



Jeff Levine, AICP, Director
Planning & Urban Development Department

Tammy Munson, Director
Inspections Division

Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

Cross sections w/framing details

Detail of any new walls or permanent partitions

Floor plans and elevations

Window and door schedules

Complete electrical and plumbing layout.

Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review

Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2009

Proof of ownership is required if it is inconsistent with the assessors records.

Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".

Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.

Location and dimensions of parking areas and driveways, street spaces and building frontage.

Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)



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Fire Department requirements.

The following shall be submitted on a separate sheet:

Name, address and phone number of applicant **and** the project architect.

Proposed use of structure (NFPA and IBC classification)

Square footage of proposed structure (total and per story)

Existing and proposed fire protection of structure.

Separate plans shall be submitted for

- a) Suppression system
- b) Detection System (separate permit is required)

A separate Life Safety Plan must include:

- a) Fire resistance ratings of all means of egress
- b) Travel distance from most remote point to exit discharge
- c) Location of any required fire extinguishers
- d) Location of emergency lighting
- e) Location of exit signs
- f) NFPA 101 code summary

Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



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Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),

call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,

hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,

deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland, Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. ***After all approvals have been met and completed, I will then be issued my permit via e-mail.*** No work shall be started until I have received my permit.

Applicant Signature: Eric Clifford Date: _____

I have provided digital copies and sent them on: _____ Date: _____

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction:		
Total Square Footage of Proposed Structure:		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant Name: Address City, State & Zip	Telephone: Email:
Lessee/Owner Name : (if different than applicant) Address: City, State & Zip: Telephone & E-mail:	Contractor Name: (if different from Applicant) Address: City, State & Zip: Telephone & E-mail:	Cost Of Work: \$ _____ C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? ___ If yes, please name _____ Project description: _____		
Who should we contact when the permit is ready:		
Address:		
City, State & Zip:		
E-mail Address:		
Telephone:		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <i>Eric Clifford</i>	Date:
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This is not a permit; you may not commence ANY work until the permit is issued.



Certificate of Design Application

From Designer: Gensler

Date: September 26, 2016

Job Name: CIEE HQ Renovation

Address of Construction: 300 Fore Street, Portland, ME

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) Business (B) & Storage (S)

Type of Construction 2B (Existing Building - per original filing)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC Existing per original filing

Is the Structure mixed use? Yes (Existing) If yes, separated or non separated or non separated (section 302.3) Non separated

Supervisory alarm System? N/A - Existing Geotechnical/Soils report required? (See Section 1802.2) N/A - Existing

Structural Design Calculations

N/A - Existing Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<small>Existing / No change in Use</small>	<small>N/A - per existing filing</small>

Wind loads (1603.1.4, 1609)

Per original filing Design option utilized (1609.1.1, 1609.6)

Per original filing Basic wind speed (1809.3)

Per original filing Building category and wind importance Factor, I_w , table 1604.5, 1609.5)

Per original filing Wind exposure category (1609.4)

Per original filing Internal pressure coefficient (ASCE 7)

Per original filing Component and cladding pressures (1609.1.1, 1609.6.2.2)

Per original filing Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Per original filing Design option utilized (1614.1)

Per original filing Seismic use group ("Category")

Per original filing Spectral response coefficients, S_D s & S_{D1} (1615.1)

Per original filing Site class (1615.1.5)

Per original filing Live load reduction

Per original filing Roof live loads (1603.1.2, 1607.11)

Per original filing Roof snow loads (1603.7.3, 1608)

Per original filing Ground snow load, P_g (1608.2)

Per original filing If $P_g > 10$ psf, flat-roof snow load P_f

Per original filing If $P_g > 10$ psf, snow exposure factor, C_e

Per original filing If $P_g > 10$ psf, snow load importance factor, I_s

Per original filing Roof thermal factor, C_t (1608.4)

Per original filing Sloped roof snowload, P_s (1608.4)

Per original filing Seismic design category (1616.3)

Per original filing Basic seismic force resisting system (1617.6.2)

Per original filing Response modification coefficient, R , and deflection amplification factor C_d (1617.6.2)

Per original filing Analysis procedure (1616.6, 1617.5)

Per original filing Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

Per original filing Flood Hazard area (1612.3)

Per original filing Elevation of structure

Other loads

Per original filing Concentrated loads (1607.4)

Per original filing Partition loads (1607.5)

Per original filing Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design


Date: September 26, 2016

From: Kenneth Fisher, FAIA at Gensler

These plans and / or specifications covering construction work on:

CIEE HQ Renovation: Interior Tenant Improvements

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.

Signature: 

Title: Principal

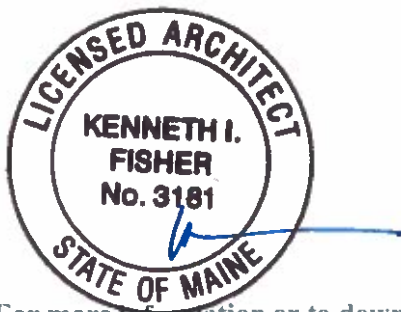
Firm: Gensler

Address: One Beacon Street

Boston, MA 02108

Phone: 617-619-5700

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov




Accessibility Building Code Certificate

Designer: Gensler

Address of Project: 300 Fore Street, Portland, ME

Nature of Project: CIEE HQ Renovation: Interior Tenant
Improvements

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: 

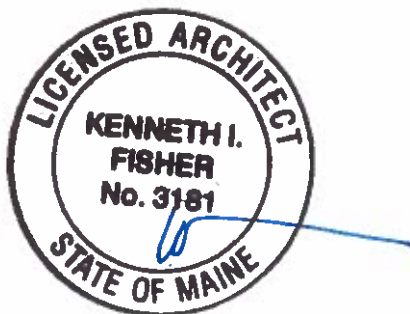
Title: Principal

Firm: Gensler

Address: One Beacon Street
Boston, MA 02108

Phone: 617-619-5700

(SEAL)



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