

**Overview:**

This Project involves renovations to the basement, 1st, 2nd, and 3rd floor of the existing 5 story building at the 300 Fore Street. The building is occupied by a single tenant/owner, the Council on International Educational Exchange, known more commonly as CIEE. The company is a non-profit organization promoting international education and exchange. It was founded in 1947 and is based in USA. The organization is currently headquartered in Portland, Maine with approximately 350 employees working at the Portland Office.

Mechanical, Electrical, Fire Alarm, Security, and Fire Extinguishers systems shall be provided on a design/build basis by appropriately licensed contractors. The Contractor shall submit engineered, drawings bearing the seal of an engineer licensed in the state of Maine and obtain all permits and approval necessary for the work

The building is required to be sprinklered in accordance with NFPA 13. Modification of the existing sprinkler system shall be by a qualified sprinkler contractor who shall design any modifications and obtain all necessary permits and approvals

The building is located on the Northeast corner of Fore Street and Custom House Street. This building was attached to the existing building at 7 Custom House Street and separated by a firewall. The two buildings share a common exit stair enclosure

**Description of work**

**Basement**  
Area of Work: 1,393 sf. Gross Floor Area: 9,817 sf  
Description of work: expand fitness room, add mechanical room for equipment serving the 1st floor, and add access doors at exterior east wall for equipment access

**1st Floor**  
Area of Work: 9,543 sf. Gross Floor Area: 10,331 sf  
Description of Work: Demolish existing office spaces and work station areas. Provide 2800 sf meeting space for company meetings and company events with additional open lobby and display area. Other new facilities will include a catering kitchen to provide pre-prepared meals for events, and an employee café and break area, called the Colab Café. A new exit will be provided at the east end of the Fore Street elevation in order to accommodate the increased occupant load and other code issues associated with this design. The floor ceiling assembly between the 1st and 2nd store will be modified to create a 1 hour separation between the two occupancies

**2nd & 3rd Floor Area of Work: 10,098 sf. Gross Floor Area: 10,972 sf**  
Replace work stations, remove existing offices and meeting rooms and provide new meeting rooms and offices in new locations. Replace carpet, paint, and provide acoustical material in ceiling

Relevant Codes: IBC 2009, NFPA 101,

**Occupancy:**  
2nd and 3rd floors: no change from existing  
Section 305 Business B  
Chapter 39 Existing Business

**1st Floor: Change From existing use**  
IBC: Section 303.1 Assembly group A-3 with an accessory office use  
NFPA: Chapter 39 Existing Business

**Basement**  
IBC: Section 303.1 Assembly group A-3  
Section S-2 Moderate hazard storage  
NFPA: Chapter 12 New Assembly (1st floor)  
NFPA: Chapter 13 Existing Assembly (Basement fitness center)  
NFPA: Chapter 42 Storage

Allowable Height and Area (IBC Table 503) Type IIB construction:

Assembly Group A-3 2 Stories, 9,500 SF  
Sprinkler increase by 506.3 = 200% Therefore: 19,000 sf per floor allowed,

Business B Occupancy: (T503 2003 edition) 4 stories, 23,000 sf  
Sprinkler increase = 1 story. Therefore 5 floors allowed

Storage S-1 Occupancy: 2 stories, 17,500 sf

**Assembly use area provided:**  
Basement (fitness center, locker rooms) 4448 sf  
1st Floor (event space, meeting rooms, display area, café) 10,331 sf

**Business Use area provided (Existing, unchanged)**  
floors 2,3,4,5: Approximately 11,000 sf per floor

**S-1 Storage Use Area provided,**  
Basement 929sf

**Separation of Occupancies by Table 508.4, sprinklered building**  
Assembly to Business: 1 Hour  
Assembly to Storage-1: 1 Hour  
fire barriers per 707 and Horizontal Assemblies per 712

**Building Construction Type: (per original construction documents)**  
Table 601: IIB Unprotected non-combustible materials  
Table 602: East wall is 1 Hour rated Construction due to distance from property line

**Fire and Smoke Protection Features**  
705.8 New Windows in rated exterior wall. Total area of openings in rated wall to be unchanged  
712.4 Horizontal Assemblies: supporting structure shall be protected with the

same rating

**Means of Egress**

**Doors:**  
All swinging doors in means of egress shall be 3-0 wide by min. 6-8 high with ADA compliant lever handle operation. Sliding Doors shall not serve a room with more than 10 occupants. Doors serving occupant load greater than 50 shall swing in the direction of egress. Doors at new exit shall receive emergency exit hardware

**Stairs:** No new stairs are proposed. Existing stair capacities have been evaluated and presented on subsequent sheets

**Egress Capacity:**  
.3' per occupant (stairs) .2' per Occupant (doors and passageways)  
Loss of one component provide 1/2 of total capacity

**Minimum Widths**

Corridor or Passageway with occupant load greater than 220: 0.2" per Occupant  
Corridor or Passageway with occupant load greater than 50: 44" (39.2.3.2)  
Corridor or Passageway with occupant load less than 50: 36" (7.3.4.1.1)  
Exit Access formed by furniture and movable partitions (IBC sect 1017 Aisles) with occupant load less than 50: 28"

**Number of Means of Egress:**

Basement 2 minimum required, 2 provided  
1st Floor 3 minimum required, 3 provided (1 new exit)  
(occupant load between 500 and 1000 table 1021.1)  
2nd Floor 2 minimum required, 2 provided  
3rd Floor 2 minimum required, 2 provided

**Emergency Lighting**

Basement: Add (2) units at spin room see ref.1  
1st Floor: See sheet ref.3

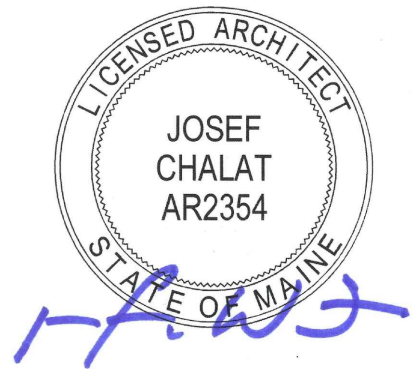
**Illuminated Exit Lights**

Basement: Add (1) units at spin room see ref.1  
1st Floor: See sheet ref.3

**List of Drawings**

Cov Cover Sheet

- D1.1 1st Floor Demolition
- A1.0 Basement Floor Plan
- A1.1 1st Floor Plan
- A2.0 Basement Ceiling Plan
- A2.1 1st Floor Ceiling Plan
- A2.1a 1st Floor Ceiling Intumescent Paint Plan
- A3.1 Interior Elevations
- A3.2 Interior Elevations
- A3.3 Interior Elevations Storefront Details
- A4.1 Door Schedule Paint Schedule
- A5.1 Louver Details
- S1 Exterior Door Detail Structural Details at Ramp



Lisa Whited  
Chief Transformation Officer  
207.329.2189 lisa@workplaceeff.com

Michael Barton  
Value and Constructability Analyst  
207.939.5432 michael@workplaceeff.com

Robert Brohu  
Creative Direction + Branding  
207.459.5454 robert@workplaceeff.com

Josef Chalut  
Maine Licensed Architect  
207.318.3234 AzimuthBlu@gmail.com

**Project:**

CIEE  
Council on International Educational Exchange  
(Custom House Square Office Building)  
Renovations  
Basement  
1st Floor  
2nd Floor  
3rd Floor

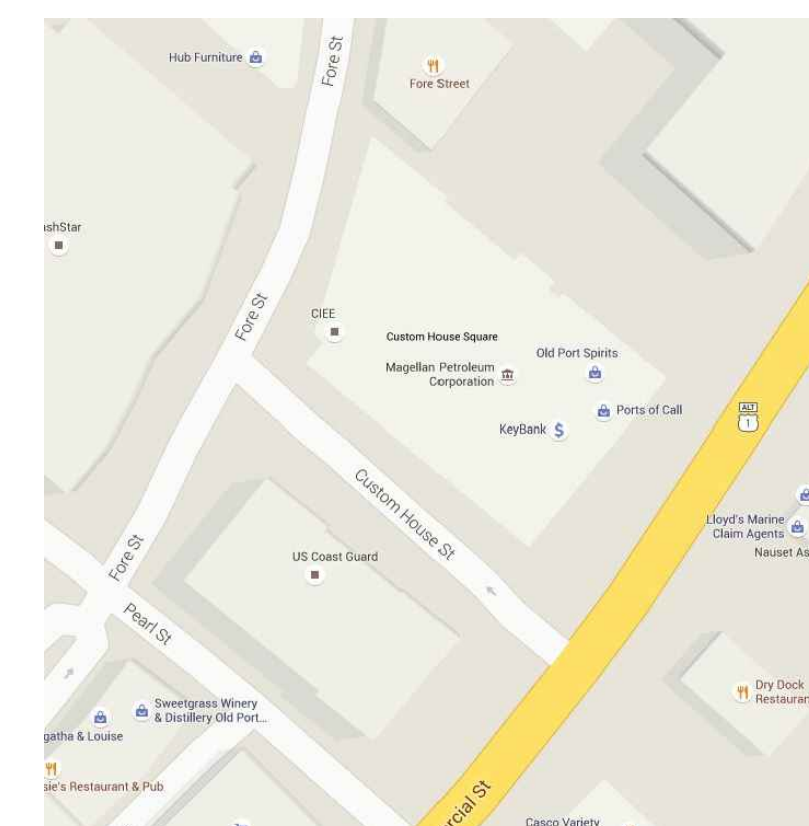
300 Fore Street, Portland  
Maine  
CBL: 029 K00601A  
Zoning District:  
B3 Downtown Business Zone

**Owner/Tenant: CIEE**  
261 Commercial Street  
Portland Maine, 04101

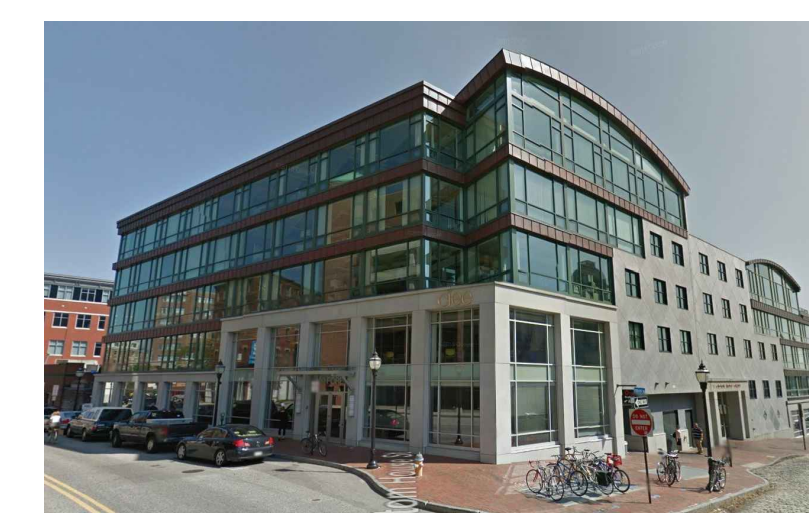
**Owner/Tenant Contact**  
Anthony Newton, Facilities Manager  
207.632.1825

**PC Construction, Construction Manager**  
131 Presumpscot Street  
Portland, ME 04103  
Contact: Jared Ballard  
207.874.2323 x106  
jballard@pconstruction.com

**Date**  
10/8/2015  
**Permit:** 1st floor, basement



**Reference Site Plan**



**Reference Photo**

Sheet Title  
**Area of Work, Description**

Sheet Number

**Cov**