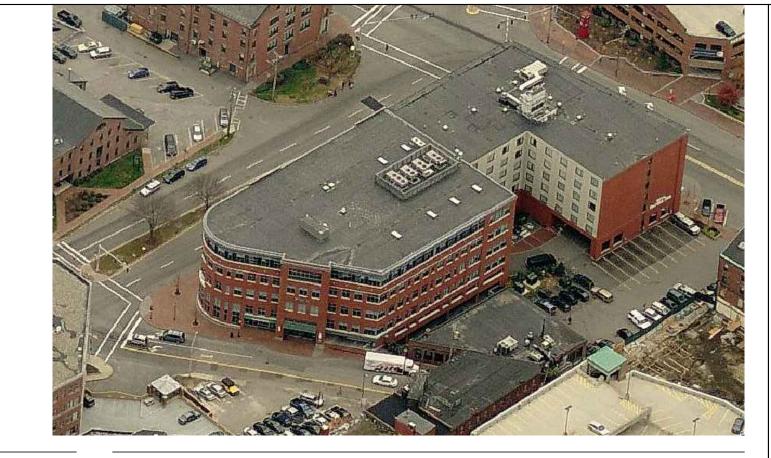
# Willis of Maine, Inc.

280 Fore Street - Floor 3 Suite Portland, ME 04101



# **Project Team**

(E): gena.connors@willis.com

#### CLIENT

#### Wills of North America (Corp. Office)

**26 CENTURY BOULEVARD** NASHVILLE, TN 37214 (P): 615.872.3027 (F): 615.872.3197 CONTACT: GENA CONNORS - DIRECTOR CORP. REAL ESTATE

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#### LAND LORD

#### THE OLYMPIA COMPANIES

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# **GENERAL CONTRACTOR**

**Building Key Plans** 

T.B.D.

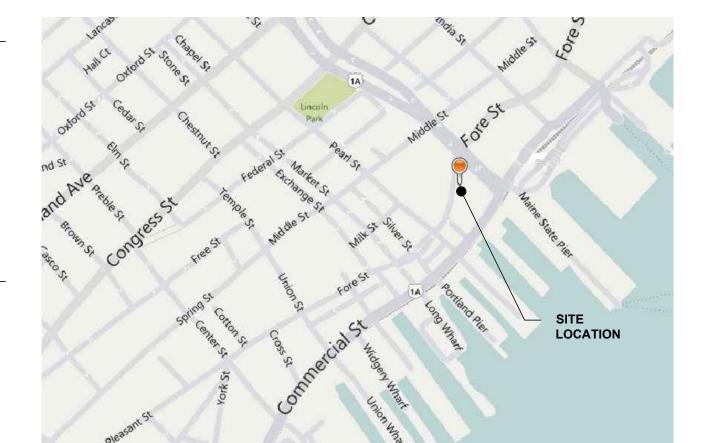
### ARCHITECT / INTERIOR TEAM

vocon.partners vocon. 3142 Prospect Avenue 3142 Prospect Avenue Cleveland, OH 44115 Cleveland, OH 44115 (P): 216.588.0800 x359 (P): 216.588.0800 (F): 216.588.0801 (F): 216.588.0801 Contact: John C. Workley - President Contact: Lisa Dve - Project Director (E): john.workley@vocon.com (E): Lisa.Dye@vocon.com

# **ENGINEERING CONSULTANTS**

**DESIGN BUILD MEP** 

#### **Site Location Map**



**Code Information - Fully Sprinklered Building** 

(ACCESSORY)

5 STORY BUILDING (100'-0" height) (UNCHANGED)

FLOOR: 3RD floor

PROJECT DOCUMENT CONFORMANCE - LATEST CONSTRUCTION CODE REQUIREMENTS:

project is to meet required national, state, and local codes and ordinances including the following:

ACCESSIBILITY COMPLIANCE: OHIO BUILDING CODE Chapter 11, ICC/ANSI A117.1-03)

2010 ADA Standards for Accessible Design (ADA) OF 1994, TITLE II & III,)

Section 304.1 BUSINESS OCCUPANCY GROUP B: (UNCHANGED)

Section 508.2 Accessory use - conference room < 50 occ. = Business or use.

CHAPTER 5: BUILDING HEIGHT, AREA, & OCCUPANCY SEPARATIONS:

Tenant is a FULL FLOOR TENANT or Part of MULTI TENANT FLOOR

CHAPTER 3: USE & OCCUPANCY CLASSIFICATION

Section 302.1 USE GROUP CLASSIFICATION:

Section 303.1 ASSEMBLY GROUP A (A-3)

EXST. BLDG. HEIGHT:

Calculated: PROJECT BUILDING HEIGHT / AREA:

BUILDING CODE: IBC 2009 Maine Uniform Building and Energy Code "MUBEC" (title 10) based upon

SCOPE OF WORK: Project scope includes tenant alteration of the TENANT space on 3RD Floor

Accessory use allows areas that are less than 10% of space to be accessory to the main use group.

Calculated: ACTUAL BUILDING HEIGHT / AREA: Based upon EXIST. CONDITIONS (UNCHANGED)

GROSS BUILDING - TOTAL AREA: ALL FLOORS of Building = 91,325 SqFt (+/-)

(TENANT) INTERIOR ALTERATION SCOPE = 2,629U.S.F. of full floor 18,265 Sqft.

Table 503 ALLOWABLE BLDG. HEIGHT / AREA: Based upon EXIST. CONDITIONS (UNCHANGED)

\* numbers in (parenthesis) indicate increases allowed by Sections 504.2 & 506.3 Fully Sprinkled buildings.

accordance with Chapter 3, except for the most restrictive applicable provisions of Section 403 & Chapter 9

Section 508.3 NON-SEPARATED OCCUPANCIES Section 508.3.3 NO SEPARATION b/w USES Reg's

BUT INDIVIDUALLY CLASSIFIED BY OCCUPANCY. Height and Area based on the most restrictive

Section 508.3.1 OCCUPANCY CLASSIFICATIONNon-separated occupancies shall be individually classified in

EXST. BLDG. FOOTPRINT:: BLDG. Footprint AREA = 18,265 SqFt (UNCHANGED)

GROUP B / type IIB: ALLOWED max. height = 3 (was 4) (+1) story; 55 ft - 23,000 SqFt per story.

#### Location Map: SCALE: NOT TO SCALE

SITE INFORMATION

2009 INTERNATIONAL BUILDING CODE

#### **Abbreviations**

Fire Extinguisher

FIN FLR Finish Floor

Primary structural frame:

FIRE PARTITIONS: 709.1.4

FEC Fire Extinguisher Cabinet OPNG Opening

ACT AFF	Acoustic Tile Above Finished Floor	FRT	Fire Retardant Treated	PL	Plate
ALT	Alternate	GA	Course	PLBG	
ALI	Alternate	GYP BD	Gauge Gypsum Board	POL	Plumbing Polished
BLDG	Building	GIF DD	Gypsuii воаги	PTD	Painted
BM	Bench Mark	НМ	Hollow Metal	ווט	i airiteu
BTM	Bottom	HP	High Point	R	Radius
Diw	Bottom	HTG	Heating	RD	Roof Drain
СВ	Catch Basin		ricamig	REINF	Reinforcement
CT	Ceramic Tile	ID	Inside Diameter	REQ'D	Required
CJ	Control Joint	INSUL	Insulation	REV	Revision
CLG	Ceiling	INT	Interior	RO	Rough Opening
CMU	Concrete Masonry Unit				0 1 0
CONC	Concrete	JT	Joint	SF	Square Feet
CONT	Continuous			SIM	Similar
		LAV	Lavatory	SPEC	Specifications
DF	Drinking Fountain	LP	Low Point	S STL	Stainless steel
DIA	Diameter			STD	Standard
DIM	Dimension	MAX	Maximum	SUSP	Suspended
		MECH	Mechanical		
EJ	Expansion Joint	MTL	Metal	TYP	Typical
ELEC	Electrical	MFG	Manufacturer		
ELEV	Elevation	MIN	Minimum	UON	Unless Otherwis
EQ	Equal	MO	Masonry Opening		
ETR	Existing to Remain	NIIO	Not by Contract	VCT	Vinyl Composition
EXIST	Existing	NIC	Not In Contract	14/0	W ( O (

## **Drawing Index**

#### **GENERAL INFORMATION DRAWINGS**

G1.1 Title Sheet

ARCHITECTURAL DRAWINGS

A1.1 Demolition Plan, Construction Plan and Notes A1.2 Door Schedule and Details

Reflected Ceiling Plan, Notes and Legend Outlet Location Plan Notes and Legend (Design intent only)

A3.1 Finish Plan and Notes

I hereby certify that this drawing, Specification, plan, or report was prepared by me or under my direct supervision and that am a duly registered Architect (or Engineer, respectively) unde the laws of the State of which govern this project. WARNING per LAW No person may alter these documents unless person i John C. Workley Registration No:

vocon.

cleveland.

216.588.0800

212.457.6246

new york.

Floor 19

3142 Prospect Ave. Cleveland OH, 44115

340 Madison Ave.

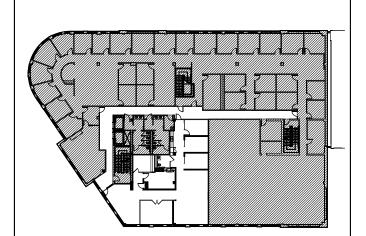
New York, NY 10173

vocon. partners LLC.

PROPOSED TENANT **IMPROVEMENTS FOR:** 



280 FORE STREET PORTLAND, ME



KEY PLAN
DDAMING DELEASE

DRAWING RELEASE No. Date Description

05/30/1213 ISSUED FOR PERMIT

(2) 36" doors w/ 44" width stairs.

Section 1007.3 Exception 3 buildings with SPRINKLERS do not require AREA of REFUGE or 48" width. Section 1008.1.1 MIN. DOOR CLEAR OPENING WIDTH = 32"

EXCEPTION: if serving > 50 occupants and non accessible space = 28"

Exception #1 = (SPRINKLERED (B, F & S)USE = 100 FEET Exception #2 = (B, U & S)USE and occupant load is 30 or less = 100 FEET

PLUMBING REQUIREMENTS: CHAPTER 29 REQUIRED FIXTURES PER USE: Per TABLE 2902.1 & SECTION 410.1 PLUMBING CODE TABLE 403.1 IPC [B] BUSINESS (REQ'D) (PROVIDED) TOTAL 1/50 (183 occ) 4 6 + 2 urinals 2 2 (SEE NOTE 1\*:) DRINK'G FOUNTAIN: 1/100

OBC 2902.4.1 LOCATION OF TOILET FACILITIES: to be within one story of the tenant space and within no more than 500 feet along the path of travel \* DRINKING FOUNTAIN EXCEPTION: Drinking fountains shall not be required where water is served in restaurants or where bottled water coolers are provided in other occupancies. Kitchenettes on Floors include a sink, storage for drinking glasses, and a refrigerator w/ water dispenser.

MAX. DIAGONAL DISTANCE - 202'-2" ACTUAL EGRESS -SEPARATION DISTANCE - 108'- 10" EXISTING 2 HOUR -WALL SURROUNDING STAIR W/ 90 MIN DOOR FULL FLOOR -18,265 Sqft. TENANT SPACE

( ##' ) TRAVEL DISTANCE

SCOPE OF WORK

Egress Key Plan:

**EGRESS DOES NOT** EXCEED 100'-0"

FIRE EXTINGUISHER

TENANT SPACE IS 2,629 SF & SINGLE MEANS OF EGRESS. MULTI TENANT CORRIDOR PROVIDES EXIT STAIRS 1 & 2 RATED 2H/90 MIN DOORS FOR EGRESS FROM 3RD FLOOR

WALL SURROUNDING STAIR W/ 90 MIN

ENLARGED Tenant Plan - 3rd Floor: SCALE: NOT TO SCALE

BUILDING EXIT

Egress Key: ← EMERGENCY LIGHTING NOTE: OCCUPANCY TYPE IS (B) BUSINESS U.N.O. ##) NO. OF OCCUPANTS ASSEMBLY OCCUPANCY EXIT SIGNS # EXIT DESIGNATION FIRE EXTINGUISHER (OR EXISTING STAIR) STORAGE OCCUPANCY OCCUPANCY TYPE (BUSINESS U.O.N.) (NIC) Not In Contract

allowances for the occupancy groups under consideration per Section 503.1 Table 508.3.3 NO FIRE SEPARATION REQ'D BETWEEN NON-SEPARATED OCCUPANCIES Chapter 9: Fire Protection Systems: Portable fire extinguishers will be installed per Sections 906, and 3309; NFPA 10; IFC 1301:7-7-09.906;

> locations to be verified with the local fire official. FIRE EXTINGUISHERS LOCATION & SIZE FOR CLASS-A HAZARDS NFPA 6.2.1.5 & Where the area of the floor of a building is less than 11,250sf at least 1 fire extinguisher of minimum suggested size shall be provided NFPA Table 6.2.1.1 & Max. Travel distance to extinguisher is 75'-0"

IFC Table 906.3(1) Min. Extinguisher Rating is 2-A CONSPICUOUS LOCATIONS Extinguishers shall be located in conspicuous locations & along normal paths of travel where they are readily accessible and immediately available for use. IFC 906.6 UNOBSCURED LOCATIONS

In rooms or areas with visual obstruction, means to be provided to indicate the locations of extinguishers

TYPES OF CONSTRUCTION - BUILDING CONSTRUCTION CLASSIFICATION: CONSTRUCTION CLASSIFICATION FIRE RESISTANCE RATING (TABLE 601) SECTION 601.2 (UNCHANGED) NON-COMBUSTIBLE, PROTECTED

BLDG IS FULLY SPRINKLED SPRINKLER DRAWING SUBMITTALS: certified submittal of the following documents will be provided by a STATE LICENSED Sub-Contractor: Section 107.4.4 FIRE PROTECTION COMPONENTS SPRINKLER SYSTEM: NFPA 13, & 907 FIRE ALARM SYSTEMS

0 hr.

PORTABLE FIRE EXTINGUISHERS: Section 906.1 & 3309.1 NFPA 10, IFC 1301:7-7-09.(906.1) & verify locations with the LOCAL Fire official. (per Table 601) FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (hours) BASED ON CONSTRUCTION TYPE TYPE IIB

Bearing walls - EXTERIOR 0 hr. Bearing walls - INTERIOR: Nonbearing walls and partitions EXTERIOR: TABLE 602 (property line Separation distance)

Nonbearing walls and partitions INTERIOR: Floor construction & secondary members (see Section 202): 0 hr. Roof Roof construction & secondary members (see Section 202) 0 hr. Floor

**CORRIDOR DAMPERS** N.R. (IBC 716.5.4 Exception 1 w/ sprinklers)

FIRE RESISTANCE RATING CONSTRUCTION Section 717.1 PROVIDE FIREBLOCKING AND 717.3 DRAFTSTOPS AT ALL WALLS AND OPENINGS NOT EXTENDING TO THE STRUCTURE ABOVE, ETC.

EXIT ACCESS CORRIDOR walls (W/ Sprinkler system per 903) 0 hr. (IBC TABLE 1018.1) B OCCUPANCY

Section 717.5 ALL CONCEALED WOOD BLOCKING TO BE FIRE RETARDANT Type I & II; SECTION 603.1 ALL CONCEALED WOOD BLOCKING TO BE FIRE RETARDANT treated, unless per uses in Section 717.5 CONCEALED SPACES 602 of Mechanical Code. PROVIDE FIREBLOCKING AT ALL WALLS AND OPENINGS NOT EXTENDING TO THE STRUCTURE

FINISH INFORMATION: FINAL FINISH SUBMITTALS TO BE PROVIDED BY CONTRACTOR FOR COMPLIANCE TO: INTERIOR FINISH & TRIM SHALL BE AS NOTED PER SECTION 803, TABLE 803.9,

WALL AND CEILING FINISHES WITH SPRINKLERS: CLASS B CLASS B VERTICAL EXITS AND EXIT PASSAGEWAYS CLASS C CLASS B EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS CLASS C CLASS C ROOMS AND ENCLOSED SPACES

AND 804.2 FLOOR FINISHES FOR (Group B) BUSINESS USE 804.4.1 CLASS II - NFPA 253 = 0.22 watts/cm2 in EXITS, ACCESS, AND Un-separated SPACES. ALL TENANT AREAS MUST MEET DOC FF-1 "pill test"

(FLOOR COVERINGS W/ FIBERS) ALL CARPET TO MEET RADIANT FLUX LIMITS BY NFPA - 253. A COPY OF TEST REPORTS SHALL IDENTIFY CARPET MRG, STYLE, NAME & REPRESENTATIVE OF CARPET AND SHALL BE PROVIDED TO APPROPRIATE BUILDING CODE OFFICIAL UPON REQUEST TO THE GENERAL CONTRACTOR, or as part of the Permit Process/ review corrections.

Section 803.11.1 Direct Attachment of Furred Construction and SET-OUT construction. FURRED walls cannot exceed 1 3/4" thickness and must be fire blocked at 8'-0" o.c. horizontal and Vertical enclosures. if not then they must meet requirements of 803.11.1.1 & 2; filled with non combustible material or Class A material.

CHAPTER 10 MEANS OF EGRESS Section 1004 OCCUPANT LOAD Table 1004.1.1 MAXIMUM AREAS PER OCCUPANT FULL FLOOR 18,265U.S.F. / 100 S.F. PER OCC TOTAL NUMBER ALLOWABLE CALCULATED: (THIRD FLOOR) TENANT TOTAL 2,629 U.S.F. / 100 S.F. PER OCC = 26 OCCUPANTS CALCULATED ALLOWABLE OCCUPANT LOAD: = 26 OCCUPANTS ACTUAL: NUMBER OCCUPANTS - (buts in seats) SECTION 1004.1.1 (MAY BE USED WITH APPROVAL) Section 1004.7 (ACTUAL EMPLOYEES & VISITORS) May be HIGHER than calculated ACTUAL OCCUPANT LOAD: (THIRD FLOOR) TENANT TOTAL = 18 OCCUPANTS FINAL OCCUPANCY LOAD USED FOR DESIGN AND POSTING DESIGN OCCUPANT LOAD: 26 OCCUPANTS Section 1005.1 EGRESS WIDTH PER OCCUPANT STAIRWAYS occupant load x 0.3 other EGRESS components load x 0.2 CALCULATED: NUMBER OF EXITS per EGRESS WIDTH = 183 Occupants X 0.3 = 54.9" (/ No of stairs (1/3) 30.4" < 44") Width for components (FLOOR) = 183 Occupants X 0.2 = 36.6" Width for components (Tenant) = 26 Occupants X 0.2 = 5.2"

ACTUAL: number of EXITS/STAIRS = ACTUAL WIDTH of Stairs (FLOOR) = (2) X 44" = 88" > 54.9" (44"min.per Section 1009.1) and WIDTH of components (FLOOR) = (2) X 36" =72" > 36.6" and WIDTH of components ((Tenant) =  $(1) \times 36$ " = 36" > 5.2" Section 1005.1 WHERE OCCUPANCY EXCEEDS 50, ACCESS TO 2 or more exits must be provided.

Table 1015.1 ALLOWABLE MIN. NUMBER OF EXITS REQ'D: = 2 > 49 occupants (= 1 egress) per Section 1015.1.1 or 1021.1 increased to 3 per < 501 - 1,000 OCCUPANTS or 4 < 1,001 - HIGHER. Section 1007.1 ACCESSIBLE MEANS OF EGRESS:

EXEMPTION #3: DOOR openings to REACH-IN storage closets < 10 SF are NOT LIMITED by min. width. Section 1008.1.2 ALL DOORS TO SWING IN DIRECTION OF EGRESS IF OCC. > 50 Section 1009.1 STAIRWAY WIDTH: shall not be less that 44" clear (see accessible) Section 1009.2 STAIRWAY HEAD ROOM: provide a minimum 80" clear Section 1017.2 MIN. 36" WIDTH of load served (Section 1005.1= CORRIDOR WIDTH = 44"MIN.)

LENGTH OF EXIT ACCESS TRAVEL:: (From most remote point to the nearest exit) Business = 300 FT. W/ BLDG. AUTO SPRINKLER SYSTEM Section 1018.4 DEAD ENDS = 20'-0" EXCEPTION #2 (B) USE = 50 FEET W/ SPRINKLERS Section 1014.3.1 COMMON PATH OF TRAVEL: 75 feet

Section 1015.2.1 Arrangement or REMOTENESS OF EXITS: REMOTE LOCATION OF EXITS Minimum exit separation shall be 1/3 of the length of the maximum overall diagonal of the building for buildings w/ automatic sprinkler system OVERALL DIA LENGTH (202'-2") x 0.33 = 67'-4" Minimum required separation ACTUAL SEPARATION PROVIDED = 108'-10" > 67'-4"

TENANT SPACE IS A SINGLE MEANS OF EGRESS AND DOES NOT EXCEED 100'-0"

SERVICE SINK: 1 REQ'D

SHEET NUMBER:

GRAPHIC SCALE:

DRAWN BY:

**DRAWING** 

SHEET TITLE:

PHASE:

CHECKED BY:

JOB NUMBER: 130417.00

CONSTRUCTION

TITLE SHEET

DOCUMENTS