

BERRY DUNN

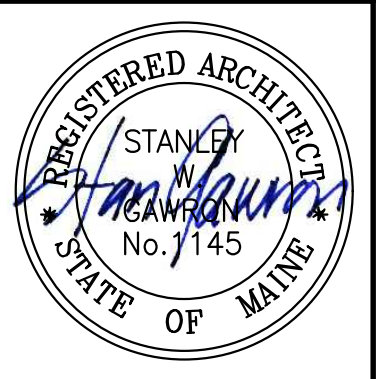
100 MIDDLE STREET

SECOND FLOOR

PORTLAND, MAINE

DRAWING INDEX

GENERAL	SITE/CIVIL	LANDSCAPING	STRUCTURAL	ARCHITECTURAL	MECH/PLUMBING	ELECTRICAL
G101				Ex100		
G102				D101		
				A101		
				A201		
				A301		
				A801		
				A921		



29 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074
207-883-6307
WWW.GAWRONTURGEON.COM

GAWRON TURGEON ARCHITECTS

BERRY DUNN 100 MIDDLE STREET Second Floor PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION

DATE	8.03.17
PROJECT #	060517
DRAWN BY:	DLP
CHECKED BY:	SWG
DRAWING SCALE	N.A.

SHEET TITLE
TITLE SHEET & DRAWING INDEX

G101

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ABBREVIATIONS

ALUM OR AL ALUMINUM	GALV GALVANIZED	S SOUTH
AMP ACUSTICAL WALL PANEL	GB GENERAL CONTRACTOR	SC SHOWER CURTAIN
ACT ACOUSTICAL CEILING TILE	GWB GYPSUM WALL BOARD	SD SOAP DISPENSER
BIT BITUMINOUS	HC HANDICAP	SCHED SCHEDULE
BM BENCH MARK	HC HDR HARDWOOD	SECT SHEET
BOT BOTTOM	HC HDR HEADER	SHT SIMILAR
BRG BEARING	HDWR HARDWARE	SND SANITARY NAPKIN DISPOSAL
BRK BRICK	HM HOLLOW METAL	SQ SQUARE
C CAB	HDRZ HORIZONTAL	SSS SYNTHETIC SPORTS SURFACE
CB CHALK BOARD	HT HEIGHT	STD STANDARD
CC CENTER TO CENTER	ID INSIDE DIAMETER	STL STEEL
CH CONCRETE HARDENER	IF INSIDE FACE	STRUCT STRUCTURAL
CJ CONTROL JOINT	IN INCHES	SV SHEET VINYL
CL CENTER LINE	INSUL INSULATION	T TEMPERED (GLASS)
CLG CEILING	INT INTERIOR	TB TACK BOARD
CMU CONCRETE MASONRY UNITS	LOC LOCATION	THK THICKNESS
CONC CONCRETE	M MARBLE	TO TOP OF
CONT CONTINUOUS	MAS MASONRY	TOB TOP OF BEAM
CONST CONSTRUCTION	MAX MAXIMUM	TOM TOP OF MASONRY
CONTR CONTRACTOR	MB MARKER BOARD	TOW TOP OF WALL
CT CERAMIC TILE	MECH MECHANICAL	TP TOILET PAPER DISPENSER
DBL DOUBLE	MFR MANUFACTURER	TYP TYPICAL
DF DRINKING FOUNTAIN	MIN MINIMUM	UNO UNLESS NOTED OTHERWISE
DIA DIAMETER	MISC MISCELLANEOUS	VB VAPOR BARRIER
DNM DIMENSION	MD MASONRY OPENING	VCT VINYL COMPOSITION TILE
DNA DOES NOT APPLY	MOP MOP RECEPTOR	VERT VERTICAL
DTL DETAIL	MRGB MOISTURE RESISTANT GYPSUM	VWC VINYL WALL COVERING
DWG DRAWING	MTL METAL	W WEST
E EAST	N NORTH	W/ WITH
EA EACH	NA NOT APPLICABLE	WC WATER CLOSET
EF EACH FACE	NIC NOT IN CONTACT	WD WOOD
EJ EXPANSION JOINT	NO NUMBER	
EL ELEVATION	NO NOMINAL	
ELEC ELECTRICAL	NTS NOT TO SCALE	
ELEV ELEVATOR	OC OVERALL	
EMHO ELECTROMAGNETIC HOLD OPEN	OD ON CENTER	
EO EQUAL	OD OUTSIDE DIAMETER	
EW EACH WAY	OPNG OPENING	
EWC ELECTRIC WATER COOLER	OPP OPPOSITE	
EXIT OR (E) EXISTING	OUTSIDE FACE	
EXT EXPANSION	P PAINT	
FD FLOOR DRAIN	PTD PAINTED	
FDN FOUNDATION	PL PLATE	
FE FIRE EXTINGUISHER	PLY WD PLYWOOD	
FEE FINISH FLOOR ELEVATION	PNL PANEL	
FIN FINISH	P.A. PRESSURE TREATED	
FIN FL OR FF FINISH FLOOR	PT & D PAPER TOWEL AND WASTE	
FIN GR FINISH GRADE	PTN PARTITION	
FL FLOOR	RD ROOF DRAIN	
FR FRAMING	REF REFRIGERATOR	
FRMG FIRE RATING	REF REFRIGERATOR	
FT FEET (FOOT)	REF REINFORCED	
FV FIELD VERIFY	REQD REQUIRED	
FWC FABRIC WALL COVERING	RM ROOM	
G GRANITE	RO ROUGH OPENING	
GA GAUGE		

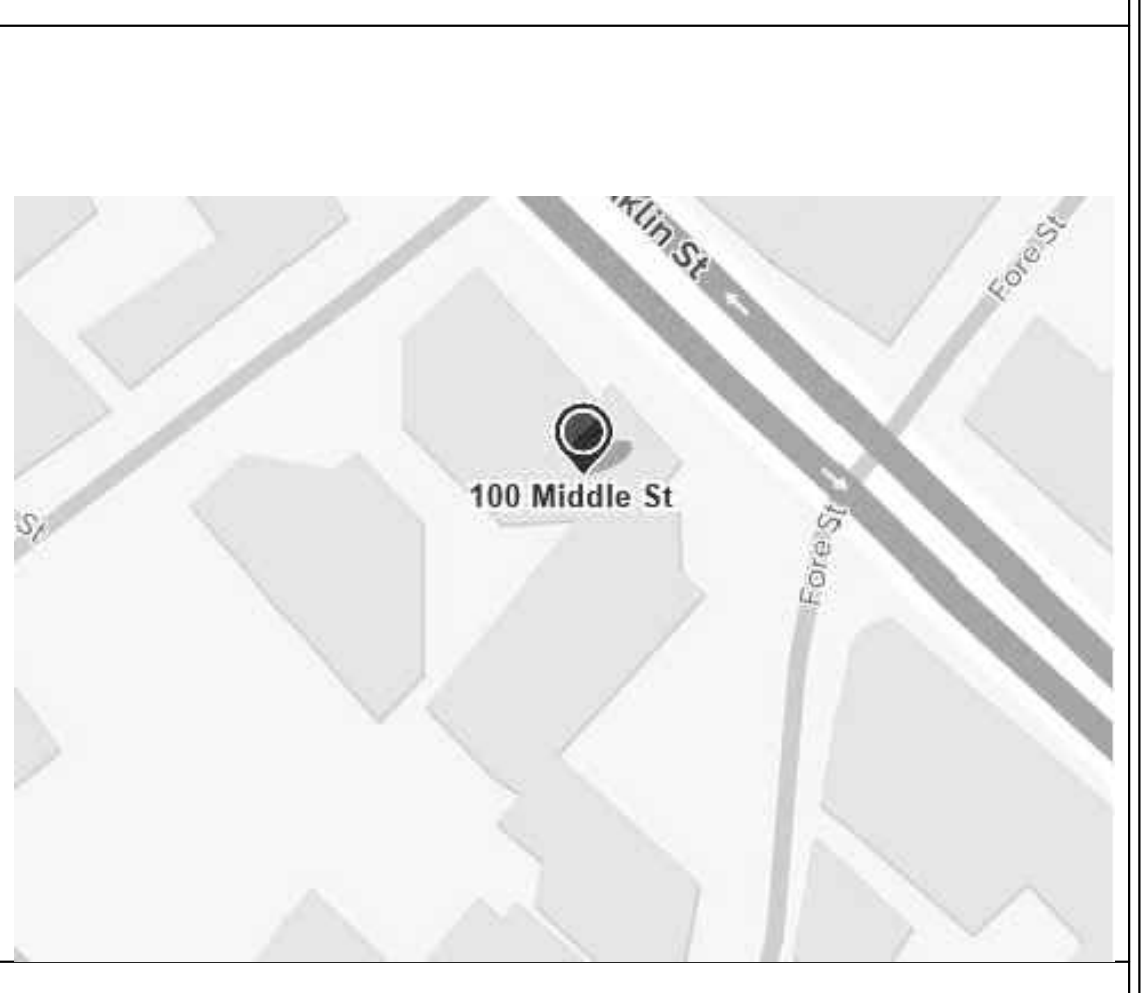
LEGEND

	BUILDING SECTION MARKER
	CEILING TAG
	COLUMN CENTER LINE
	DETAIL MARKER
	DOOR TAG
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	PLANT TAG
	REVISION CLOUD WITH TAG
	ROOM TAG
	SECTION MARKER
	WALL TYPE
	WINDOW TAG

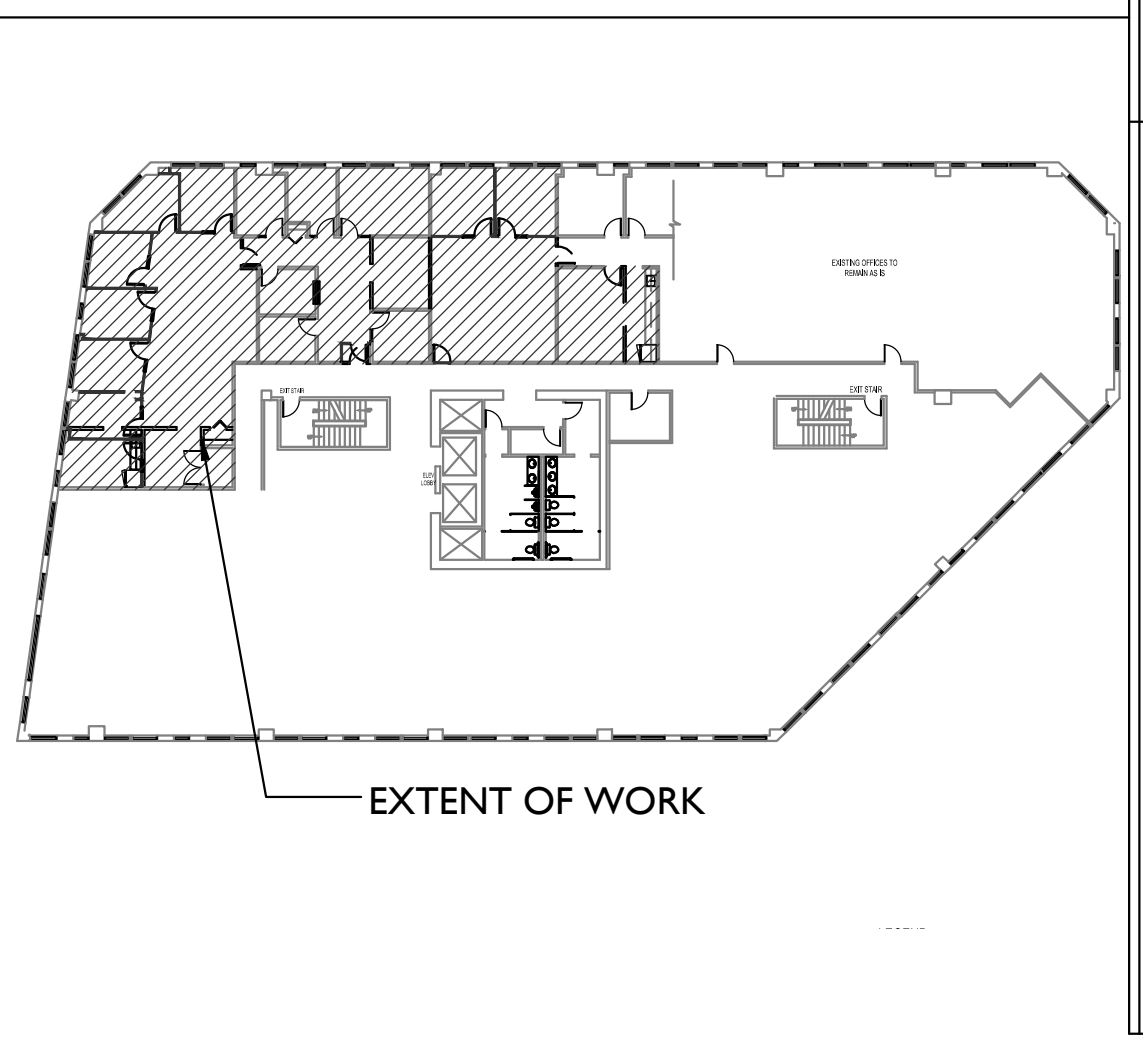
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED WITH THE ARCHITECT.
2. DO NOT ALTER OR PENETRATE ANY EXISTING STRUCTURAL ELEMENTS, EXTERIOR WALL COMPONENTS, OR FIRE RATED WALLS.
3. THE LOCATIONS OF DOORS NOT DIMENSIONED SHALL BE 4 INCHES FROM ADJACENT WALL.
4. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC 2009, NFPA 101, & ANSI.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED & ALL CONNECTIONS TO BE STAINLESS STEEL.
6. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
7. REFER TO OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND SCOPE OF WORK.
8. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THIS CONTRACT OR AS APPROVED BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL SEAL, PATCH, SKIM COAT AND FILL ANY FLOOR AND/OR WALL PENETRATIONS DUE TO DEMOLITION/CONSTRUCTION.
9. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS.
10. NOT USED
11. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF EXISTING MECHANICAL AND PLUMBING ELEMENTS. CONTRACTOR SHALL RENOVATE EXISTING ALARM SYSTEM TO MAINTAIN CONFORMANCE TO NFPA 13 & 101. CONTRACTOR SHALL VERIFY SIZE & LOCATION OF ALL ELECTRICAL SERVICES AND EQUIPMENT.
12. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN LAVATORIES, JANITOR CLOSETS, AND ALL OTHER HIGH HUMIDITY AREAS.
13. FINISHES: FINISHES OTHER THAN THE STANDARD FINISHES ARE ALL INDICATED ON THE DRAWINGS, CEILING FINISHES ARE SHOWN ON THE REFLECTED CEILING PLANS AND ALL OTHER FINISHES ARE SHOWN ON THE INTERIOR FINISH LEGEND AND SCHEDULE AND/OR INTERIOR ELEVATIONS. FINISHES INDICATED FOR A PARTICULAR ROOM OR SPACE ARE APPLICABLE FOR THE ENTIRE ROOM OR SPACE, UNLESS OTHERWISE NOTED.
14. ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER OR NOT INDICATED ON THE DRAWINGS, EXCEPT AS FOLLOWS: WHERE SPECIAL COATINGS ARE INDICATED; PREFINISHED ITEMS, CONCEALED SURFACES, OPERATING PARTS, AND LABELS. IF PREFINISHED, PAINTING THE FOLLOWING: EXPOSED MECHANICAL DUCTWORK, WALL DIFFUSERS, GRILLES AND LOUVERS, ROOF TOP MECHANICAL EQUIPMENT, AND SPEAKER GRILLES. FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE. SEE SPECIFICATIONS ON DRAWINGS IDENTIFYING THE TYPES OF PAINTS AND SPECIALTY COATINGS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
15. BUILDING INSULATION: PROVIDE AS INDICATED ON WALL DETAILS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND DRAWINGS. FOR DRAWING CLARITY, INSULATION MAY NOT BE SHOWN, EVEN IF IT IS PROVIDED.
16. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECT'S REVIEW.
17. THE DESIGN AND INSTALLATION OF THE HVAC AND PLUMBING SYSTEMS, ELECTRICAL AND FIRE PROTECTION SYSTEMS SHALL BE PROVIDED THROUGH A DESIGN/BUILD CONTRACT UNDER THE BUILDING MANAGER.
18. GENERAL CONTRACTOR SHALL SUPPLY POWER AND COORDINATION TO THE TENANT SUPPLIED SYSTEMS FURNITURE.
19. GENERAL CONTRACTOR SHALL SUPPLY POWER AND CONDUITS WITH PULL-STRINGS FOR DATA AND TELEPHONE. TO ALL POWER POLES FOR THE OWNER SUPPLIED WORKSTATIONS. THE DESIGN AND INSTALLATION OF THE DATA AND TELEPHONE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE TENANT. GENERAL CONTRACTOR TO PROVIDE CONDUIT WITH PULL-STRINGS TO ALL LOCATIONS RECEIVING DATA AND TELEPHONE.

SITE LOCATION MAP



KEY PLAN N.T.S.



PROJECT DIRECTORY

BUILDING MANAGER: CBRE BOULOS ASSET MANAGEMENT ONE CANAL PLAZA PORTLAND, ME 04101	TENANT: BERRY DUNN 100 MIDDLE STREET 2nd FLOOR PORTLAND, MAINE 04104	ARCHITECT: GAWRON TURGEON ARCHITECTS 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	CONTRACTOR: TBD
MECHANICAL ENGINEER: DESIGN BUILD BY BUILDING MANAGER	ELECTRICAL ENGINEER: DESIGN BUILD BY BUILDING MANAGER		