

Proposed Tenant Improvement Project - Interior Renovation for:

Willis of Maine, Inc.

280 Fore Street - Floor 3 Suite Portland, ME 04101



vocon.

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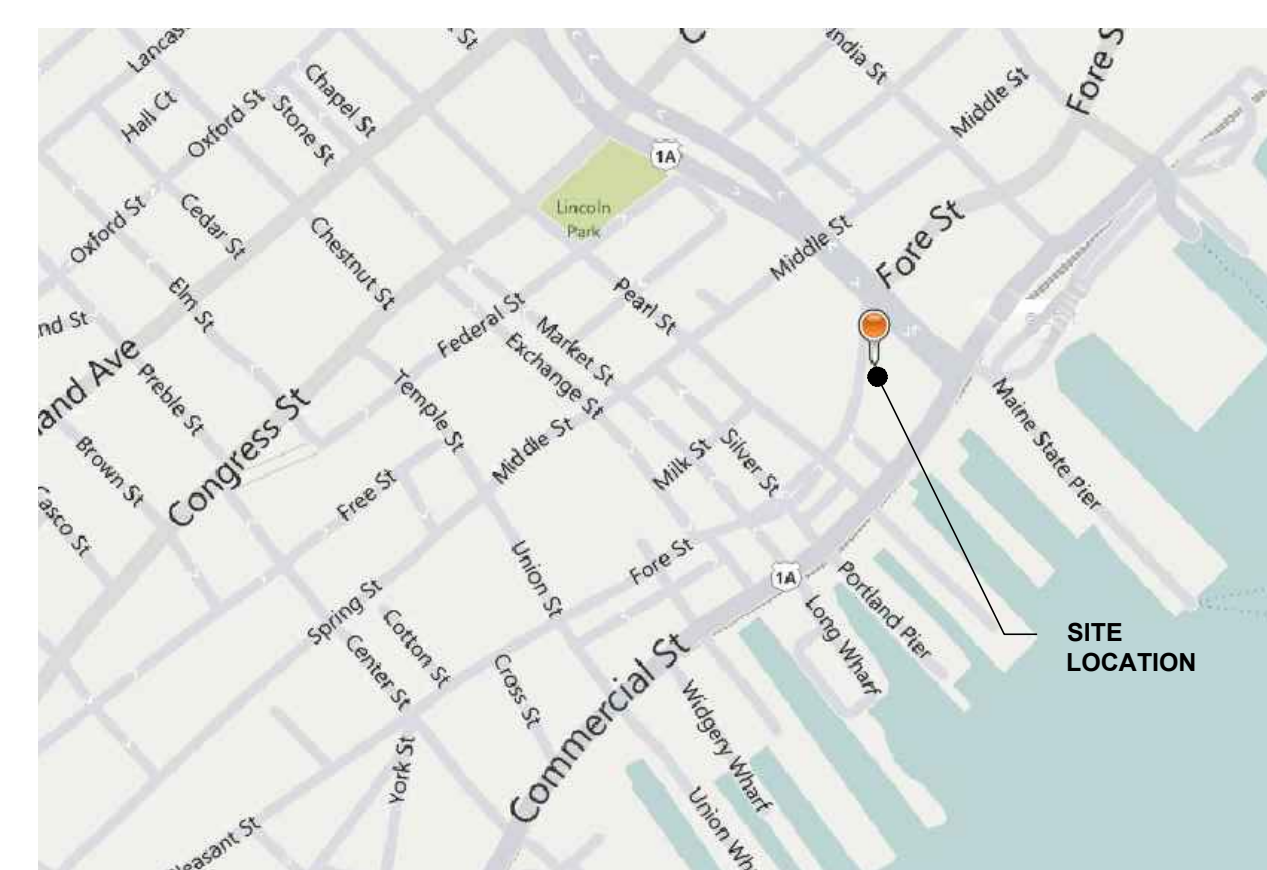
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ENGINEERING CONSULTANTS
DESIGN BUILD MEP

Site Location Map



Location Map:
SCALE: NOT TO SCALE

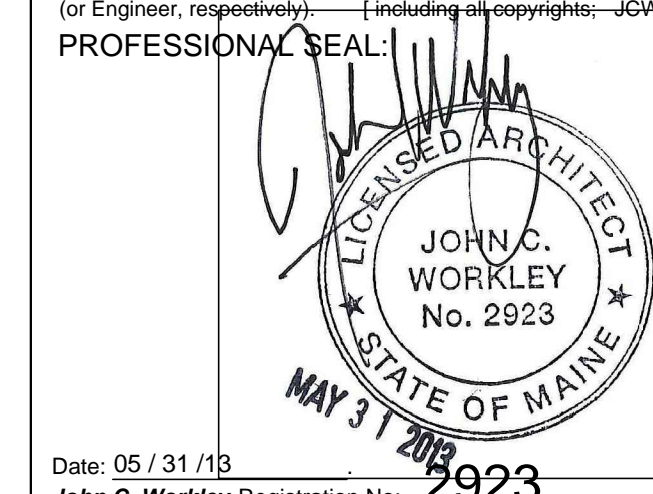
Abbreviations

ACT Acoustic Tile	FRT Fire Retardant Treated	PL Plate
AFF Above Finished Floor	GA Gauge	PLBG Plumbing
ALT Alternate	GYP BD Gypsum Board	POL Polished
BLDG Building	HM Hollow Metal	PTD Painted
BM Bench Mark	HP High Point	R Radius
BTM Bottom	HTG Heating	RD Roof Drain
CB Catch Basin	ID Inside Diameter	REIN Reinforcement
CT Ceramic Tile	INT Insulation	REQD Required
CJ Control Joint	INT Interior	REV Revision
CLG Ceiling	IT Joint	RO Rough Opening
CMU Concrete Masonry Unit	LAV Lavatory	SF Square Feet
COND Concrete	LP Low Point	SIM Similar
CONT Continuous	MAX Maximum	SPEC Specifications
DF Drinking Fountain	MECH Mechanical	S STL Stainless steel
DIA Diameter	MTL Metal	STD Standard
DIM Dimension	MFG Manufacturer	SUSP Suspended
EJ Expansion Joint	MIN Minimum	TYP Typical
ELEC Electrical	MO Masonry Opening	UON Unless Otherwise Noted
ELEV Equal	NIC Not In Contract	VCT Vinyl Composition Tile
ETR Existing to Remain	OC On Center	WC Water Closet
EXIST Existing	OD Outside Diameter	WD Wood
EXT Exterior	OH Overhead	WWF Welded Wire Fabric
FA Fire Alarm	O/O Out to Out	
FD Floor Drain	OPNG Opening	
FE Fire Extinguisher	OPP Opposite	
FEC Fire Extinguisher Cabinet		
FIN FLR Finish Floor		

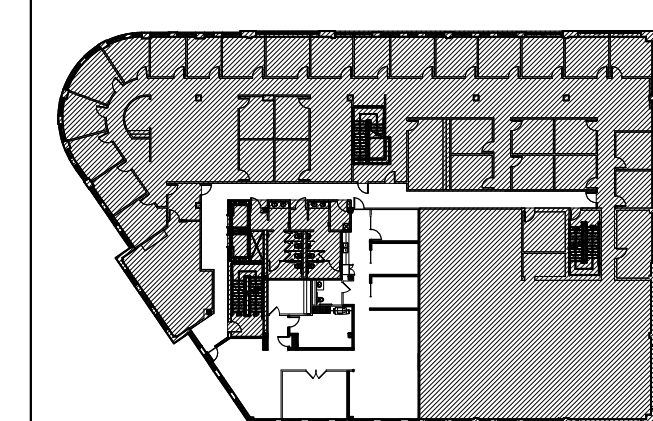
Drawing Index

- GENERAL INFORMATION DRAWINGS**
G1.1 Title Sheet
- ARCHITECTURAL DRAWINGS**
A1.1 Demolition Plan, Construction Plan and Notes
A1.2 Door Schedule and Details
A2.1 Reflected Ceiling Plan, Notes and Legend
A2.2 Outlet Location Plan Notes and Legend (Design intent only)
A3.1 Finish Plan and Notes

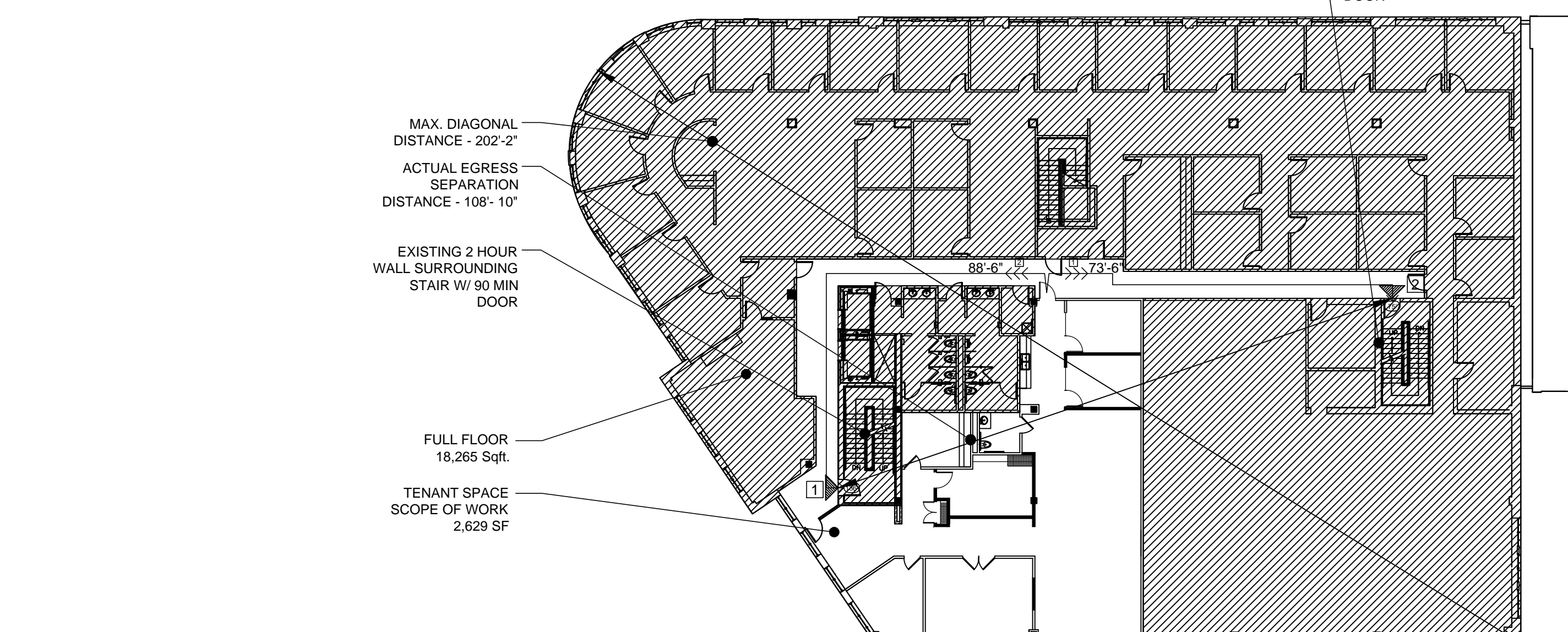
I hereby certify that this drawing, Specification, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Architect (or Engineer, respectively) under the laws of the State of which govern this project. **WARNING:** per LAW No person may alter these documents unless person is or under the direct supervision of the licensed record architect or Engineer, respectively. (e-seal.com/register-2009)



PROPOSED TENANT IMPROVEMENTS FOR:
Willis
280 FORE STREET
PORTLAND, ME



Building Key Plans



Code Information - Fully Sprinklered Building

SITE INFORMATION:
Willis
280 FORE STREET
PORTLAND, ME 04101
FLOOR: 3RD floor

PROJECT DOCUMENT CONFORMANCE - LATEST CONSTRUCTION CODE REQUIREMENTS:
project is to meet required national, state, and local codes and ordinances including the following:
2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL FIRE CODE
2010 ADA Standards for Accessible Design (ADA) OF 1994, TITLE II & III

ACCESSIBILITY COMPLIANCE: OHIO BUILDING CODE Chapter 11, I.C.C.A.N.I. A117.1-03)
2010 ADA Standards for Accessible Design (ADA) OF 1994, TITLE II & III)

SCOPE OF WORK: Project scope includes tenant alteration of the TENANT space on 3RD Floor

CHAPTER 3: USE & OCCUPANCY CLASSIFICATION
Section 302.1 USE GROUP CLASSIFICATION:
Section 304.1 BUSINESS OCCUPANCY GROUP B: (UNCHANGED)
Section 303.1 ASSEMBLY GROUP A (A-3) (ACCESSORY)
Section 508.2 Accessory use - conference room < 50 occ., or business or use.
Accessory use allows areas that are less than 10% of space to be accessory to the main use group.

CHAPTER 6: TYPES OF CONSTRUCTION - BUILDING CONSTRUCTION CLASSIFICATION:
Section 601.1 CONSTRUCTION CLASSIFICATION FIRE RESISTANCE RATING (TABLE 601.1) TYPE - I | B
BLDG IS FULLY SPRINKLERED

CHAPTER 7: FIRE RESISTANCE RATING CONSTRUCTION
Section 717.1 PROVIDE FIREBLOCKING AND 717.3 DRAFTSTOPS AT ALL WALLS AND OPENINGS NOT EXTENDING TO THE STRUCTURE ABOVE, ETC.
Section 717.5 ALL CONCEALED WOOD BLOCKING TO BE FIRE RETARDANT Type I & II. SECTION 603.1 ALL CONCEALED WOOD BLOCKING TO BE FIRE RETARDANT, treated, unless per uses in Section 717.5 CONCEALED SPACES 602 of Mechanical Code: PROVIDE FIREBLOCKING AT ALL WALLS AND OPENINGS NOT EXTENDING TO THE STRUCTURE ABOVE.

CHAPTER 8: FINISH INFORMATION:
FINAL FINISH SUBMITTALS TO BE PROVIDED BY CONTRACTOR FOR COMPLIANCE TO: INTERIOR FINISH & TRIM SHALL BE AS NOTED PER SECTION 803, TABLE 803.9. WALL AND CEILING FINISHES WITH SPRINKLERS:
Group B Group A Location
CLASS B CLASS B VERTICAL EXITS AND EXIT PASSAGEWAYS
CLASS C CLASS B EXIT ACCESS CORRIDORS AND OTHER EXIT WALLS
CLASS C CLASS C ROOMS AND ENCLOSED SPACES
AND 804.2 FLOOR FINISHES FOR (Group B) BUSINESS USE 804.1 CLASS II - NFPA 253 = 0.22 watts/cm2 in EXITS, ACCESS, AND UN-SEPARATED SPACES.
ALL TENANT AREAS MUST MEET DOC FF-1 "pill test"
(FLOOR COVERINGS W/ FIBERS) ALL CARPET TO MEET RADIANT FLUX LIMITS BY NFPA - 253.
A COPY OF TEST REPORTS SHALL IDENTIFY CARPET MFG, STYLE, NAME & REPRESENTATIVE OF CARPET AND SHALL BE PROVIDED TO APPROPRIATE BUILDING CODE OFFICIAL UPON REQUEST TO THE GENERAL CONTRACTOR, or as part of the Permit Process / review corrections.

CHAPTER 9: Fire Protection Systems:
Portable fire extinguishers will be installed per Sections 906, and 3309; NFPA 10; IFC 1301.7-7-09.906; locations to be verified with the local fire official.

Table 503 ALLOWABLE BLDG HEIGHT / AREA: Based upon EXIST. CONDITIONS (UNCHANGED)
GROUP B / TYPE IIB: ALLOWED max. height = 3 (was 4) (+1) story; 55 ft. - 23,000 SqFt. per story.
* numbers in (parenthesis) indicate increases allowed by Sections 504.2 & 506.3 Fully Sprinklered buildings.

Section 508.3.1 OCCUPANCY CLASSIFICATION: Non-separated occupancies shall be individually classified in accordance with Chapter 3, except for the most restrictive applicable provisions of Section 403 & Chapter 9 Section 508.3 NON-SEPARATED OCCUPANCIES Section 508.3.3 NO SEPARATION b/w USES Req'd BUT INDIVIDUALLY CLASSIFIED BY OCCUPANCY, Height and Area based on the most restrictive allowances for the occupancy groups under consideration per Section 503.1

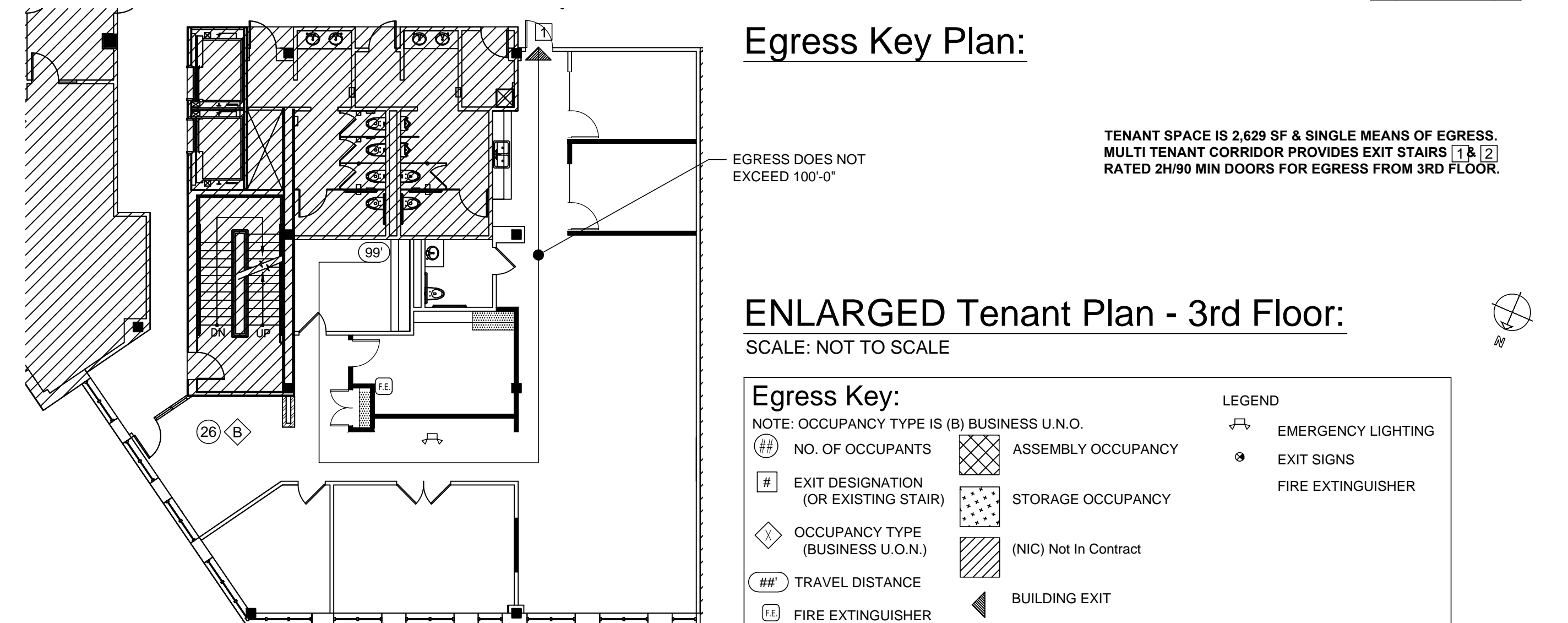
Table 508.3.3 NO FIRE SEPARATION REQ'D BETWEEN NON-SEPARATED OCCUPANCIES

Calculated: PROJECT BUILDING HEIGHT / AREA:
Tenant is a FULL FLOOR TENANT or Part of MULTI TENANT FLOOR (TENANT) INTERIOR ALTERATION SCOPE = 2,629 S.F., of full floor 18,265 Sqft.

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Table 508.3.3 NO FIRE SEPARATION REQ'D BETWEEN NON-SEPARATED OCCUPANCIES



Egress Key Plan:
EGRESS DOES NOT EXCEED 100'-0"

ENLARGED Tenant Plan - 3rd Floor:
SCALE: NOT TO SCALE

Egress Key:
NOTE: OCCUPANCY TYPE IS (B) BUSINESS U.O.N.O.

(#) NO. OF OCCUPANTS	(#) ASSEMBLY OCCUPANCY	EMERGENCY LIGHTING
(#) EXIT DESIGNATION (OR EXISTING STAIR)	(#) STORAGE OCCUPANCY	EXIT SIGNS
(#) OCCUPANCY TYPE (BUSINESS U.O.N.)	(#) (NIC) Not In Contract	FIRE EXTINGUISHER
(#) TRAVEL DISTANCE	(#) CONSPICUOUS LOCATIONS	
(#) FIRE EXTINGUISHER	(#) UNOBTAINED LOCATIONS	
	(#) BUILDING EXIT	

LEGEND
EMERGENCY LIGHTING
EXIT SIGNS
FIRE EXTINGUISHER

CONSPICUOUS LOCATIONS:
Extinguishers shall be located in conspicuous locations & along normal paths of travel where they are readily accessible and immediately available for use.

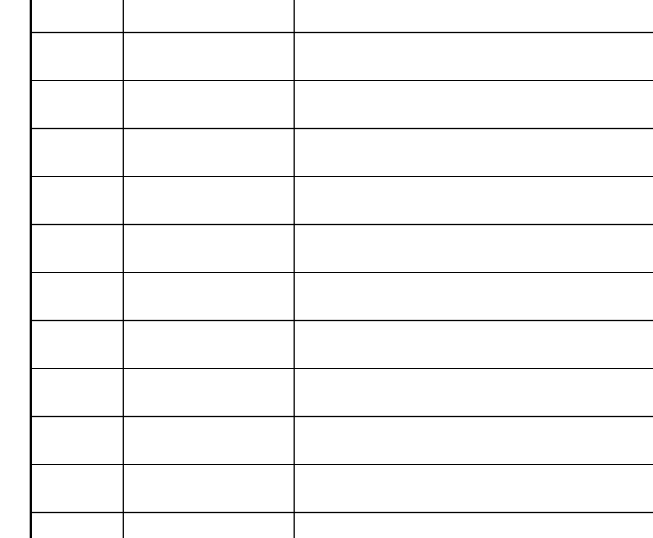
UNOBTAINED LOCATIONS:
In rooms or areas with visual obstruction, means to be provided to indicate the locations of extinguishers.

KEY PLAN

DRAWING RELEASE

No.	Date	Description
1	05/30/2013	ISSUED FOR PERMIT

GRAPHIC SCALE:



DRAWN BY: CHECKED BY: JOB NUMBER:

DRAWN BY: JMW
CHECKED BY: LCD
JOB NUMBER: 130417.00

DRAWING PHASE: SHEET TITLE:

DRAWING PHASE: CONSTRUCTION DOCUMENTS
SHEET TITLE:

TITLE SHEET

PLUMBING REQUIREMENTS: CHAPTER 29
REQUIRED FIXTURES PER USE: Per TABLE 2902.1 & SECTION 410.1 PLUMBING CODE
TABLE 403.1 IPC (B) BUSINESS (REQ'D) PROVIDED TOTAL
W. CLOSETS: 1/50 (183 occ) 4 6+2 urinals
LAVS: 1/80 3 4
DRINKING FOUNTAIN: 1/100 2 2 (SEE NOTE 1*)
SERVICE SINK: 1 REQ'D 1 1

OPC 2902.4.1 LOCATION OF TOILET FACILITIES: to be within one story of the tenant space and within no more than 500 feet along the path of travel

OPC 410.1 - DRINKING FOUNTAIN EXCEPTION: Drinking fountains shall not be required where water is served in restaurants or where bottled water coolers are provided in other occupancies. Kitchens on Floors include a sink, storage for drinking glasses, and a refrigerator w/ water dispenser.

G1.1