

# 100 MIDDLE STREET LOBBY RENOVATIONS

100 MIDDLE STREET

PORTLAND, MAINE

## DRAWING INDEX

NO.	DATE	RELEASE DESCRIPTION
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29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
207-883-6307  
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ARCHITECTS

**100 MIDDLE STREET  
LOBBY RENOVATIONS**  
ALBANY ROAD  
100 MIDDLE STREET

#	DATE	DESCRIPTION
A	10.06.16	ISSUED FOR CLIENT REVIEW
B	10.12.16	ISSUED FOR PERMIT

DATE:	10.12.16
PROJECT #:	090815
DRAWN BY:	DKR
CHECKED BY:	MET
DRAWING SCALE:	As indicated

SHEET TITLE  
TITLE SHEET & DRAWING INDEX

**G101**

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## ABBREVIATIONS

ALUM OR AL	ALUMINUM	FR	FIRE RATING	PL	PLATE
AWP	ACOUSTICAL WALL PANEL	FRMG	FRAMING	PLY WD	PLYWOOD
ACT	ACOUSTICAL CEILING TILE	FT	FEET (FOOT)	PNL	PANEL
BIT	BITUMINOUS	FV	FIELD VERIFY	P.A.	PRESSURE TREATED
BM	BENCH MARK	FWC	FABRIC WALL COVERING	PT & D	PAPER TOWEL AND WASTE DISP.
BOT	BOTTOM	G	GRANITE	PTN	PARTITION
BRG	BEARING	GA	GAUGE	RD	ROOF DRAIN
BRK	BRICK	GALV	GALVANIZED	RE	REFER
C	CARPET	GB	GRAB BARS	REF	REFRIGERATOR
CAB	CABINET	GC	GENERAL CONTRACTOR	REINF	REINFORCED
CB	CHALK BOARD	GWB	GYP SUM WALL BOARD	REQD	REQUIRED
CC	CENTER TO CENTER	HC	HANDICAP	RM	ROOM
CH	CONCRETE HARDENER	HD WD	HARDWOOD	RO	ROUGH OPENING
CJ	CONTROL JOINT	HDR	HEADER	S	SOUTH
CL	CENTER LINE	HDWE	HARDWARE	SC	SHOWER CURTAIN
CLG	CEILING	HM	HOLLOW METAL	SD	SOAP DISPENSER
CMU	CONCRETE MASONRY UNITS	HORZ	HORIZONTAL	SCHED	SCHEDULE
CONC	CONCRETE	HT	HEIGHT	SECT	SECTION
CONT	CONTINUOUS	ID	INSIDE DIAMETER	SHT	SHEET
CONST	CONSTRUCTION	IF	INSIDE FACE	SIM	SIMILAR
CONTR	CONTRACTOR	IN	INCHES	SND	SANITARY NAPKIN DISPOSAL
CT	CERAMIC TILE	INSUL	INSULATION	SQ	SQUARE
DBL	DOUBLE	INT	INTERIOR	SSS	SYNTHETIC SPORTS SURFACE
DF	DRINKING FOUNTAIN	INT	INTERIOR	STD	STANDARD
DIA	DIAMETER	INT	INTERIOR	STL	STEEL
DIM	DIMENSION	LOC	LOCATION	STL	STRUCTURAL
DNA	DOES NOT APPLY	M	MARBLE	SV	SHEET VINYL
DTL	DETAIL	MAS	MASONRY	TEMPERED (GLASS)	TEMPERED (GLASS)
DWG	DRAWING	MAX	MAXIMUM	T	TACK BOARD
E	EAST	MB	MARKER BOARD	THK	THICKNESS
EA	EACH	MECH	MECHANICAL	TO	TO
EF	EACH FACE	MFR	MANUFACTURER	TOB	TOP OF BEAM
EJ	EXPANSION JOINT	MIN	MINIMUM	TOM	TOP OF MASONRY
EL	ELEVATION	MISC	MISCELLANEOUS	TOW	TOP OF WALL
ELEC	ELECTRICAL	MO	MASONRY OPENING	TP	TOILET PAPER DISPENSER
ELEV	ELEVATOR	MR	MOP RECEPTOR	TYP	TYPICAL
EMHO	ELECTROMAGNETIC HOLD OPEN	MRGB	MOISTURE REST. GYP. BRD.	UNO	UNLESS NOTED OTHERWISE
EQ	EQUAL	MTL	METAL	VB	VAPOR BARRIER
EW	EACH WAY	N	NORTH	VCT	VINYL COMPOSITION TILE
EWV	ELECTRIC WATER COOLER	NA	NOT APPLICABLE	VERT	VERTICAL
EXIT OR (E)	EXISTING	NIC	NOT IN CONTACT	WVC	VINYL WALL COVERING
EXP	EXPANSION	NO	NUMBER	W	WEST
EXT	EXTERIOR	NOM	NOMINAL	WV	WITH
FD	FLOOR DRAIN	NTS	NOT TO SCALE	WC	WATER CLOSET
FDN	FOUNDATION	OA	OVERALL	WD	WOOD
FE	FIRE EXTINGUISHER	OC	ON CENTER		
FFE	FINISH FLOOR ELEVATION	OD	OUTSIDE DIAMETER		
FIN	FINISH	OPNG	OPENING		
FIN FL OR FF	FINISH FLOOR	OPP	OPPOSITE		
FIN GR	FINISH GRADE	OF	OUTSIDE FACE		
FL	FLOOR	P	PAINT		
		PTD	PAINTED		

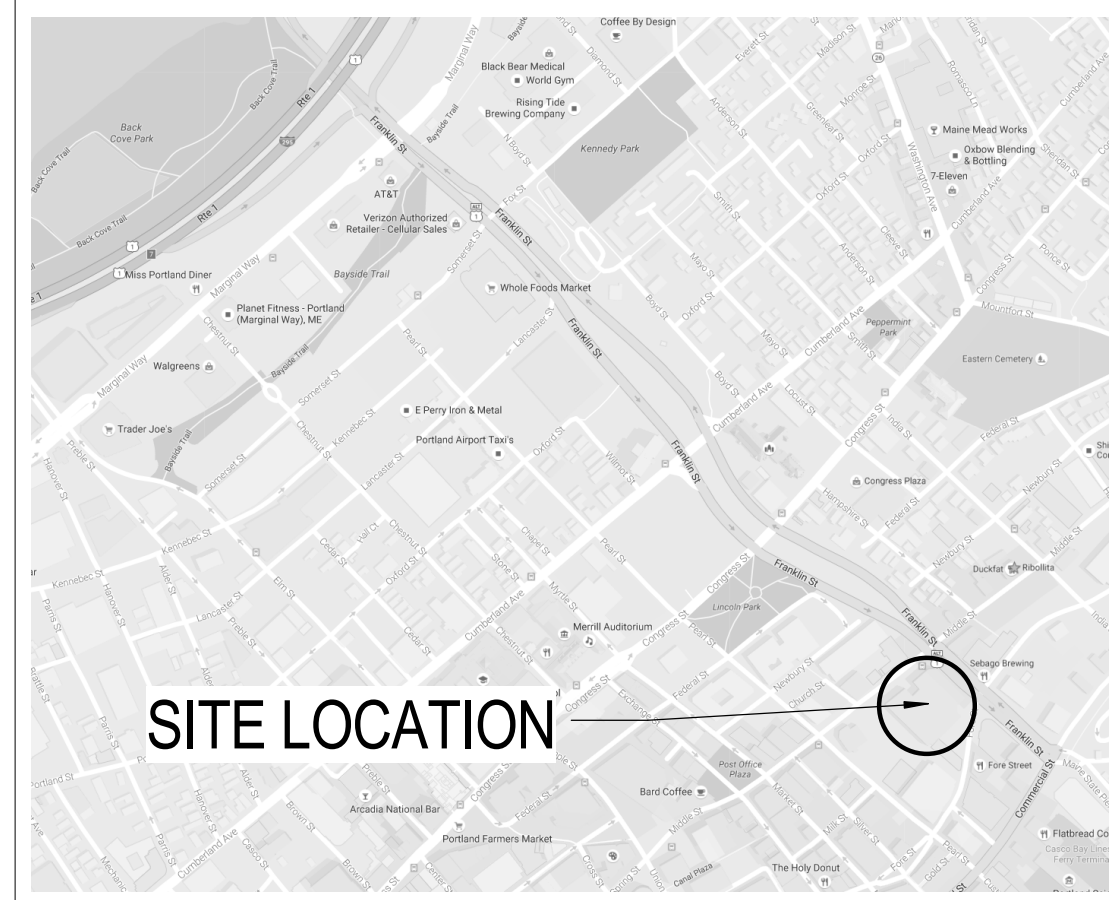
## LEGEND

<b>Room name</b>	ROOM LABEL
	ROOM LABEL
	DOOR TAG
	WINDOW TYPE
	WALL TYPE
	CEILING LABEL
	DEMO LABEL
	COLUMN LINE LABEL
	BUILDING ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	INTERIOR ELEVATION
	VERTICAL ELEVATION

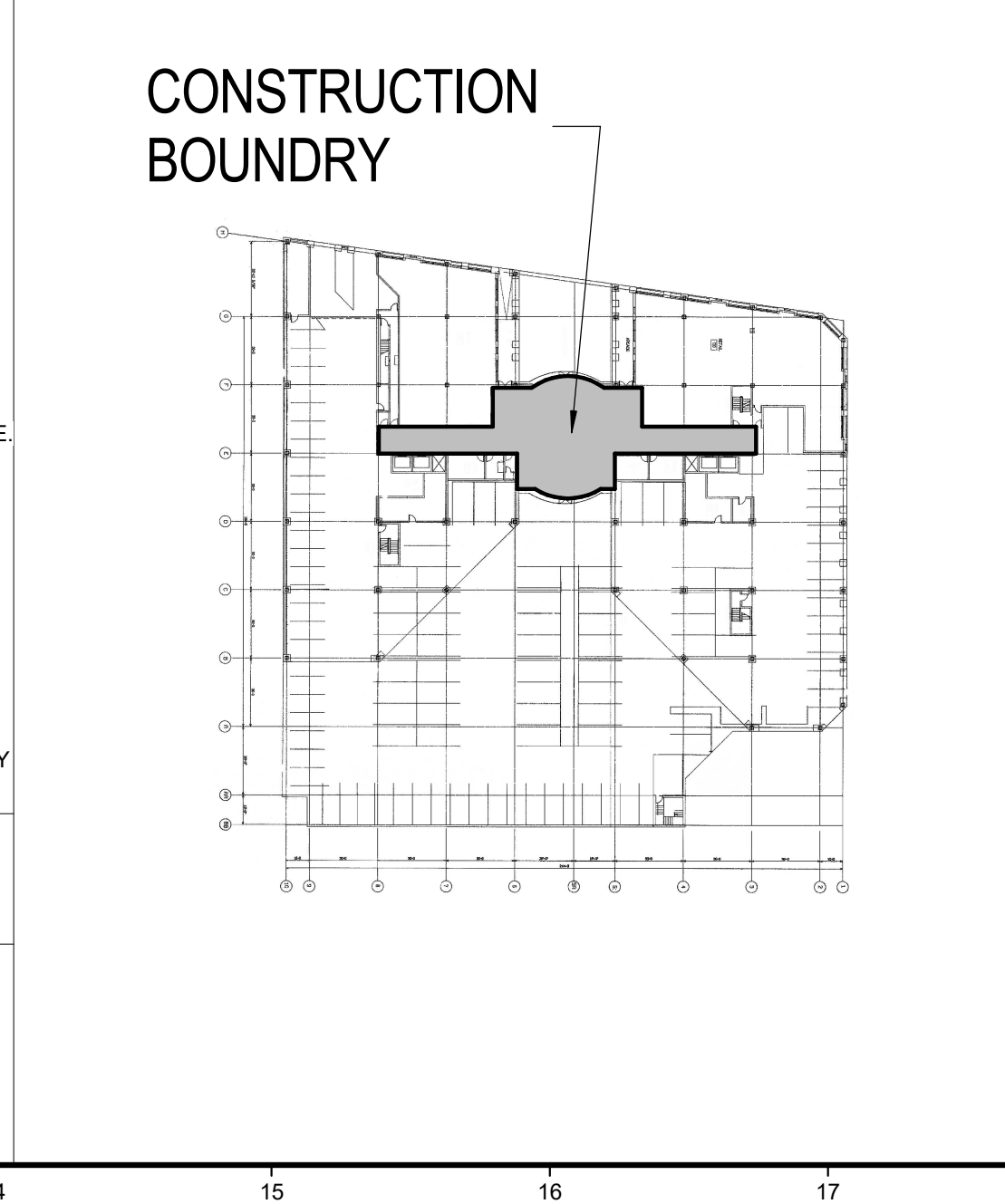
## GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED WITH THE ARCHITECT.
- DO NOT ALTER OR PENETRATE ANY EXISTING STRUCTURAL ELEMENTS, EXTERIOR WALL COMPONENTS, OR FIRE RATED WALLS.
- THE LOCATIONS OF DOORS NOT DIMENSIONED SHALL BE 6 INCHES FROM ADJACENT WALL.
- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, BOCA, NFPA 101, & ANSI.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED & ALL CONNECTIONS TO BE STAINLESS STEEL.
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THIS CONTRACT OR AS APPROVED BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL SEAL, PATCH AND FILL ANY FLOOR AND/OR WALL PENETRATIONS DUE TO DEMOLITION/CONSTRUCTION.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF EXISTING MECHANICAL AND PLUMBING ELEMENTS. CONTRACTOR SHALL RENOVATE EXISTING ALARM SYSTEM TO MAINTAIN CONFORMANCE TO NFPA 13 & 101. CONTRACTOR SHALL VERIFY SIZE & LOCATION OF ALL ELECTRICAL SERVICES AND EQUIPMENT.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN LAVATORIES, JANITOR CLOSETS, AND ALL OTHER HIGH HUMIDITY AREAS.
- FINISHES: FINISHES OTHER THEN THE STANDARD FINISHES ARE ALL INDICATED ON THE DRAWINGS. CEILING FINISHES ARE SHOWN ON THE REFLECTED CEILING PLANS AND ALL OTHER FINISHES ARE SHOWN ON THE INTERIOR FINISH LEGEND AND SCHEDULE AND/OR INTERIOR ELEVATIONS. FINISHES INDICATED FOR A PARTICULAR ROOM OR SPACE ARE APPLICABLE FOR THE ENTIRE ROOM OR SPACE, UNLESS OTHERWISE NOTED.
- ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER OR NOT INDICATED ON THE DRAWINGS, EXCEPT AS FOLLOWS: WHERE SPECIAL COATINGS ARE INDICATED, PREFINISHED ITEMS, CONCEALED SURFACES, OPERATING PARTS, AND LABELS. IF PREFINISHED, PAINTING THE FOLLOWING: EXPOSED MECHANICAL DUCTWORK, WALL DIFFUSERS, GRILLES AND LOUVERS, ROOF TOP MECHANICAL EQUIPMENT, AND SPEAKER GRILLES. FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE. SEE SPECIFICATIONS ON DRAWINGS IDENTIFYING THE TYPES OF PAINTS AND SPECIALTY COATINGS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
- BUILDING INSULATION: PROVIDE AS INDICATED ON WALL DETAILS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND DRAWINGS. FOR DRAWING CLARITY, INSULATION MAY NOT BE SHOWN, EVEN IF IT IS PROVIDED.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECT'S REVIEW.
- THE DESIGN AND INSTALLATION OF THE HVAC AND PLUMBING SYSTEMS, ELECTRICAL AND FIRE PROTECTION SYSTEMS, AND STRUCTURAL SYSTEMS SHALL BE PROVIDED THROUGH A DESIGN/BUILD CONTRACT UNDER THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL SUPPLY POWER AND COORDINATION TO THE TENANT SUPPLIED SYSTEMS FURNITURE.
- GENERAL CONTRACTOR SHALL SUPPLY POWER AND CONDUITS WITH PULL-STRINGS FOR DATA AND TELEPHONE TO ALL POWER POLES FOR THE OWNER SUPPLIED WORKSTATIONS. THE DESIGN AND INSTALLATION OF THE DATA AND TELEPHONE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE TENANT. GENERAL CONTRACTOR TO PROVIDE CONDUIT WITH PULL-STRINGS TO ALL LOCATIONS RECEIVING DATA AND TELEPHONE.
- GENERAL CONTRACTOR SHALL CONDUCTED A PRE-DEMOLITION MEETING WITH ALL SUBCONTRACTORS, OWNER'S REPRESENTATIVE AND ARCHITECT ON SITE PRIOR TO COMMENCEMENT OF ANY DEMOLITION.
- GENERAL CONTRACTOR SHALL CONDUCTED A PRE-CONSTRUCTION MEETING WITH ALL SUBCONTRACTORS, OWNER'S REPRESENTATIVE AND ARCHITECT ON SITE PRIOR TO COMMENCEMENT OF NEW WORK.
- PRIOR TO REMOVAL OF ANY CONSTRUCTION, CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION TO IDENTIFY ANY OBSTACLES THEY MAY IMPEDED PLACEMENT OF PROPOSED CONSTRUCTION

## SITE LOCATION MAP



## KEY PLAN

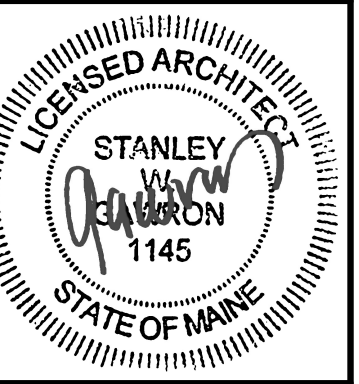


## PROJECT DIRECTORY

<b>OWNER:</b> ALBANY ROAD 10 HIGH STREET SUITE 700 BOSTON, MA 02110 617-279-2365	<b>ARCHITECT:</b> GAWRON TURGEON ARCHITECTS 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	<b>CONSTRUCTION MANAGER:</b> TBD	<b>STRUCTURAL ENGINEER:</b> NA
<b>SITE/CIVIL ENGINEER:</b> OWNER: NA	<b>SITE/CIVIL ENGINEER:</b> NA	<b>MECHANICAL ENGINEER:</b> DESIGN / BUILD	<b>ELECTRICAL ENGINEER:</b> DESIGN BUILD

## CODE NOTES

- |   |  |
|---|--|
| <b>NO CODE CHANGES ANTICIPATED:</b>   | <b>INTERIOR FINISHES:</b>  |
| <ol style="list-style-type: none"> <li>NO CHANGE OF USE</li> <li>NO CHANGE OF CONSTRUCTION TYPE</li> <li>NO CHANGES TO EGRESS PATHS</li> <li>NO CHANGES TO OCCUPANCY LOAD</li> <li>EMERGENCY LIGHTING &amp; FIXTURES TO REMAIN</li> </ol> | <ul style="list-style-type: none"> <li>LOBBIES &amp; CORRIDORS - CLASS A OR B</li> <li>EXIST WALLS &amp; CEILING - CLASS A</li> <li>OTHER SPACES - CLASS A OR B</li> <li>INTERIOR FLOOR FINISHED - NOT LESS THAN CLASS II</li> </ul> |



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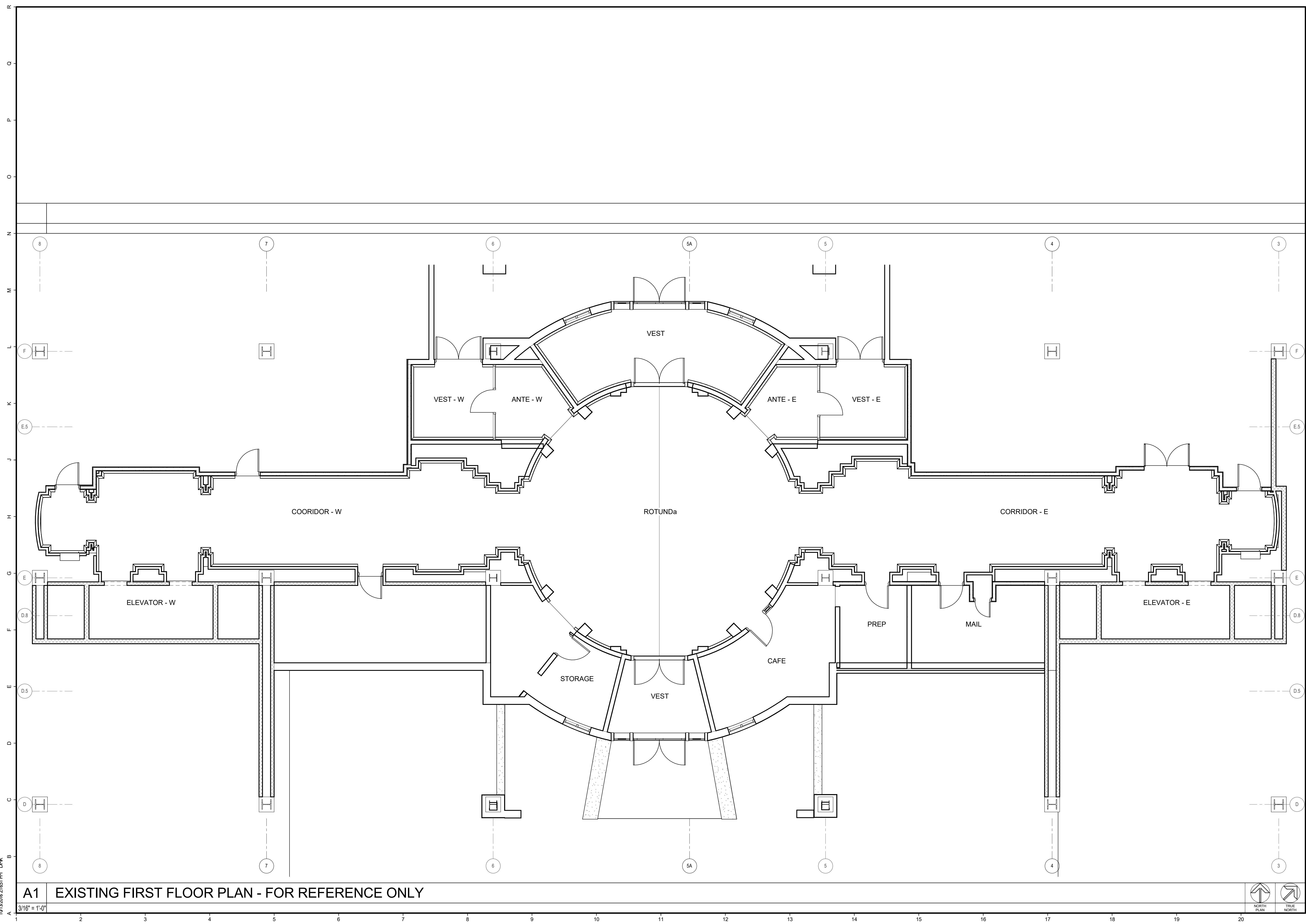
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DRAWING SCALE	3/16" = 1'-0"

SHEET TITLE  
**EXISTING FIRST FLOOR PLAN - FOR REFERENCE ONLY**

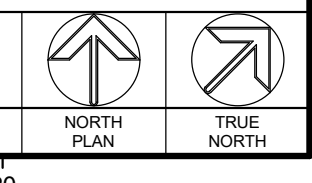
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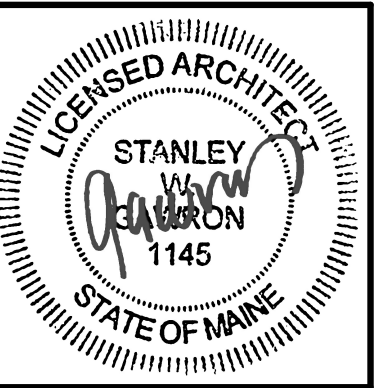


**A1 EXISTING FIRST FLOOR PLAN - FOR REFERENCE ONLY**

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SHEET TITLE  
DEMOLITION - FIRST FLOOR PLAN

**DI01**

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**DEMOLITION NOTES**

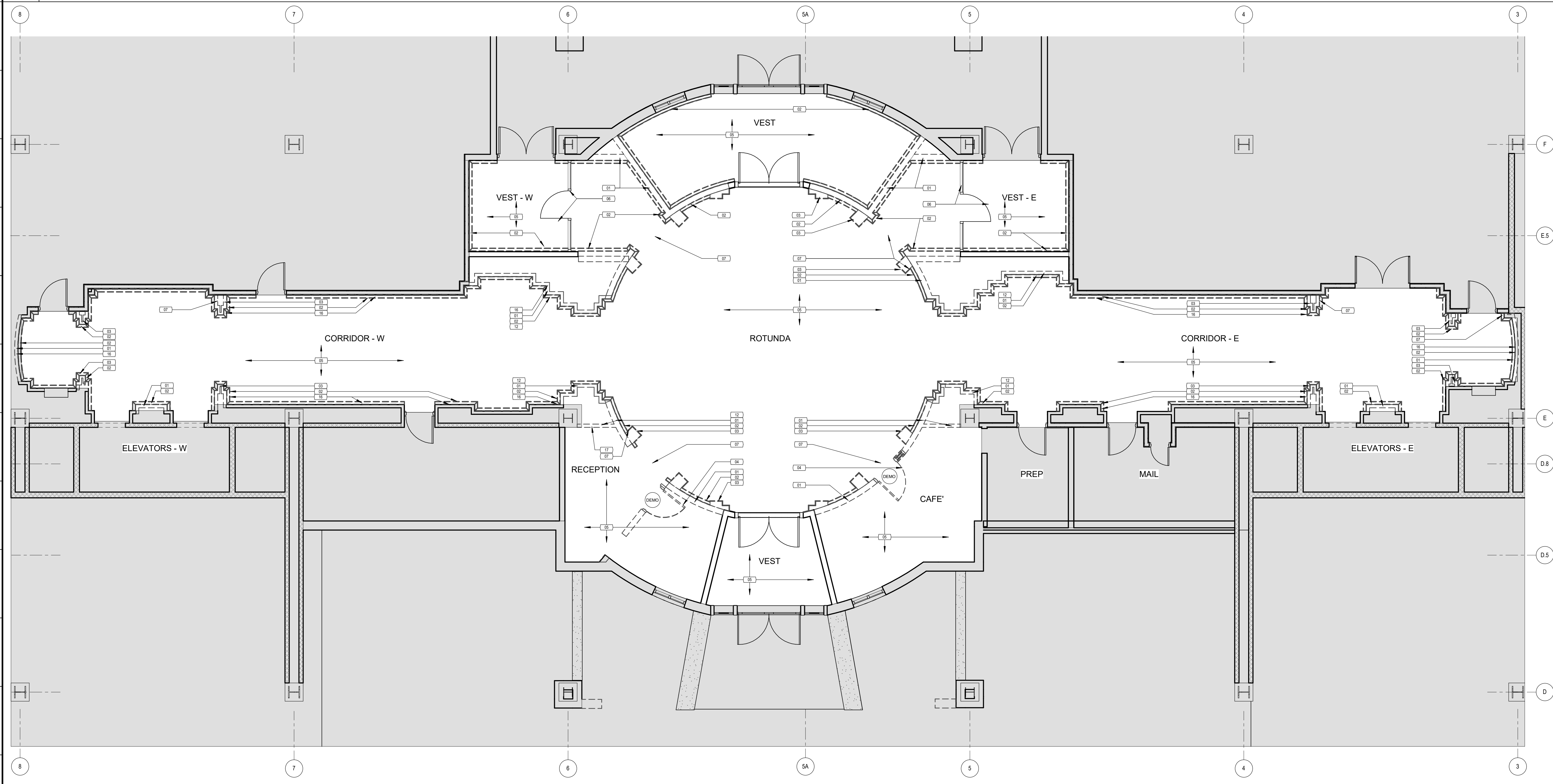
- REFER TO ALL CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION. GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION AND PROVIDE A LEVEL SMOOTH SURFACE FOR APPLICATION OF NEW FINISHES. SCHEDULED OR INDICATED ON THE CONSTRUCTION DWGS.
- PRIOR TO REMOVAL OF ANY CONSTRUCTION, CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION TO IDENTIFY ANY OBSTACLES THEY MAY IMPEDED PLACEMENT OF PROPOSED CONSTRUCTION

- DEMOLITION LEGEND**
- 01 REMOVE WALL - AS REQUIRED FOR NEW CONSTRUCTION
  - 02 REMOVE FLOOR BASE - FILL & PATCH AFFECTED AREAS AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISHES - REFER TO FINISHES LEGEND & SCHEDULE
  - 03 REMOVE PLASTER & DECORATIVE WALL TREATMENTS BACK TO ROTUNDA WALL
  - 04 REMOVE DOOR, FRAME & ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
  - 05 REMOVE FLOORING, SMOOTH AND LEVEL EXISTING SUBSTRATE AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISH - REFER TO FINISHES LEGEND & SCHEDULE
  - 06 EXISTING STOREFRONT WINDOW SYSTEM & DOOR TO REMAIN - CLEAN & STABILIZE CONNECTION TO STRUCTURE ABOVE
  - 07 REMOVE & REWORK EXISTING MECHANICAL EQUIPMENT & DUCTS AS REQUIRED FOR NEW CONSTRUCTION - REFER TO MECHANICAL DESIGN / BUILD CONSTRUCTION DWGS
  - 08 REMOVE GWB BARREL VAULT CEILING SYSTEM & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
  - 09 REMOVE GWB CEILING & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
  - 10 REMOVE GWB SOFFIT & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
  - 11 REMOVE GWB LIGHT COVE & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
  - 12 PRIOR TO REMOVAL OF WALL CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION TO IDENTIFY ANY OBSTACLES THEY MAY IMPEDED PLACEMENT OF PROPOSED CONSTRUCTION
  - 13 REMOVE ACT CEILING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION
  - 14 REMOVE ACT CEILING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION - REMOVE EQUIPMENT & FIXTURES AS REQUIRED FOR INSTALLATION OF NEW CEILING SYSTEM - REPLACE EQUIPMENT & FIXTURES IN SAME LOCATION
  - 15 FILL, PATCH & SMOOTH EXISTING CEILING AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISH
  - 16 REMOVE PICTURE RAIL - FILL & PATCH AFFECTED AREAS AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISHES - REFER TO FINISHES LEGEND & SCHEDULE
  - 17 REMOVE ABANDONED BUILDING SYSTEMS PANELS - CONFIRM ABANDONMENT PRIOR TO REMOVAL

- INSTRUCTIONS FOR REMOVALS :**
- CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
  - PLANS: SEE DEMOLITION PLANS FOR DEMOLITION WORK. REFER TO ALL CONSTRUCTION DOCUMENTS FOR COORDINATION OF DEMOLITION AND NEW WORK. COORDINATE WITH ALL TRADES.
  - VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.
  - EQUIPMENT: THE OWNER SHALL BE RESPONSIBLE FOR REMOVING FURNITURE, AND OTHER MOVEABLE AND FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA. EXCEPTION FOR MECHANICAL, ELECTRICAL, OR MINOR WORK NOT REQUIRING OWNER TO COMPLETELY VACATE PREMISES AND EXCEPT AS NOTED. CONTRACTOR SHALL INFORM OWNER OF SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS AS NECESSARY.
  - EQUIPMENT: OWNER REMOVALS TYPICALLY INCLUDE, BUT MAY NOT BE LIMITED TO: FURNITURE OF ALL TYPES, UNATTACHED MACHINES AND COMPUTERS, ARTWORK AND OTHER WALL MOUNTED DISPLAYS, ATTACHED SHELVING UNITS AND STORAGE CABINETS
- ANY MISCELLANEOUS ITEMS NOT REMOVED BY OWNER SHALL BE REMOVED BY CONTRACTOR UNDER REMOVAL AND/OR DISPOSAL.
- REUSE/SALVAGE: CONTRACTOR SHALL SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS TO PATCH AND REPAIR INCLUDING: CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS WITH OWNER'S APPROVAL
  - SALVAGE FOR OWNER: PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNERS REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.
  - CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL
- EXITING & REVISED FIRE SUPPRESSION SYSTEM:** REFER TO THOSE SPECIFIC DRAWINGS FOR INFORMATION. CITY PRIOR TO ANY AND ALL DEMOLITION REQUIRED FOR FIRE SUPPRESSION SYSTEM INSTALLATION. FIRE SUPPRESSION SYSTEM CONTRACTOR SHALL COORDINATE WITH ALL TRADES, OWNERS REPRESENTATIVE AND

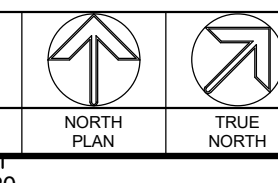
- GENERAL DEMOLITION NOTES:**
- COORDINATION: PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR COMPLETE COORDINATION DURING ALL PHASES OF CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.
  - DAMAGE: EXISTING BUILDING, BUILDING SYSTEM OR SITE COMPONENTS AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.
  - EQUIPMENT AND FIXTURES: NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.
  - PATCHING: AFTER ALL REMOVALS OF WALLS, DOORS, WINDOWS, CEILINGS AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PIECED UNDERLAYMENT TO FLOORS AT WALL REMOVAL, INSTALL NEW WALLBOARD BY PIECING IN AND FINISHING FLUSH AND FRAMING OR FURRING AS NECESSARY
  - CONCEALED SPACES: DAMAGED CONSTRUCTION IN CONCEALED SPACES IS NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN, FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND OR HEAT LOSS OR GAIN.
  - PIPE REMOVALS: AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS; FILL MOUNTING HOLES AND REPAIR WALL SURFACES.
- INSTRUCTIONS FOR RENOVATIONS :**
- LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE DRAWINGS - SEE INTERIOR FINISH SCHEDULE AND NOTES - AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.
  - CUT TRENCHES IN EXISTING SLABS WITH MAXIMUM OF 1:2 SLOPE.
  - COVER PLATES: PROVIDE COVER PLATES OVER ABANDONED ELECTRICAL DEVICES, PAINT WITH WALL.
  - FIRE EXTINGUISHERS: CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND INSTALL THEM AFTER THEIR WORK. NEW EXTINGUISHERS AND CABINETS SHALL BE INSTALLED BY THE CONTRACTOR WHERE INDICATED.
  - SIGNAGE: EXISTING PLAQUES AND OTHER INTERIOR SIGNS SHALL REMAIN IN PLACE. THOSE WHICH MUST BE REMOVED FOR WALL DEMOLITION SHALL BE FURNISHED TO OWNER.

**N1 DEMOLITION NOTES, INSTRUCTIONS & LEGEND**



**A1 DEMOLITION - FIRST FLOOR PLAN**

3/16" = 1'-0"



10/12/2016 2:16:45 PM DKR

**GENERAL DEMOLITION NOTES:**

- COORDINATION:** PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR COMPLETE COORDINATION DURING ALL PHASES OF CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.
- DAMAGE:** EXISTING BUILDING, BUILDING SYSTEM OR SITE COMPONENTS AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.
- EQUIPMENT AND FIXTURES:** NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.
- PATCHING:** AFTER ALL REMOVALS OF WALLS, DOORS, WINDOWS, CEILINGS AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PIECED UNDERLAYMENT TO FLOORS AT WALL REMOVAL; INSTALL NEW WALLBOARD BY PIECING IN AND FINISHING FLUSH AND FRAMING OR FURRING AS NECESSARY.
- CONCEALED SPACES:** DAMAGED CONSTRUCTION IN CONCEALED SPACES IS NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND OR HEAT LOSS OR GAIN.
- PIPE REMOVALS:** AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS. FILL MOUNTING HOLES AND REPAIR WALL SURFACES.

**INSTRUCTIONS FOR RENOVATIONS:**

- LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE DRAWINGS-SEE INTERIOR FINISH SCHEDULE AND NOTES- AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.
- CUT TRENCHES IN EXISTING SLABS WITH MAXIMUM OF 1:2 SLOPE.
- COVER PLATES:** PROVIDE COVER PLATES OVER ABANDONED ELECTRICAL DEVICES, PAINT WITH WALL.
- FIRE EXTINGUISHERS:** CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND INSTALL THEM AFTER THEIR WORK. NEW EXTINGUISHERS AND CABINETS SHALL BE INSTALLED BY THE CONTRACTOR WHERE INDICATED.
- SIGNAGE:** EXISTING PLAQUES AND OTHER INTERIOR SIGNS SHALL REMAIN IN PLACE. THOSE WHICH MUST BE REMOVED FOR WALL DEMOLITION SHALL BE FURNISHED TO OWNER.

**INSTRUCTIONS FOR REMOVALS:**

- CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
- PLANS: SEE DEMOLITION PLANS FOR DEMOLITION WORK. REFER TO ALL CONSTRUCTION DOCUMENTS FOR COORDINATION OF DEMOLITION AND NEW WORK. COORDINATE WITH ALL TRADES.
- VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.
- EQUIPMENT:** THE OWNER SHALL BE RESPONSIBLE FOR REMOVING FURNITURE, AND OTHER MOVEABLE AND FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA. EXCEPTION FOR MECHANICAL, ELECTRICAL, OR MINOR WORK NOT REQUIRING OWNER TO COMPLETELY VACATE PREMISES AND EXCEPT AS NOTED. CONTRACTOR SHALL INFORM OWNER OF SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS AS NECESSARY.
- EQUIPMENT:** OWNER REMOVALS TYPICALLY INCLUDE, BUT MAY NOT BE LIMITED TO: FURNITURE OF ALL TYPES, UNATTACHED MACHINES AND COMPUTERS, ARTWORK AND OTHER WALL MOUNTED DISPLAYS, ATTACHED SHELVING UNITS AND STORAGE CABINETS. ANY MISCELLANEOUS ITEMS NOT REMOVED BY OWNER SHALL BE REMOVED BY CONTRACTOR UNDER REMOVAL AND/OR DISPOSAL.
- REUSE/SALVAGE:** CONTRACTOR SHALL SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS TO PATCH AND REPAIR INCLUDING: CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS WITH OWNER'S APPROVAL.
- SALVAGE FOR OWNER:** PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNERS REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.
- CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL.**
- EXITING & REVISED FIRE SUPPRESSION SYSTEM:** REFER TO THOSE SPECIFIC DRAWINGS FOR INFORMATION. CITY PRIOR TO ANY AND ALL DEMOLITION REQUIRED FOR FIRE SUPPRESSION SYSTEM CONTRACTOR SHALL COORDINATE WITH ALL TRADES, OWNERS REPRESENTATIVE AND FIRE SUPPRESSION SYSTEM CONTRACTOR SHALL COORDINATE WITH ALL TRADES, OWNERS REPRESENTATIVE AND

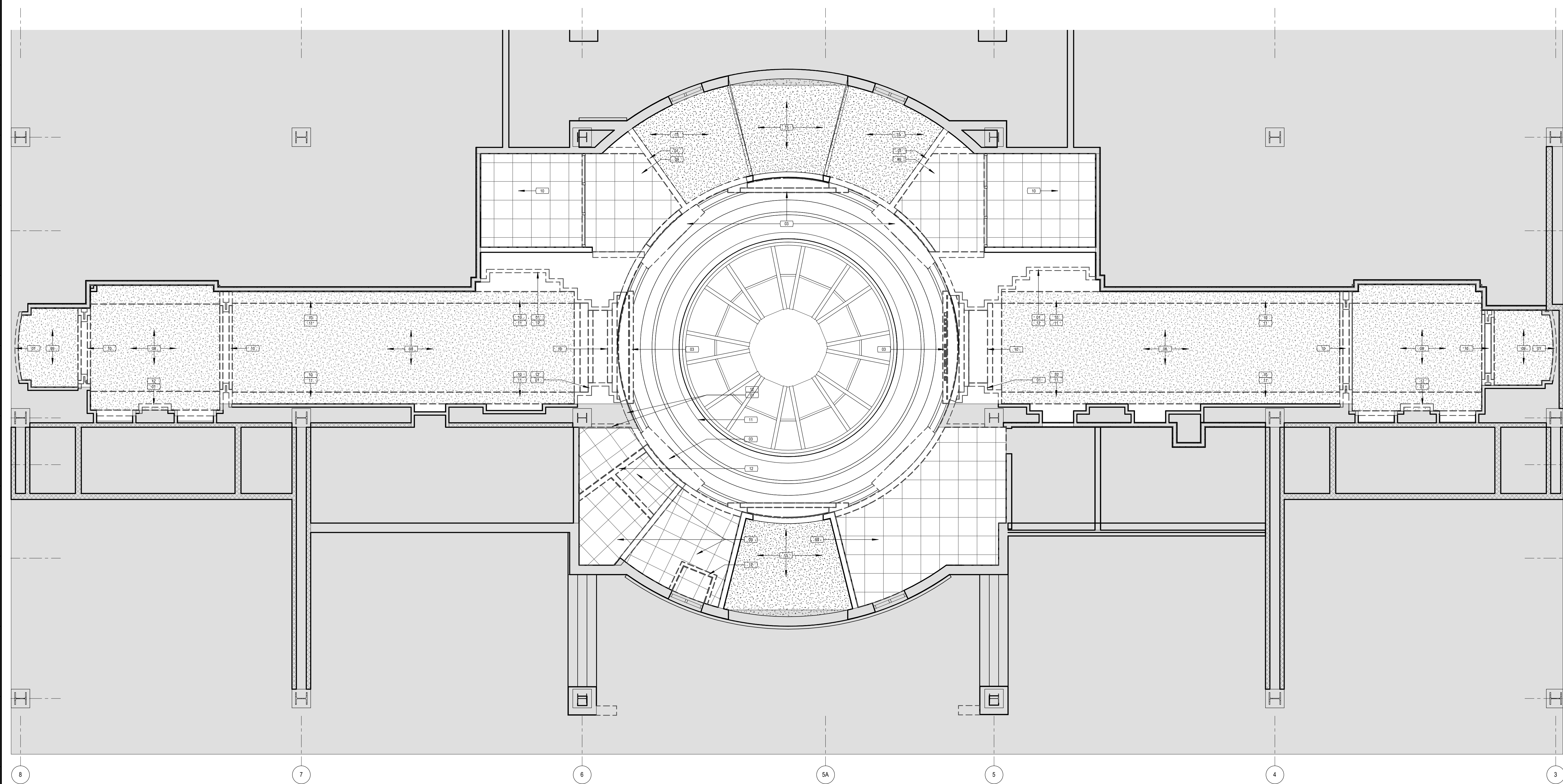
**DEMOLITION LEGEND:**

- 01 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION
- 02 REMOVE FLOOR BASE - FILL & PATCH AFFECTED AREAS AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISHES - REFER TO FINISHES LEGEND & SCHEDULE
- 03 REMOVE PLASTER & DECORATIVE WALL TREATMENTS BACK TO ROTUNDA WALL
- 04 REMOVE DOOR, FRAME & ALL ASSOCIATED WARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 05 REMOVE FLOORING, SMOOTH AND LEVEL EXISTING SUBSTRATE AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISH - REFER TO FINISHES LEGEND & SCHEDULE
- 06 EXISTING STOREFRONT WINDOW SYSTEM & DOOR TO REMAIN - CLEAN & STABILIZE CONNECTION TO STRUCTURE ABOVE.
- 07 REMOVE & REWORK EXISTING MECHANICAL EQUIPMENT & DUCTS AS REQUIRED FOR NEW CONSTRUCTION - REFER TO MECHANICAL DESIGN / BUILD CONSTRUCTION DWGS
- 08 REMOVE GWB BARREL VAULT CEILING SYSTEM & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
- 09 REMOVE GWB CEILING & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
- 10 REMOVE GWB SOFFIT & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
- 11 REMOVE GWB LIGHT COVE & ASSOCIATED FRAMING AS REQUIRE FOR NEW CONSTRUCTION
- 12 PRIOR TO REMOVAL OF WALL CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION TO IDENTIFY ANY OBSTACLES THEY MAY IMPEDED PLACEMENT OF PROPOSED CONSTRUCTION
- 13 REMOVE ACT CEILING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION
- 14 REMOVE ACT CEILING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION - REMOVE EQUIPMENT & FIXTURES AS REQUIRED FOR INSTALLATION OF NEW CEILING SYSTEM - REPLACE EQUIPMENT & FIXTURES IN SAME LOCATION
- 15 FILL, PATCH & SMOOTH EXISTING CEILING AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISH
- 16 REMOVE PICTURE RAIL - FILL & PATCH AFFECTED AREAS AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF SCHEDULED FINISHES - REFER TO FINISHES LEGEND & SCHEDULE
- 17 REMOVE ABANDONED BUILDING SYSTEMS PANELS - CONFIRM ABANDONMENT PRIOR TO REMOVAL

**DEMOLITION NOTES:**

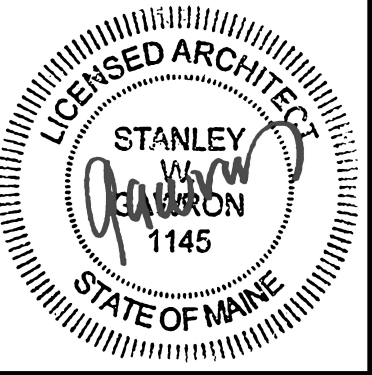
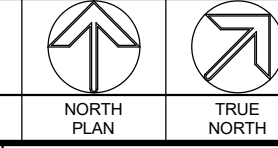
- REFER TO ALL CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION. GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION AND PROVIDE A LEVEL SMOOTH SURFACE FOR APPLICATION OF NEW FINISHES, SCHEDULED OR INDICATED ON THE CONSTRUCTION DWGS.
- PRIOR TO REMOVAL OF ANY CONSTRUCTION, CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION TO IDENTIFY ANY OBSTACLES THEY MAY IMPEDED PLACEMENT OF PROPOSED CONSTRUCTION

**N1 DEMOLITION NOTES, INSTRUCTIONS & LEGEND**



**A1 DEMOLITION - FIRST FLOOR REFLECTED CEILING**

3/16" = 1'-0"



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DATE:	10.12.16
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DRAWING SCALE	3/16" = 1'-0"

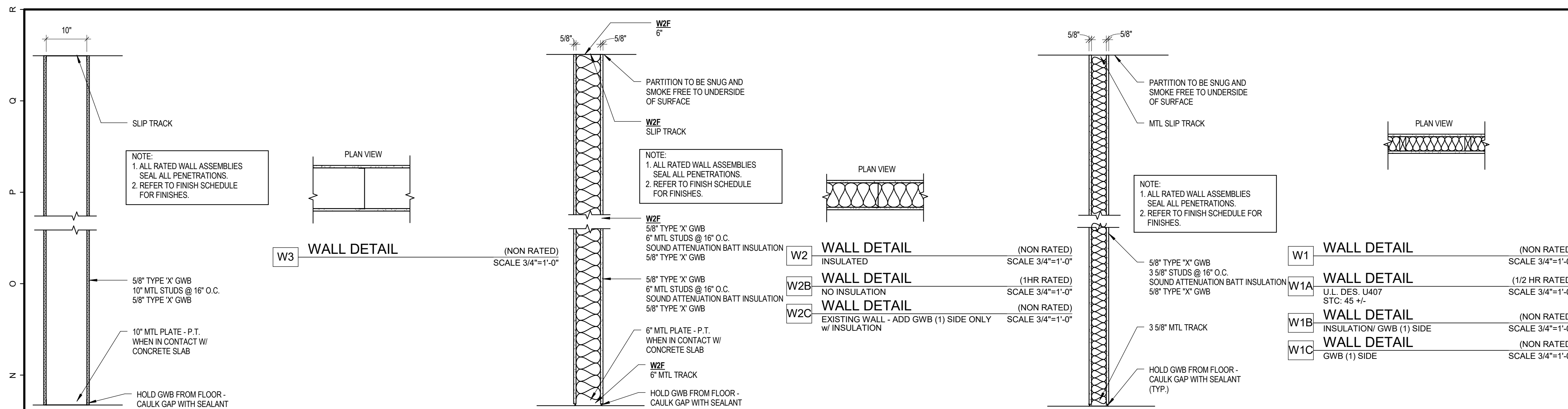
**SHEET TITLE**

DEMOLITION - FIRST FLOOR REFLECTED CEILING PLAN

**DI02**

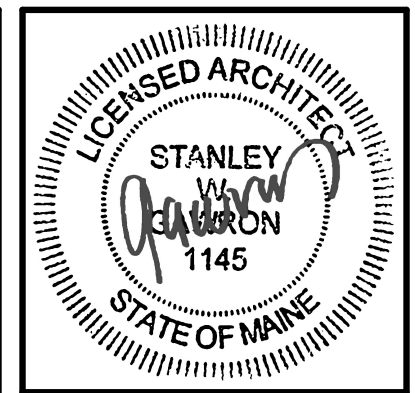
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- FLOOR PLAN LEGEND**
- (C1) PAINT EXISTING WALL CABINETS & ACCESS PANELS - REFER TO FINISHES LEGEND & SCHEDULE
  - (C2) DIRECTORY PANEL - SELECTION BY OWNER - PROVIDE POWER & DATA CONNECTION - G.C. TO COORDINATE SERVICE REQUIREMENTS WITH MANUFACTURER & INSTALLER
  - (C3) MAILBOX
  - (C4) CAFE' CABINTRY - BY OTHERS (N.I.C.)
  - (C5) RECEPTION DESK G.C. TO COORDINATE & PROVIDE ALL REQUIRED SERVICES @ DESK - BY OTHERS (N.I.C.)
  - (C6) PROVIDE (6) FLUSH FLOOR ELECTRICAL OUTLETS - FINAL LOCATION TO BE DETERMINED BY OWNER - XRAY EXISTING FLOOR SYSTEM (4" CONCRETE SLAB ON 4" RIGID INSULATION ON 10 PRECAST CONCRET PLANK) PRIOR TO CORE DRILLING. CORE DRILL SHALL NOT PASS THROUGH ANY REINFORCING STEEL OR STAN.
  - (C7) DECORATIVE QUARTZ PANELS - REFER TO AS/AS20

- FLOOR PLAN NOTES**
1. PATCH ALL WALLS AND CEILINGS DAMAGED DUE TO DEMOLITION OR OTHERWISE. SKIM COAT, PATCH & FILL TO PROVIDE A SMOOTH LEVEL SURFACE FOR APPLICATION OF SCHEDULED FINISHED - REFER TO FINISHES LEGEND & SCHEDULE.

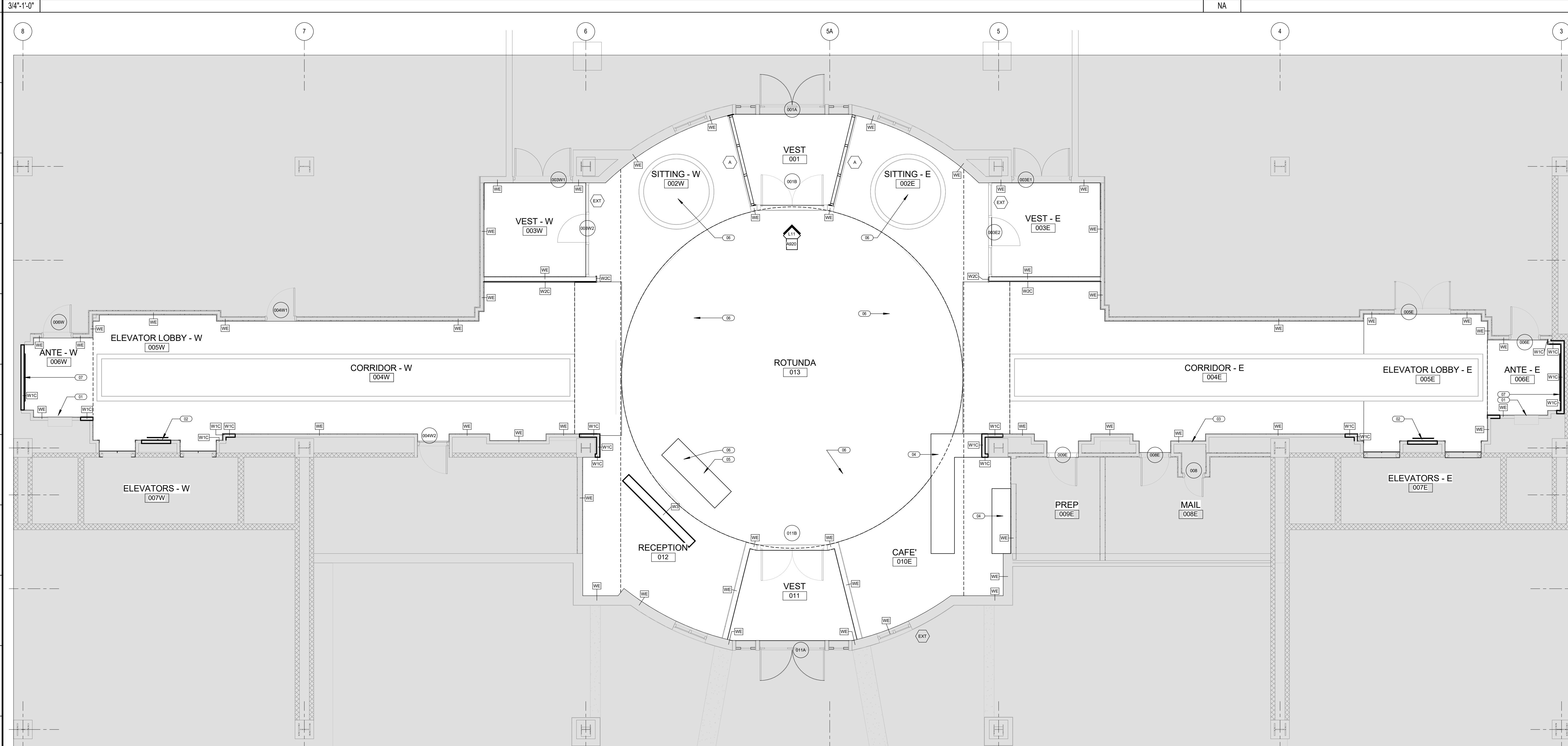


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**M1 PARTITION TYPES**

**A16 FLOOR PLAN LEGEND & NOTES**



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LOBBY RENOVATIONS  
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100 MIDDLE STREET**

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**SHEET TITLE**  
FIRST FLOOR PLAN

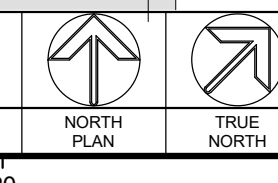
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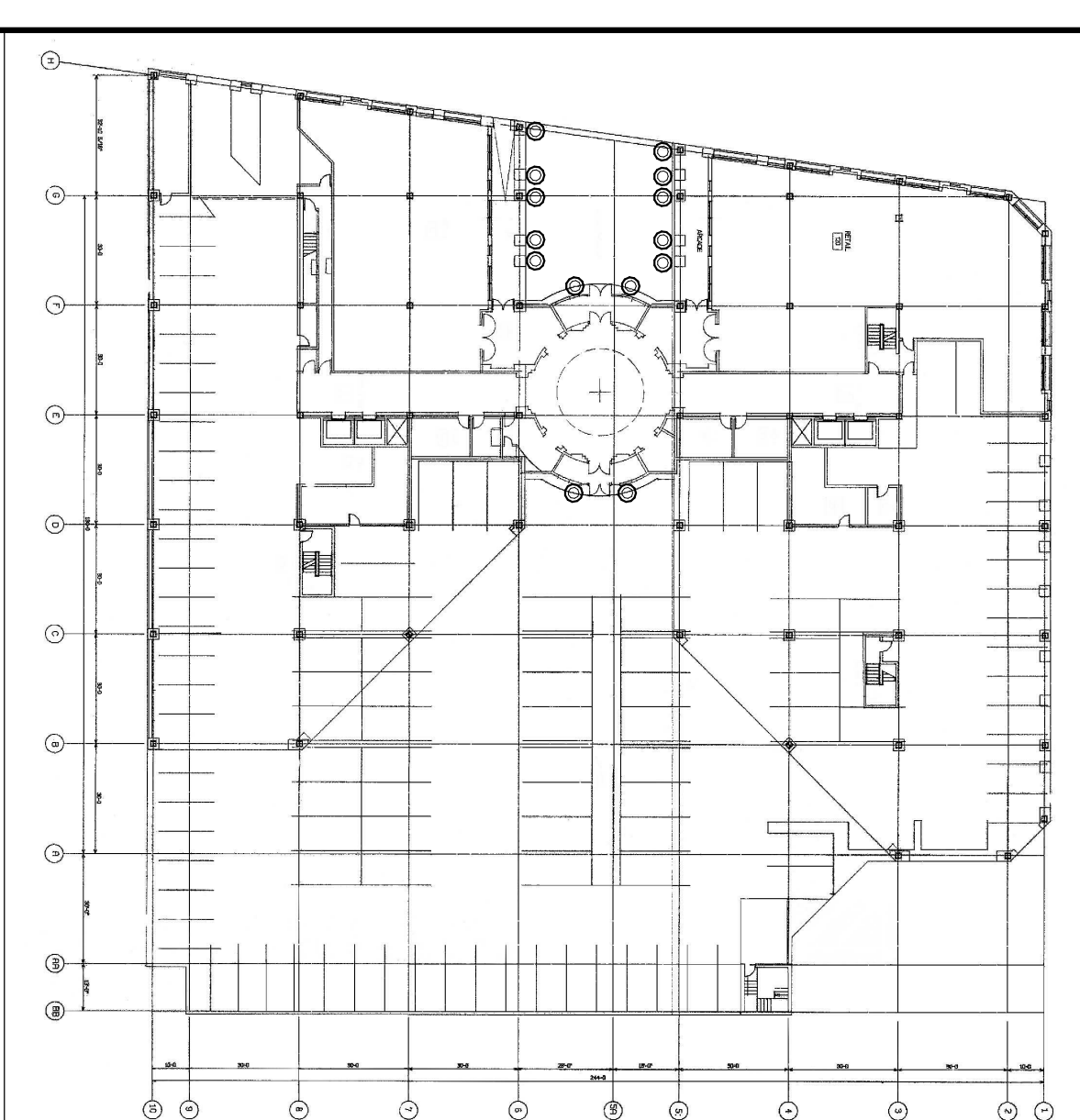
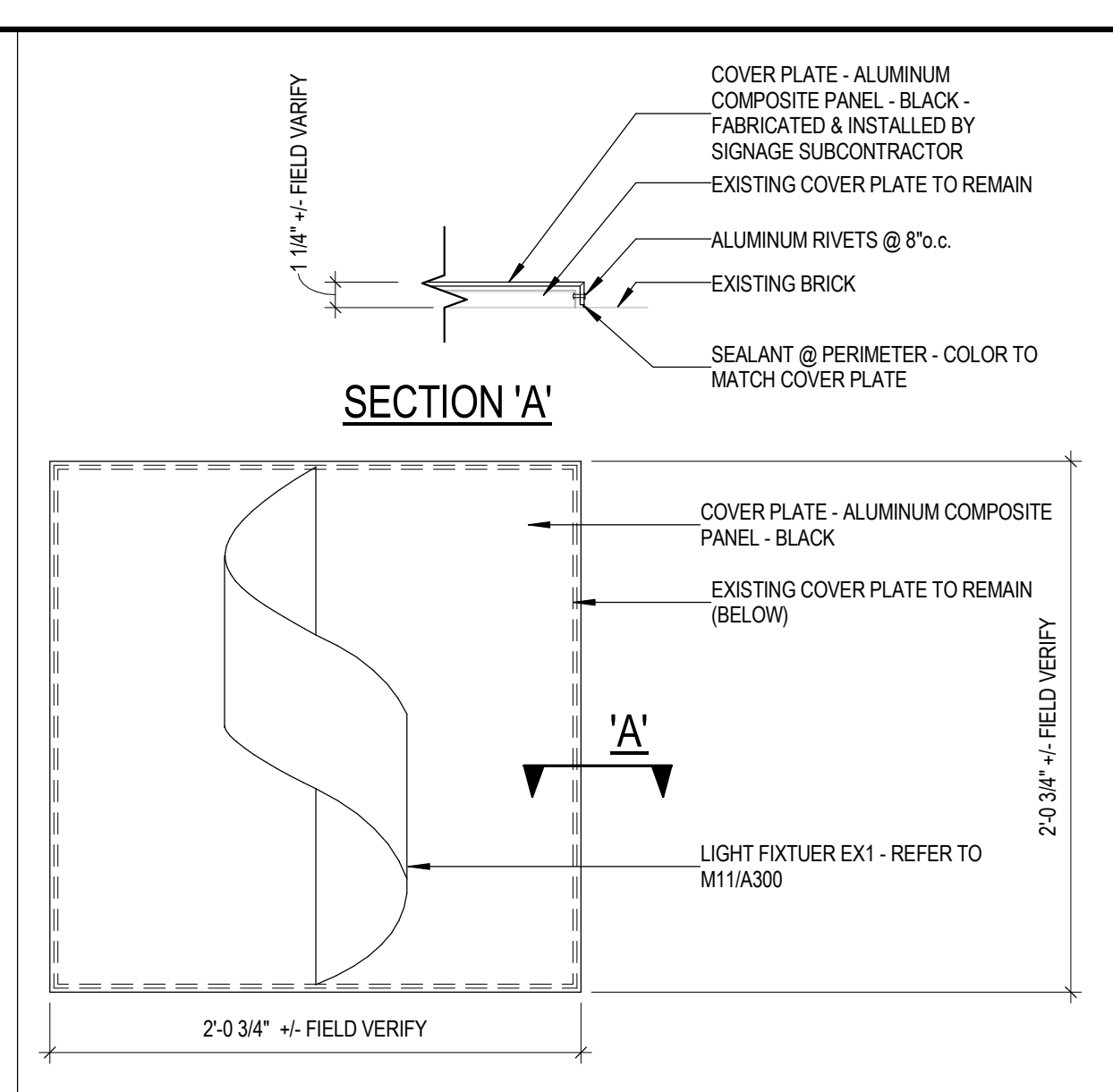
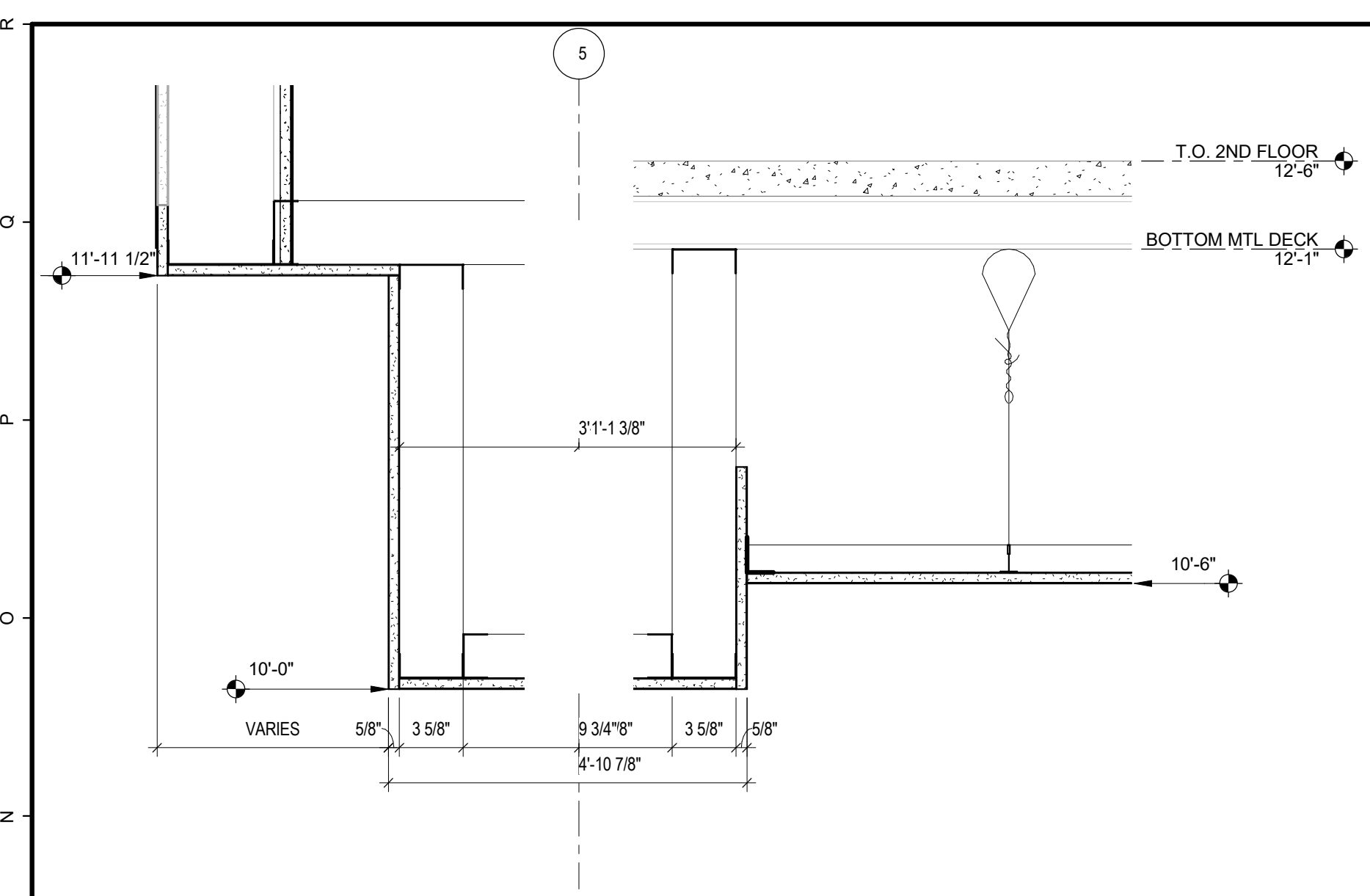
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**A1 T.O. 1ST FLOOR**

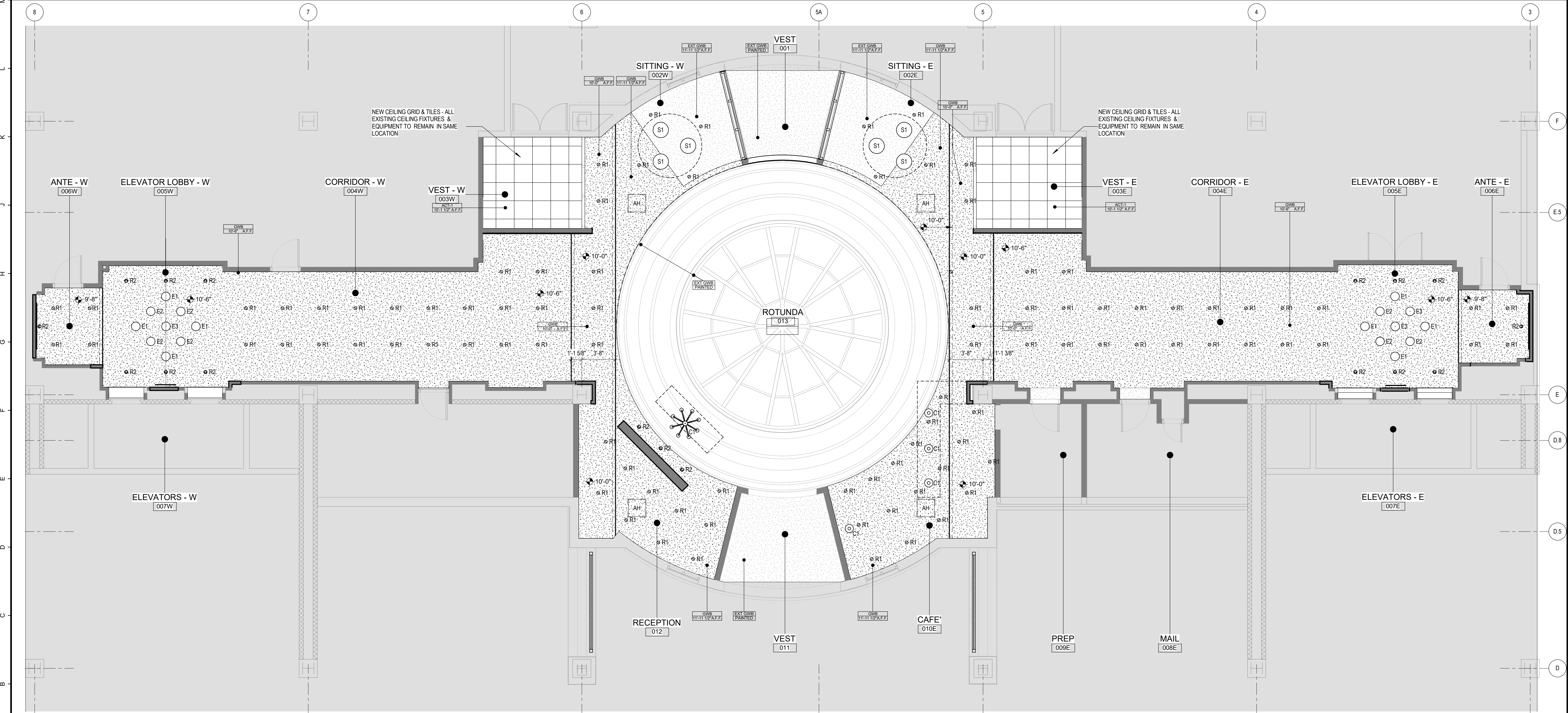
3/16" = 1'-0"



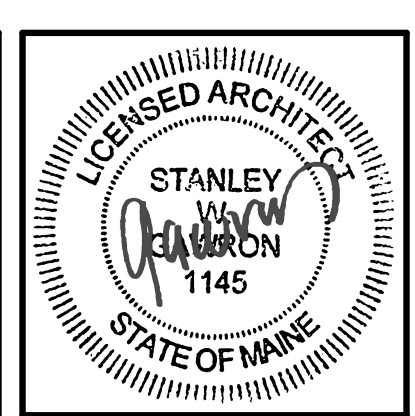


- M15 RCP LEGEND**
- C1 CHANDELIER**  
MANUFACTURER: MODWAY  
STYLE: OCTOPUS CHANDELIER EE1-236-WHI  
COLOR: WHITE  
NOTE: PROVIDE 110\"/>
  - S1 SUSPENDED LIGHT FIXTURE**  
MANUFACTURER: RESTORATION HARDWARE  
STYLE: FRENCH MAGNUM TEARDROP  
6829161GLAS 17\"/>
  - E1 SUSPENDED LIGHT FIXTURE**  
MANUFACTURER: ROOM&BOARD  
STYLE: SWIFT PENDANTS #953698 - 5\"/>
  - E2 SUSPENDED LIGHT FIXTURE**  
MANUFACTURER: ROOM&BOARD  
STYLE: SKY PENDANTS - #412318 - 5\"/>
  - E3 SUSPENDED LIGHT FIXTURE**  
MANUFACTURER: ROOM&BOARD  
STYLE: GLOW PENDANT #865418 - 6\"/>
  - L1 RECESSED LED DOWN LIGHT**  
MANUFACTURER: TBD  
STYLE: TBD  
COLOR: TBD
  - L2 RECESSED LED WALL WASHER**  
MANUFACTURER: TBD  
STYLE: TBD  
COLOR: TBD
  - EX1 EXTERIOR WALL SCONCE**  
MANUFACTURER: MODERN FORM  
STYLE: HELIX  
COLOR: GRAPHITE  
NOTE: PROVIDE EXTERIOR GRADE LIGHT FIXTURE  
NOTE: REFER TO M11/A300
  - AH CEILING ACCESS PANEL**  
MANUFACTURER: GLOBAL  
STYLE: CONCEALED FRAME  
COLOR: WHITE  
NOTE: SIZE, LOCATIONS & QUANTITY AS REQUIRES FOR EQUIPMENT ACCESS - REFER TO DESIGN / BUILD MECHANICAL DWGS
  - ACT - 1 CEILING TILE**  
MANUFACTURER: TBD  
STYLE: TBD  
COLOR: TBD
  - GWB GWB**  
TYPE 'C' GWB - PAINTED
  - EXT-GWB EXISTING GWB**  
PATCH & FILL AS REQUIRED TO PROVIDE A SMOOTH LEVEL BASE FOR APPLICATION OF SCHEDULED FINISH
- NOTE:  
1. REFER TO ELECTRICAL DESIGN / BUILD DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.  
2. REFER TO INTERIOR ELEVATIONS FOR WALL SCONCE HEIGHTS.  
3. EXISTING CONDITIONS MAY BE UNCOVERED DURING DEMOLITION THAT MAY REQUIRE MODIFICATIONS OF CEILING CONSTRUCTION & CEILING HEIGHTS - GENERAL CONTRACTOR SHALL REPORT ALL POTENTIAL OBSTACLES & CONCERNS TO ARCHITECT PRIOR TO PROCEEDING.

M1 CEILING DETAIL - 1      2 EX1 - EXTERIOR SCNCE      M11 EXTERIOR LIGHTING PLAN      M15 RCP LEGEND



A1 T.O. 1ST FLOOR - RCP



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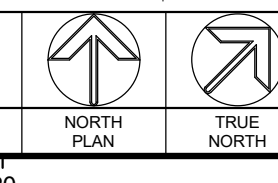
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SHEET TITLE  
FIRST FLOOR  
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PLAN

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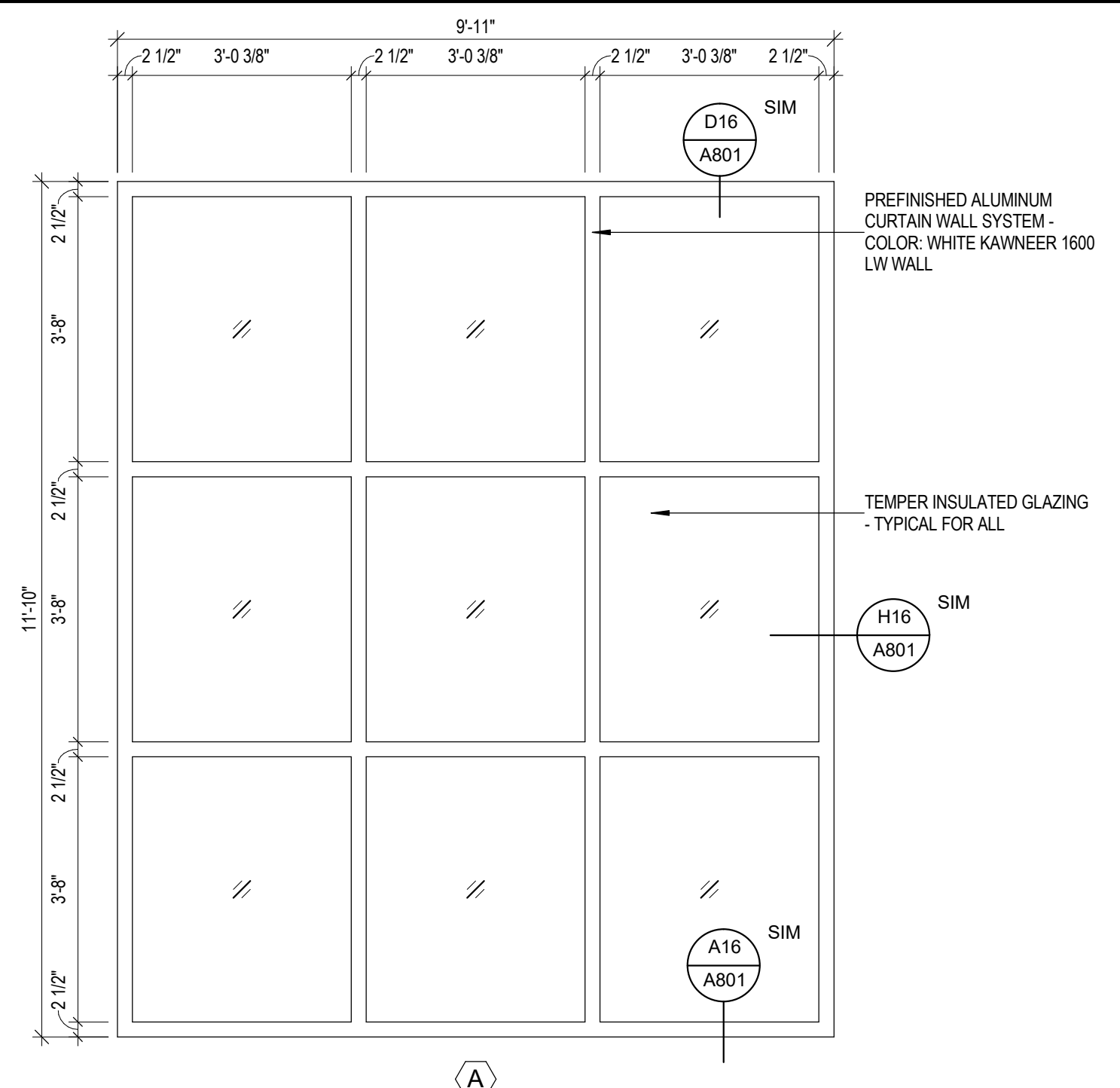


# DOOR SCHEDULE

DOOR SCHEDULE ABBREVIATIONS					
EHO	ELECTRIC HOLD OPENER	NO	NUMBER	WD	WOOD (SOLID)
HM	HOLLOW METAL	FA	FACTORY FINISH	WG	
INS	INSULATED	TEMP	TEMPERED	S	STAIN
MTL	METAL	THK	THICKNESS	P	PAINT

NO	TYPE	WIDTH	HGT.	THICKNESS	DOOR			REMARKS	FRAME			SILL CONDITIONS			RATING		
					MAT.	FINISH	REMARKS		TYPE	MAT.	DETAILS		DETAILS				
											HEAD	JAMB	FINISH	REMARKS		MAT.	SILL
001A	--	5'-0"	6'-8"	0'-1 3/8"	WOOD	CLR POLY	NOTE 1	--	WOOD	--	--	CLR POLY	NOTE 1	--	NEW ALUM.	--	NO CHANGE
001B	--	6'-0"	6'-8"	0'-1 3/8"	WOOD	CLR POLY	NOTE 1	--	WOOD	--	--	CLR POLY	NOTE 1	--	--	--	NO CHANGE
003E1	--	6'-0"	7'-0"	0'-1 3/4"	ALUM	KYNAR	NOTE 2	--	ALUM	--	--	KYNAR	NOTE 2	--	NEW ALUM.	--	NO CHANGE
003E2	--	3'-0"	7'-0"	0'-1 3/4"	ALUM	KYNAR	NOTE 2	--	ALUM	--	--	KYNAR	NOTE 2	--	--	--	NO CHANGE
003W1	--	6'-0"	7'-0"	0'-1 3/4"	ALUM	KYNAR	NOTE 2	--	WOOD	--	--	KYNAR	NOTE 2	--	NEW ALUM.	--	NO CHANGE
003W2	--	3'-0"	7'-0"	0'-1 3/4"	ALUM	KYNAR	NOTE 2	--	ALUM	--	--	KYNAR	NOTE 2	--	--	--	NO CHANGE
004W1	--	3'-0"	7'-0"	0'-1 3/4"	WOOD	CLR POLY	NOTE 1	--	WOOD	--	--	CLR POLY	NOTE 1	--	--	--	NO CHANGE
004W2	--	3'-0"	7'-0"	0'-1 3/4"	WOOD	CLR POLY	NOTE 1	--	WOOD	--	--	CLR POLY	NOTE 1	--	--	--	NO CHANGE
005E	--	6'-0"	7'-0"	0'-1 3/4"	MTL / GLASS	NA	NOTE 2	--	MTL	--	--	NA	NOTE 2	--	--	--	NO CHANGE
006E	--	3'-0"	7'-0"	0'-1 3/4"	HM	PAINT	NOTE 3	--	HM	--	--	PAINT	NOTE 3	--	--	--	NO CHANGE
006W	--	3'-0"	7'-0"	0'-1 3/4"	HM	PAINT	NOTE 3	--	HM	--	--	PAINT	NOTE 3	--	--	--	NO CHANGE
008	--	2'-0"	7'-0"	0'-1 1/2"	NA	NA	NO WORK	--	NA	--	--	NA	NO WORK	--	--	--	NO CHANGE
008E	--	3'-0"	7'-0"	0'-1 3/4"	HM	PAINT	NOTE 3	--	WOOD	--	--	CLR POLY	NOTE 2	--	--	--	NO CHANGE
009E	--	3'-0"	7'-0"	0'-1 3/4"	HM	PAINT	NOTE 3	--	WOOD	--	--	CLR POLY	NOTE 1	--	--	--	NO CHANGE
011A	--	5'-0"	6'-8"	0'-1 3/8"	WOOD	CLR POLY	NOTE 1	--	WOOD	--	--	CLR POLY	NOTE 1	--	NEW ALUM.	--	NO CHANGE
011B	--	5'-0"	6'-8"	0'-1 3/8"	WOOD	CLR POLY	NOTE 1	--	WOOD	--	--	CLR POLY	NOTE 1	--	--	--	NO CHANGE
DEMO	--	3'-0"	7'-0"	0'-1 3/4"	DEMO	DEMO	NOTE 4	--	DEMO	--	--	DEMO	NOTE 4	--	--	--	NO CHANGE
DEMO	--	3'-0"	6'-8"	0'-1 3/4"	DEMO	DEMO	NOTE 4	--	DEMO	--	--	DEMO	NOTE 4	--	--	--	NO CHANGE

**DOOR SCHEDULE NOTES:**  
 NOTE 1: CLEAN & LIGHTLY SAND ALL WOOD SURFACES IN PREPARATION FOR APPLICATION OF CLEAR SATIN POLYMER FINISH - PREPARE SURFACES & APPLY CLEAR POLY PER MANUFACTURERS INSTRUCTIONS - REFER TO FINISHES SCHEDULE  
 NOTE 2: CLEAN & TOUCH-UP SCRATCHES ON DOOR & FRAMES - TOUCH-UP PAINT TO MATCH EXISTING FINISH COLOR  
 NOTE 3: PAINT - PREPARE SURFACES AS REQUIRED FOR A SMOOTH LEVEL APPLICATION OF SCHEDULE FINISH - PREPARATION OF SURFACES & APPLICATION OF PAINT SHALL BE AS PER MANUFACTURERS INSTRUCTIONS - REFER TO FINISHES SCHEDULE  
 NOTE 4: REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION.

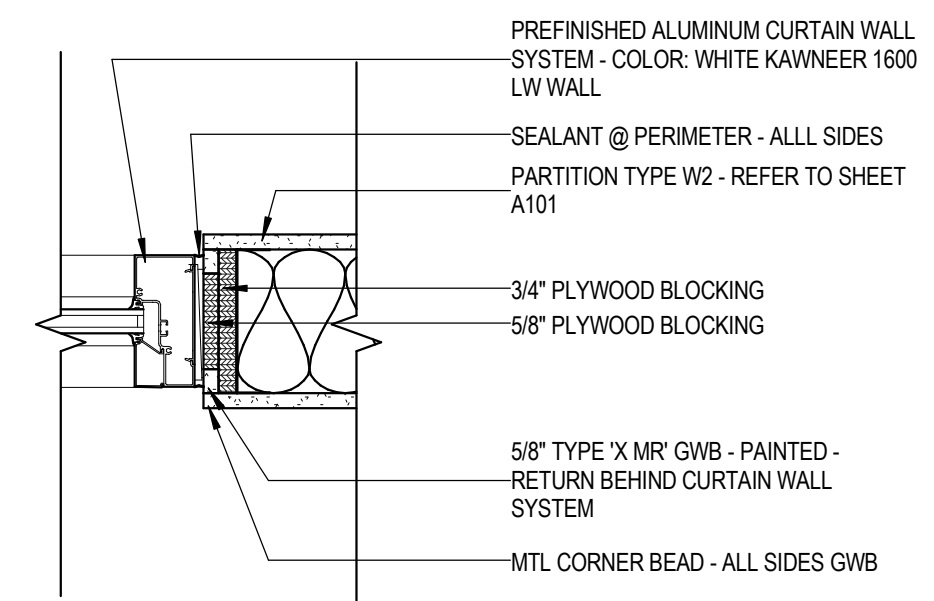


## L1 DOOR SCHEDULE

NA

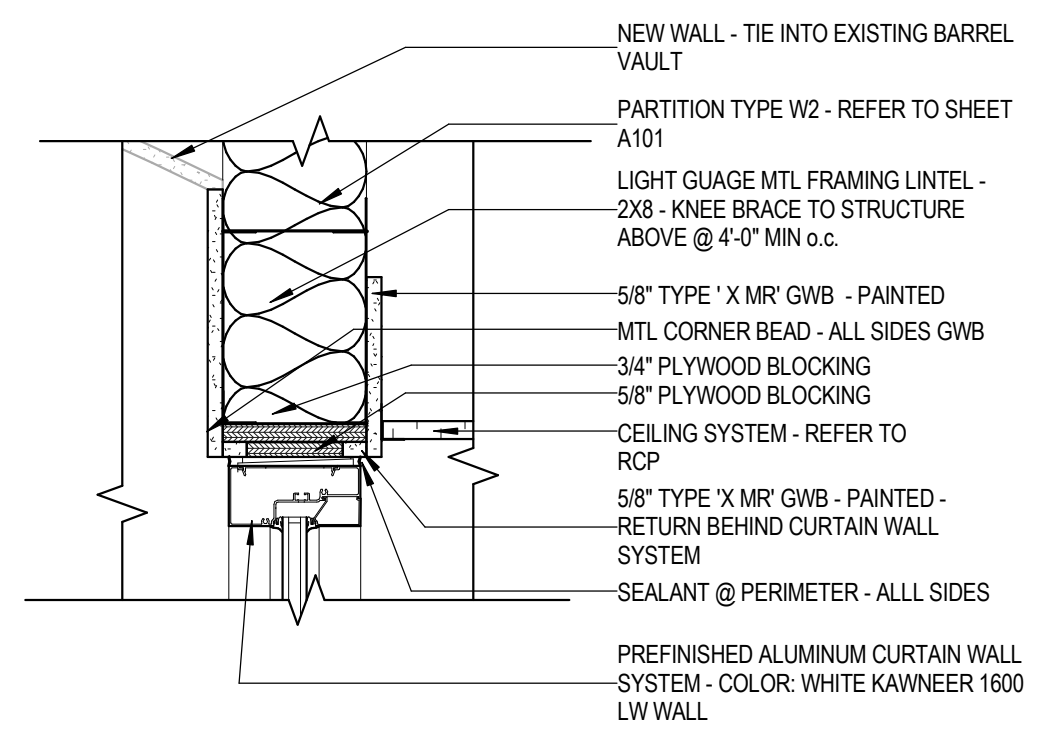
## L16 WINDOW TYPES

1/2" = 1'-0"



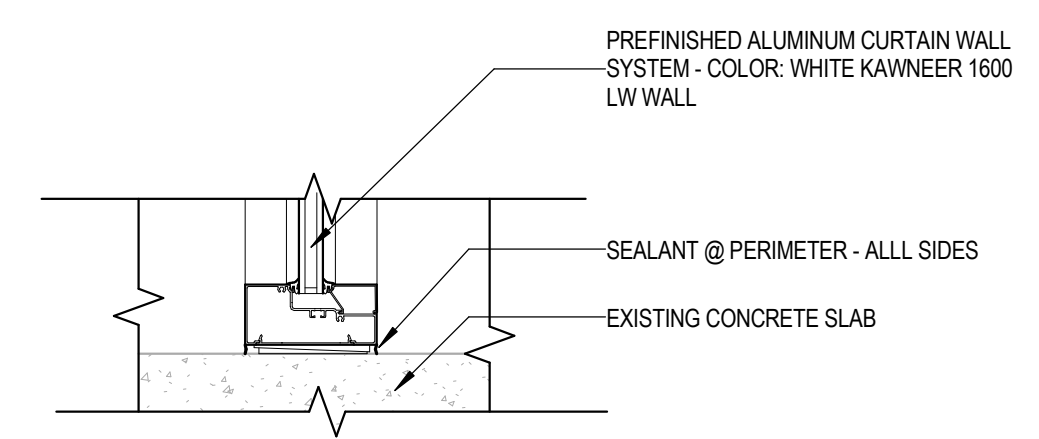
## H16 WINDOW DETAIL - JAMB

1 1/2" = 1'-0"



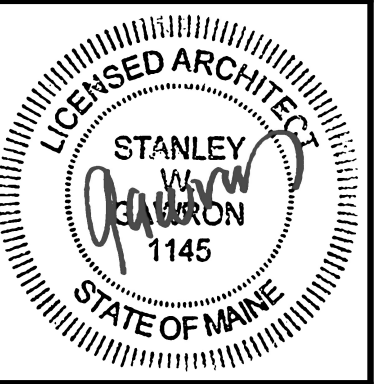
## D16 WINDOW DETAIL - HEAD

1 1/2" = 1'-0"



## A16 WINDOW DETAIL - SILL

1 1/2" = 1'-0"



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 WINDOW & DOOR SCHEDULE

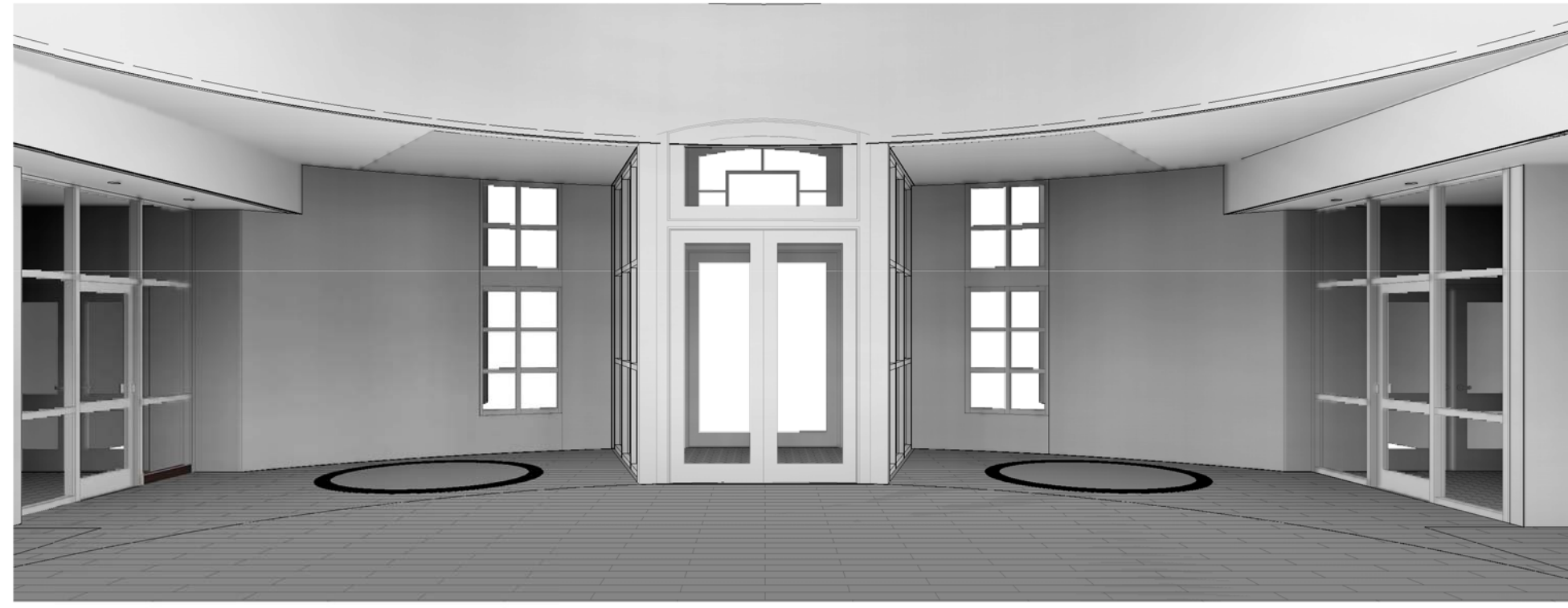
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V8 CAMERA VIEW 8



V6 CAMERA VIEW 6



V4 CAMERA VIEW 4



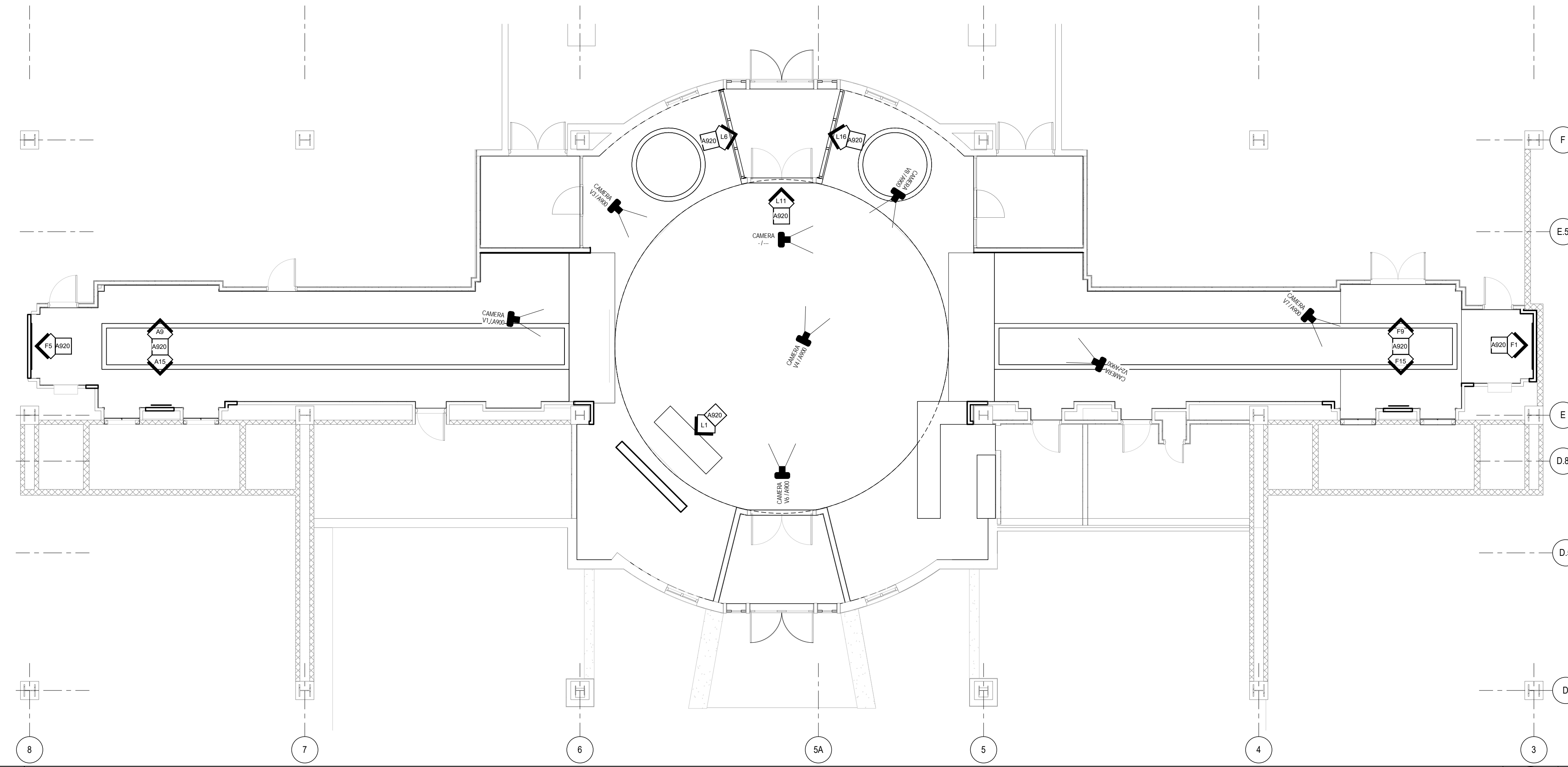
V7 CAMERA VIEW 7



V5 CAMERA VIEW 5



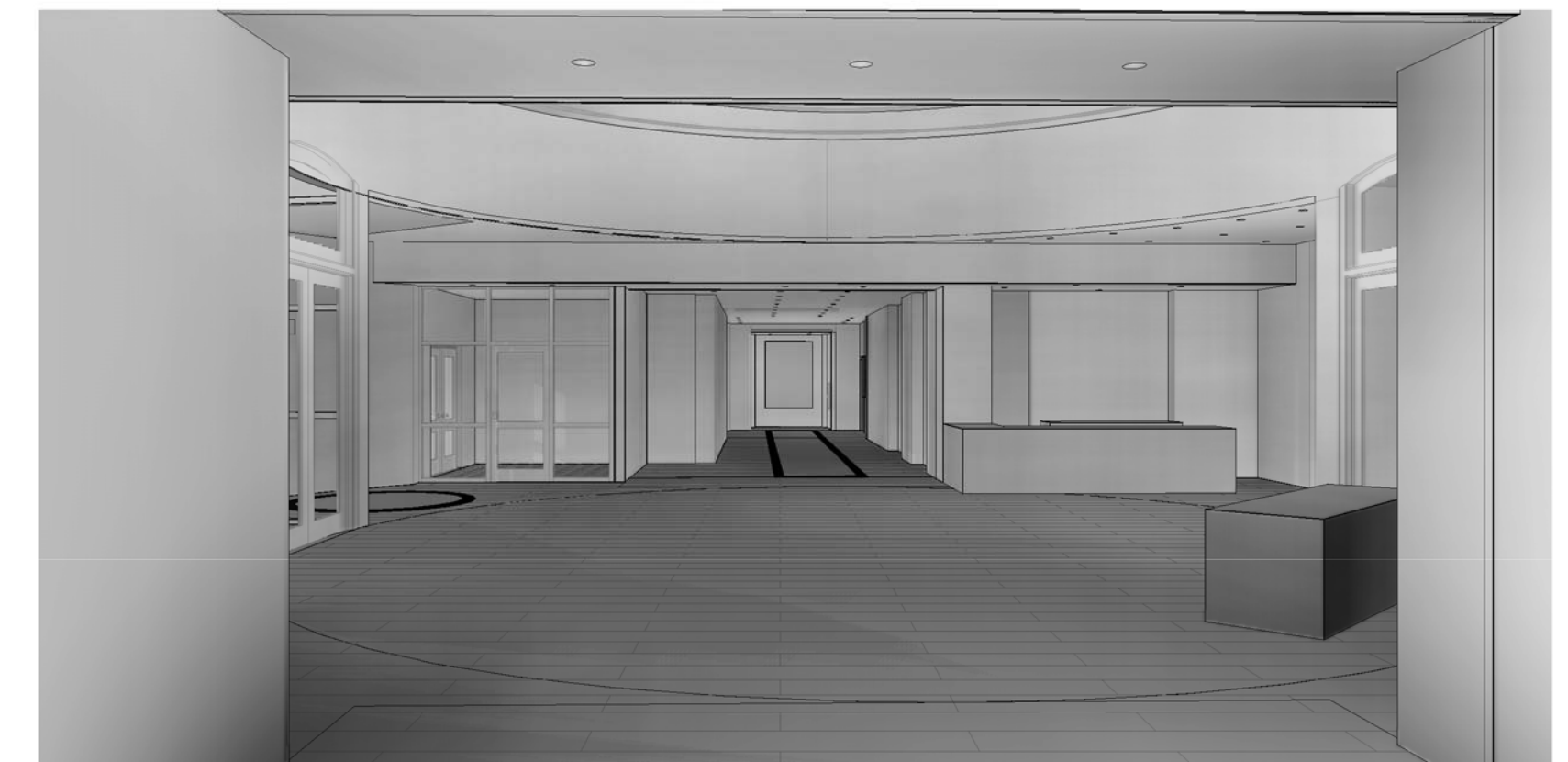
V3 CAMERA VIEW 3



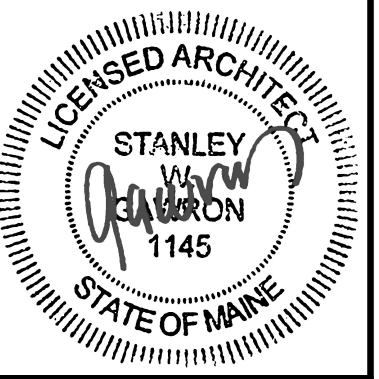
A1 T.O. 1ST FLOOR - SKETCH RENDERINGS



V2 CAMERA VIEW 2



V1 CAMERA VIEW 1



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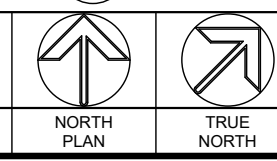
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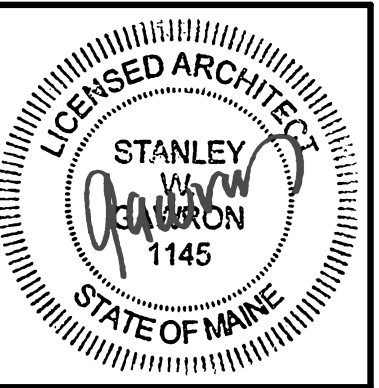
1/8" = 1'-0"



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29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
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ARCHITECTS

**100 MIDDLE STREET  
LOBBY RENOVATIONS**  
ALBANY ROAD  
100 MIDDLE STREET

REVISIONS		
#	DATE	DESCRIPTION
A	10.06.16	ISSUED FOR CLIENT REVIEW
B	10.12.16	ISSUED FOR PERMIT

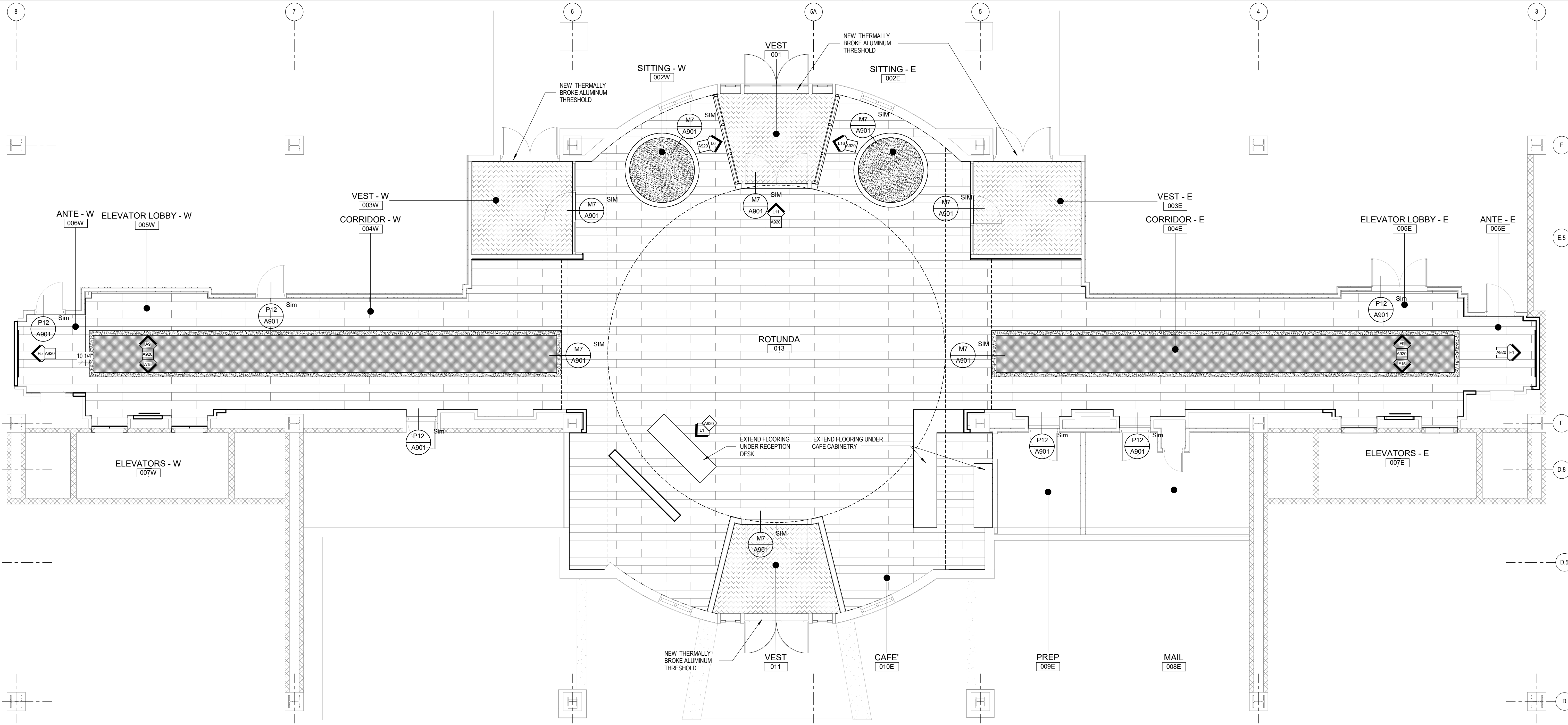
DATE:	10.12.16
PROJECT #	090815
DRAWN BY:	DKR
CHECKED BY:	MET
DRAWING SCALE	As indicated

SHEET TITLE  
**FIRST FLOOR - FINISHES PLAN**

**A901**

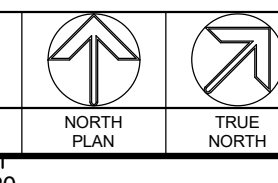
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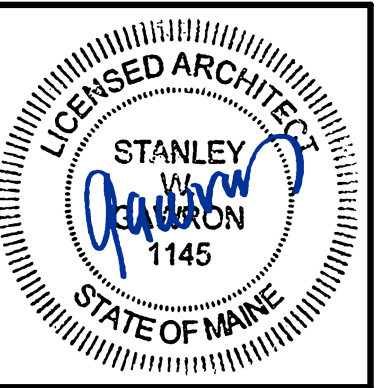
	<p>1. ARCHITECT SHALL SELECT TRANSITION STRIP AND COLOR 2. CENTER TRANSITION / REDUCER STRIP UNDER CENTER LINE OF DOOR</p>	<p>1. ARCHITECT SHALL SELECT TRANSITION STRIP AND COLOR 2. TRANSITION / REDUCER STRIP UNDER CENTER LINE OF DOOR</p>	<p><b>C1</b> CARPET REFER TO FINISHES LEGEND</p> <p><b>C2</b> CARPET REFER TO FINISHES LEGEND</p> <p><b>C3</b> CARPET REFER TO FINISHES LEGEND</p> <p><b>EM</b> ENTRY CARPET REFER TO FINISHES LEGEND</p> <p><b>VP1</b> VINYL PLANK REFER TO FINISHES LEGEND</p>	
<p><b>P7</b> RESILIENT TO CARPET 3" = 1'-0"</p> <p>1. APPLY A MINIMUM OF 1/8" BEAD OF SEAM SEALER TO THE EDGE OF THE CARPET ALONG THE ENTIRE SEAM 2. LOOSE LAY RESILIENT PLANK WITH PERIMETER GLUE 3. THE EDGE OF THE HARD SURFACE FLOORING SHOULD NOT EXCEED A MAXIMUM OF 1/16" HIGHER THAN THE TOTAL CARPET THICKNESS WHERE NO TRANSITION MOLDING EXISTS.</p>	<p><b>P12</b> RESILIENT TO EXISTING 3" = 1'-0"</p> <p>1. APPLY A MINIMUM OF 1/8" BEAD OF SEAM SEALER TO THE EDGE OF THE CARPET ALONG THE ENTIRE SEAM 2. LOOSE LAY RESILIENT PLANK WITH PERIMETER GLUE 3. THE EDGE OF THE HARD SURFACE FLOORING SHOULD NOT EXCEED A MAXIMUM OF 1/16" HIGHER THAN THE TOTAL CARPET THICKNESS WHERE NO TRANSITION MOLDING EXISTS. 4. USE SUBFLOOR LEVELER SYSTEM UNDER RESILIENT PLANK TO MEET HEIGHT OF ENTRY MAT</p>	<p><b>M7</b> CARPET TILE TO RESILIENT PLANK 3" = 1'-0"</p>	<p><b>M12</b> ENTRY MAT TO RESILIENT AT DOOR 3" = 1'-0"</p>	<p><b>M17</b> FLOORING LEGEND</p>



**1 T.O. 1ST FLOOR - FINISHES PLAN**

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LOBBY RENOVATIONS**  
ALBANY ROAD  
100 MIDDLE STREET

**REVISIONS**

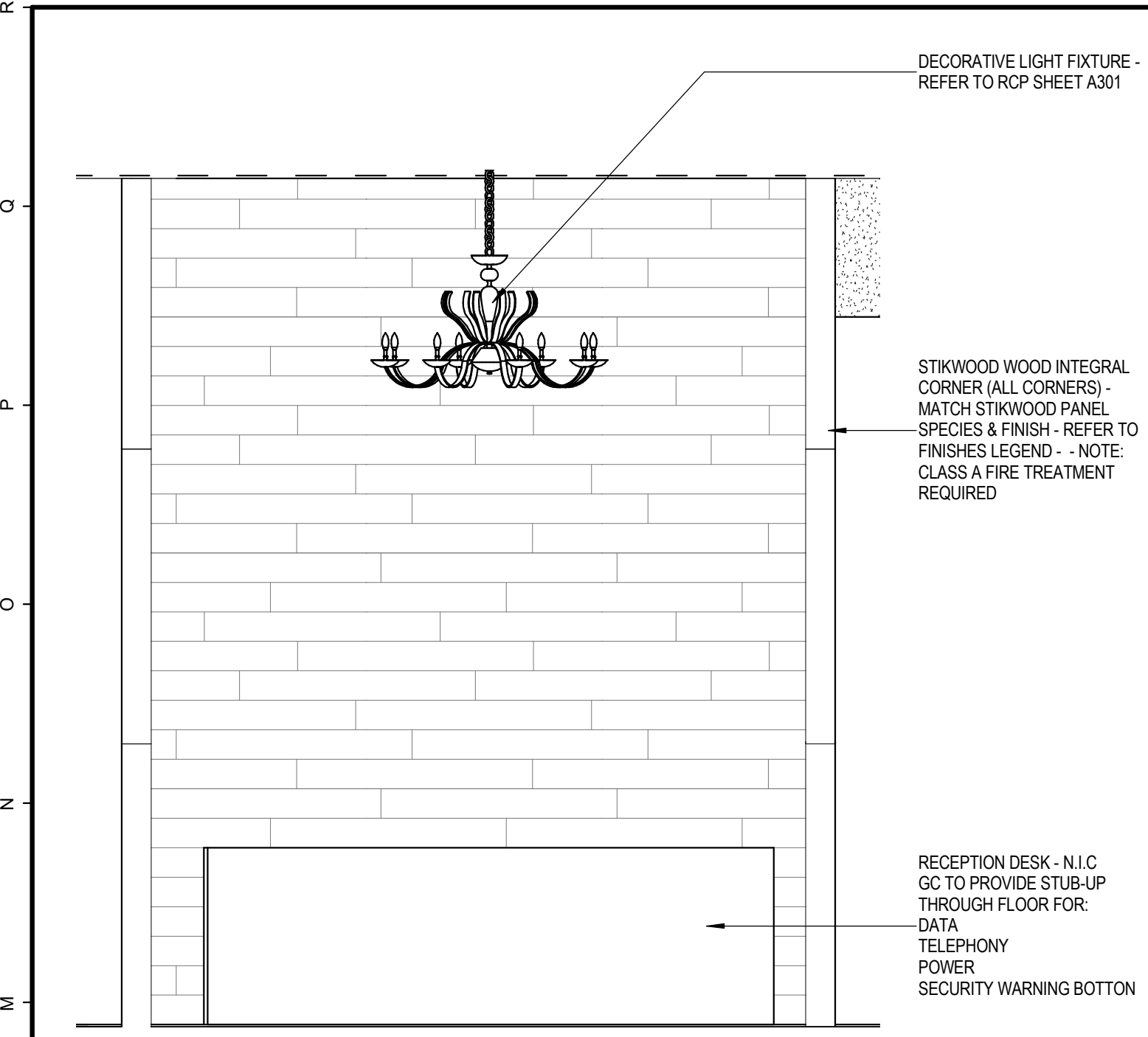
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**SHEET TITLE**  
  
INTERIOR  
ELEVATIONS

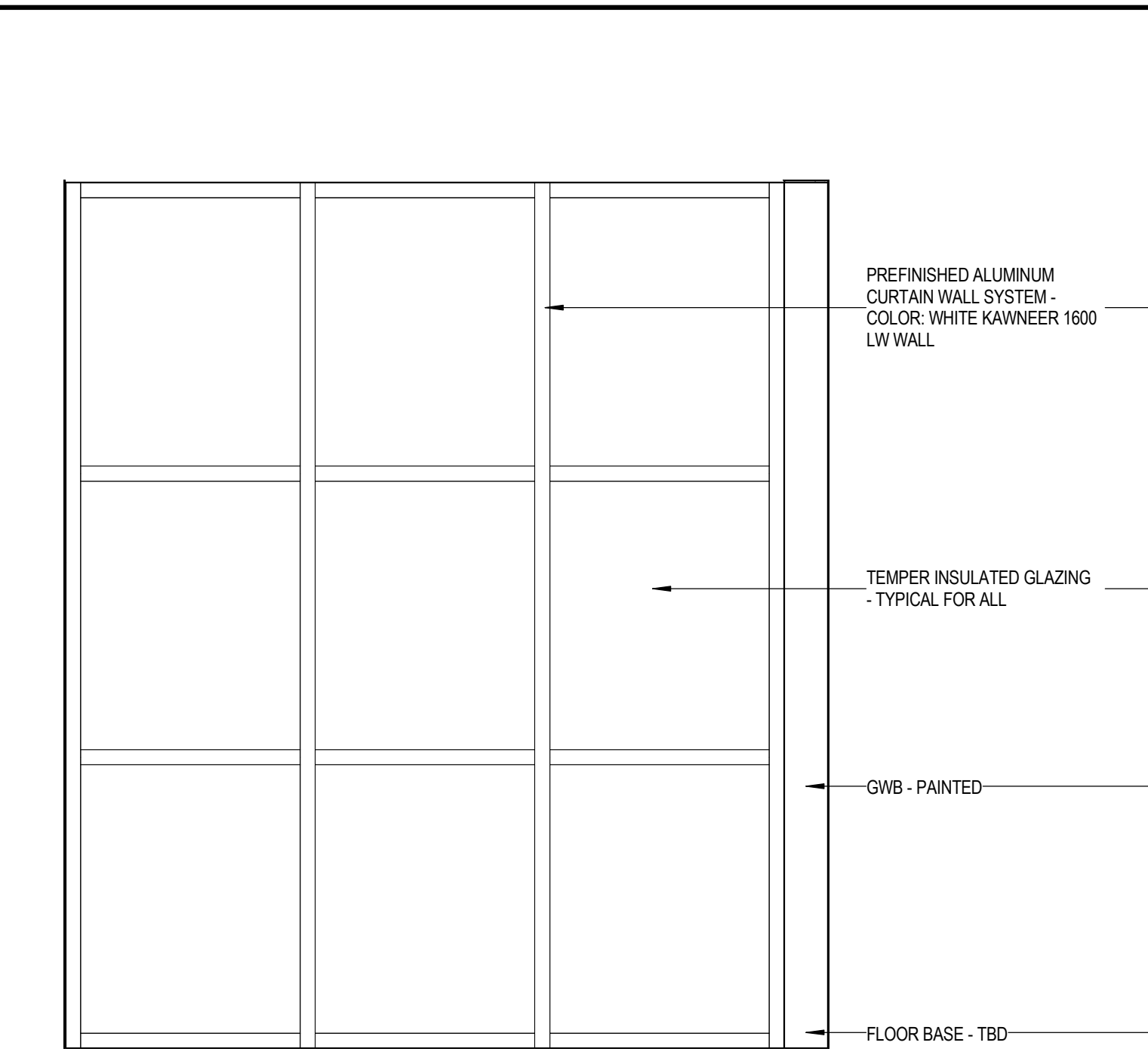
**A920**

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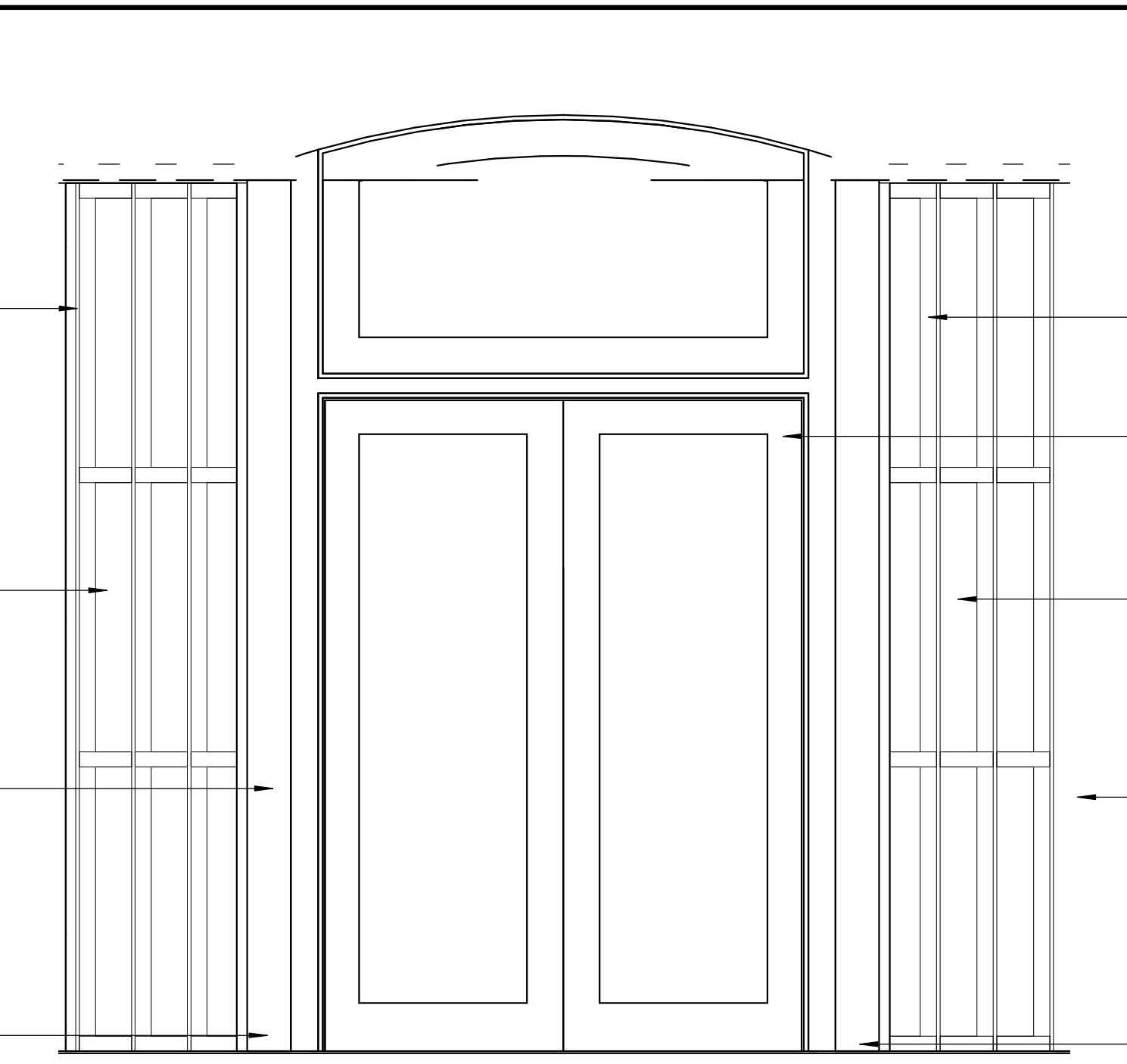
**L1 SOUTHWEST - 012W RECEPTION WALL**

1/2" = 1'-0"



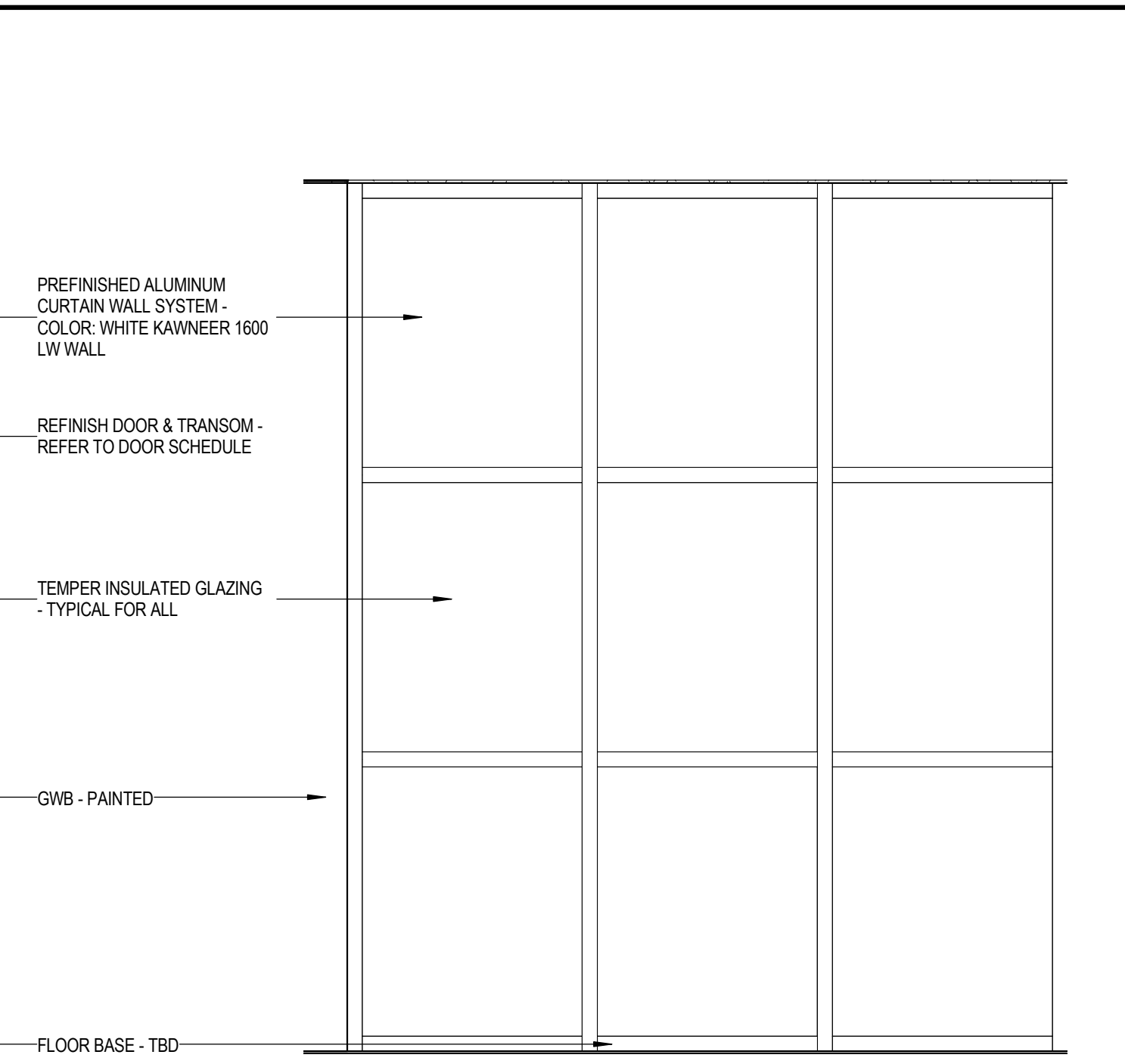
**L6 NORTHEAST\_002W SITTING - W**

1/2" = 1'-0"



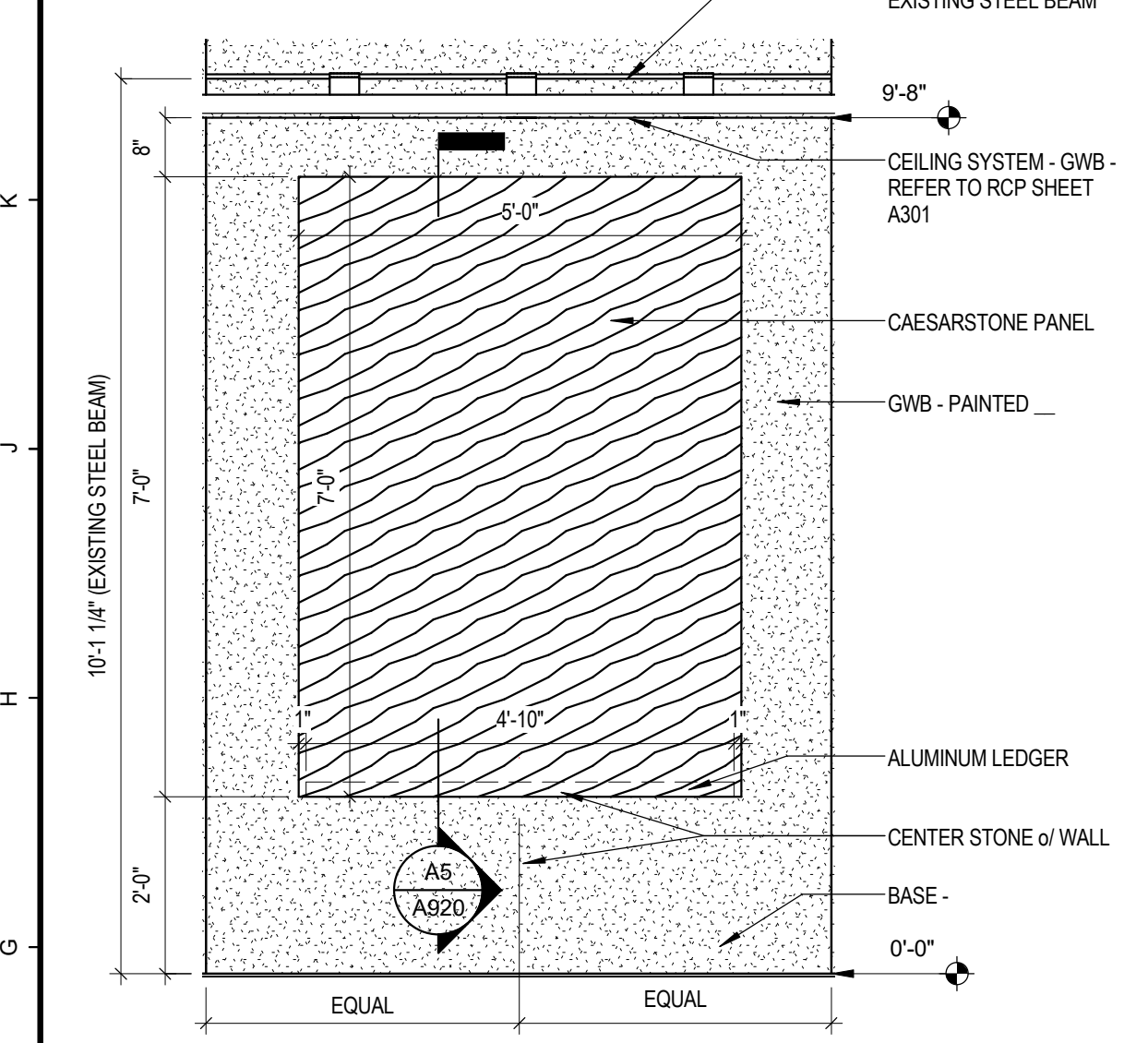
**L11 NORTH - 013 ROTUNDA**

1/2" = 1'-0"



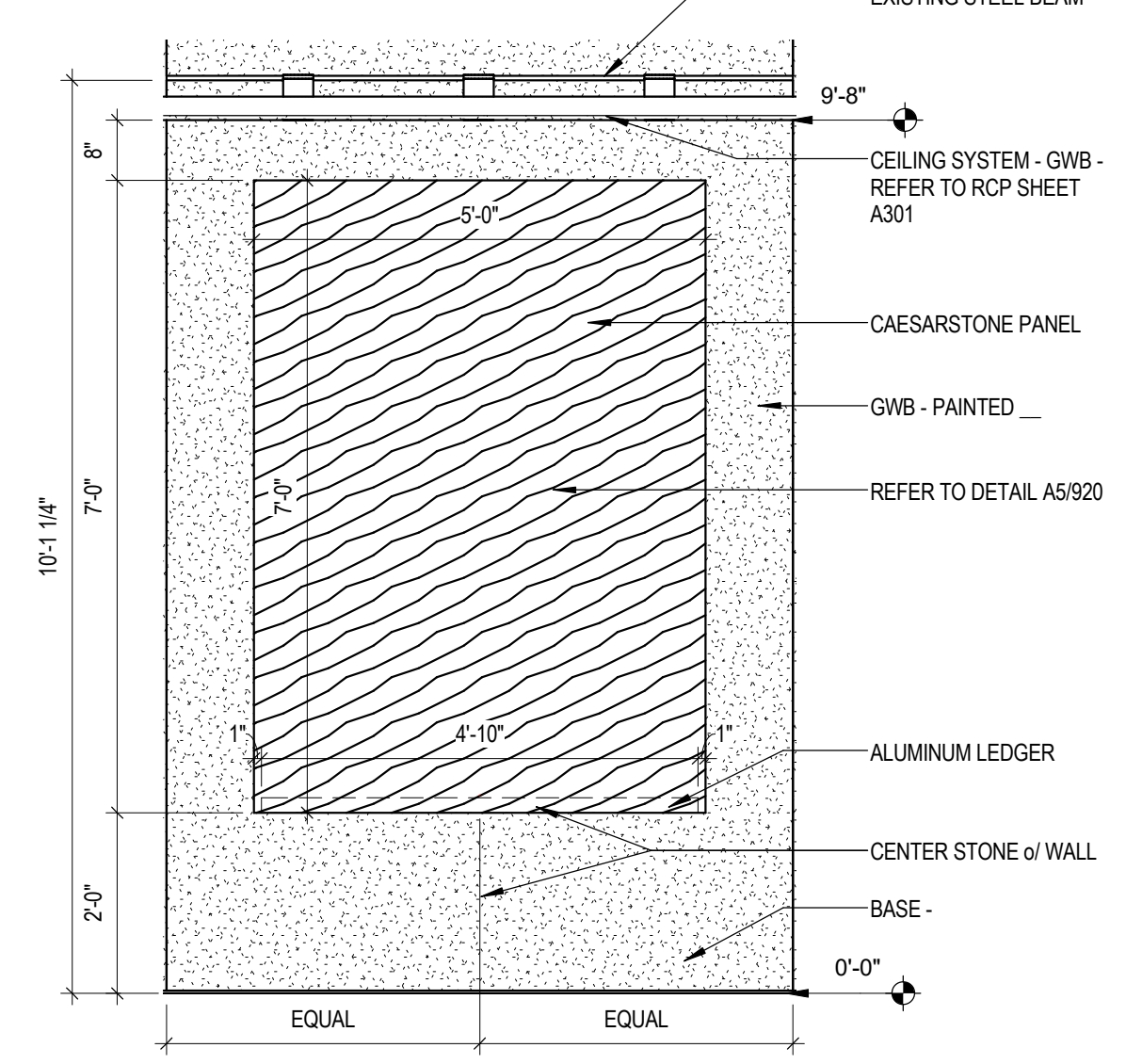
**L16 NORTHWEST\_002E SITTING - E**

1/2" = 1'-0"



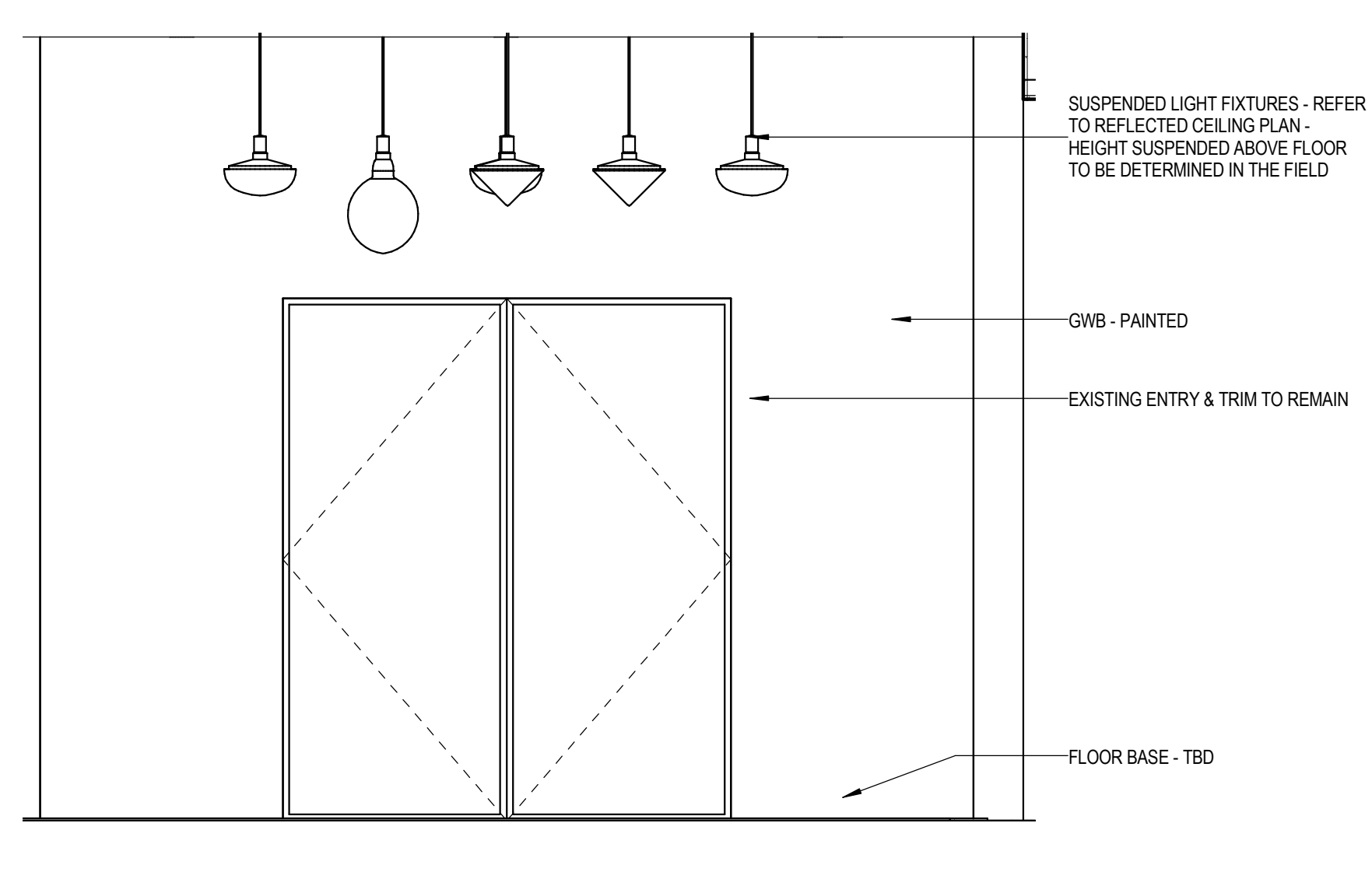
**F1 EAST\_006E ANTE - E**

1/2" = 1'-0"



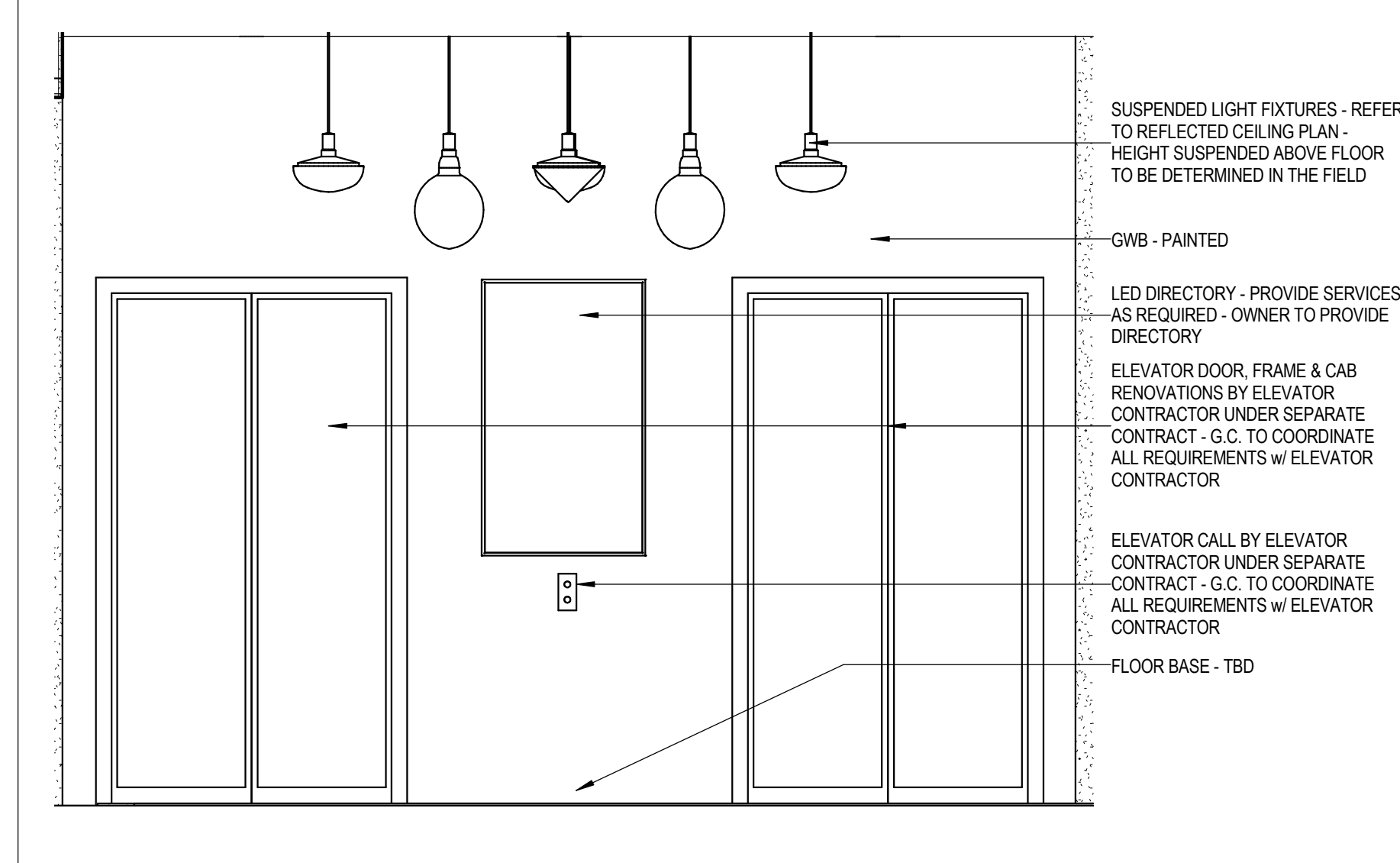
**F5 WEST\_006W ANTE - W**

1/2" = 1'-0"



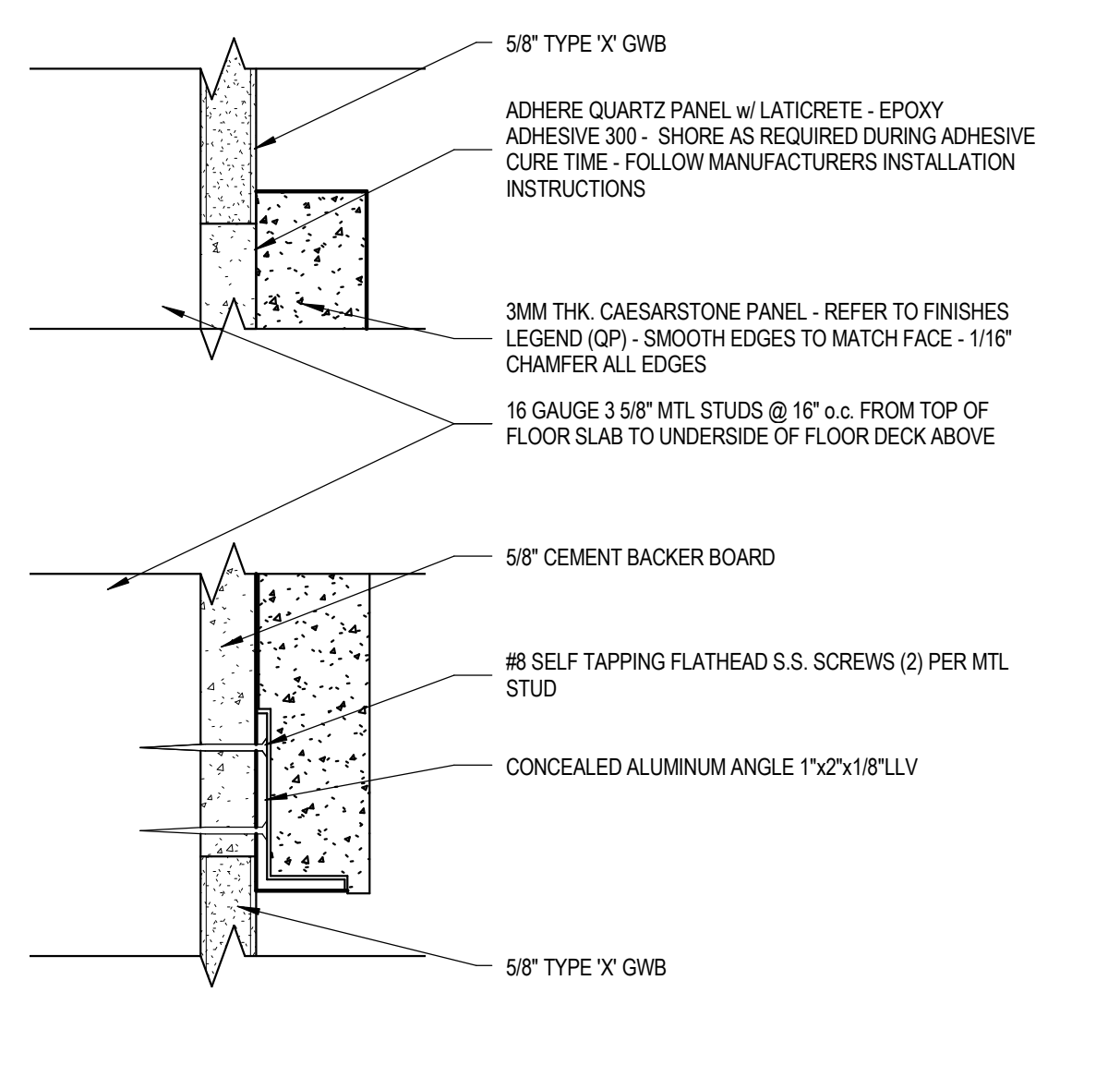
**F9 NORTH\_005E ELEVATOR LOBBY - E**

1/2" = 1'-0"



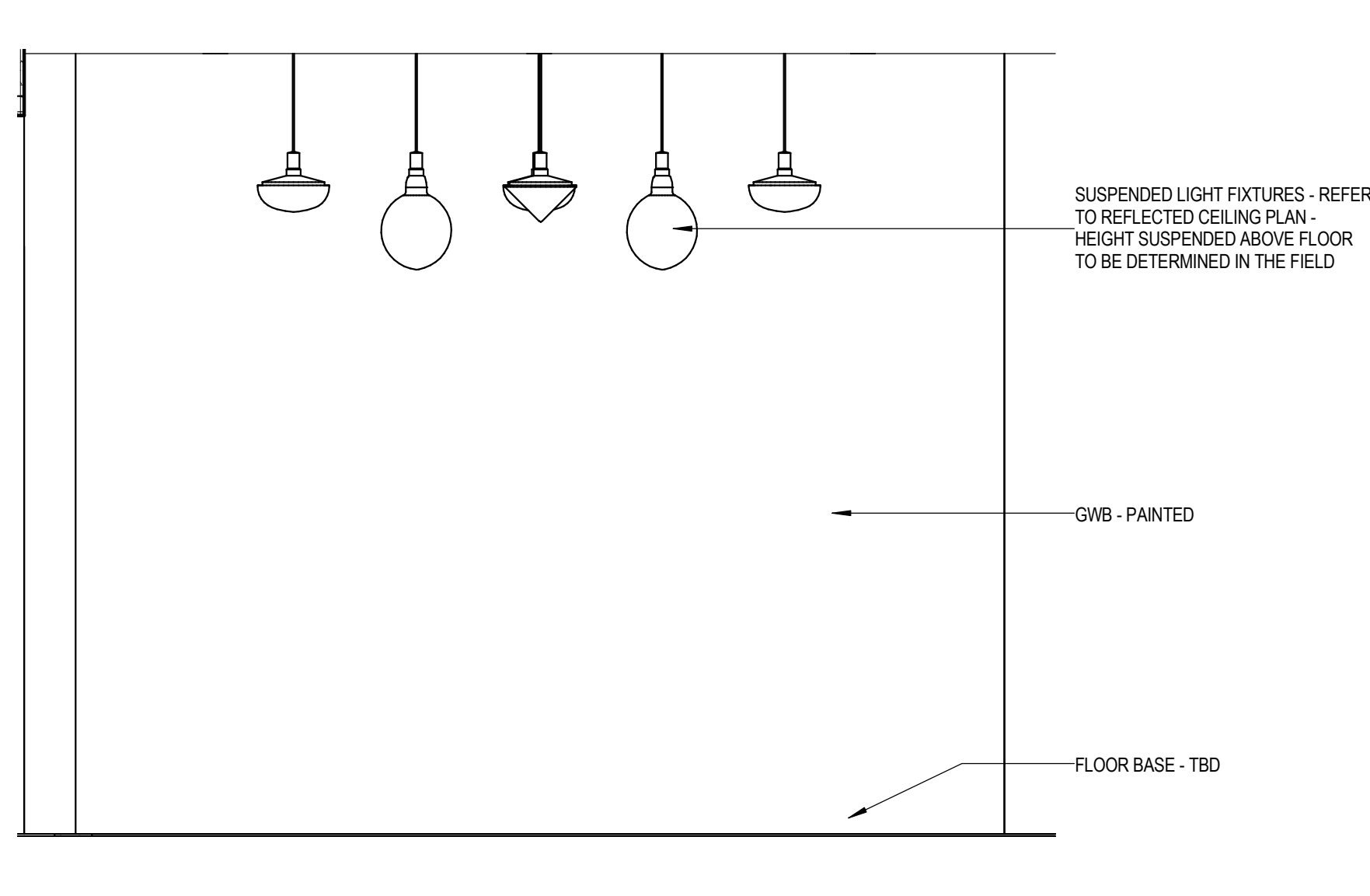
**F15 SOUTH\_005E ELEVATOR LOBBY - E**

1/2" = 1'-0"



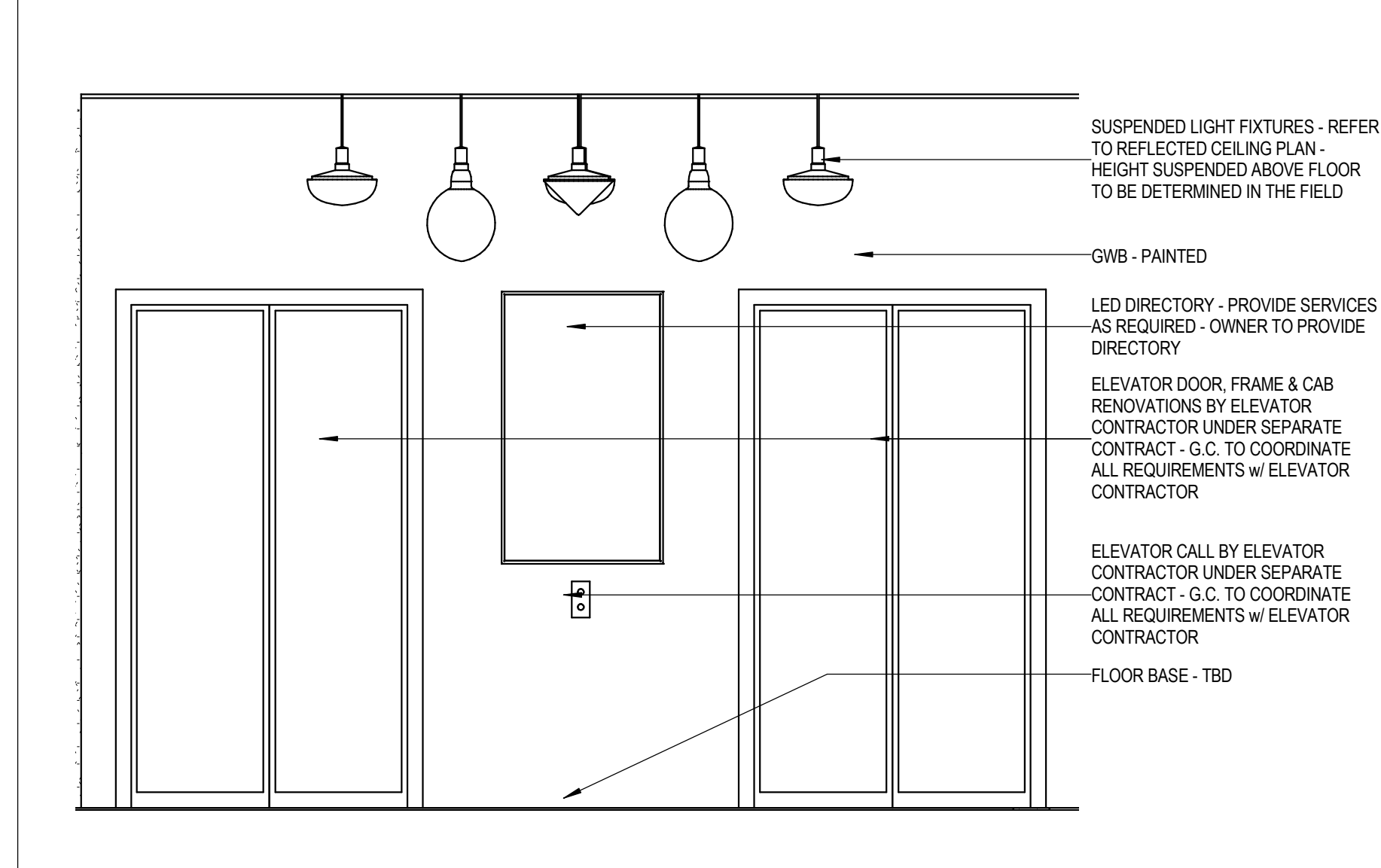
**A5 SECTION DET - QUARTZ PANEL**

6" = 1'-0"



**A9 NORTH\_005W ELEVATOR LOBBY - W**

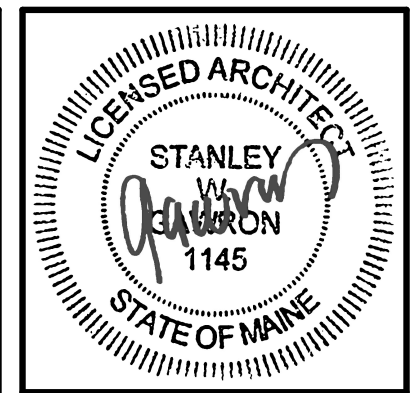
1/2" = 1'-0"



**A15 SOUTH\_005W ELEVATOR LOBBY - W**

1/2" = 1'-0"

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LOBBY RENOVATIONS**  
ALBANY ROAD  
100 MIDDLE STREET

**REVISIONS**

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PROJECT #:	090815
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CHECKED BY:	MET
DRAWING SCALE:	As indicated

**SHEET TITLE**  
**INTERIOR SCHEDULES**

**A941**

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ABBREVIATIONS			
C	CARPET	SYD	SQUARE YARD(S)
G	GROUT	T	TILE
N/A	NOT APPLICABLE	TBS	TO BE SELECTED
P	PAINT	VCB	VINYL COVE BASE
PL	PLASTIC LAMINATE	VCT	VINYL COMPOSITION TILE
R	RESILIENT/ RUBBER/ RUBBER TREAD	CAB	CABINETS
SC	SEALED CONCRETE	WC	PAPER
SF	SQUARE FEET	TB	TILE BASE
SS	SOLID SURFACE/NATURAL STONE	WD	WOOD
ST	STAGE CURTAIN	QT	QUARTZ TILE

CODE	MATERIAL	MANUFACTURER	PRODUCT STYLE & COLOR	FINISH	REMARKS & NOTES
ACT-1	ACOUSTIC CEILING SYSTEM	ARMSTRONG	CIRRUS - 24IN X 24IN BEVELED REGULAR 9/16" - WHITE		9/16" SUPRA FINE GRID
B1	BASE MOUNDING	JOHNSONITE	REVEAL 6" HIGH - COLOR: SANDALWOOD		
C1	CARPET	SHAW FLOORING	DRIFT - COLOR: FLOURISH		CIRCLE INLAY
C2	CARPET	SHAW FLOORING	SCULPT - TILE ST007 - COLOR - 83515	TBD	BORDER @ INLAY (TO BE DETERMINED)
C3	CARPET	SHAW FLOORING	SLAB - TILE 33518 - COLOR TBD	TBD	RUNNERS IN COORIDORS (TO BE DETERMINED)
CAB1	CABINETS	NIC	NIC	NIC	NIC - GC TO COORDINATE INSTALLATION w/ CABINET INSTALLER & PROVIDE ALL REQUIRED SERVICES w/ OWNERS REPRESENTATIVE
CAB COUNTER	COUNTER TOPS	NIC	NIC	NIC	NIC - GC TO COORDINATE INSTALLATION w/ COUNTERTOP INSTALLER & OWNERS REPRESENTATIVE
CP	CLEAR POLYURETHANE	TBD		SATIN	EXISTING WOOD DOOR & FRAME FINISH - PREPARE SURFACES & APPLY PER MANUFACTURER'S INSTRUCTIONS
EM	ENTRY MAT	J & J FLOORING GROUP	INTELLIGENCE #1841		
EX - GWB	PAINTED GYPSUM BOARD	SHERWIN WILLIAMS	CEILING BRIGHT WHITE - SW7007	FLAT	EXISTING GWB CEILING - PREPARE SUFFACE FOR SMOOTH LEVEL APPLICATION OF PAINT
GWB	PAINTED GYPSUM BOARD	SHERWIN WILLIAMS	CEILING BRIGHT WHITE - SW7007	FLAT	
P1	PAINT	DONALD KAUFMAN COLOR	DK51	MATT	
P2	PAINT	DONALD KAUFMAN COLOR	DK64	TBD	
P3	PAINT	DONALD KAUFMAN COLOR	DK51	PERL	HM DOOR FRAMES
P4	PAINT	DONALD KAUFMAN COLOR	DK51	PERL	HM DOORS
QP	QUARTZ PANEL	CAESARSTONE	STATUARIO NUVO		3 MM THICKNESS
AL	ALUMINUM STOREFRONT WALL SYSTEM	KAWNEER	601T - COLOR: WHITE		
VF1	VINYL FLOORING	MOHAWK GROUP	HOT & HEAVY - SEC01YA - KEW GARDENS 142	KYNAR	
WD	WOOD	STIKWOOD	RECLAIMED WEATHERED WOOD		LOOSE LAYED PROVIDE: CLASS A FIRE TREATMENT, MATCHING 12" CORNERS

J10 INTERIOR FINISH LEGEND	
NA	

ABBREVIATIONS			
C	CARPET	SYD	SQUARE YARD(S)
G	GROUT	T	TILE
N/A	NOT APPLICABLE	TBS	TO BE SELECTED
P	PAINT	VCB	VINYL COVE BASE
PL	PLASTIC LAMINATE	VCT	VINYL COMPOSITION TILE
R	RESILIENT/ RUBBER/ RUBBER TREAD	CAB	CABINETS
SC	SEALED CONCRETE	WC	PAPER
SF	SQUARE FEET	TB	TILE BASE
SS	SOLID SURFACE/NATURAL STONE	WD	WOOD
ST	STAGE CURTAIN	QT	QUARTZ TILE

ROOM #	SA	ROOM NAME	FLOOR		WALLS - CODE ORDER: ABOVE CHAIRRAIL/ BELOWCHAIRRAIL				TRIM				COUNTERTOP / WORKSURFACE / CABINETS		REMARKS	
			FLOOR	GROUT	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	BASE	DOOR FRAMES	DOOR(S)	DOOR & WINDOW MOULDING	HORIZONTAL PLANE		VERTICAL PLANE
T.O. 1ST FLOOR																
001	WEST		NOTE: A	NA	P1	P1	P1	P1	EX-GWB	B1						NOTE: A - REFER TO SHEET A901 & A941
002E	SITTING - E		NOTE: A	NA	P1	P1	P1	P1	GW / EX-GWB	B1						NOTE: A - REFER TO SHEET A901 & A941
002W	SITTING - W		NOTE: A	NA	P1	P1	P1	P1	GW / EX-GWB	B1						NOTE: A - REFER TO SHEET A901 & A941
003E	VEST - E		NOTE: A	NA	P1	P1	P1	P1	ACT-1	B1						NOTE: A - REFER TO SHEET A901 & A941
003W	VEST - W		NOTE: A	NA	P1	P1	P1	P1	ACT-1	B1						NOTE: A - REFER TO SHEET A901 & A941
004E	CORRIDOR - E		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
004W	CORRIDOR - W		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
005E	ELEVATOR LOBBY - E		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
005W	ELEVATOR LOBBY - W		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
006E	ANTE - E		NOTE: A	NA	P1	P2	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
006W	ANTE - W		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
007E	ELEVATORS - E		NOTE: A	NOTE 1	NOTE 1	NOTE 1	NOTE 1	NOTE 1	NOTE 1	NOTE 1						NOTE: A - REFER TO SHEET A901 & A941
007W	ELEVATORS - W		NOTE: A	NOTE 1	NOTE 1	NOTE 1	NOTE 1	NOTE 1	NOTE 1	NOTE 1						NOTE: A - REFER TO SHEET A901 & A941
008E	MAIL		NOTE: A	NA	NW	NW	NW	NW	NW	NW						NOTE: A - REFER TO SHEET A901 & A941
009E	PREP		NOTE: A	NA	NW	NW	NW	NW	NW	NW						NOTE: A - REFER TO SHEET A901 & A941
010E	CAFÉ		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
011	VEST		NOTE: A	NA	P1	P1	P1	P1	GW / EX-GWB	B1						NOTE: A - REFER TO SHEET A901 & A941
012	RECEPTION		NOTE: A	NA	P1	P1	P1	P1	GW	B1						NOTE: A - REFER TO SHEET A901 & A941
013	ROTUNDA		NOTE: A	NA	P1	P1	P1	P1	EX-GWB	B1						NOTE: A - REFER TO SHEET A901 & A941

**RESILIENT FLOORING**

**SUBMITTALS**

A. Provide Samples: For each type of product indicated. Samples shall be in form of manufacturer's color charts consisting of the following:  
1. Welding Bead: Color charts consisting of strips of welding bead showing full range of colors available for each manufacturer.  
2. Resilient Accessories: Color charts consisting of strips of resilient base showing the full range of colors available for each product exposed to view.  
B. Test Results: Provide results of specified alkalinity and adhesion tests, calcium chloride moisture tests, and relative humidity test specified. Include manufacturer's written moisture requirements for each resilient flooring type specified.

**SEQUENCING AND SCHEDULING**

A. Do not install flooring over concrete slabs until slabs have cured and are sufficiently dry to bond with adhesive as determined by manufacturer's recommended bond and moisture test.

**EXTRA MATERIALS**

A. Furnish extra materials described below that match products installed and that are packaged with protective covering for storage and identified with labels describing contents  
1. Floor PlankTile: Furnish 1 box of each type, color, and pattern of floor tile installed.

**INSTALLATION MATERIALS**

A. Concrete Slab Primer: Nonstaining type as recommended by flooring manufacturer.  
B. Trowelable Leveling and Patching Compounds: Latex-modified, Portland cement based or blended hydraulic cement based formulation provided or approved by resilient product manufacturer for applications indicated.  
1. Product: Ardex S3-F Feather Finish.  
C. Latex Adhesives (Cements): Premium Grade, water-resistant type recommended by manufacturer to suit resilient products and substrate conditions indicated.  
1. Provide spray adhesive for VCT.  
2. Adhesive shall be compatible with radiant heat systems.  
E. Epoxy Adhesive: Two-part epoxy compound recommended by vinyl floor tile manufacturer.

**EXAMINATION**

A. Examine substrates, with Installer present, for compliance with requirements for installation tolerances, moisture content, and other conditions affecting performance.  
1. Verify that finishes of substrates comply with tolerances and other requirements specified in other Sections and that substrates are free of cracks, ridges, depressions, scale, and foreign deposits that might interfere with adhesion of resilient products.  
B. Proceed with installation only after unsatisfactory conditions have been corrected.

**PREPARATION**

A. Prepare substrates according to manufacturer's written recommendations to ensure adhesion of resilient products.  
B. Concrete Substrates: Verify that concrete slabs comply with ASTM F 710 and the following:  
1. Verify that substrates are dry and free of curing compounds, sealers, hardeners, and other materials whose presence would interfere with bonding of adhesive. Determine adhesion and dryness characteristics by performing bond and moisture tests recommended by flooring manufacturer, and with the specified requirements.  
2. An independent testing agency shall perform alkalinity and adhesion tests, calcium chloride moisture tests, and relative humidity test. Testing shall be conducted as follows:  
a. Maintain a minimum temperature of 70 deg F in spaces to receive flooring for at least 72 hours prior to and during the tests.  
b. Perform the tests at rate of not less than 1 test/1000 sq. ft. of floor area for slabs-on-grade.  
c. Provide additional tests on floors after radiant heat has been in operation for not less than 2 weeks. Perform tests while system is operating.  
3. Alkalinity and Adhesion Testing: Perform tests recommended by manufacturer. Proceed with installation only after substrates pass testing.  
4. Moisture Testing:  
a. Anhydrous Calcium Chloride Test: Perform tests in accordance with recommendations of flooring manufacturer and ASTM F 1869, except area of CaCl dish shall not be deducted.  
b. Relative Humidity Test: Perform test using in situ probes, ASTM F 2170.  
5. Proceed with installation only after substrates have maximum moisture-vapor-emission rate of 3 lb of water/1000 sq. ft. in 24 hours, a maximum 75 percent relative humidity level measurement, and manufacturer's requirements for alkalinity and adhesion are met.  
C. Remove substrate coatings and other substances that are incompatible with adhesives and that contain soap, wax, oil, or silicone, using mechanical methods recommended by manufacturer. Do not use solvents.

**RESILIENT FLOOR COVERING INSTALLATION - GENERAL**

A. Install in accordance with floor covering manufacturer's written instructions and requirements of this Section.  
B. Scrub, cut, and fit flooring to butt neatly and tightly to vertical surfaces and permanent fixtures including built-in furniture, cabinets, pipes, outlets, edgings, door frames, thresholds, and nosings.  
C. Extend flooring into toe spaces, door reveals, closets, and similar openings. Extend flooring to center of door openings, unless noted otherwise.  
D. Maintain reference markers, holes, and openings that are in place or marked for future cutting by repeating on floor covering as marked on substrates. Use chalk or other nonpermanent, nonstaining marking device.  
E. Adhere floor coverings to substrates using a full spread of adhesive applied to substrate to produce a completed installation without open cracks, voids, raising and puckering at joints, telegraphing of adhesive spreader marks, and other surface imperfections.

**RESILIENT WALL BASE INSTALLATION**

A. Apply wall base to walls, columns, pilasters, casework and cabinets in toe spaces, and other permanent fixtures in rooms and areas where base is required. Where toe space is less than 4-inches, cut down base to proper height.  
B. Install straight base before installation of carpet.  
C. Install wall base in lengths as long as practicable without gaps at seams and with tops of adjacent pieces aligned.  
D. Tightly adhere wall base to substrate throughout length of each piece, with base in continuous contact with horizontal and vertical substrates.  
E. Do not stretch wall base during installation.  
F. Job-Formed Corners:  
1. Outside Corners: Use straight pieces of maximum lengths possible. Form without producing discoloration (whitening) at bends. Shave back of base at points where bends occur and remove strips perpendicular to length of base that are only deep enough to produce a snug fit without removing more than half the wall base thickness.  
2. Inside Corners: Use straight pieces of maximum lengths possible. Form by cutting an inverted V-shaped notch in toe of wall base at the point where corner is formed. Shave back of base where necessary to produce a snug fit to substrate.  
3. Adhere base to substrate with contact adhesive 1/2 inches each side of outside corner to properly hold base in permanent proper position in tight contact with wall. Base shall run continuous around corners with butt joints 1/2 inches minimum for corner.  
G. Milled Resilient Wall Base: Inside and outside corners shall be miter cut and fitted using a compound miter saw in the field. Butts ends on running lengths to be mitered at 45 degrees.

**RESILIENT ACCESSORY INSTALLATION**

A. Resilient Molding Accessories: Butt to adjacent materials and tightly adhere to substrates throughout length of each piece. Install reducer strips at edges of floor coverings that would otherwise be exposed.

**CLEANING AND PROTECTION**

A. Perform the following operations immediately after completing resilient product installation:  
1. Remove adhesive and other blemishes from exposed surfaces using cleaner recommended by resilient products manufacturers.  
2. Sweep and vacuum surfaces thoroughly.  
3. Damp-mop surfaces to remove marks and soil.  
a. Do not wash surfaces until after time period recommended by manufacturer.

A1	FLOORING NOTES - RESILIENT TILE	A6	FLOORING NOTES - CARPET	A10	INTERIOR FINISH SCHEDULE
NA		NA		NA	

10/20/16 2:16:35 PM DKR