTING SEWER/STORM MAIN LATERALS TO BE REMOVED SHALL BE PLUGGED AT THE MAIN OR AT THE CONNECTING STRUCTURE TO REMAIN IN ACCORDANCE WITH CITY OF PORTLAND PUBLIC SERVICES STANDARDS.
 9. GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY SHALL BE SALVAGED CLEANED AND STACKED ON ONE END. EACH SECTION OF CIRCULAR CURBING SHALL HAVE ITS OVERALL ARC LENGTH AND RADIUS PAINTED ON ONE SECTION OF STRAIGHT CURBING SHALL HAVE ITS OVERALL LENGTH PAINTED. LEGAL AND PLAINLY ON ONE END. GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY SHALL BE SALVAGED CLEANED AND STACKED ON ONE END.



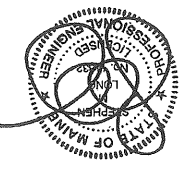
DATE: 06-22-10
SCALE: 1"=20'
DRAWN BY: SML
SHEET: 3 OF 10
C03

PROJECT:
PARKING LOT
PORTLAND, ME

DEMOLITION
PLAN

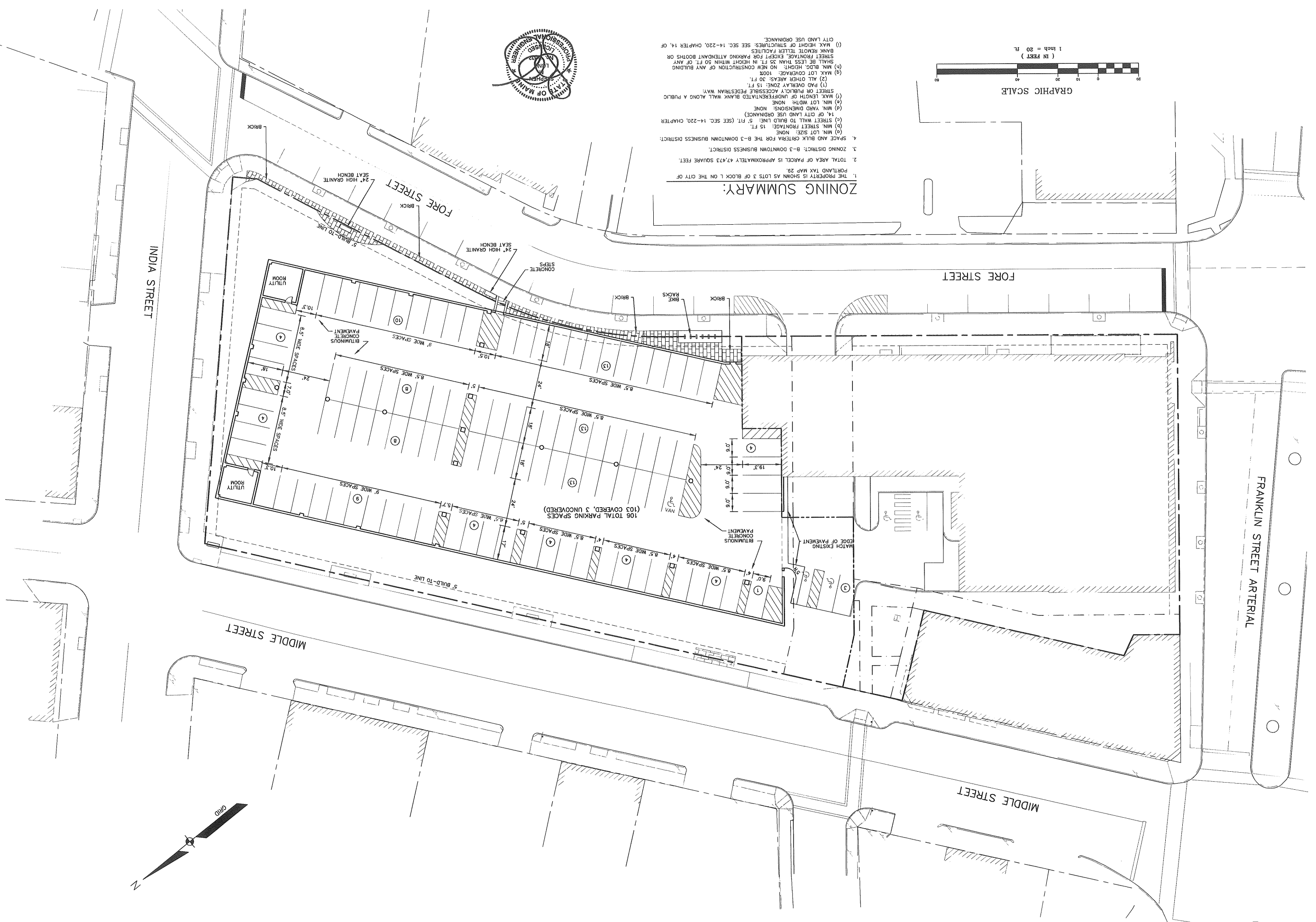
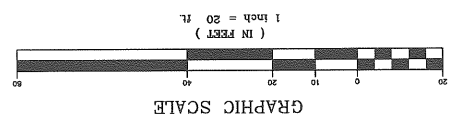
OPENCEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03210
PHONE (603) 377-9098 FAX (603) 377-9191

DATE	REVISION	SCHEDULE	BY
7-20-10	PER STAFF REVIEW COMMENTS		SML
8-03-10	PER STAFF REVIEW COMMENTS		SML



ZONING SUMMARY:

1. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 29.
2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
 - (a) MIN. LOT SIZE: NONE
 - (b) MIN. STREET FRONTAGE: 15 FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 - (c) STREET WALL TO BUILD LINE: 5' FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 - (d) MIN. YARD DIMENSIONS: NONE
 - (e) MAX. LENGTH OF UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY: NONE
 - (f) PAD OVERLAY ZONE: 15 FT.
 - (g) MAX. LOT COVERAGE: 100%
 - (h) MIN. BLDG. HEIGHT: NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 25 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK REMOTE TELLER FACILITIES
 - (i) MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE.



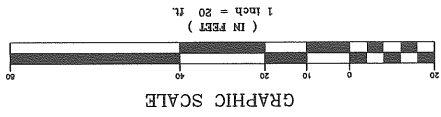
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SCALE: 1"=20'
DRAWN BY: SHL

PROJECT: PARKING LOT
PORTLAND, ME

SITE PLAN
(FIRST FLOOR)

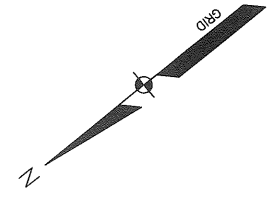
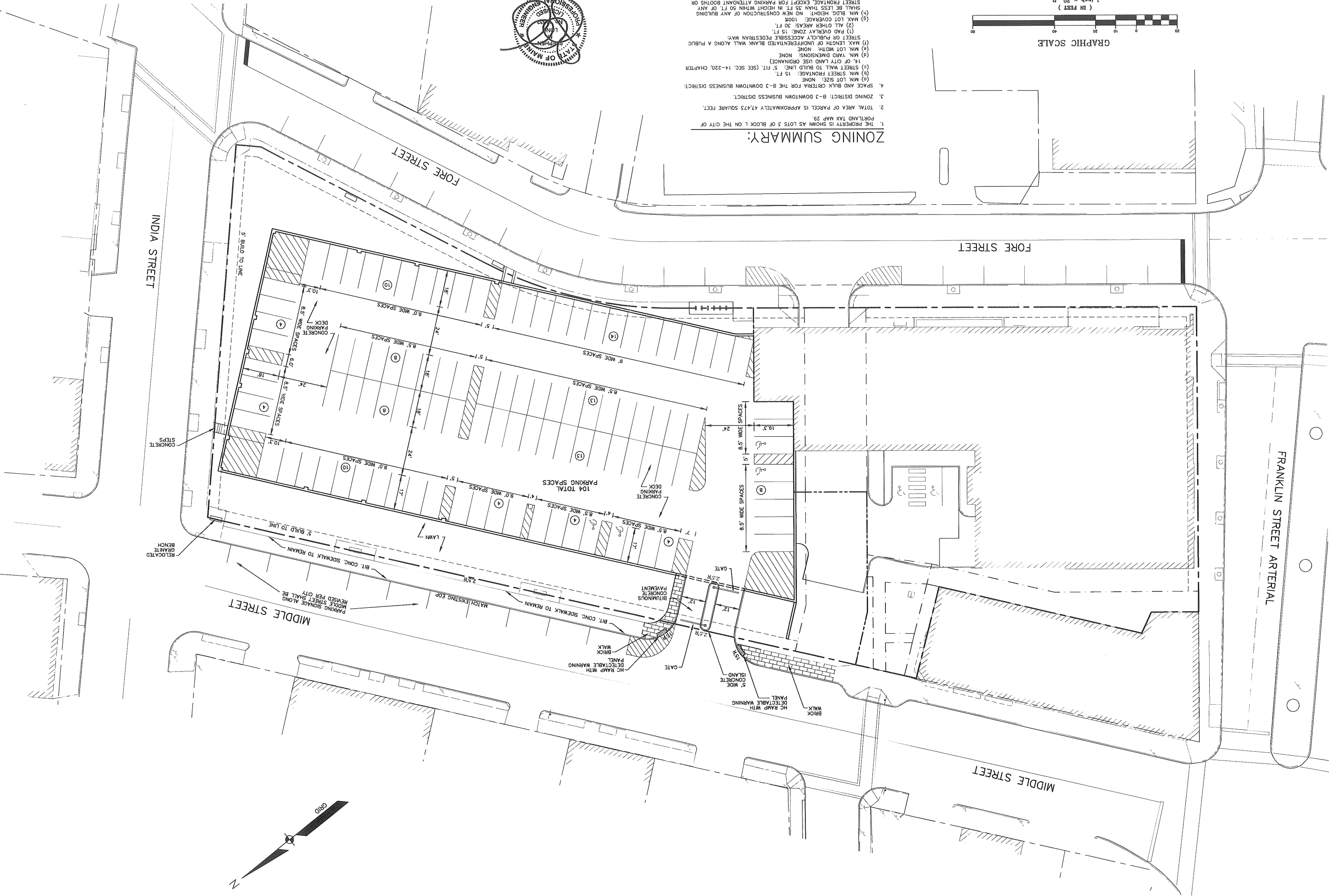
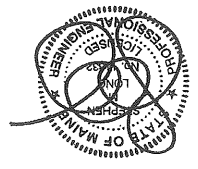
OPCHCE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03326
PHONE (603) 527-9090 FAX (603) 527-9191

REVISION SCHEDULE		BY
DATE	PER STAFF REVIEW COMMENTS	
7-20-10	PER STAFF REVIEW COMMENTS	SHL
8-03-10	PER STAFF REVIEW COMMENTS	SHL
8-04-10	PER STAFF REVIEW COMMENTS	SHL



ZONING SUMMARY:

1. THE PROPERTY IS SHOWN AS LOTS 3 OF BLOCK L ON THE CITY OF PORTLAND TAX MAP 23.
2. TOTAL AREA OF PARCEL IS APPROXIMATELY 47,473 SQUARE FEET.
3. ZONING DISTRICT: B-3 DOWNTOWN BUSINESS DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B-3 DOWNTOWN BUSINESS DISTRICT:
 - (a) MIN. LOT SIZE: NONE
 - (b) MIN. STREET FRONTAGE: 15 FT.
 - (c) STREET WALL TO BUILD LINE: 5' FT. (SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE)
 - (d) MIN. YARD DIMENSIONS: NONE
 - (e) MIN. LOT WIDTH: NONE
 - (f) MAX. LENGTH OF UNDEVELOPED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY: 100 FT.
 - (g) MAX. LOT COVERAGE: 100%
 - (h) MAX. LOT COVERAGE: 30 FT. (2) ALL OTHER AREAS: 30 FT.
5. MAX. HEIGHT OF STRUCTURES: SEE SEC. 14-220, CHAPTER 14, OF CITY LAND USE ORDINANCE.
6. BANK REMOTE TELLER FACILITIES SHALL BE LESS THAN 35 FT. IN HEIGHT WITHIN 50 FT. OF ANY STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK REMOTE TELLER FACILITIES.



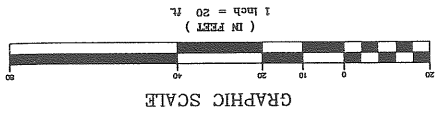
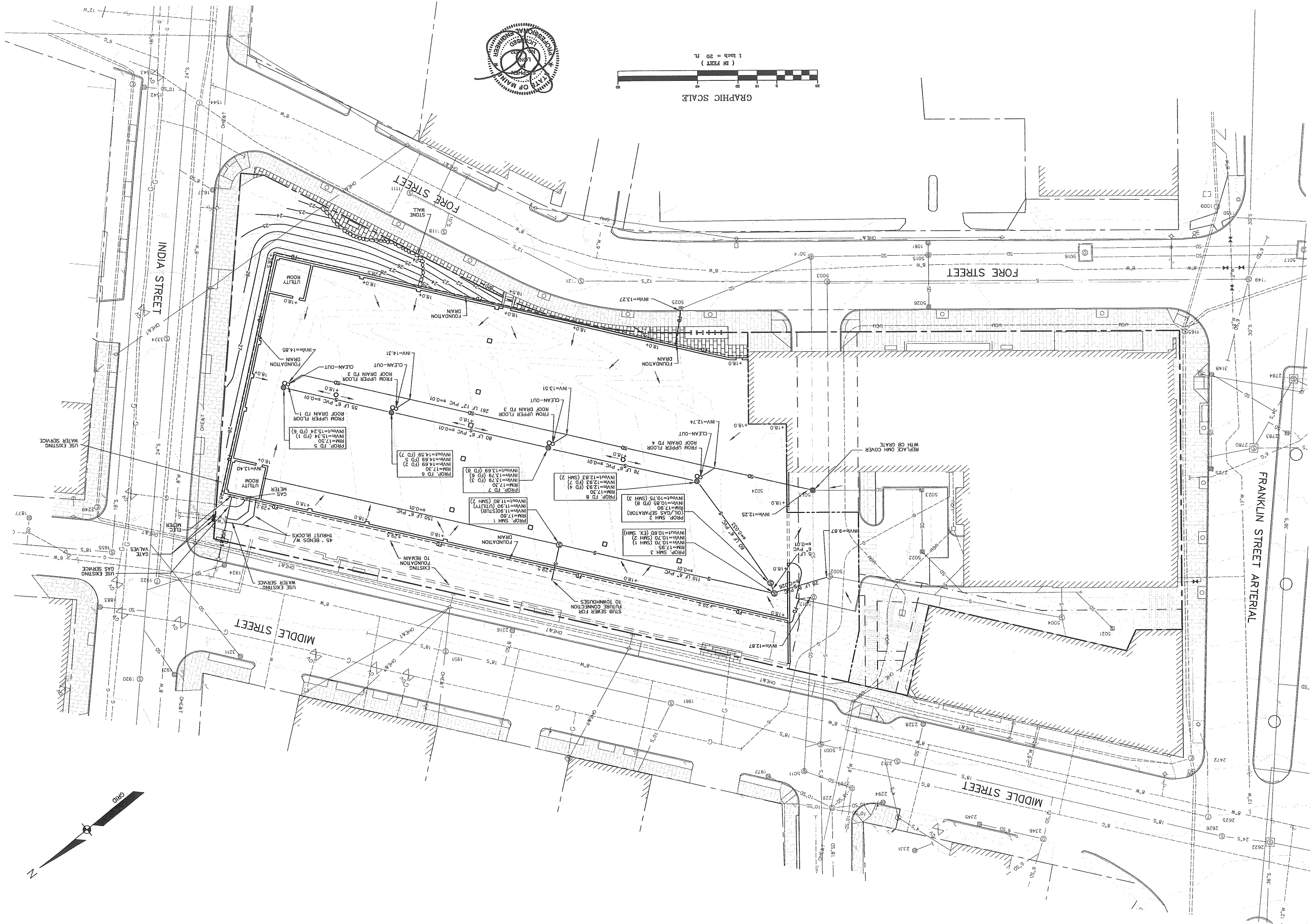
PROJECT: PARKING LOT
 PORTLAND, ME
 DATE: 06-22-10
 SCALE: 1"=20'
 DRAWN BY: SHL
 SHEET: 4b OF 10
CO4b

PROJECT: PARKING LOT
 PORTLAND, ME

SITE PLAN
 (SECOND FLOOR)

OPECHEE
 CONSTRUCTION CORPORATION
 11 CORCORAN DRIVE, BELMONT NH 03316
 PHONE (603) 557-9098 FAX (603) 557-9191

DATE	REVISION DESCRIPTION	BY
1-20-10	PER STAFF REVIEW COMMENTS	SHL
6-03-10	PER STAFF REVIEW COMMENTS	SHL
8-04-10	PER STAFF REVIEW COMMENTS	SHL



DATE: 06-22-10
SCALE: 1"=20'
DRAWN BY: SML
SHEET: 50 OF 10
C05a

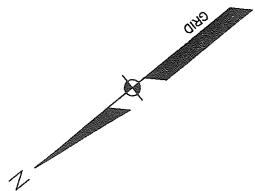
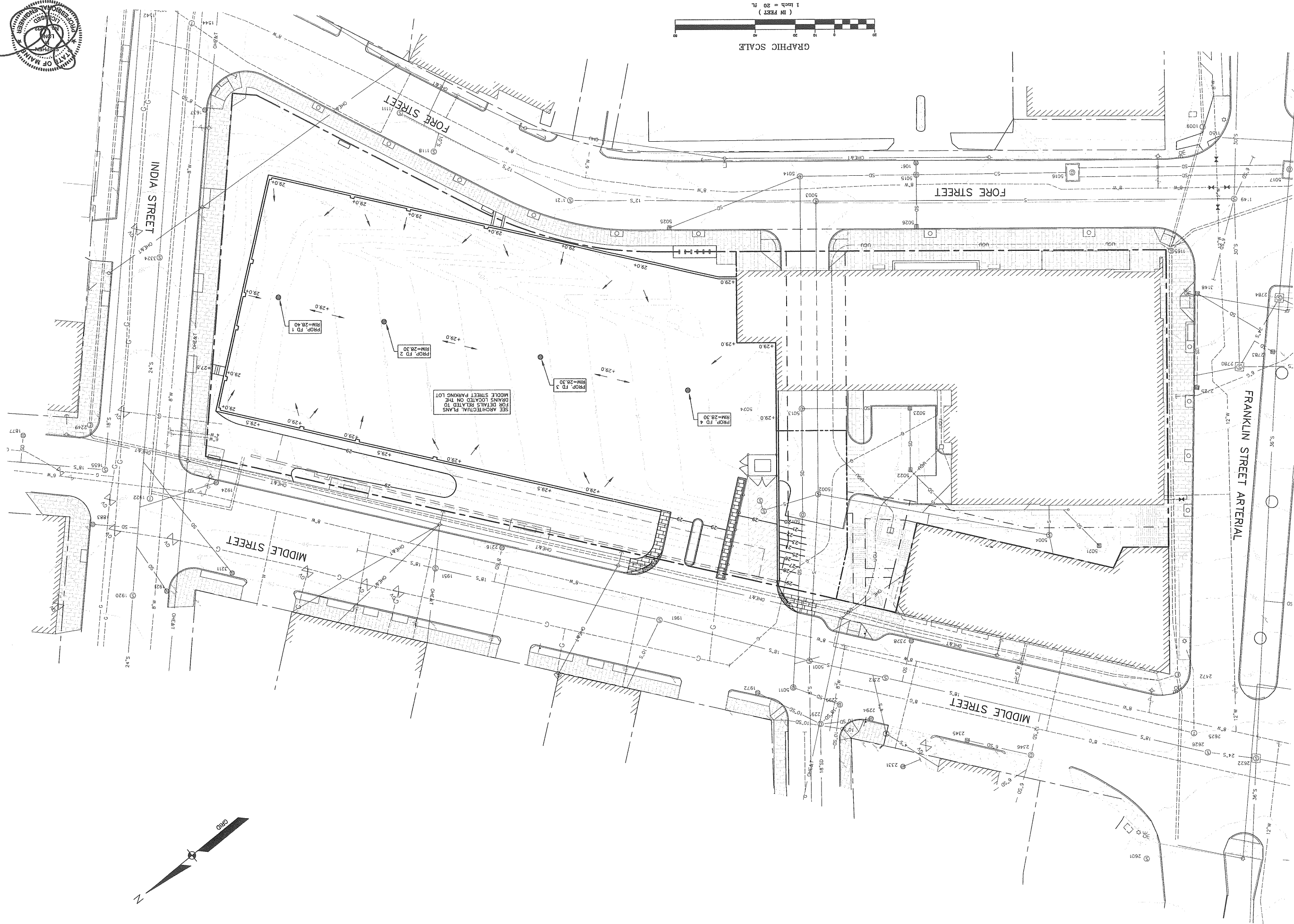
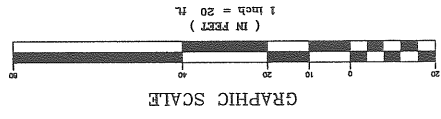
PROJECT:
PARKING LOT
PORTLAND, ME

GRADING AND
UTILITIES PLAN
(FIRST FLOOR)

OPENCEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03120
PHONE (603) 251-9408 FAX (603) 251-9191

DATE	REVISION	REVISION SCHEDULE	BY
7-30-10	PER STAFF REVIEW COMMENTS		SML
8-03-10	PER STAFF REVIEW COMMENTS		SML

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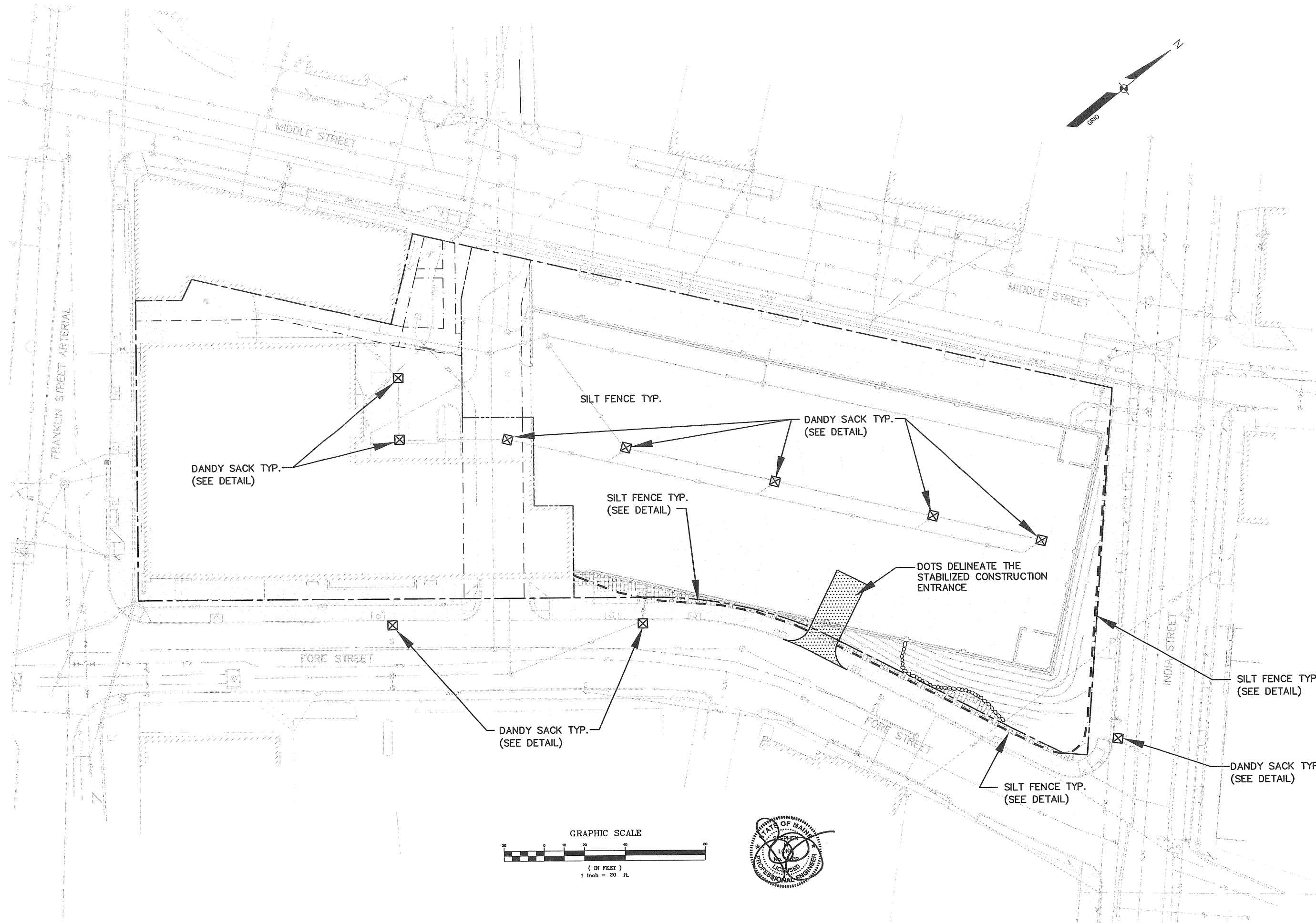
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 SHEET: 5B OF 10
C055b

PROJECT:
PARKING LOT
 PORTLAND, ME

GRADING AND UTILITIES PLAN (SECOND FLOOR)

OPETHEE
 CONSTRUCTION CORPORATION
 11 COPPERHILL DRIVE, BELMONT, NH 03318
 PHONE: (603) 517-9099 FAX: (603) 517-9191

REVISION SCHEDULE		DATE
1-20-10	PER STAFF REVIEW COMMENTS	
6-23-10	PER STAFF REVIEW COMMENTS	
		BR
		SML
		SML



DATE	REVISION	SCHEDULE	REVISION DESCRIPTION
7-20-10			PER STAFF REVIEW COMMENTS
9-03-10			PER STAFF REVIEW COMMENTS

COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT NH 03220
 PHONE (603) 327-9998 FAX (603) 327-9191

EROSION CONTROL PLAN (FIRST FLOOR)

PROJECT: **PARKING LOT** PORTLAND, ME

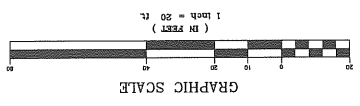
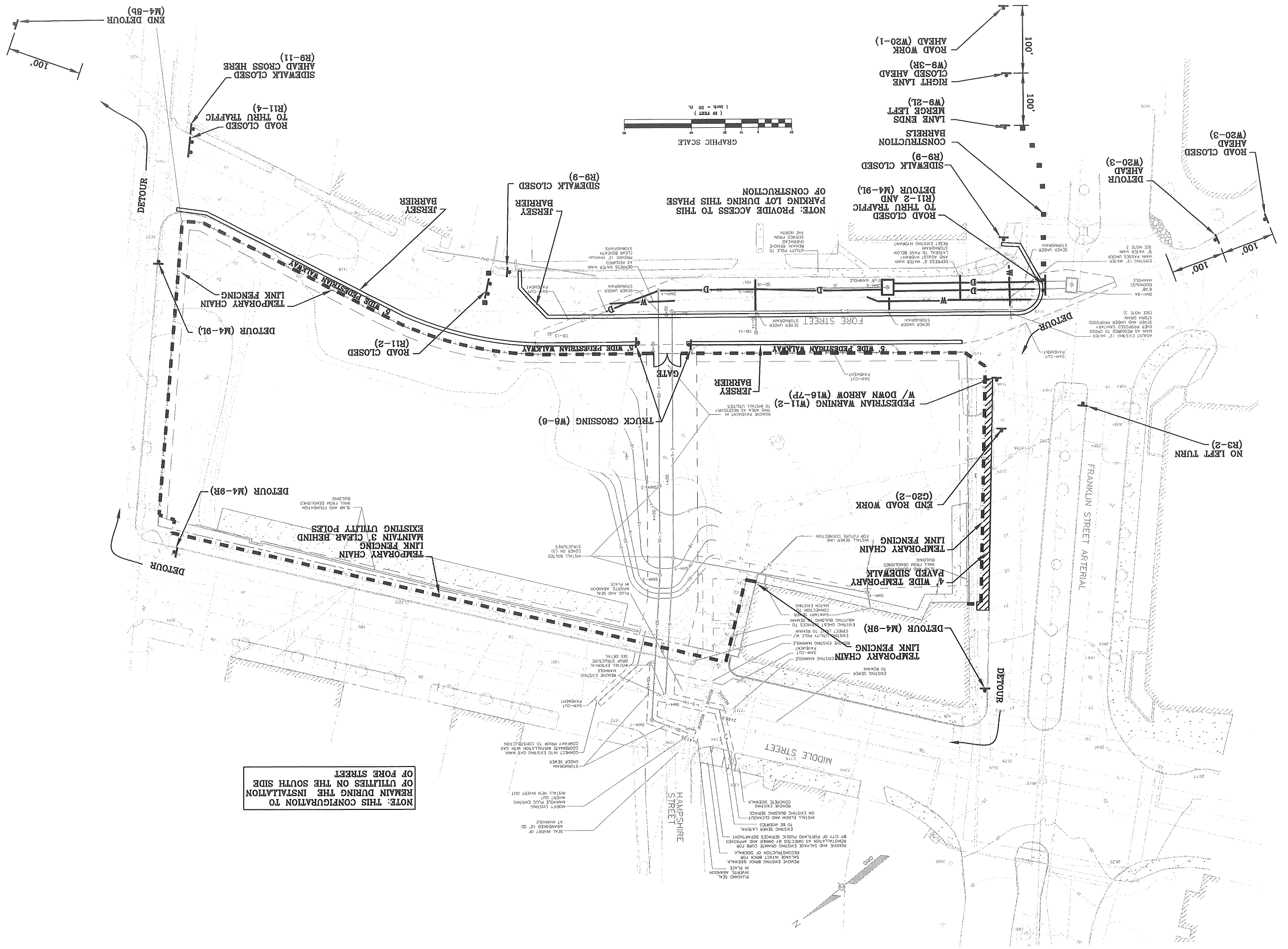
DATE: 06-22-10
 SCALE: 1"=20'
 DRAWN BY: SML
C06a
 SHEET: 60 OF 10

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SHEET 4 OF 5	
DATE	04-05-10
SCALE	1"=20'
PROJECT: FORE STREET OWNER: OLD PORT HOSPITALITY, LLC 11 CORPORATE DRIVE BELMONT, MA 02458	
PREPARED BY: OPCHCE CONSTRUCTION CORPORATION 11 CORPORATE DRIVE, BELMONT MA 02458 TEL: (617) 227-7878 FAX: (617) 227-1411	
REV.	BY

TEMPORARY TRAFFIC CONTROL PLAN - FORE ST. - SOUTH
 DRAIN AND SEWER SEPARATION



NOTE: THIS CONFIGURATION TO REMAIN DURING THE INSTALLATION OF UTILITIES ON THE SOUTH SIDE OF FORE STREET

NOTE: PROVIDE ACCESS TO THIS PARKING LOT DURING THIS PHASE OF CONSTRUCTION

EXISTING UTILITIES MAINTAIN 3' CLEAR BEHIND TEMPORARY CHAIN LINK FENCING

PAVED SIDEWALK

TEMPORARY CHAIN LINK FENCING

DETOUR (M4-9R)

TEMPORARY CHAIN LINK FENCING

DETOUR (M4-9L)

PAVED SIDEWALK

TEMPORARY CHAIN LINK FENCING

DETOUR (M4-9L)

TEMPORARY CHAIN LINK FENCING

DETOUR (M4-9L)

DETOUR (M4-8P)
 END DETOUR

ROAD CLOSED TO THRU TRAFFIC (R11-4)

ROAD CLOSED AHEAD CROSS HERE (R9-11)

ROAD CLOSED (R11-2)

ROAD CLOSED (R9-9)

ROAD CLOSED (M4-9L)

ROAD CLOSED (M4-9R)

ROAD CLOSED (R11-2)

ROAD CLOSED (M4-9L)

ROAD CLOSED (M4-9R)

ROAD CLOSED (R11-2)

ROAD CLOSED (M4-9L)

ROAD CLOSED (M4-9R)

ROAD CLOSED (R11-2)

ROAD CLOSED (M4-9L)

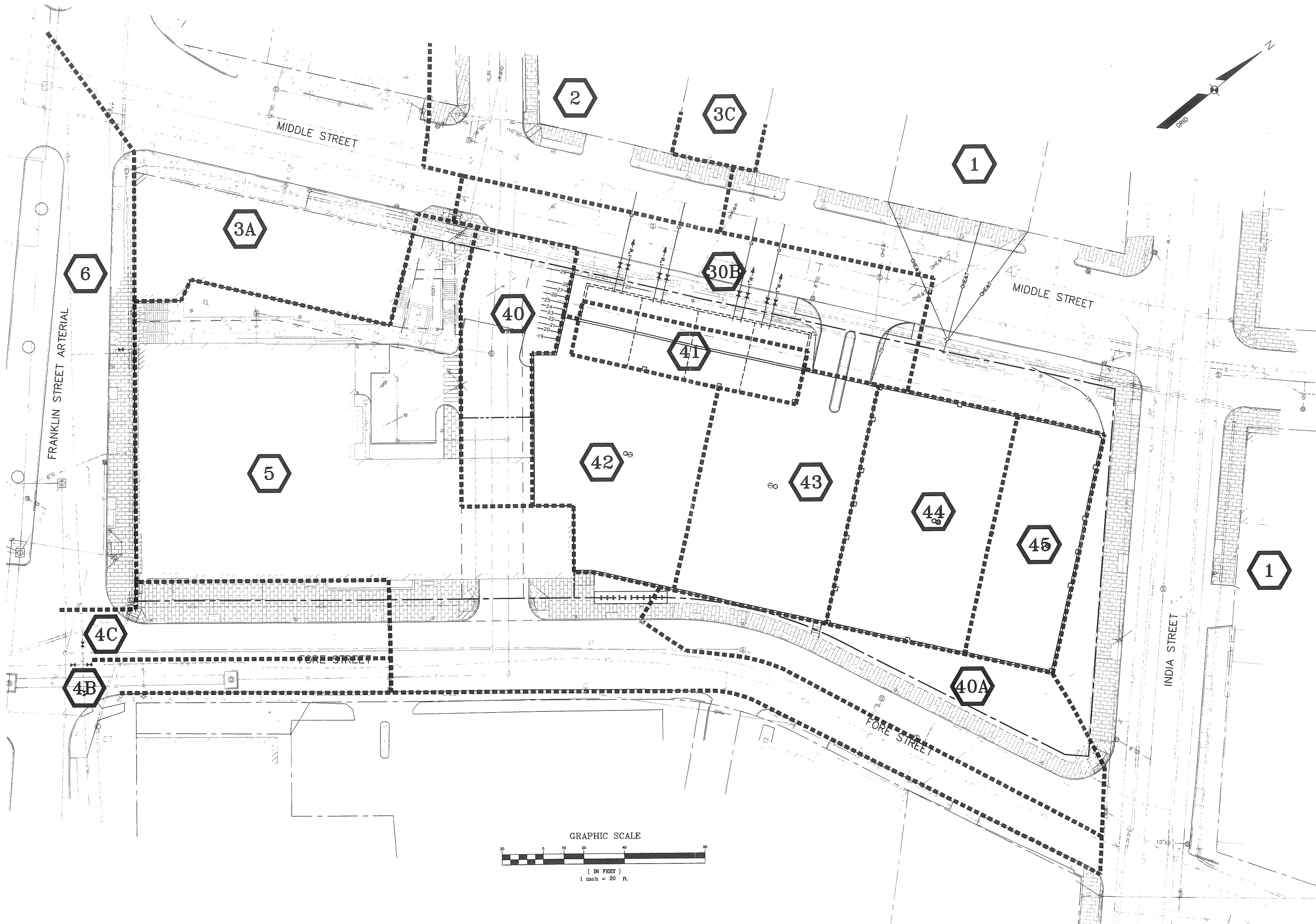
ROAD CLOSED (M4-9R)

ROAD CLOSED (R11-2)

ROAD CLOSED (M4-9L)

ROAD CLOSED (M4-9R)

ROAD CLOSED (R11-2)



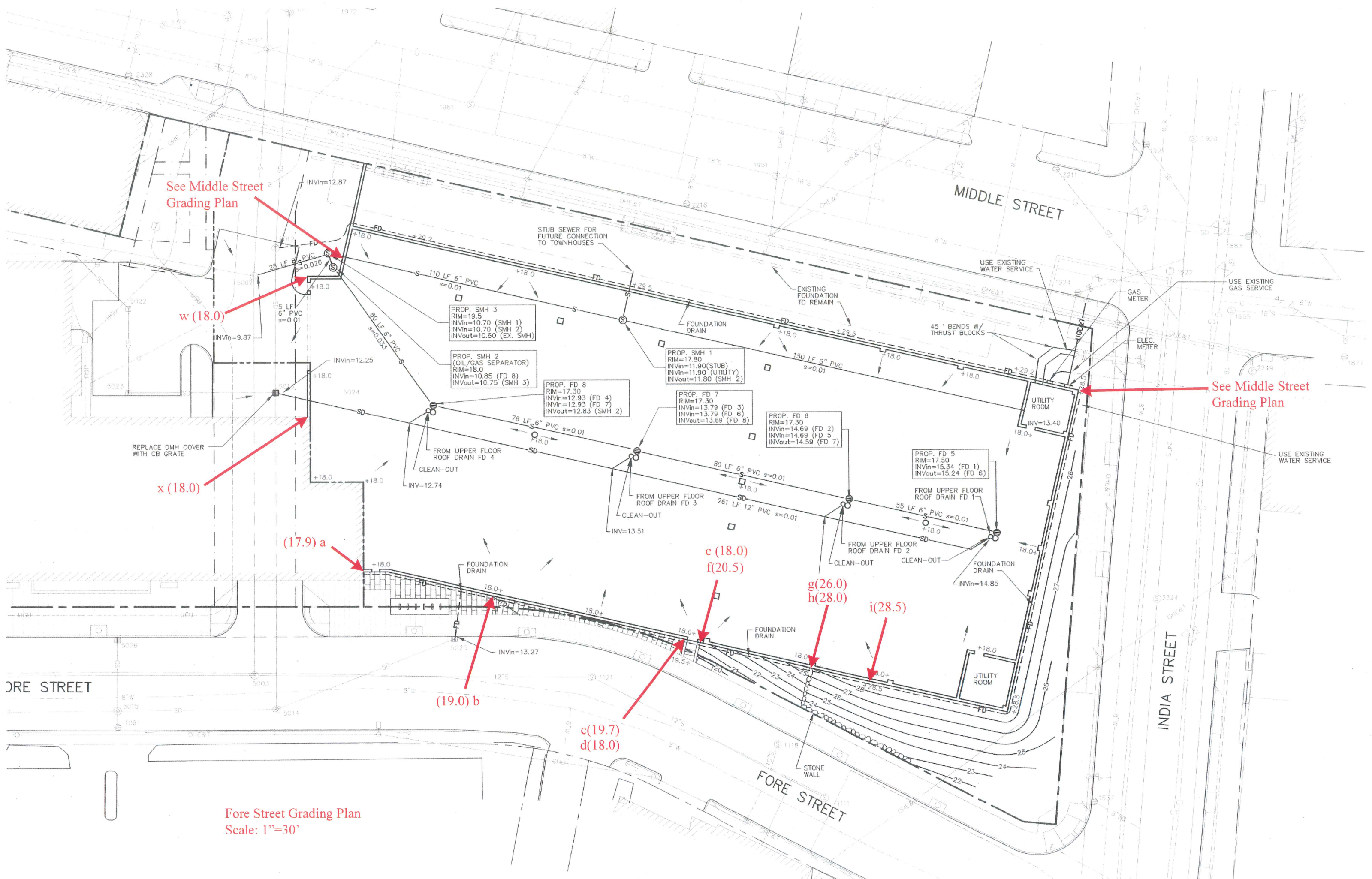
REVISION	DATE	DESCRIPTION

LOPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT NH 03320
 PHONE (603) 327-9000 FAX (603) 327-9191

**POST-DEVELOPMENT
 DRAINAGE PLAN**

**PARKING LOT
 AND RESIDENCES**
 PORTLAND, ME

PROJECT:
 DATE: 06-10-10
 SCALE: 1"=20'
 DRAWN BY: SML
DP1
 SHEET: 1 OF 1



See Middle Street Grading Plan

See Middle Street Grading Plan

w (18.0)

x (18.0)

(17.9) a

e (18.0)
f (20.5)

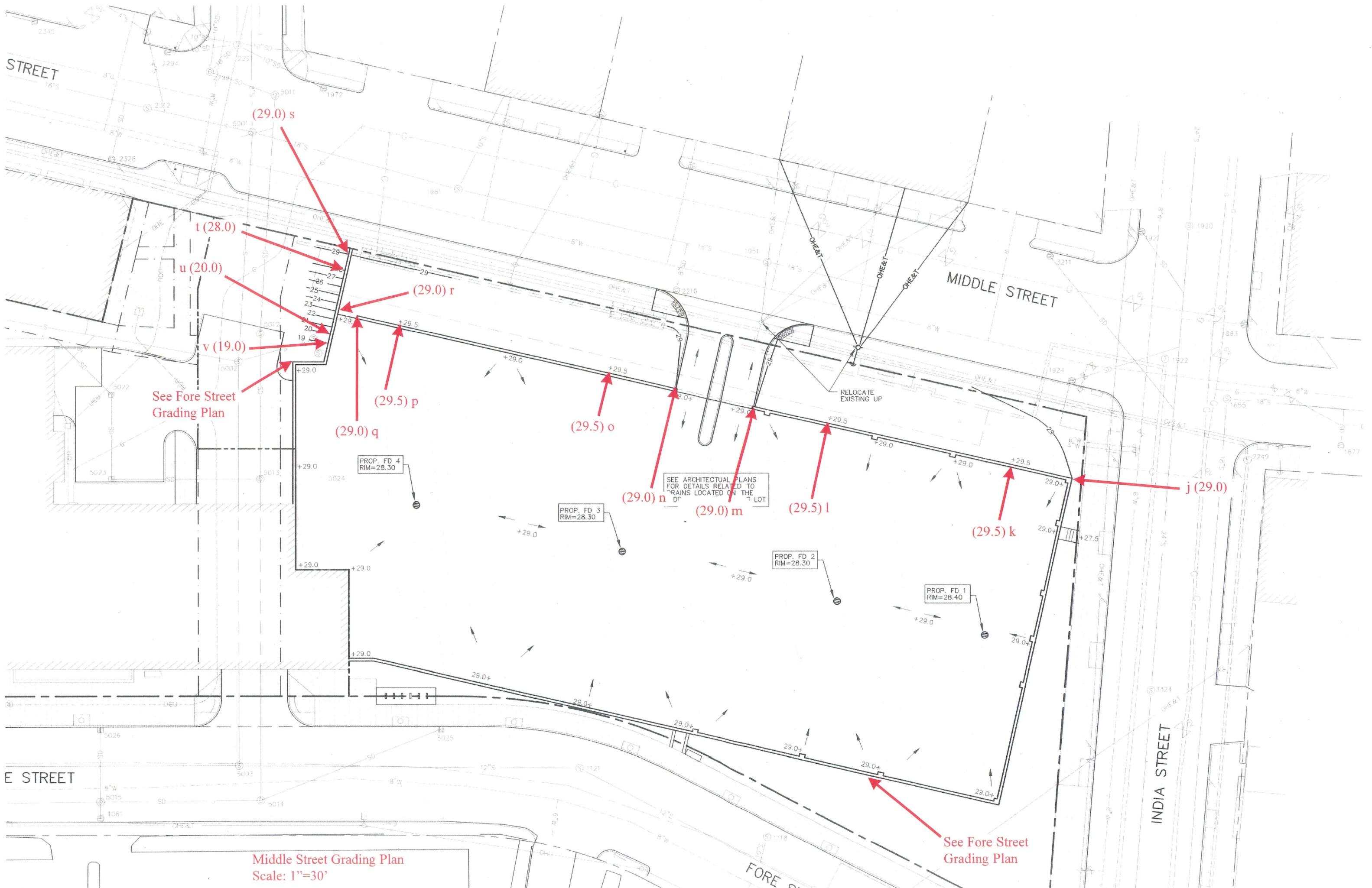
g (26.0)
h (28.0)

i (28.5)

(19.0) b

c (19.7)
d (18.0)

Fore Street Grading Plan
Scale: 1"=30'



See Fore Street Grading Plan

SEE ARCHITECTURAL PLANS FOR DETAILS RELATED TO DRAINS LOCATED ON THE LOT

See Fore Street Grading Plan

Middle Street Grading Plan
Scale: 1"=30'