

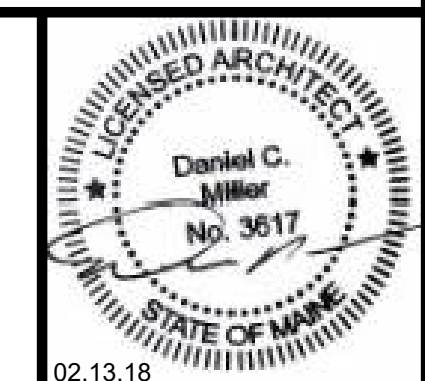
**GENERAL REMOVAL NOTES:**

1. GENERAL CONTRACTOR (GC) SHALL FIELD VERIFY & REPORT EXISTING CONDITIONS AND DIMENSIONS PRIOR TO REMOVALS. IF DISCREPANCIES ARE FOUND, GC TO NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
2. GC AND SUBCONTRACTORS (SC) FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY BE INDICATED OR DESCRIBED IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
3. REFER TO SPECIFIC DRAWINGS FOR PLUMBING, HVAC AND ELECTRICAL REMOVALS WORK.
4. GC AND SC ARE RESPONSIBLE FOR PROVIDING ALL REMOVALS AND PATCHING REQUIRED TO COMPLETE THEIR WORK IN ACCORDANCE WITH THE DESIGN INTENT.
5. THESE REMOVALS DRAWINGS HAVE BEEN PREPARED BASED UPON EXISTING CONSTRUCTION DOCUMENT DRAWINGS AND FIELD OBSERVATIONS. THE EXACT LOCATION OF THE BUILDING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, LOAD BEARING WALLS, ETC.) MAY BE DIFFERENT IN THE FIELD THAN WHAT IS INDICATED OR ASSUMED ON THESE DRAWINGS. GC SHALL FIELD VERIFY THE LOCATION OF ALL BUILDING STRUCTURAL ELEMENTS. ALL BUILDING STRUCTURAL ELEMENTS SHALL REMAIN UNLESS INDICATED TO BE REMOVED ON THE STRUCTURAL DRAWINGS. ANY BUILDING STRUCTURAL ELEMENT INDICATED AS BEING REMOVED ON THIS DRAWING SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCING REMOVALS.
6. PROVIDE NEW LINTELS AT NEW OPENINGS IN EXISTING WALLS. SEE STRUCTURAL DRAWINGS FOR INFORMATION ON LINTELS. IF NEW LINTEL IS NOT INDICATED, NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
7. GC SHALL PROTECT, REPLACE OR REPAIR ANY EXISTING CONSTRUCTION SCHEDULED TO REMAIN WHICH IS DAMAGED DURING REMOVALS.
8. GC SHALL PROVIDE REQUIRED SHORING OR TEMPORARY BRACING DURING REMOVALS.
9. REMOVE EXISTING CEILINGS AND SUPPORTS WHERE NEW CEILINGS ARE SCHEDULED IN THE ROOM FINISH SCHEDULE.
10. REMOVE PARTITIONS, SHELVING, CABINETRY AND ALL MISCELLANEOUS ITEMS SHOWN WITH DASHED LINES.
11. PATCH ALL FLOORS, WALLS, BASE AND CEILINGS WHERE PARTITIONS OR MISCELLANEOUS ITEMS ARE REMOVED.
12. REMOVE DOORS, FRAMES AND SIDELIGHTS SHOWN WITH DASHED LINES, UNLESS OTHERWISE NOTED.
13. REMOVE TOILET PARTITIONS AND CRAB BARS SHOWN WITH DASHED LINES. REPAIR EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
14. REMOVE EXISTING FLOORING WERE NEW FLOORING IS SCHEDULED IN THE ROOM FINISH SCHEDULE. PREPARE EXISTING FLOOR SURFACES TO RECEIVE NEW FLOORING.
15. CONTRACTOR SHALL VERIFY WITH THE OWNER THOSE REMOVED ITEMS TO BE TURNED OVER TO THE OWNER.

NO.	DATE	DESCRIPTION
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FOR CONSTRUCTION  
02.13.18

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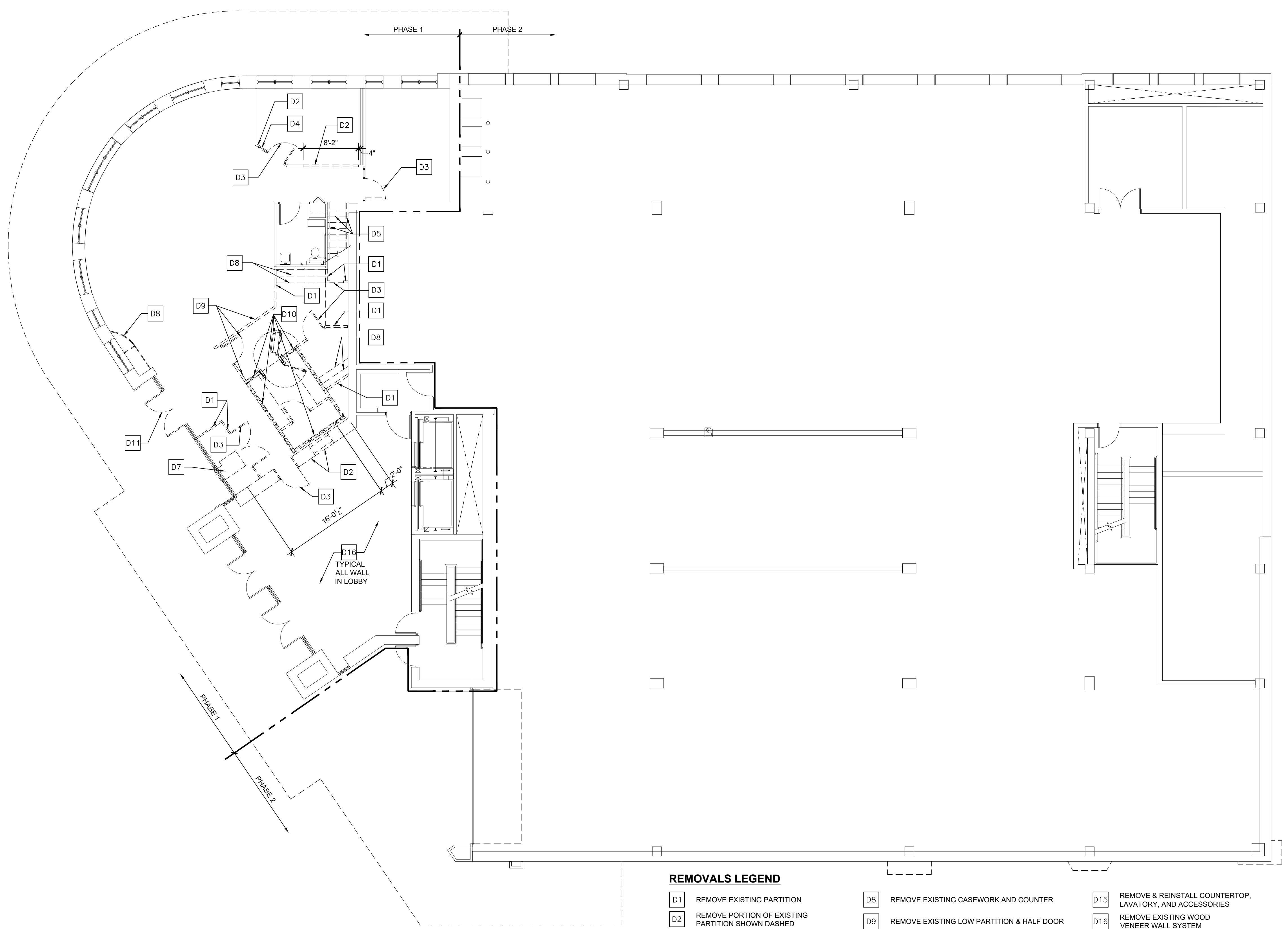


BANGOR SAVINGS BANK -  
RENOVATIONS TO 280 FORE  
STREET  
PORTLAND, MAINE

PROJECT NO: 15-014  
CAD DWG FILE: AD101 FIRST FLOOR REMOVALS PLAN - PHASE 1.DWG  
DRAWN BY: ###  
CHK'D BY: ###  
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SHEET TITLE  
FIRST FLOOR  
REMOVALS PLAN -  
PHASE 1

AD101



**REMOVALS LEGEND**

D1 REMOVE EXISTING PARTITION	D8 REMOVE EXISTING CASEWORK AND COUNTER	D15 REMOVE & REINSTALL COUNTERTOP, LAVATORY, AND ACCESSORIES
D2 REMOVE PORTION OF EXISTING PARTITION SHOWN DASHED	D9 REMOVE EXISTING LOW PARTITION & HALF DOOR	D16 REMOVE EXISTING WOOD VENEER WALL SYSTEM
D3 REMOVE EXISTING DOOR AND FRAME	D10 REMOVE EXISTING VAULT	
D4 REMOVE EXISTING SIDELIGHT	D11 REMOVE EXISTING STOREFRONT DOOR	
D5 REMOVE EXISTING STAIR AND HANDRAILS	D12 REMOVE EXISTING SINK AND COUNTER	
D6 REMOVE EXISTING TOILET FIXTURES	D13 REMOVE EXISTING WINDOW / WINDOWS	
D7 REMOVE EXISTING ATM	D14 REMOVE EXISTING FLOOR AND FRAMING	

A1 FIRST FLOOR REMOVALS PLAN  
1/8" = 1'-0"