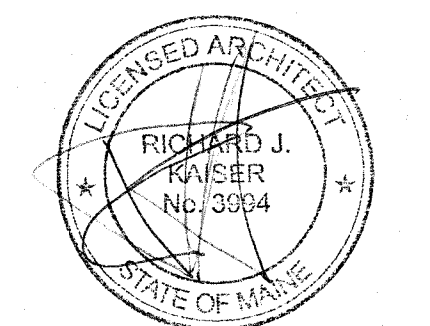


# THE HARTFORD Portland Field Office Third Floor Renovations

100 Middle Street  
Portland, Maine



Consultants



**THE HARTFORD**  
Portland Field Office  
Third Floor Renovations  
100 Middle Street  
Portland, Maine

Revisions	Date
Owner's Review Comments/ Issue for Bid 5/26/16	
AF101 Huddle 304 Power/ Data Location 6/2/16	
Add Workstations 6/20/16	

Date: 5/20/16  
Scale: N.T.S.  
Project Number: 16023  
Drawn By: KIP

**AG01**

COVER SHEET

## LIST OF DRAWINGS

### GENERAL:

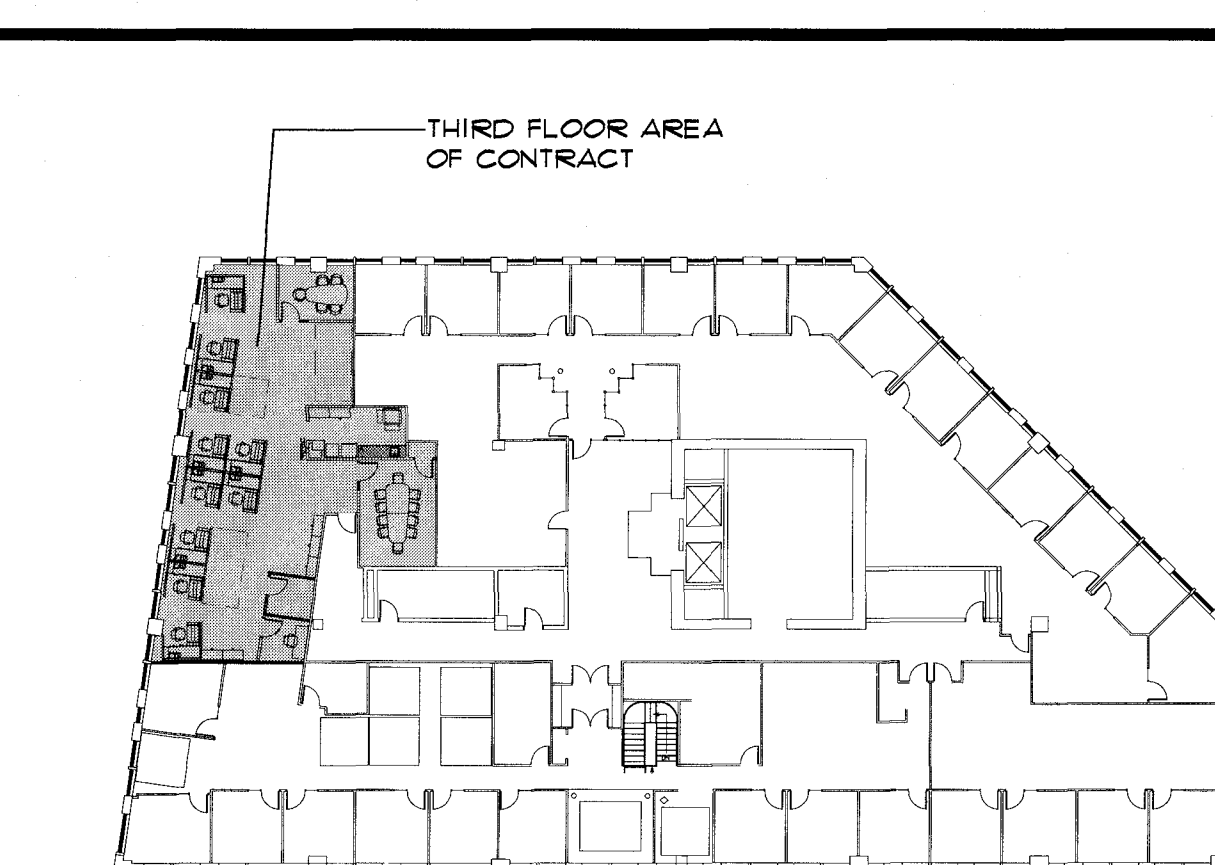
- AG01 COVER SHEET
- AG02 EGRESS PLAN
- AG03 SPECIFICATIONS
- AG04 SPECIFICATIONS

### ARCHITECTURAL:

- AD01 THIRD FLOOR DEMOLITION PLAN AND CEILING DEMOLITION PLAN
- A101 PROPOSED THIRD FLOOR PLAN AND REFLECTED CEILING PLAN
- A701 DOOR SCHEDULE AND DETAILS
- A901 ENLARGED CASEWORK PLANS, INTERIOR ELEVATIONS AND DETAILS
- AF01 THIRD FLOOR FURNITURE PLAN AND FINISH TREATMENT PLAN

### MEP/FP:

- E000 ELECTRICAL LEGENDS AND GENERAL NOTES
- E300 ELECTRICAL SPECIFICATIONS
- EL101 ELECTRICAL LIGHTING THIRD FLOOR DEMOLITION AND NEW WORK PLAN
- EP101 ELECTRICAL POWER THIRD FLOOR DEMOLITION AND NEW WORK PLAN
- M101 MECHANICAL THIRD FLOOR DEMOLITION AND NEW WORK PLAN
- M200 MECHANICAL LEGENDS, SCHEDULES AND DETAILS
- M300 MECHANICAL SPECIFICATIONS
- PPF101 PLUMBING AND FIRE PROTECTION THIRD FLOOR DEMOLITION AND NEW WORK PLAN
- PPF200 PLUMBING AND FIRE PROTECTION SPECIFICATIONS, DETAILS & SCHEDULES



KEY PLAN

## CODE DATA

- I. USE GROUP: B (NO CHANGE)
- II. CONSTRUCTION CLASSIFICATION: 11B (100% SPRINKLERED)
- III. HEIGHT and AREA LIMITATIONS:
  - A: Existing Area Calculations: 3rd Floor 15,672 SF.
  - B: Proposed Scope of Work Area Calculations: 3rd Floor Suite 2,083 SF.
- IV. FIRE RESISTANCE RATINGS of STRUCTURAL ELEMENTS-(IBC TABLE 601)
  - A. Exterior walls (nonloadbearing) 0 hours
  - B. Fire enclosure of stairs 1 hour (Section 1022.1)
  - C. Shafts 1 hour (Section 708.4)
  - D. Corridors 0 hour (Table 1018.1)
  - E. Smoke barriers 1 hour (Section 710.3)
  - F. Interior partitions (nonbearing) 0 hour
  - G. Floor construction (including structural members) 0 hour
  - H. Roof construction 0 hour
  - 1. Elevator shafts 1 hour (Section 708.4)
- V. INTERIOR FINISH REQUIREMENTS:
  - A. Exits - Class I
  - B. Corridors - Class II
  - C. Rooms/Laboratories - Class III
- VI. VERTICAL EXIT ENCLOSURE-(IBC Section 1022) 1 Hour Required
- VII. OCCUPANCY LOAD
  - Allowable per code (1004.1.1)
  - 3rd Floor Suite: Business 2,083 SF. / 100 gross = 21 People
- VIII. EGRESS REQUIREMENTS
  - PER TABLE 1018.1
  - Length of Exit Access Travel: Use Group: B
  - With Sprinkler System - Maximum 300 FT.
  - PER 1014.3
  - Common Path of Travel: Use Group: B
  - With Sprinkler System - Maximum 100 FT.
- IX. EGRESS WIDTH PER OCCUPANT (Table 1005.1)
  - Doors, and Corridors (.2" Per Person) IBC 2009
  - Doors: (32" min. per sect 1008.1.1)

Required Width	Proposed Width	
3rd Floor Suite 21 x.2" = 4.2"	(1) 33.25" clear	= 33.25"
	Total	= 33.25"

## ABBREVIATIONS

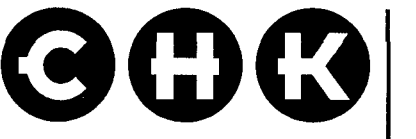
AFF	ABOVE FINISH FLOOR	KIT	KITCHEN
ACT	ACUSTIC TILE	KSP	KNOCK DOWN FRAME
ALUM	ALUMINUM	LAM	LAMINATE
AND	ANGLE	LAV	LAVATORY
ANOD	ANODIZED	LEV	ELEVATOR
ARCH	ARCHITECTURAL	LI	LOW POINT
AT	AT	LP	LOW POINT
AUTO	AUTOMATIC	MANUF	MANUFACTURER
BATH	BATHROOM	MAS	MASONRY
BDRM	BEDROOM	MO	MASONRY OPENING
BM	BENCH	MAT	MATERIAL
BFF	BELOW FINISH FLOOR	MAX	MAXIMUM
BLK'G	BLOCKING	MCH	MECHANICAL
BD	BOARD	MET	METAL
BOT	BOTTOM	MIN	MINIMUM
BRK	BRICK	NOM	NOMINAL
BR	BROOM FINISH	NIC	NOT IN CONTRACT
BUD'G	BUILDING	NIS	NOT TO SCALE
BVD	BY OTHERS	NO#	NUMBER
CAR	CARPET	OP	OPENING
CAS	CASEMENT	OPG	OPENING
CE	CELLING	OPH	OPPOSITE HAND
CEM	CEMENT	OP	OUTSIDE DIMENSION
CL	CENTER LINE	OH	OVERHEAD
CL	CERAMIC TILE	PTD	PAINTED
CH	CLEAR HOISTWAY	PR	PART
CLOS	CLOSET	PLAS	PLASTIC
COL	COLUMN	PL	PLASTIC LAMINATE
CONC	CONCRETE	PL	PLATE
CMU	CONCRETE MASONRY UNIT	PLYM	PLYWOOD
CON	CONCRETE JOINT	PLUMB	PLUMBING
CONST	CONSTRUCTION	QT	QUARRY TILE
CG	CORNER GUARD	RA	RAIN LEADER
DES	DESIGNATED	RD	REQUIRED
DET	DETAIL	RE'D	REQUIRED
DIA	DIAMETER	RECL	RECALL
DR	DOOR	REV	REVISION
DO	DOOR OPENING	RD	ROOF DRAIN
DR	DOUBLE RING	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
DR	DRINKING FOUNTAIN	RUB	RUBBER
EA	EACH	SEC	SECOND
ELEC	ELECTRIC	SECT	SECTION
ELEV	ELEVATOR	SH	SHIRT
EMR	ELEVATOR MACHINE ROOM	SH	SHOWER
EQ	EQUIPMENT	SH	SIMILAR
EQUIP	EQUIPMENT	SH	SIMILAR
EXIST'G	EXISTING	SH	SIMILAR
EXP	EXPANSION	SH	SIMILAR
EXP	EXPANSION JOINT	SH	SIMILAR
EXT	EXTERIOR	SH	SIMILAR
EXT	EXTERIOR JOINT	SH	SIMILAR
EW	ELECTRIC WATER COOLER	SH	SIMILAR
DW	EYE WASH	SH	SIMILAR
FD	FACE OF	SH	SIMILAR
FIN	FINISH	SH	SIMILAR
FIN	FINISH FLOOR	SH	SIMILAR
FF	FIRE CODE	SH	SIMILAR
FE	FIRE EXTINGUISHER	SH	SIMILAR
FLR	FLOOR	SH	SIMILAR
FD	FLOOR DRAIN	SH	SIMILAR
FT	FOOTING	SH	SIMILAR
FT'G	FOOTING	SH	SIMILAR
FR	FRAME	SH	SIMILAR
FURB'G	FURRING	SH	SIMILAR
GA	GALVANIZED	SH	SIMILAR
GA	GAUGE	SH	SIMILAR
GC	GENERAL CONTRACTOR	SH	SIMILAR
GL	GLASS	SH	SIMILAR
GYP	GYPSONUM	SH	SIMILAR
GWB	GYPSONUM WALL BOARD	SH	SIMILAR
HD	HANDICAPPED	SH	SIMILAR
HAND	HANDICAPPED	SH	SIMILAR
H.CONC	HARDENED CONCRETE	SH	SIMILAR
HDRM	HEAD ROOM	SH	SIMILAR
HT	HEIGHT	SH	SIMILAR
HP	HIGH POINT	SH	SIMILAR
HC	HOLLOW CORE	SH	SIMILAR
HM	HOLLOW METAL	SH	SIMILAR
HR	HORIZONTAL	SH	SIMILAR
HORZ	HORIZONTAL	SH	SIMILAR
ID	INTERIOR DIMENSION	SH	SIMILAR
IND	INDICATOR	SH	SIMILAR
INSUL	INSULATION	SH	SIMILAR
INT	INTERIOR	SH	SIMILAR
JAN	JANITOR	SH	SIMILAR
JE	JANITOR CLOSET	SH	SIMILAR
JOINT	JOINT	SH	SIMILAR
JTS	JOINTS	SH	SIMILAR
VEN	VENEER	SH	SIMILAR
VERT	VERTICAL	SH	SIMILAR
VERT	VERTICAL	SH	SIMILAR
VIC	VINYL COMPOSITION TILE	SH	SIMILAR
VIC	VINYL COMPOSITION TILE	SH	SIMILAR
VOL	VOLUME	SH	SIMILAR
WC	WATER CLOSET	SH	SIMILAR
WF	WELDED FRAME	SH	SIMILAR
WGT	WEIGHT	SH	SIMILAR
WIND	WINDOW	SH	SIMILAR
W/M	WITHIN WIRE MESH	SH	SIMILAR
W/	WITHIN	SH	SIMILAR
W/O	WITHOUT	SH	SIMILAR
W/O	WITHOUT	SH	SIMILAR

## SYMBOLS

<b>3</b>	<b>DETAIL</b>	DETAIL NAME
	SCALE: 1/4"=1'-0"	
	SECTION CUT	
	DETAIL	
	ROOM NUMBER	
	DOOR NUMBER	
	WALL TAG	
	EXTERIOR WINDOW - LETTER	
	INTERIOR WINDOW - NUMBER	
	ELEVATION MARK	
	DIMENSION TO FACE OF AN OBJECT	
	DIMENSION TO CENTERLINE OF AN OBJECT	
	CASEWORK	
<b>A101</b>	DRAWING SHEET NUMBER	
<b>A101.2</b>	REVISED DRAWING SHEET NUMBER	

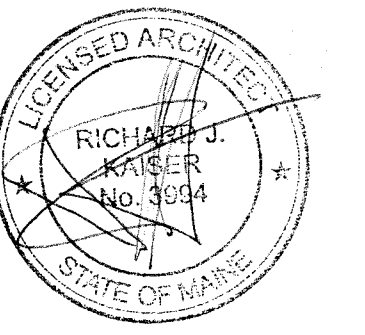
## GENERAL NOTES

- APPLICABLE CODES:**
- A. Maine Uniform Building and Energy Code (MUBEC), consisting of:
    - 2009 International Building Code
    - 2009 International Existing Building Code
    - 2009 International Energy Conservation Code (w/2007 ASHRAE 90.1)
  - B. 2009 NFPA 101 Life Safety Code
  - C. 2009 NFPA 1 Uniform Fire Code
  - D. 2009 NFPA 54 National Fuel Gas Code
  - E. 2009 International Mechanical Code
  - F. 2009 Uniform Plumbing Code
  - G. 2008 National Electrical Code (NFPA 70)
  - H. ADA Accessibility Guidelines, 2010 Standards
1. DO NOT SCALE DRAWINGS. PLEASE USE DIMENSIONS.
  2. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL BE RESPONSIBLE FOR SAME.
  3. THESE DOCUMENTS ARE THE SOLE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR CONSTRUCTION ON ANY OTHER SITE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
  4. CONSTRUCTION DOCUMENTS ARE TO BE USED AS A COMPLETE SET. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ERRORS OR MISINTERPRETATIONS RESULTING FROM THE USE OF AN INCOMPLETE SET OF DOCUMENTS. CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.



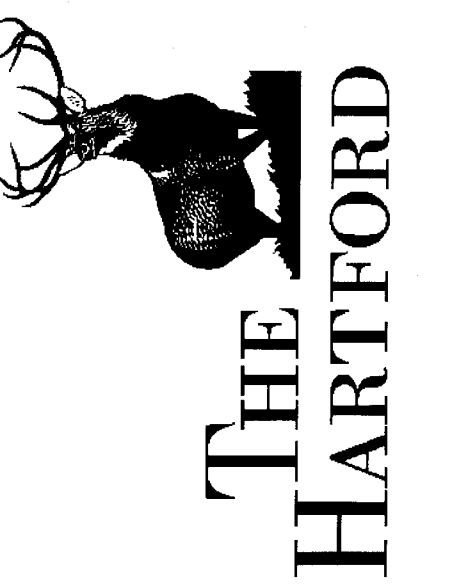
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EGRESS PLAN

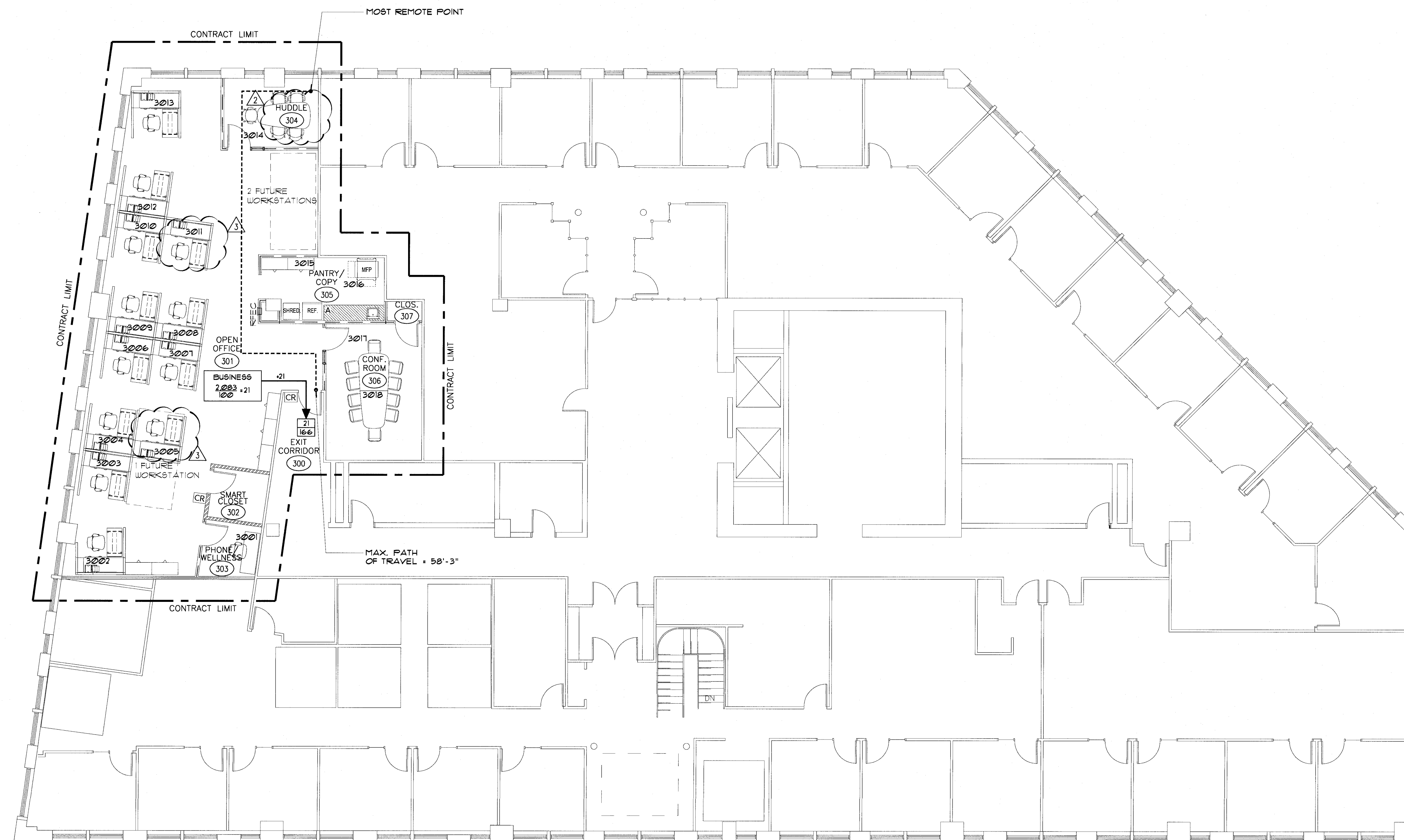
AG02

CODE DATA NOTES

1. A VALUE OF 0.2 INCHES OF WIDTH PER OCCUPANT HAS BEEN USED TO CALCULATE DOOR AND CORRIDOR EGRESS CAPACITY. IN ALL CASES, THE ACTUAL CLEAR OPENING OF THE DOORS AND ACTUAL CLEAR WIDTH OF CORRIDORS IS USED.
  2. A VALUE OF 0.3 INCHES OF WIDTH PER OCCUPANT HAS BEEN USED TO CALCULATE STAIR EGRESS CAPACITY.
- DOOR CLEAR OPENING AND OCCUPANT TABLE  
 3'-0" DOOR = 33.75" / 2 = 166 OCCUPANTS  
 3'-4" DOOR = 37.75" / 2 = 186 OCCUPANTS  
 3'-6" DOOR = 39.75" / 2 = 196 OCCUPANTS  
 4'-0" DOOR = 45.75" / 2 = 226 OCCUPANTS  
 PAIR 3'-0" DOORS = 67.5" / 2 = 337 OCCUPANTS

CODE DATA LEGEND

- ROOM/AREA OCCUPANCY LOAD
- STORAGE
  - AREA IN SQUARE FEET
  - ACTUAL OCCUPANCY
  - OCCUPANCY LOAD FACTOR
- DOOR CAPACITY
- ACTUAL CAPACITY OF DOOR
  - MAXIMUM ALLOWABLE CAPACITY
- DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANT LOAD
- MAXIMUM TRAVEL DISTANCE  
 Maximum allowable travel distance: 300'



1 THIRD FLOOR EGRESS PLAN  
 SCALE: 1/8" = 1'-0"

ARCHITECTURE - INTERIOR DESIGN - FACILITIES PLANNING





**HAZARDOUS MATERIALS**

HAZARDOUS MATERIALS MAY EXIST IN THE BUILDING. NEITHER THE OWNER NOR THE ARCHITECT WARRANTS OR GUARANTEES THE AREA OF WORK TO BE FREE OF HAZARDOUS OR NUISANCE HAZARD MATERIAL. CONSTRUCTION MANAGER IS TO REVIEW THE STATUS OF HAZARDOUS MATERIALS ABATEMENT IN ALL AREAS BEFORE THE START OF CONSTRUCTION.

HAZARDOUS MATERIALS INCLUDE ASBESTOS PIPE, COVERING (INSULATION), VINYL ASBESTOS TILE, SOME LINOLEUM, LEAD BASED PAINT, AND LATEX DUST. NUISANCE HAZARD MATERIAL INCLUDES FIBERGLASS.

BEFORE COMMENCING WORK, THE CONTRACTOR MUST REVIEW ASBESTOS ABATEMENT WORK PLAN WHICH WILL BE PROVIDED BY THE CONSTRUCTION MANAGER, IF APPLICABLE.

**DEMOLITION LEGEND**

- EXISTING PARTITIONS TO REMAIN
- EXISTING PARTITIONS TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING SIDELITE/WINDOWS TO BE REMOVED
- EXISTING COUNTER AND/OR UPPER SHELVING TO BE REMOVED

**DEMOLITION NOTES**

1. DEMOLITION CONTRACTOR SHALL LEAVE AREA BROOM CLEAN AT THE COMPLETION OF DEMOLITION CONTRACT.
2. CONTRACTOR SHALL CLEAN ANY AREA OUTSIDE OF THE CONTRACT LIMIT THAT BECOMES DIRTY AS A RESULT OF DEMOLITION. CLEANING SHALL BE DONE DAILY.
3. EXISTING WALLS, DOORS, EQUIPMENT AND FRAMES TO BE REMOVED ARE SHOWN DASHED.
4. PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN.
5. THE CONTRACTOR SHALL LIMIT HIS USE OF THE PREMISES TO THE WORK INDICATED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT.
6. THE WORK SHALL BE CONDUCTED IN A MANNER WHICH WILL PROVIDE THE LEAST POSSIBLE INTERFERENCE TO THE ACTIVITIES OF THE BUILDING TENANTS.
7. WHERE REMOVAL OF WALLS OR PARTITIONS EXTENDS BEYOND ONE FINISHED AREA INTO ANOTHER FINISHED AREA PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. IF NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE, REMOVE EXISTING FLOOR AND WALL COVERINGS AND REPLACE WITH NEW MATERIALS.
8. PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY ITEMS SCHEDULED FOR REMOVAL WHICH SHALL BE SALVAGED AND RETURNED TO THE OWNER.
9. REMOVE FROM THE SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. TRANSPORT REMOVED MATERIALS AND DISPOSE OF OFF SITE IN A LAWFUL MANNER.
10. WHERE ITEMS HAVE BEEN REMOVED, REMOVE ALL WIRING BOXES, SURFACE MOUNTED RAGWAYS/CONDUITS AND FASTENERS.

11. PATCH AND REPAIR ALL SURFACES AS REQUIRED TO RESTORE SURFACES TO THEIR ORIGINAL CONDITION.
12. ALL ITEMS SCHEDULED TO BE RELOCATED ARE TO BE STORED IN A SECURE, DRY AREA UNTIL THEY ARE REINSTALLED.
13. STORE EXISTING LIGHT FIXTURES SCHEDULED TO BE REMOVED FOR RE-USE. REFER TO REFLECTED CEILING PLAN FOR RELOCATION.
14. STORE EXISTING DOORS SCHEDULED TO BE REMOVED FOR RE-USE.
15. STORE EXISTING INTERIOR WINDOW/LITES SCHEDULED TO BE REMOVED FOR POSSIBLE RE-USE.

**DEMOLITION KEYED NOTES**

- ① SALVAGE EXISTING DOORS FOR RE-USE THROUGH-OUT.
- ② SALVAGE EXISTING LIGHT FIXTURES FOR RE-USE THROUGH-OUT. SEE REFLECTED CEILING PLAN, A101.
- ③ EXISTING FLOOR AND WALL FINISHES TO BE REMOVED THROUGH-OUT. PREP FOR NEW FLOORING AND NEW WALL PAINT.
- ④ REMOVE EXISTING COUNTER WALL SUPPORTS AND OVERHEAD SHELVES.
- ⑤ REMOVE EXISTING FIRE EXTINGUISHER.
- ⑥ COORDINATE EXTENT OF WALLS TO BE DEMOLISHED WITH FLOOR PLAN, A101.
- ⑦ EXISTING CEILING GRID AND LIGHT FIXTURES TO REMAIN AS SHOWN.

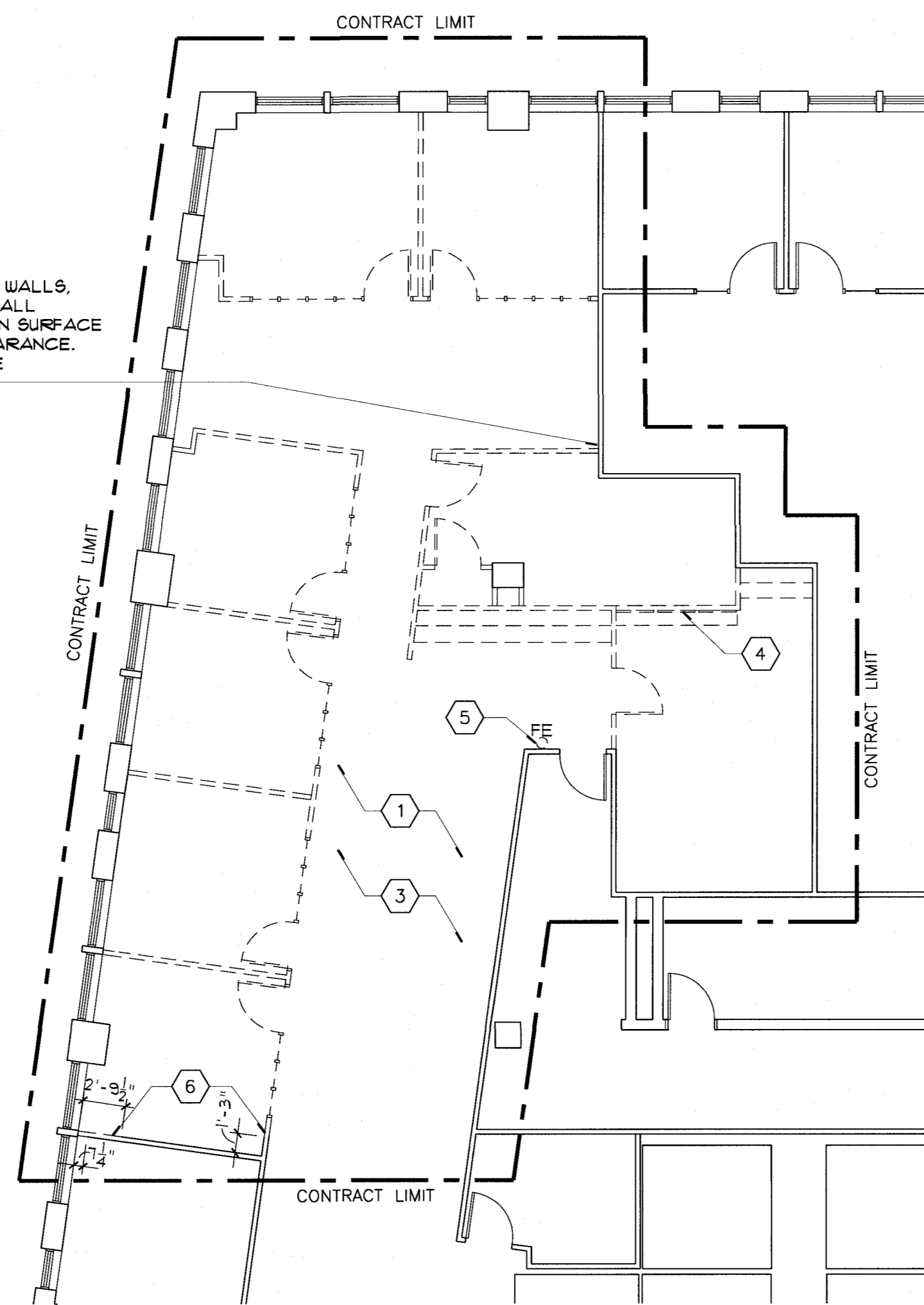
**CEILING DEMOLITION LEGEND**

- EXISTING ACOUSTICAL SUSPENDED CEILING AND GRID TO REMAIN (APPROXIMATELY 1'-11" AFF.)
- EXISTING ACOUSTICAL SUSPENDED CEILING AND GRID TO BE REMOVED
- EXISTING 2x LIGHT FIXTURE TO BE REMOVED OR RELOCATED
- EXISTING SPRINKLER HEAD TO REMAIN
- EXISTING SPRINKLER HEAD TO BE REMOVED OR RELOCATED
- EXISTING DIFFUSER TO BE REMOVED OR RELOCATED
- EXISTING EXIT SIGN TO REMAIN.

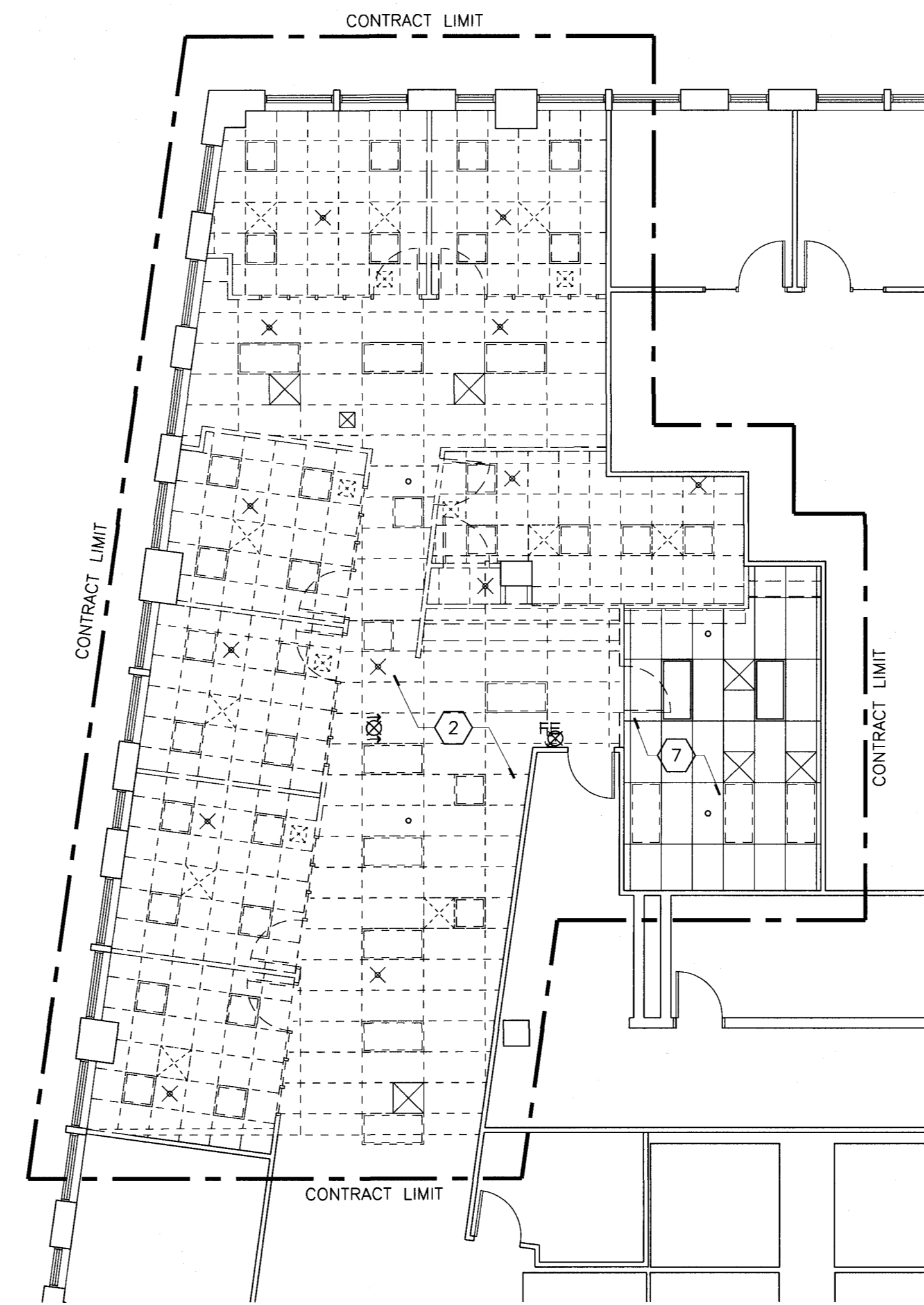
**CEILING DEMOLITION NOTES**

1. EXISTING CEILING GRID, LIGHTS AND ALL OTHER CEILING MOUNTED ITEMS TO BE REMOVED ARE SHOWN DASHED. REMOVE ALL ASSOCIATED WIRES, HANGERS AND FASTENERS.
2. PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN DURING ALL CONSTRUCTION PHASES.
3. WHERE REMOVAL OF CEILING SYSTEM AND LIGHTS EXTENDS BEYOND ONE FINISHED AREA INTO ANOTHER FINISHED AREA PATCH AND REPAIR CEILING TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. IF NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE, REMOVE EXISTING CEILING AND REPLACE WITH NEW MATERIALS.
4. PROTECT ALL EXISTING EQUIPMENT SCHEDULED TO REMAIN DURING ALL CONSTRUCTION PHASES.
5. THE CONTRACTOR SHALL LIMIT HIS USE OF THE PREMISES TO THE WORK INDICATED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT.
6. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE ITEMS TO BE SALVAGED OR RETURNED TO OWNER.

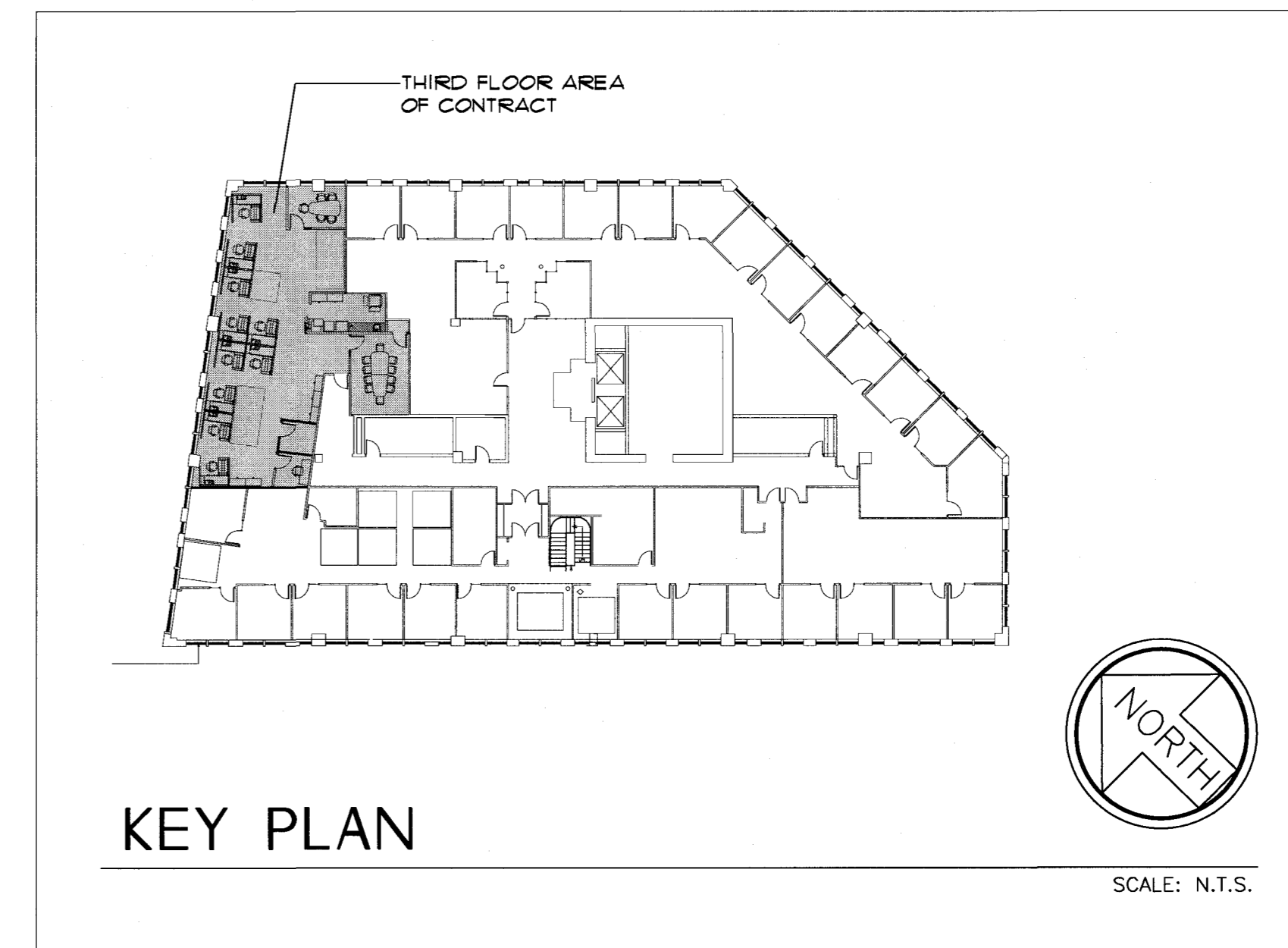
AT LOCATIONS OF DEMOLISHED WALLS, PATCH AND REPAIR EXISTING WALL SURFACES TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. PREPARE SURFACE TO RECEIVE NEW FINISHES.



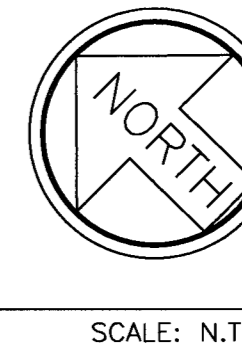
① THIRD FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



② THIRD FLOOR CEILING DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



KEY PLAN



SCALE: N.T.S.

THIRD FLOOR DEMOLITION PLAN AND CEILING DEMOLITION PLAN

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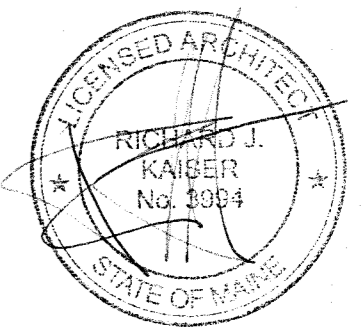
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Drawn By: KP

**AD01**



CLOHESSY  
HARRIS &  
KAISER, LLC

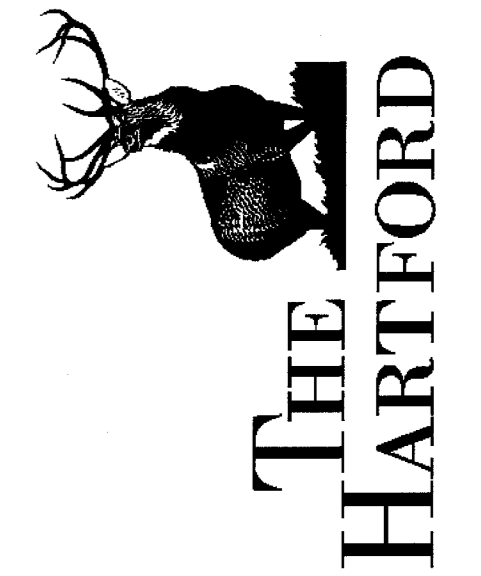
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ARCHITECTURE - INTERIOR DESIGN - FACILITIES PLANNING

**FLOOR PLAN NOTES**

- ALL DIMENSIONS ARE TO THE FINISH FACE OF THE WALL (→) OR TO THE CENTERLINE OF THE COLUMN (→).
- REPAIR ANY DAMAGED WALL AND FLOOR SURFACES AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION WHICH IS ACCEPTABLE TO THE OWNER AND WHICH PROVIDES A SUITABLE SUBSTRATE FOR NEW FINISHES.
- THE CONTRACTOR SHALL LIMIT HIS USE OF THE PREMISES TO THE WORK INDICATED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT.
- REMOVE FROM THE SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM CONSTRUCTION ACTIVITIES. TRANSPORT REMOVED MATERIALS AND DISPOSE OF OFF SITE IN A LAWFUL MANNER.
- ALL FULL HEIGHT STEEL STUD WALLS AND WALLS FRAMED TO THE UNDERSIDE OF STEEL BEAMS AND JOISTS SHALL UTILIZE A SLIP TRACK CONNECTION AT THE TOP OF WALL TO ALLOW FOR DEFLECTION, AS REQUIRED.
- STEEL STUD WALLS SHALL BE DIAGONALLY BRACED FROM ABOVE THE CEILING TO THE STRUCTURE ABOVE WITH 3/8" STEEL STUDS AT 4'-0" O.C. MAX.
- ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED.
- THE WORK SHALL BE CONDUCTED IN A MANNER WHICH WILL PROVIDE THE LEAST POSSIBLE INTERFERENCE TO BUILDING TENANTS.
- FURNISH AND INSTALL FIRE EXTINGUISHER CABINETS AS INDICATED, MOUNTED 36" AFF. TO THE BOTTOM OF THE CABINET. LOCATION OF NEW FIRE EXTINGUISHER CABINETS IS INDICATED WITH "RFE". FIRE EXTINGUISHER CABINETS TO BE SEMI-RECESSED STYLE CABINET, LARSEN ARCHITECTURAL SERIES, OR EQUIVALENT.
- NEW TENANT SECURITY DEVICES INCLUDING CARD READERS TO BE PROVIDED AND INSTALLED BY TENANT'S SECURITY VENDOR. GC TO COORDINATE W/ VENDOR.
- IN CONFERENCE ROOM 306, AT LOCATION OF FLAT SCREEN MONITOR, PROVIDE HORIZONTAL, CONTINUOUS, FIRE RETARDANT TREATED WOOD BLOCKING IN WALL AND BACKER PLATE.

**WALL LEGEND**

- |   |   |   |
|---|---|---|
| 1 | — | 3/8" 25 GAUGE METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE SUSPENDED ACOUSTICAL CEILING. (NOT USED)   |
| 2 | — | 3/8" 25 GAUGE METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. SOUND ATTENUATION BLANKETS ARE TO BE PLACED IN THE PARTITION CAVITY AND ARE TO BE PLACED ABOVE THE CEILING, RUNNING THE LENGTH OF THE PARTITION AND EXTENDING 24" IN BOTH DIRECTIONS PERPENDICULAR TO THE LENGTH OF THE PARTITION. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE SUSPENDED ACOUSTICAL CEILING. |
| 3 | — | 3/8" 25 GAUGE METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. VAPOR BARRIER AND SOUND ATTENUATION BLANKETS ARE TO BE PLACED IN THE PARTITION CAVITY RUNNING THE LENGTH OF THE PARTITION. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE DECK ABOVE.   |
| 4 | — | 3/8" 25 GAUGE METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. SOUND ATTENUATION BLANKETS ARE TO BE PLACED IN THE PARTITION CAVITY. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE DECK ABOVE.   |

**SYMBOLS LEGEND**

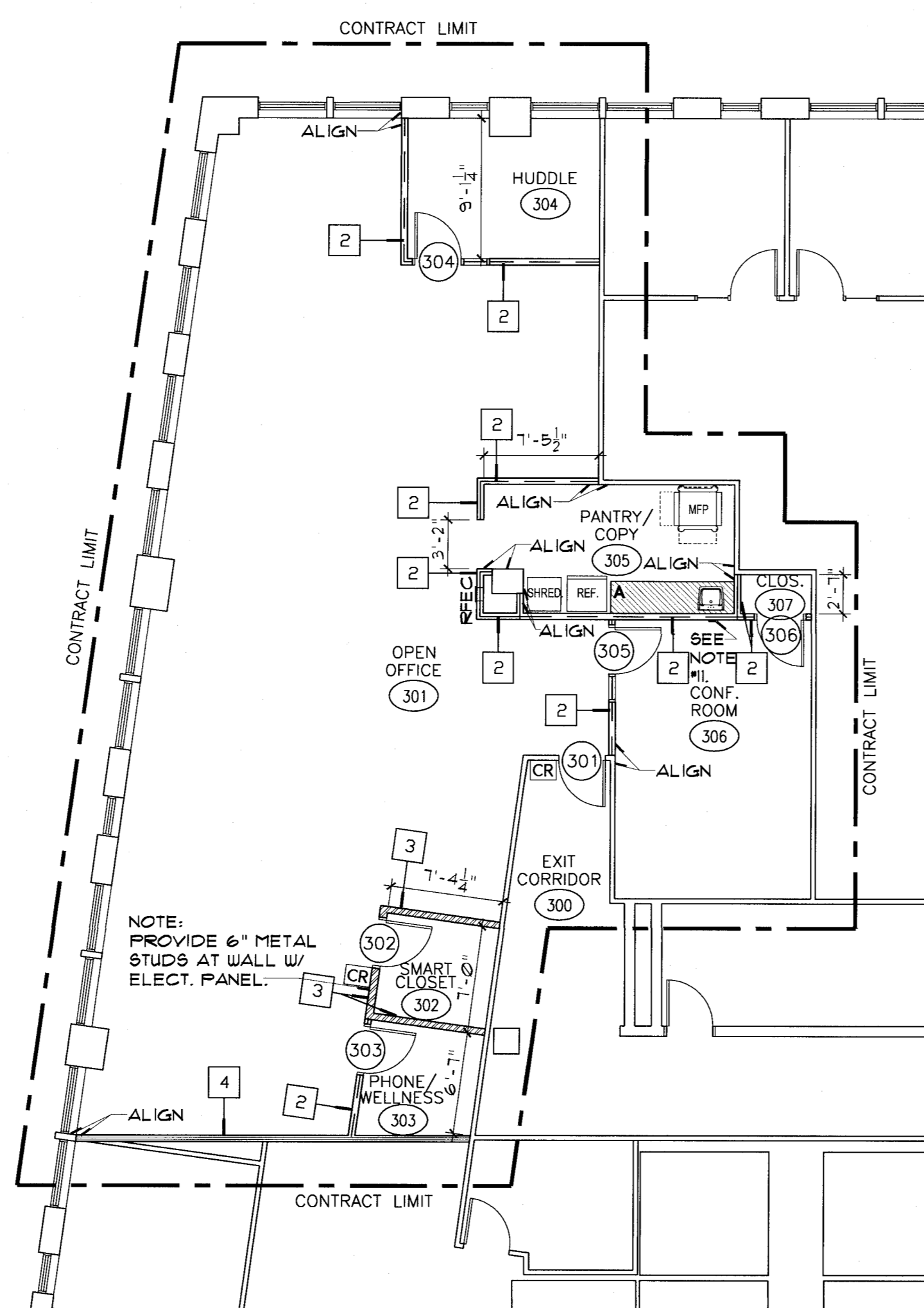
- |     |  |
|-----|--|
| RFE | RECESSED FIRE EXTINGUISHER CABINET (RFE) |
| CR  | NEW CARD READER                          |

**REFLECTED CEILING PLAN GENERAL NOTES**

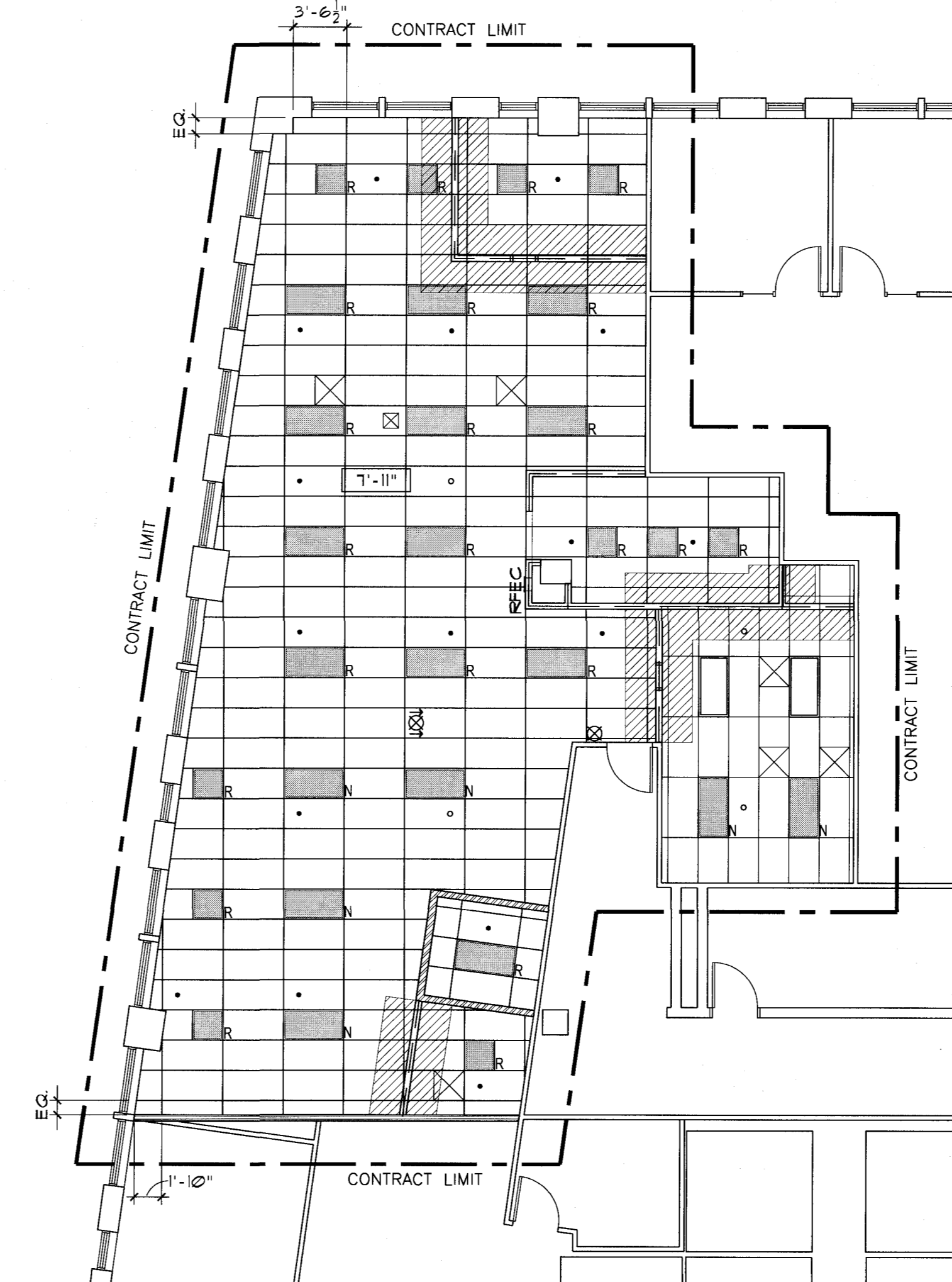
- NEW CEILING SYSTEM TO BE INSTALLED, UNLESS SHOWN OTHERWISE.
- GENERAL CONTRACTOR TO COORDINATE LOCATION OF CEILING AND LIGHT SUPPORTS. ANY CONFLICTS BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXISTING HVAC DIFFUSERS AND SPRINKLER HEADS ARE SHOWN FOR COORDINATION PURPOSES ONLY.
- CENTER ALL NEW OR RELOCATED ACOUSTICAL CEILING SYSTEMS IN ROOM UNLESS OTHERWISE NOTED.
- REWORK EXISTING HVAC SUPPLY AND RETURN AS REQUIRED FOR NEW WALL CONFIGURATIONS. REFER TO MEP/FP DRAWINGS.
- REWORK EXISTING SPRINKLERS AND INSTALL NEW SPRINKLERS AS REQUIRED. REFER TO MEP/FP DRAWINGS.
- ALL NEW OR RELOCATED LIGHT FIXTURES, DIFFUSERS AND SPRINKLERS TO BE INSTALLED IN THE CENTER OF CEILING TILES.
- REPLACE ANY STAINED OR DAMAGED CEILING TILES AS REQUIRED IN AREAS WITH EXISTING CEILING TO REMAIN. AREAS TO RECEIVE REUSED TILES TO HAVE THE TILES SELECTED SO AS TO BE UNDAMAGED, AND TO BE SIMILAR IN COLOR AND TEXTURE.
- EXISTING LIGHT FIXTURES TO BE RE-USED. CLEAN AND RE-LAMP LIGHTING FIXTURES THAT ARE TO BE REUSED OR EXISTING TO REMAIN. NEW LAMPS TO MATCH IN COLOR TEMPERATURE.
- INSTALL SOUND ATTENUATION INSULATION ABOVE CEILING, 2'-0" ON EACH SIDE OF WALL TYPE 2 AS INDICATED ON PLAN WITH HATCH PATTERN. UO.N. BATT INSULATION SHALL HAVE A FLAME SPREAD NO GREATER THAN 25 AND SMOKE DEVELOPMENT NOT GREATER THAN 50. PROVIDE THERMOFIBER LIGHT PROTECTION KIT AT THE LIGHT FIXTURES WITHIN THE CEILING AREAS.

**REFLECTED CEILING PLAN LEGEND**

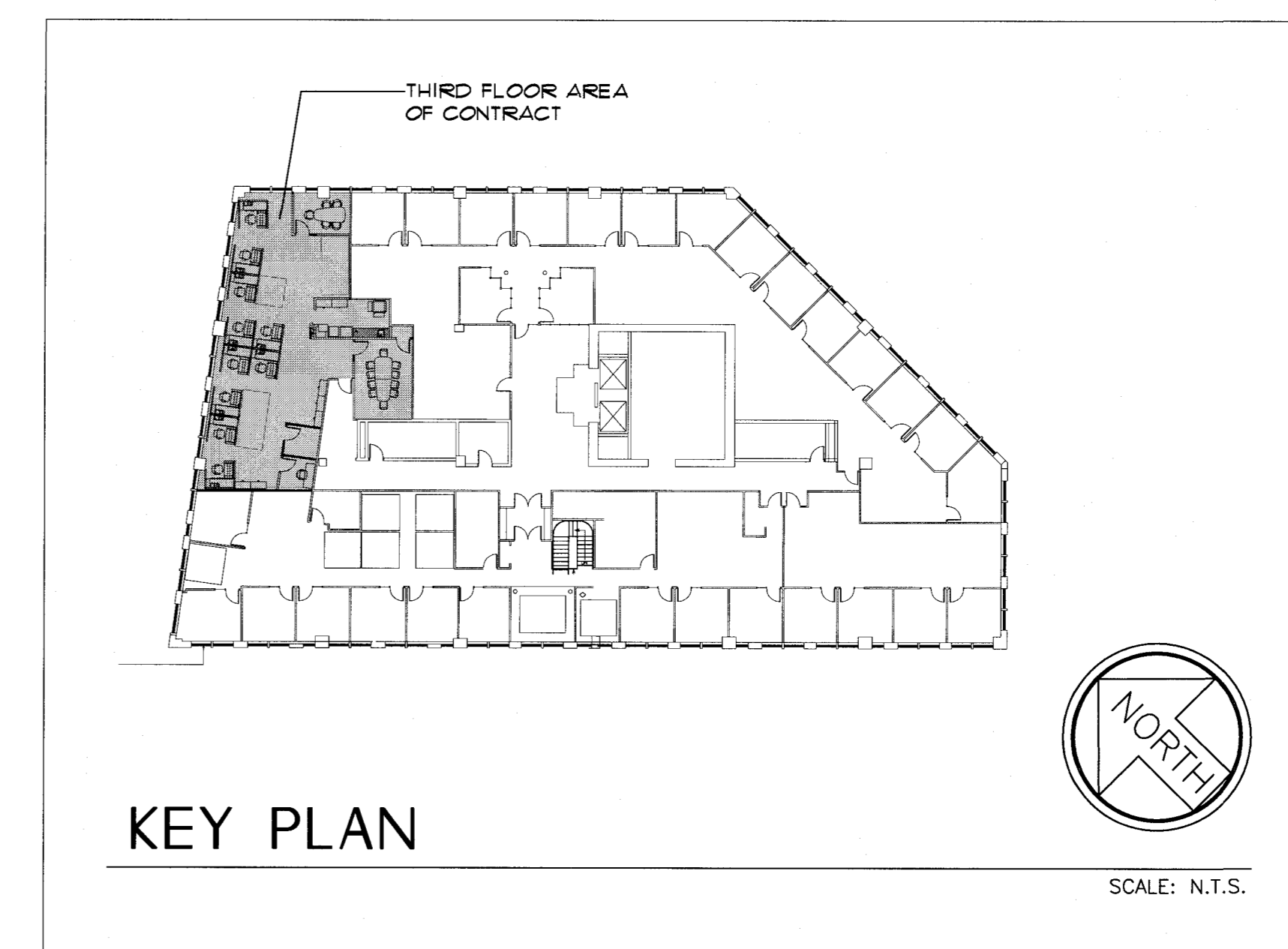
- |   |  |       |                                   |
|---|--|-------|-----------------------------------|
| — | EXISTING ACOUSTICAL SUSPENDED CEILING AND GRID TO REMAIN (APPROXIMATELY 1'-11" AFF.)   | *     | EXISTING SPRINKLER HEAD TO REMAIN |
| — | NEW ACOUSTICAL SUSPENDED CEILING TO MATCH & ALIGN WITH EXISTING CEILING (UNLESS OTHERWISE NOTED) (APPROXIMATELY 1'-11" AFF.) | *     | NEW OR RELOCATED SPRINKLER HEAD   |
| □ | EXISTING LIGHT FIXTURE TO REMAIN   | E     | EXISTING EXIT SIGN                |
| □ | NEW LIGHT FIXTURE TO MATCH EXISTING  | T-11' | DENOTES CEILING HEIGHT            |
| □ | RE-USED AND RELOCATED EXISTING LIGHT FIXTURE   |       |                                   |
| □ | 2' X 2' FIXTURE  |       |                                   |
| □ | 2' X 4' FIXTURE  |       |                                   |
| □ | EXISTING DIFFUSERS TO REMAIN   |       |                                   |
| ▨ | SOUND ATTENUATION BLANKETS 24" EACH SIDE OF WALL   |       |                                   |



① THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



② THIRD FLOOR REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"

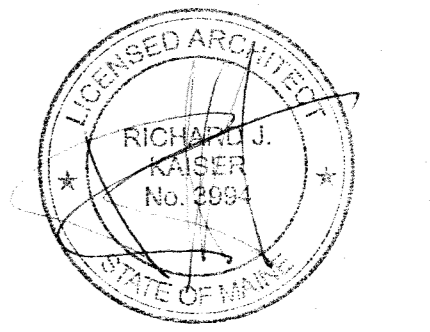


KEY PLAN



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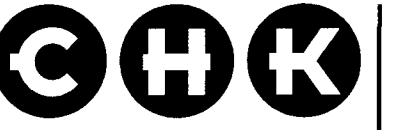
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Portland, Maine

PROPOSED THIRD FLOOR PLAN AND REFLECTED CEILING PLAN

Revisions	Owner's Review Comments/ Issue for Bid 5/26/16
▲	A1101 Huddle 304 Power/ Data Location 6/22/16
▲	Add Workstations 6/20/16

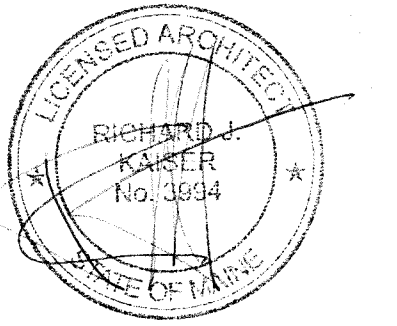
Date 5/20/16  
Scale 1/8" = 1'-0"  
Project Number 16023  
Drawn By KP

**A101**



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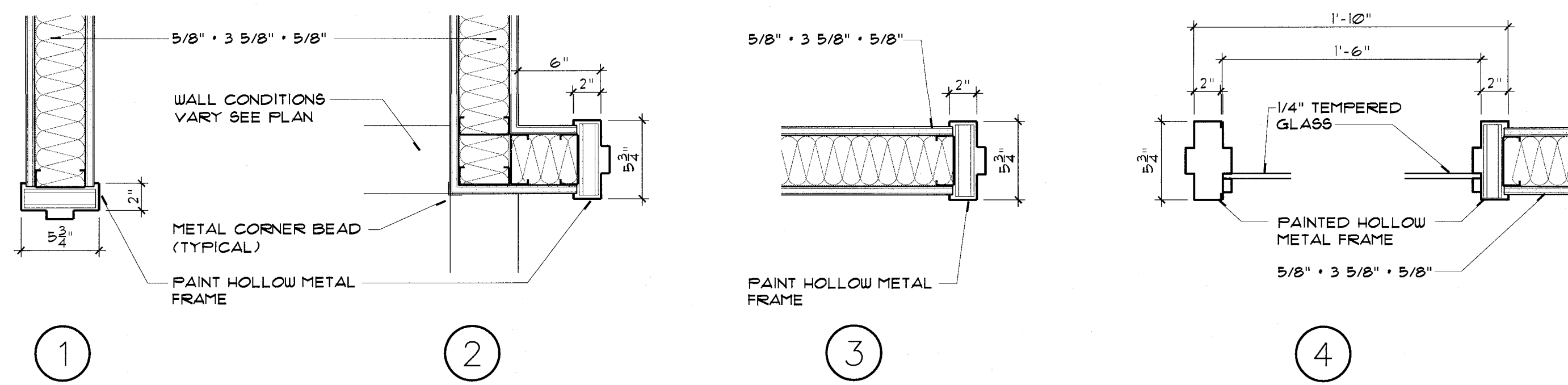


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DOOR SCHEDULE AND DETAILS

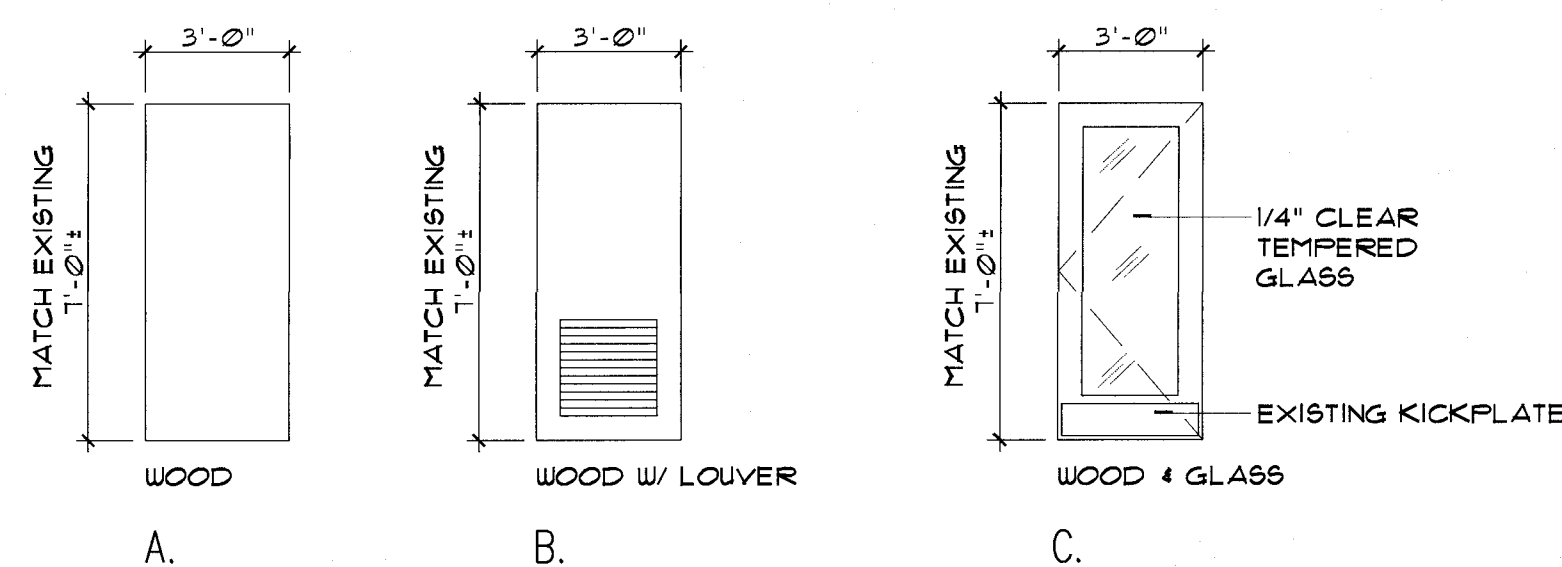
DOOR NUMBER	LOCATION		DOOR						FRAME						REMARKS				
	FROM	TO	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	UC./LOUV.	DEPTH	HEAD	LJAMB	RJAMB	MATERIAL		FINISH	THRESHOLD	FIRE RATING	HARDWARE
301	301	300	3'-0"	7'-0"	1 3/4"	UD/GL	TRANS	C	--		EXISTING FRAME TO REMAIN						NEW GLASS VISION PANEL TO BE CUT INTO EXISTING DOOR. EXISTING FRAME TO REMAIN.		
302	301	302	3'-0"	7'-0"	1 3/4"	UD	TRANS	B	--	I	5-3/4"	1	2	3	HM	PAINT	--	SET B	DOOR LOUVER TO BE 24" X 24" MINIMUM
303	301	303	3'-0"	7'-0"	1 3/4"	UD	TRANS	A	--	I	5-3/4"	1	2	3	HM	PAINT	--	SET C	
304	301	304	3'-0"	7'-0"	1 3/4"	UD	TRANS	A	--	II	5-3/4"	1	2	4	HM	PAINT	--	SET A	
305	301	306	3'-0"	7'-0"	1 3/4"	UD	TRANS	A	--	II	5-3/4"	1	2	4	HM	PAINT	--	SET A	
306	301	306	3'-0"	7'-0"	1 3/4"	UD	TRANS	A	--	I	5-3/4"	1	2	3	HM	PAINT	--	SET A	

- HARDWARE TO MATCH ICC/ANSI A117.1-2003 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES REQUIREMENTS.
- REUSED DOORS TO BE SELECTED FROM AVAILABLE SUPPLY OF DOORS SALVAGED FROM DEMOLITION. G.C. TO SELECT THE HIGHEST QUALITY DOORS AVAILABLE. EXISTING SCRATCHES OR DINGS TO BE CLEANED, FILLED OR TOUCHED UP AS MUCH AS POSSIBLE. SELECTED DOORS TO BE OF SIMILAR SPECIES AND STAIN COLOR TO THE EXTENT POSSIBLE.
- CONTRACTOR SHALL PROVIDE NEW DOOR FRAMES AND HARDWARE AS INDICATED AND DETAILED, INCLUDING ALL RELATED ACCESSORIES, MATERIALS AND LABOR FOR A COMPLETE INSTALLATION.
- COORDINATE ALL KEYING REQUIREMENTS WITH THE BUILDING OWNER AND TENANT. ALL EXISTING KEYED CYLINDER CORES TO BE CHANGED OUT TO BLANK CORES.
- ALL EXISTING HARDWARE SHOULD BE REVIEWED BY HARDWARE SUB-CONTRACTOR FOR FUNCTION AND ANY NEEDED REPAIRS SHOULD BE MADE.
- NEW ENTRANCE DOORS WITH WOOD STYLE AND RAIL AND GLASS PANEL TO HAVE WOOD STAINED TO MATCH TYPICAL BUILDING STANDARD WOOD STYLE AND RAIL ENTRANCE DOORS.

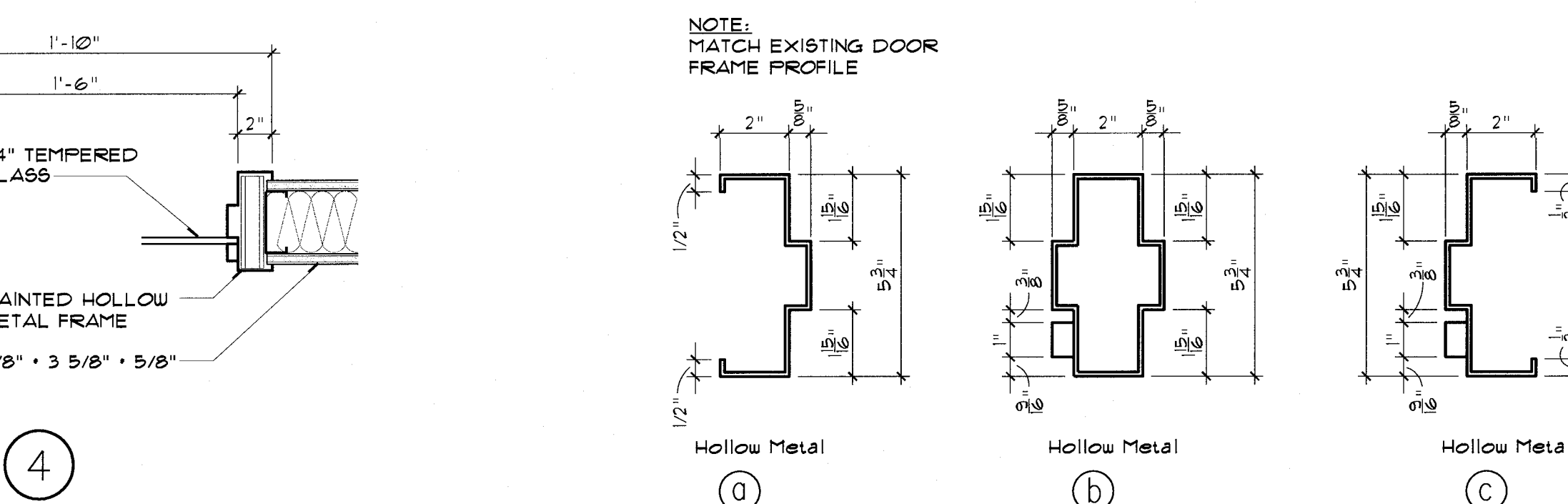


HOLLOW METAL DOOR FRAME DETAILS  
SCALE: 1/2"=1'-0"

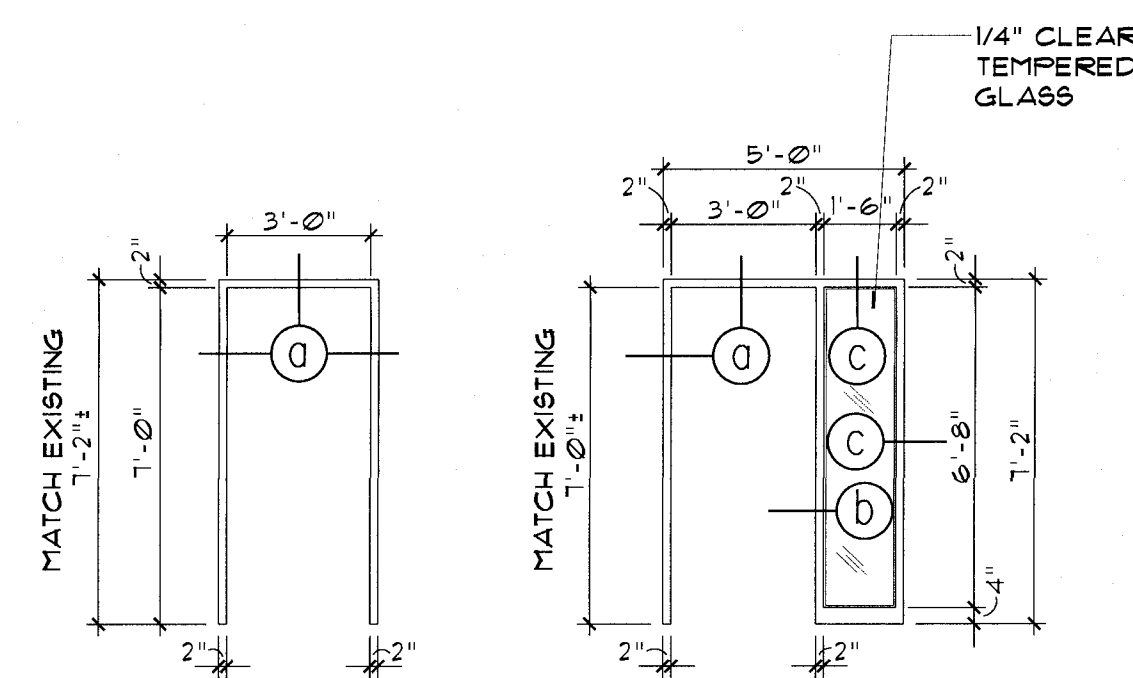
NOTE:  
EXISTING WOOD DOORS  
TO BE RE-USED.



DOORS  
SCALE: 1/4"=1'-0"



HOLLOW METAL FRAME PROFILE  
SCALE: 3/8"=1'-0"



HOLLOW METAL FRAMES  
SCALE: 1/4"=1'-0"

HARDWARE SETS

SET A

(CONFERENCE ROOM, HIDDLE ROOM, CLOSET)

- 1 1/2 FR BUTTS
- LATCHSET/PASSAGE SET
- FLOOR STOP
- SILENCERS

SET B

(ENTRANCE DOOR, SMART ROOM)

- 1 FR BUTTS
- DOOR CLOSER
- FLOOR STOP
- SILENCERS
- KICKPLATE
- SECURITY VENDOR TO PROVIDE:
- ELECTRIFIED MORTISED LOCKSET,
- STORAGE FUNCTION
- 1 ELECTRIFIED TRANSFER HINGE
- POWER SUPPLY
- CARD READER
- REQUEST TO EXIT DEVICE

SET C

(PHONE/ WELLNESS ROOM)

- 1 1/2 FR BUTTS
- LOCKSET/ PRIVACY FUNCTION
- FLOOR STOP
- SILENCERS

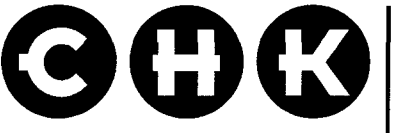
Revisions

1	Owner's Review Comments/ Issue for Bid 5/26/16
2	RF101_Huddle_304_Power/ Data_Location_5/22/16
3	Add Workstations 6/20/16

Date: 5/20/16  
Scale: AS NOTED  
Project Number: 16023  
Drawn By: KP

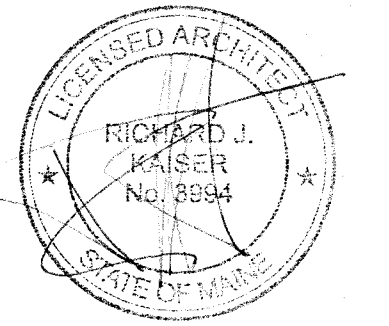
A701

ARCHITECTURE - INTERIOR DESIGN - FACILITIES PLANNING



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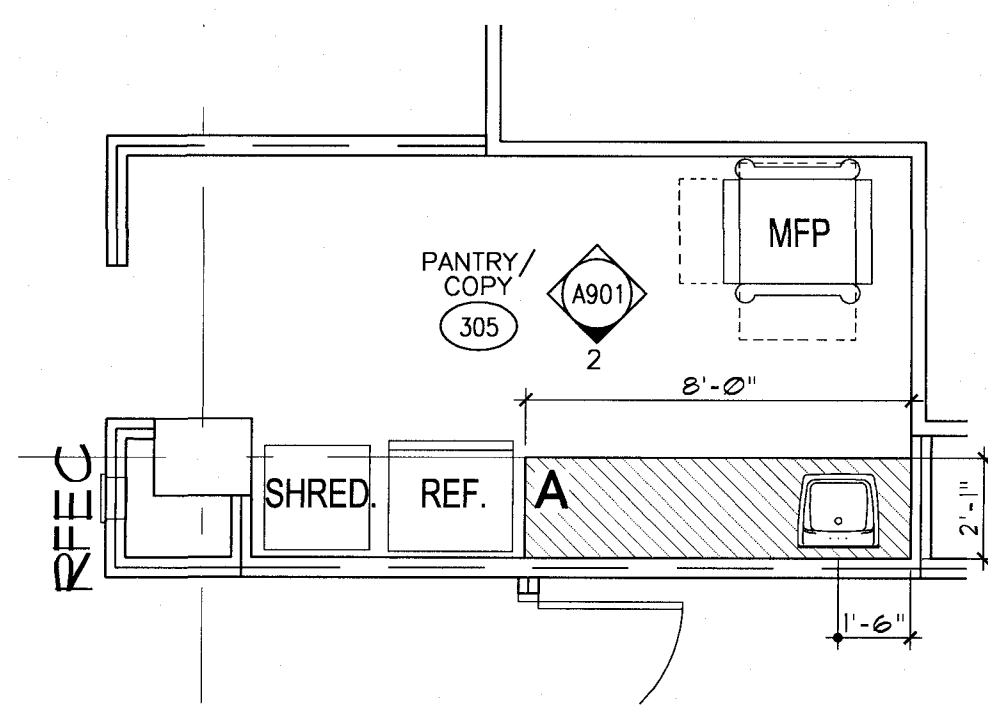
ENLARGED CASEWORK PLANS, INTERIOR ELEVATIONS AND DETAILS

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Portland, Maine

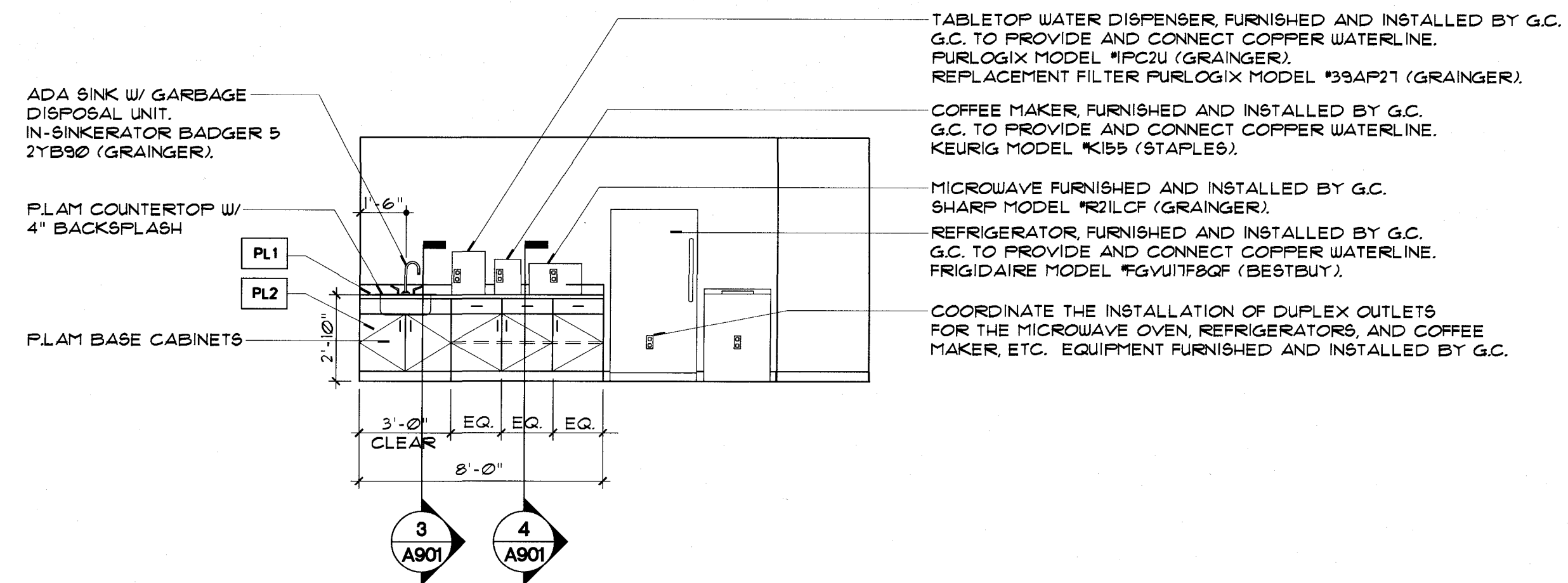
Revisions	
1	Owner's Review Comments/ Issue for Bid 5/26/16
2	AF101_Huddle_304_Power/ Data_Location_6/2/16
3	Add Workstations 6/20/16

Date 5/20/16  
Scale 1/2" = 1'-0"  
Project Number 16023  
Drawn By KP

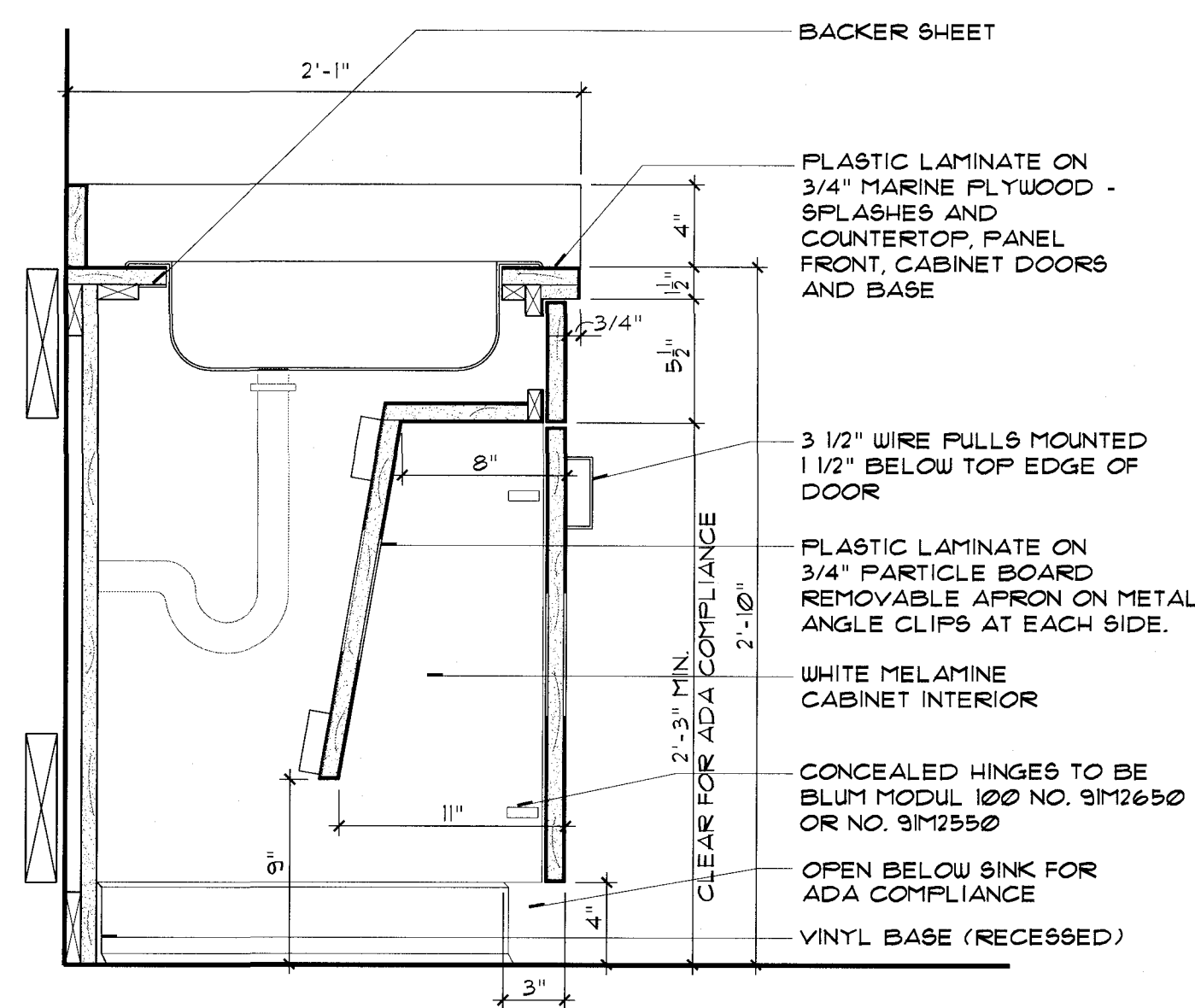
A901



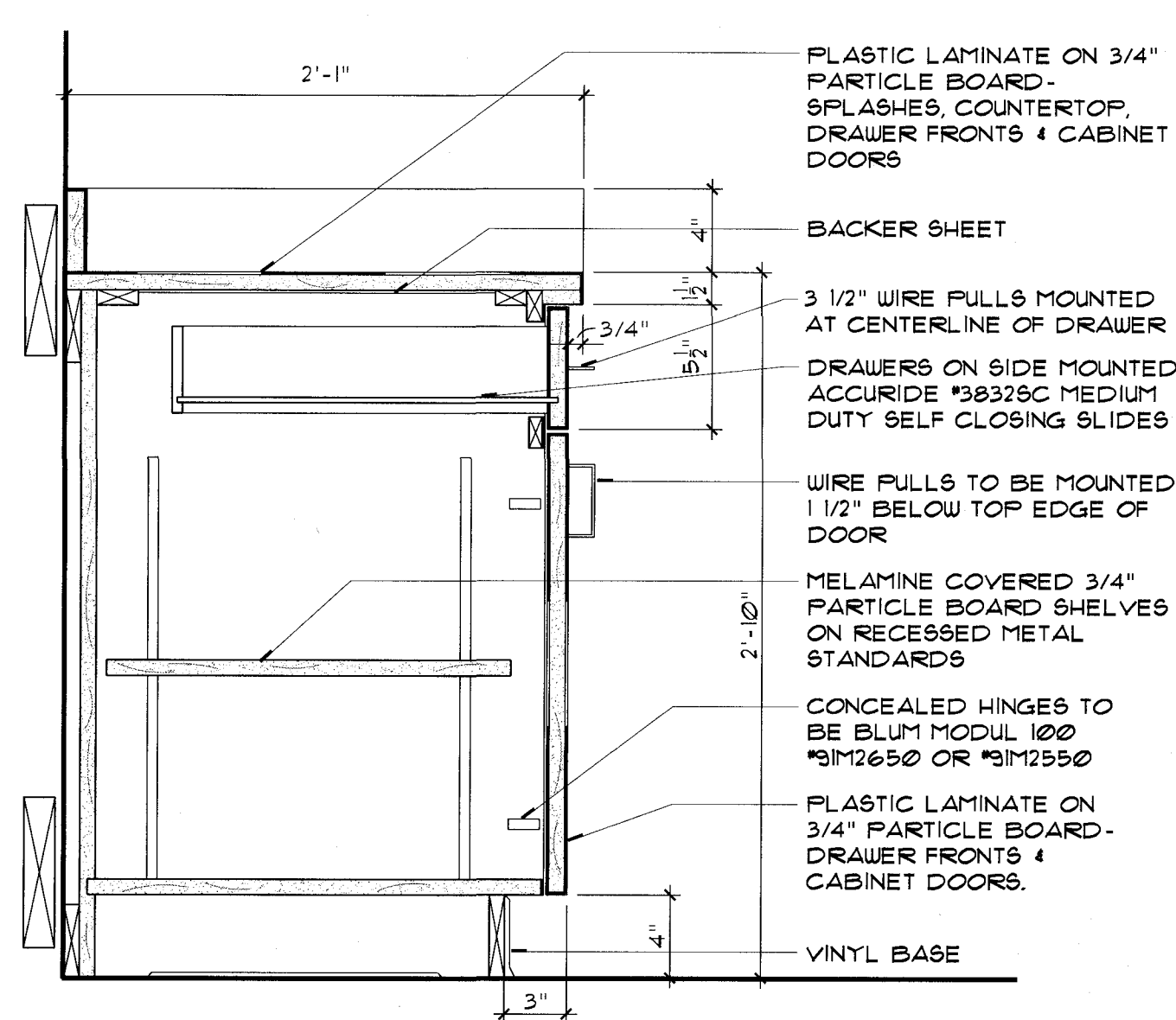
1 ENLARGED PLAN AT PANTRY/ COPY  
SCALE: 1/4" = 1'-0"



2 CASEWORK 'A' INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



3 SECTION - CASEWORK 'A'  
SCALE: 1 1/2"=1'-0"



4 SECTION - CASEWORK 'A'  
SCALE: 1 1/2"=1'-0"

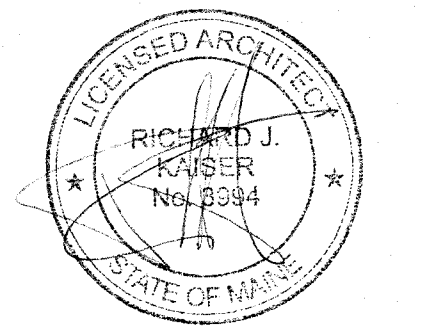
ARCHITECTURE - INTERIOR DESIGN - FACILITIES PLANNING





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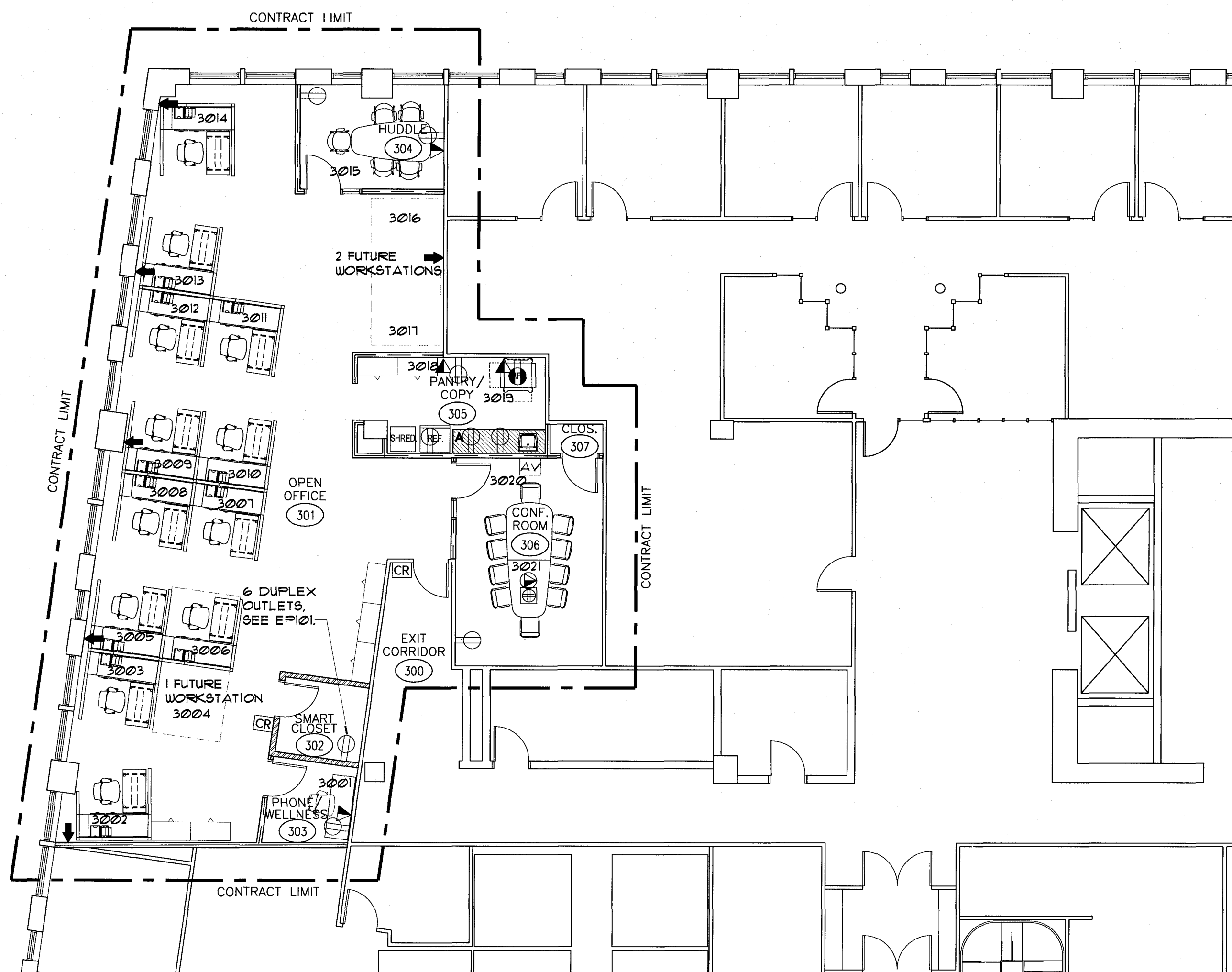
THIRD FLOOR FURNITURE PLAN AND FINISH TREATMENT PLAN

Revisions	
△	Owner's Review Comments/ Issue for Bid 5/26/16
△	AF101 Huddle 304 Power/ Data Location 6/2/16
△	Add Workstations 6/20/16

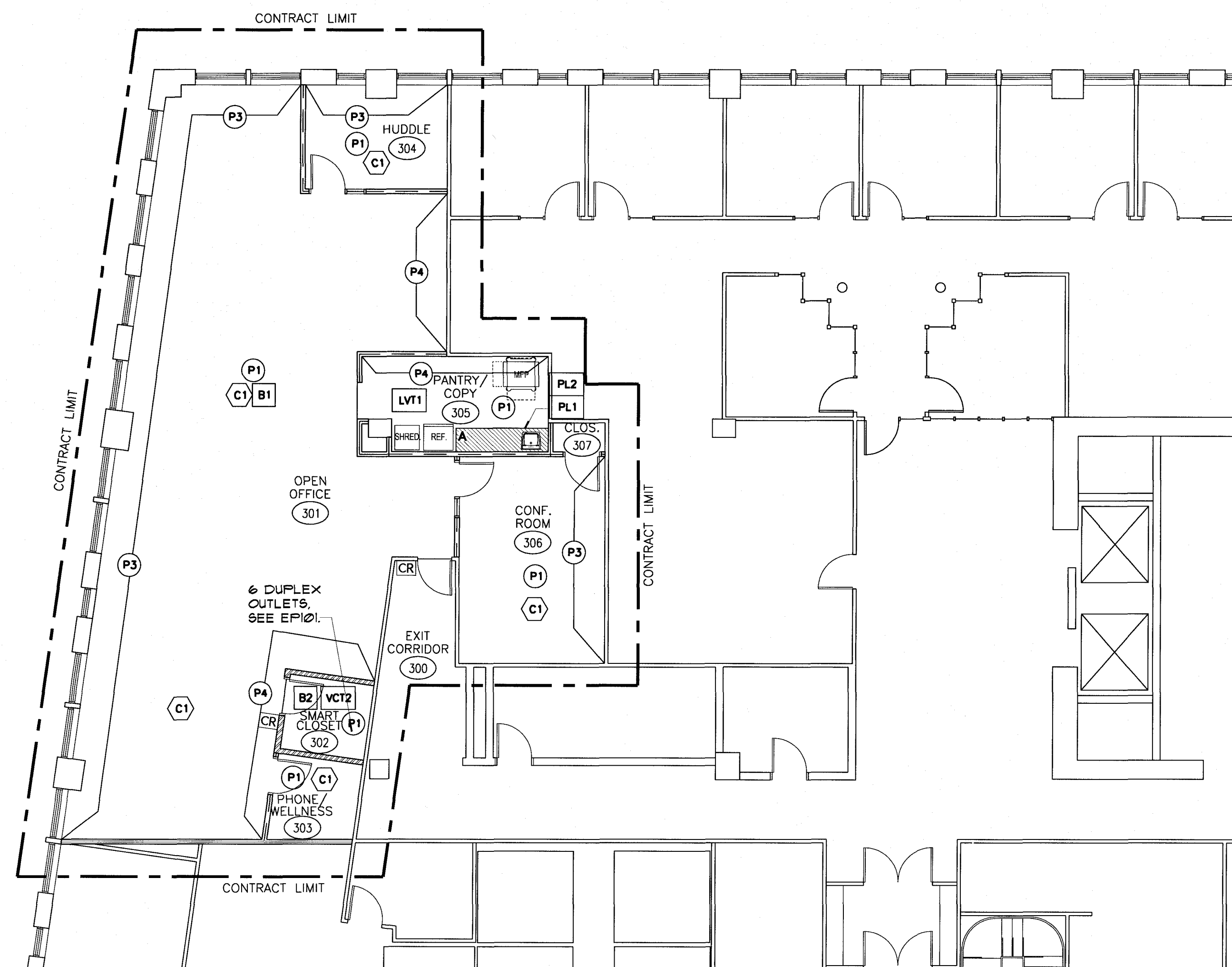
Date 5/20/16  
Scale 1/8" = 1'-0"  
Project Number 16023  
Drawn By KIP

AF101

ARCHITECTURE - INTERIOR DESIGN - FACILITIES PLANNING



1 THIRD FLOOR FURNITURE PLAN  
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR FINISH TREATMENT PLAN  
SCALE: 1/8" = 1'-0"

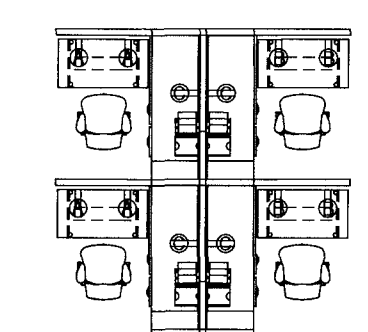
FURNITURE PLAN NOTES

- PROPOSED FURNITURE LAYOUT IS FOR DESIGN INTENT ONLY. TO COORDINATE THE FURNITURE PLAN AND ARCHITECTURAL PLAN, SEE FURNITURE INSTALLATION DRAWINGS PROVIDED BY FURNITURE VENDOR FOR FIELD INSTALLATION OF FURNITURE.
- PROPOSED VOICE/ DATA LOCATIONS ARE FOR DESIGN INTENT ONLY. SEE CABLING AND ELECTRICAL DRAWINGS FOR ALL OUTLET REQUIREMENTS AND LOCATIONS. THIS IS A COORDINATION LAYOUT FOR THE FURNITURE WITH THE PROPOSED OUTLETS LOCATIONS.
- BASE POWER IN LOCATIONS FOR SYSTEMS FURNITURE TO BE FED FROM ADJACENT WALLS. WIPES TO BE PROVIDED TO G.C. BY FURNITURE VENDOR.
- IN AREA OF FUTURE WORKSTATIONS, CONTRACTOR TO SUB-UP POWER & DATA BUT NOT PULL CONDUIT FULLY. AS WORKSTATIONS WILL BE INSTALLED AT A FUTURE UNDETERMINED DATE. COVER WITH COVER PLATE AS REQUIRED.

HERMAN MILLER WORK STATION POWER INFO

- (1) 3P CIRCUIT WILL BE USED FOR EVERY (8) WORKSTATIONS.
- EACH WORKSTATION TO HAVE (3) DUPLEX OUTLETS.
- COMPUTERS WILL BE FED FROM "A" AND "B" FURNITURE CIRCUITS. EACH STATION WILL HAVE EITHER (2) "A" CIRCUITS OR (2) "B" CIRCUITS WHICH WILL BE LOCATED IN BASE.
- GENERAL POWER WILL BE FED FROM THE "C" FURNITURE CIRCUIT. THIS DUPLEX OUTLET WILL BE ABOVE THE WORK SURFACE.
- THE "D" FURNITURE CIRCUIT WILL BE USED AS NEEDED FOR SPECIAL CONDITIONS.
- THE DATA WILL BE (8) CAT6 CABLES, ONE FED IN FROM THE CORE TO THE FURNITURE. ON CONFIRMED THE H1 BOTTOM RACEWAY CAN FIT (8) CAT6 CABLES.

TYP WORKSTATION WIRING CONFIGURATION



LEGEND

- FLOOR TEL/DATA OUTLET
- ⊕ FLOOR QUAD RECEPTACLE
- STANDARD SINGLE DATA OUTLET
- ⊖ DUPLEX ELECTRICAL RECEPTACLE
- ⊕ QUAD ELECTRICAL RECEPTACLE
- ➔ BASE POWER-IN FOR SYSTEMS FURNITURE
- ⊖ FLAT SCREEN MONITOR LOCATION - POWER, DATA AND CABLE TV LOCATE AT 66" AFF. TO CENTER LINE
- ⊖ DEDICATED DUPLEX 20 AMP 110 VOLT

FINISH NOTES

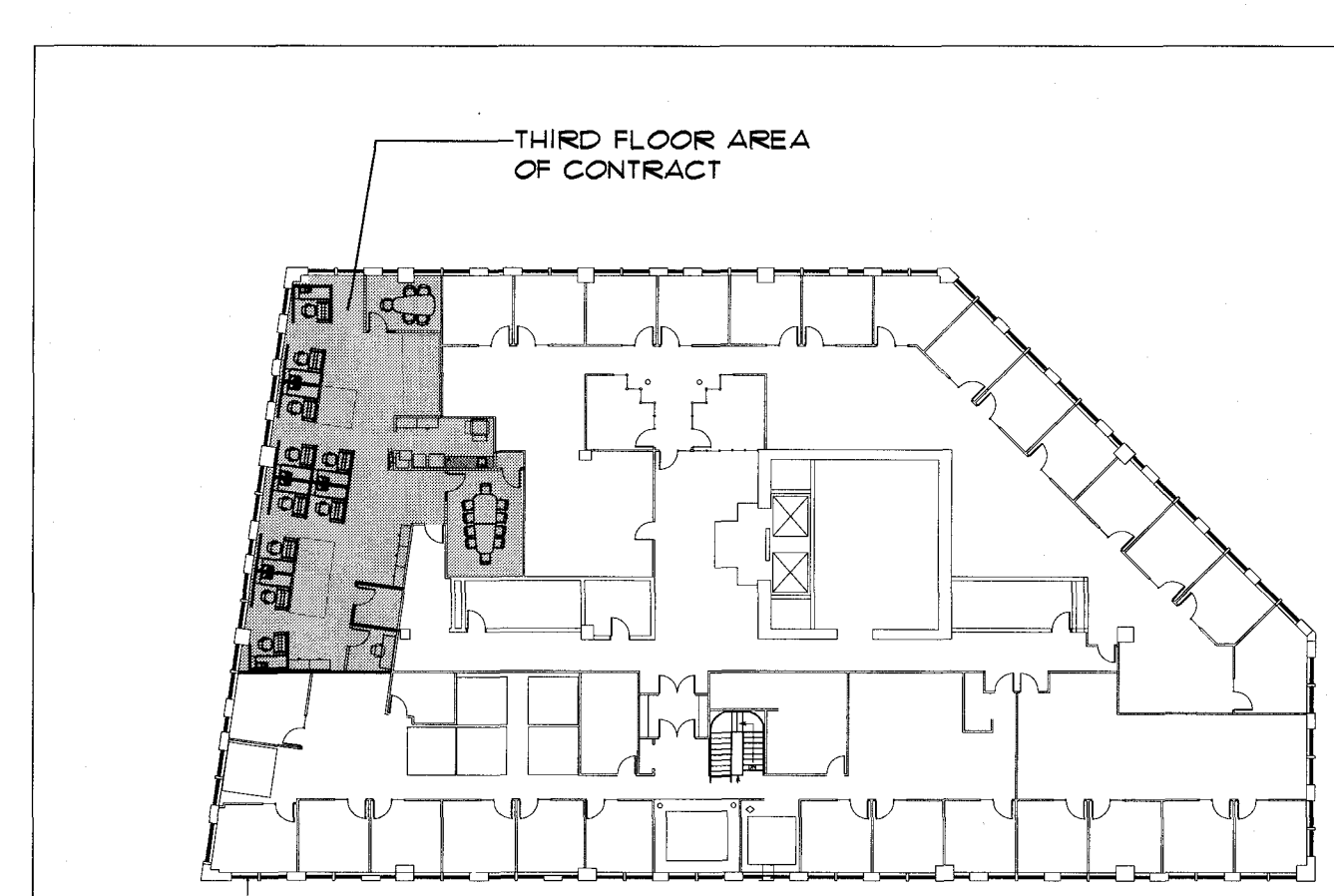
- EXISTING OR NEW SURFACES TO BE PAINTED SHALL BE SANDED, LEVEL, AND SMOOTH PRIOR TO NEW FINISH APPLICATION. SURFACES SHOULD BE FREE OF DIRT, DUST, AND OIL RESIDUE.
- NEW WALLS AND SURFACES SHALL RECEIVE THE FOLLOWING TREATMENT: SANDING AND (3) COATS OF COMPOUND AND TAPE PRIOR TO FINISH TREATMENT.
- CONTRACTOR TO PROTECT FINISHED SURFACES DURING OTHER WORK.
- CONTRACTOR IS REQUIRED TO SUBMIT ALL SPECIFIED WALL AND FLOOR FINISH PRODUCTS FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR IS TO INSTALL FINISH PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.
- ALL WALLS AND TRIM TO BE PAINTED ARE TO RECEIVE A PRIMER COAT AND TWO COATS OF FINISH PAINT.
- DO NOT PAINT OVER CODE-REQUIRED LABELS AFFIXED TO DOORS, EQUIPMENT, VENTS, SIGNS, ETC.
- UPON COMPLETION, THE PAINTED SURFACES SHOULD BE UNIFORM IN COLOR AND APPEARANCE.
- ALL WALLS INCLUDING INTERIOR OF CLOSETS TO BE PAINTED P1 UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO CLEAN FLOOR PRIOR TO NEW FINISH INSTALLATION. THIS INCLUDES REMOVAL OF ANY EXISTING FLOORING ADHESIVE AND OTHER PRODUCTS UNLESS NOTED OTHERWISE.
- SUBSTRATE IS TO BE CLEAN, DRY, LEVEL, AND SMOOTH PRIOR TO NEW FLOOR INSTALLATION.
- CONTRACTOR IS TO USE MANUFACTURER'S RECOMMENDED ADHESIVES FOR ALL SPECIFIED FLOORING PRODUCTS.
- ALL ROOMS INCLUDING INTERIOR OF CLOSETS TO RECEIVE CARPET C1 UNLESS OTHERWISE NOTED.
- DELIVER OVERRUN ON NEW FLOOR FINISH MATERIALS TO OWNER, CONFIRM ACCEPTABLE USABLE SCRAPS AND PRODUCT PRIOR TO DISCARDING.
- CARPET SHOULD BE VACUUMED AND CLEANED OF DIRT AND CONSTRUCTION DEBRIS DAILY AFTER INSTALLATION.
- UPON COMPLETION OF INSTALLATION, NEW CARPET SHOULD BE LEVEL AND TIGHT TO WALL AND UNIFORM IN COLOR. COORDINATE QUANTITY AND DYE LOTS ACCORDINGLY.
- VINYL COMPOSITION TILE/VINYL TILE/SHEET VINYL SHALL BE INSTALLED WITH GRAIN GOING IN SAME DIRECTION. SUBMIT BEAMING DIAGRAM FOR SHEET VINYL INSTALLATION.
- PROVIDE MANUFACTURER'S RECOMMENDED TRANSITIONS AS REQUIRED BETWEEN FLOORING MATERIALS.
- G.C. TO REVIEW EXISTING WINDOW BLINDS TO ENSURE THEY ARE IN GOOD WORKING ORDER, REPAIR OR REPLACE AS REQUIRED, MATCH EXISTING.
- SEE SPECIFICATIONS FOR FURTHER INFORMATION.

WALL FINISH LEGEND

<p>(P1) MANUF: PPG COLOR: 1023-1 COMMERCIAL WHITE FINISH: EGGHELL LOCATION: TYPICAL FAINT COLOR: ALL AREAS UGN.</p> <p>(P2) MANUF: SHERWIN WILLIAMS COLOR: 9076-41 COLONNADE GRAY FINISH: SEMI GLOSS LOCATION: H1 DOOR FRAMES AND TRIM</p> <p>(P3) MANUF: SHERWIN WILLIAMS COLOR: 9076-41 COLONNADE GRAY FINISH: EGGHELL LOCATION: ACCENT AS NOTED</p> <p>(P4) MANUF: SHERWIN WILLIAMS COLOR: 906-493 EBBTIDE FINISH: EGGHELL LOCATION: ACCENT AS NOTED</p>	<p>(PL1) MANUF: PIONITE COLOR: GRAPHITE SPEKTRUM AE021 FINISH: SUEDE LOCATION: COUNTER TOPS</p> <p>(PL2) MANUF: PIONITE COLOR: MANILA LINEN AT231 FINISH: SUEDE LOCATION: BASE CABINETS</p>
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FLOOR FINISH LEGEND

<p>(C1) CARPET MANUF: SHAW CONTRACT GROUP STYLE: DIFFUSE 59515 COLOR: MAGNETIC FIELDS T5509 TYPE: 24"x24" TILE LOCATION: TYPICAL UGN. QUARTER TURN</p> <p>(LV1) VINYL FLOORING MANUF: ARISTRONG STYLE: VINYL PLANK FLOORING NATURAL CREATIONS TP150 COLOR: CARAMEL LOCATION: COPY/ PANTRY 305</p> <p>(VCT2) MANUF: ARISTRONG STYLE: STANDARD EXCELON 12"x12" COLOR: STANDARD EXCELON 12"x12" LOCATION: SMART CLOSET 302</p>	<p>(B1) BASE MANUF: JOHNSONITE STYLE: 4" VINYL STRAIGHT BASE COLOR: 08 'C'ICLE LOCATION: WITH C1</p> <p>(B2) MANUF: JOHNSONITE STYLE: 4" VINYL COVE BASE COLOR: 08 'C'ICLE LOCATION: WITH VINYL FLOORING</p>
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KEY PLAN

