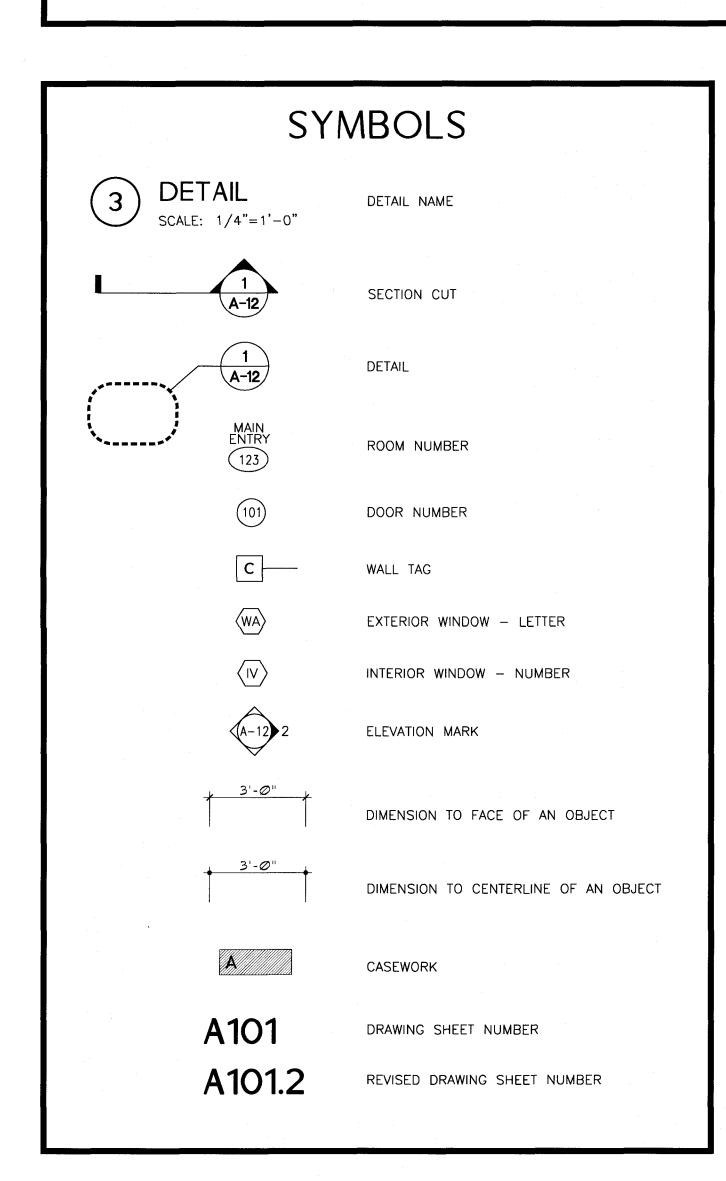
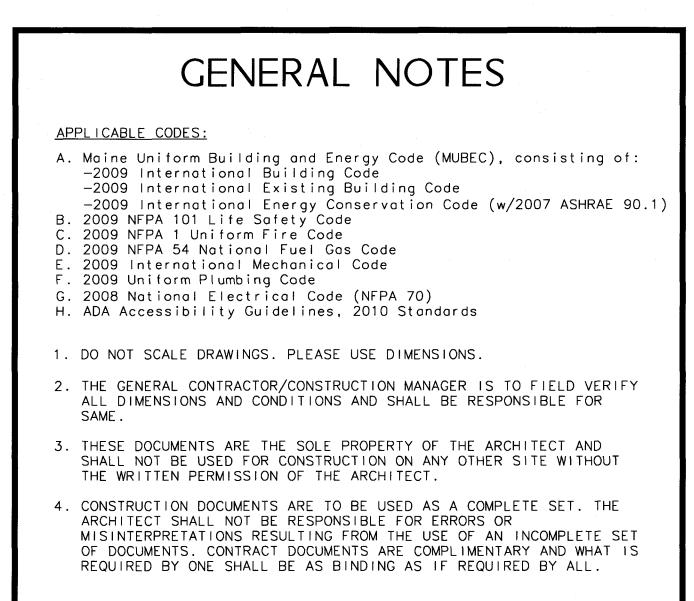
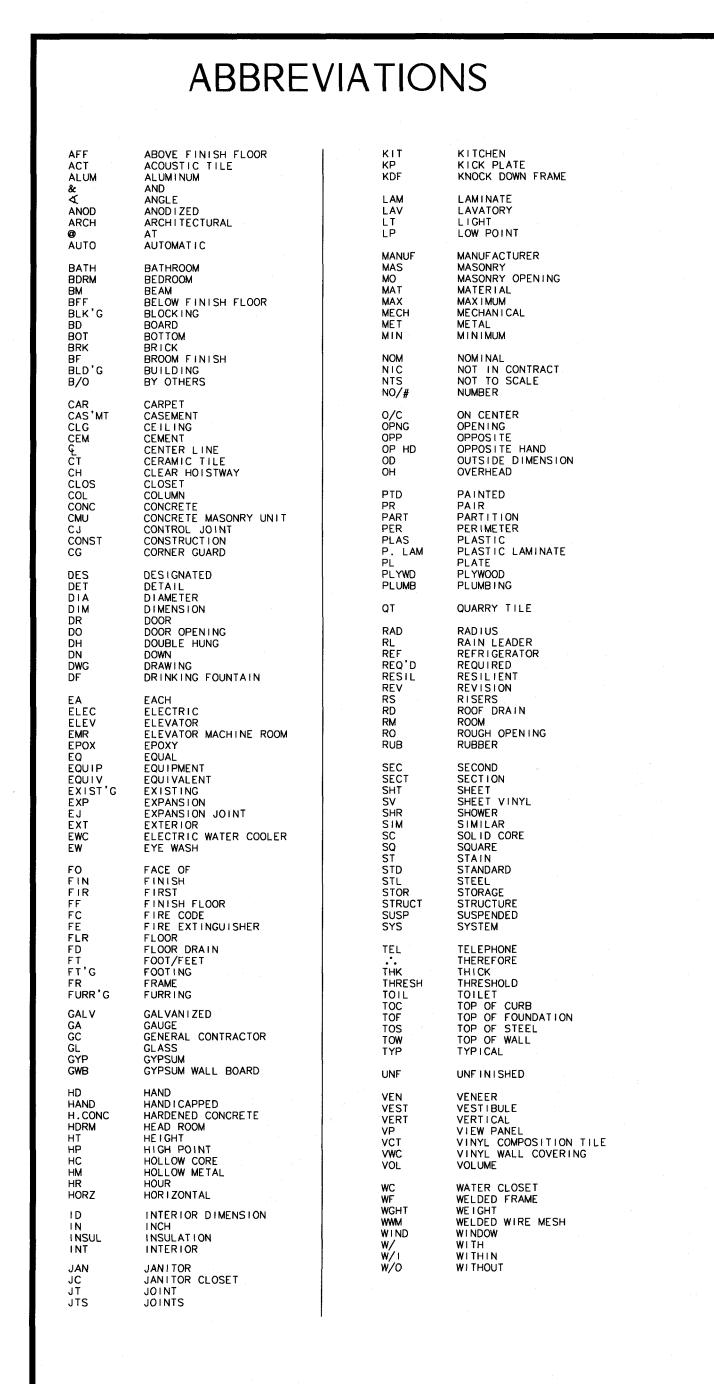
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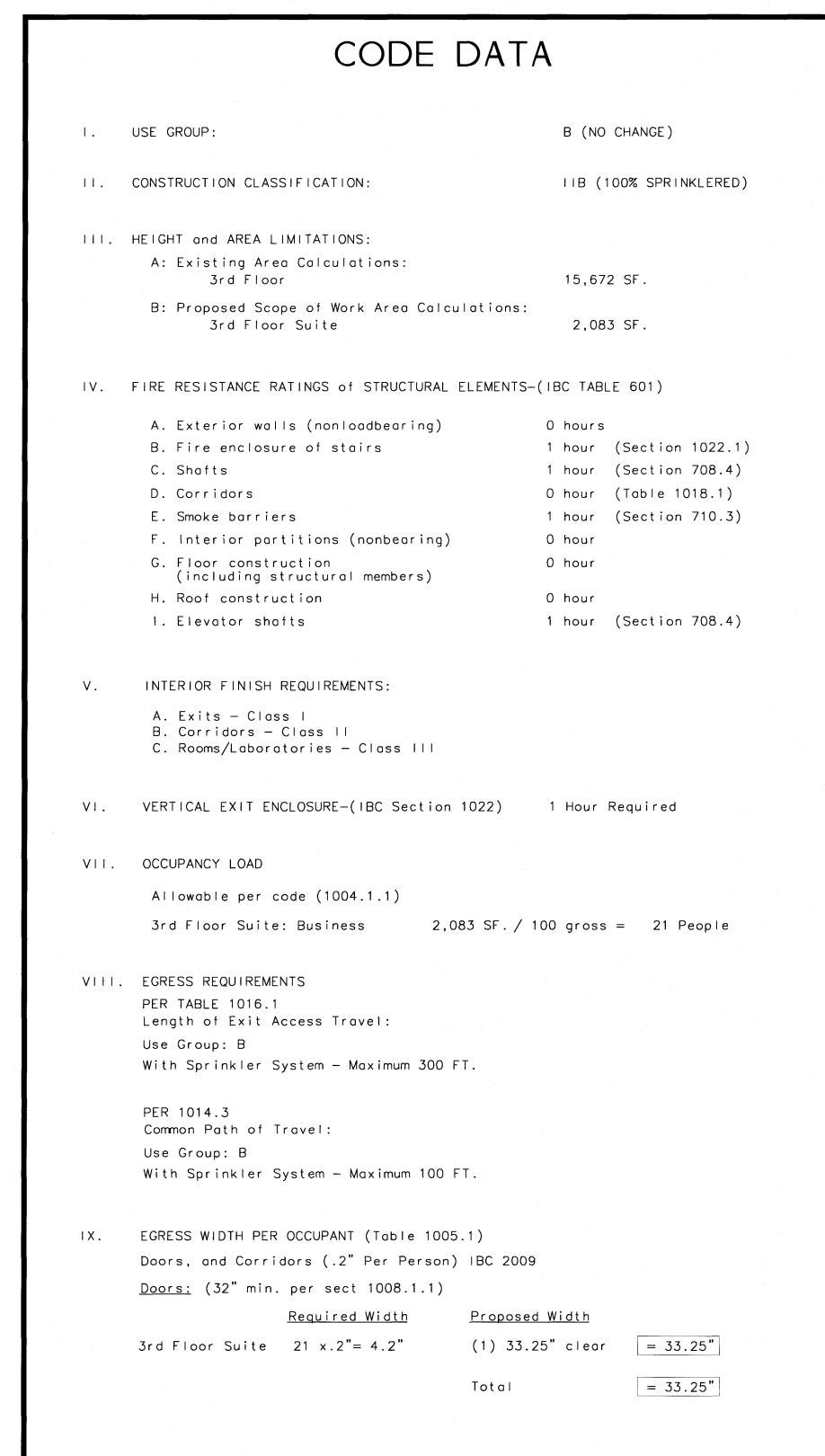
# Portland Field Office Third Floor Renovations

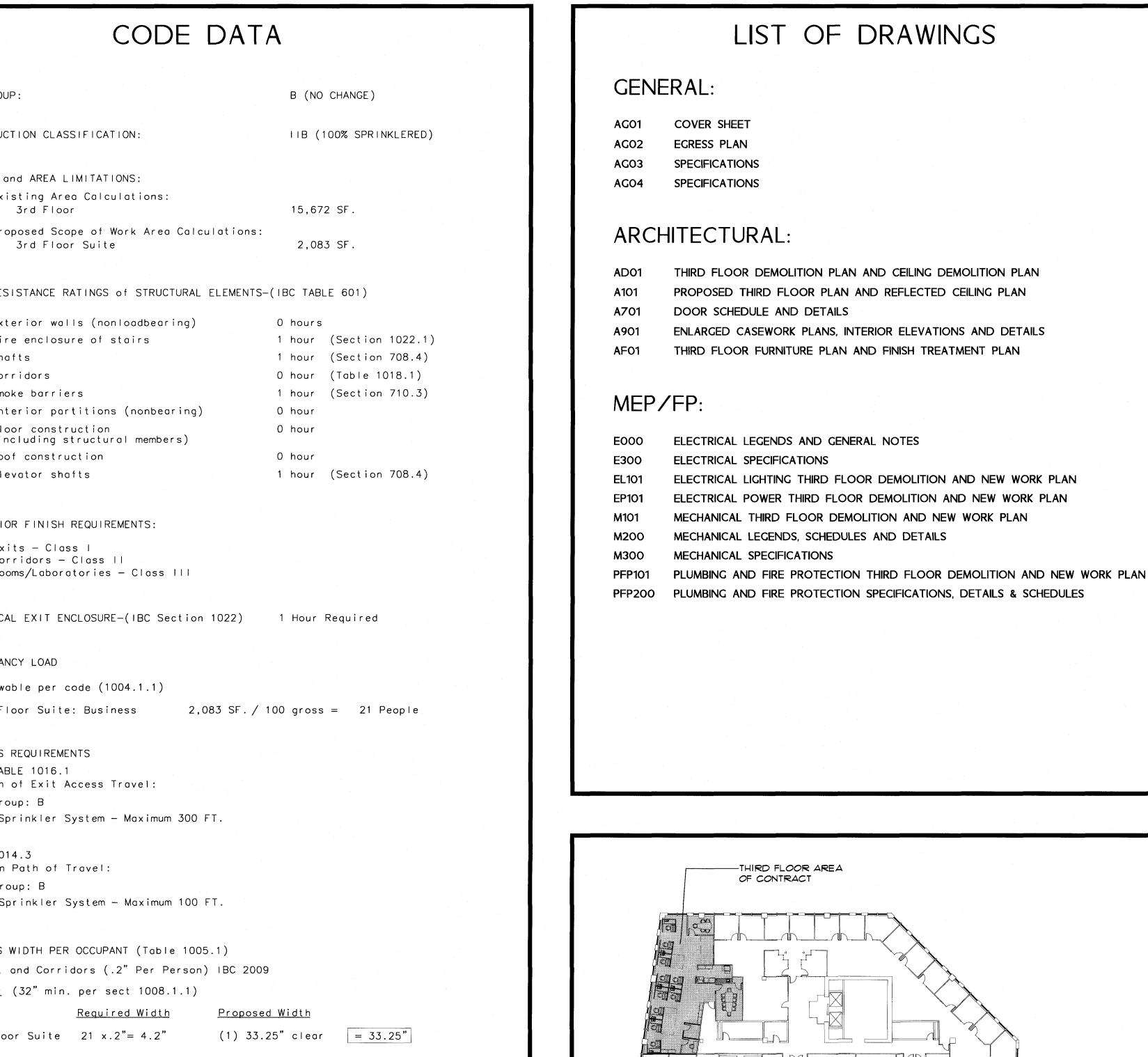
100 Middle Street Portland, Maine

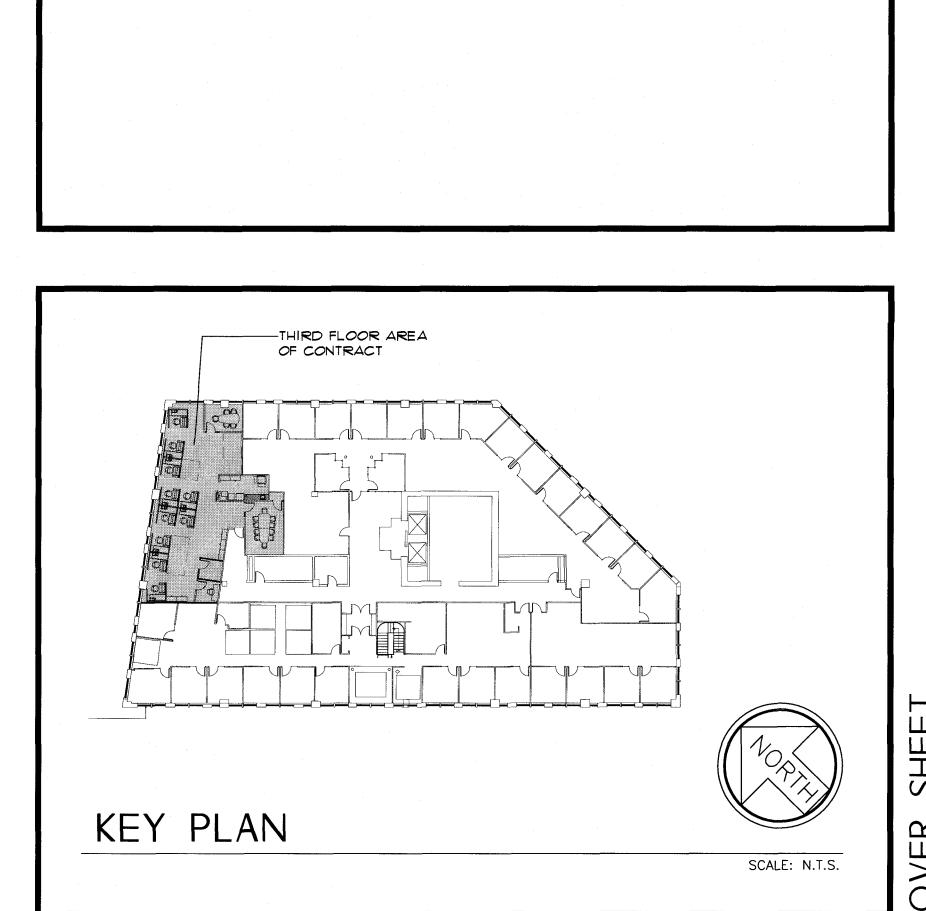






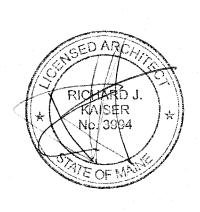






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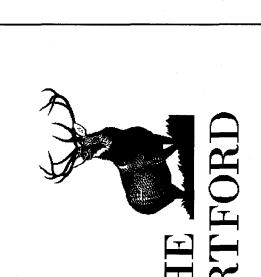
GREYSTONE COURT WEST 573 HºPMEADºW STREET PO BºX 95 SIMSBURY, CT 06070-0095 860-651-3777



Fax 860-651-7316 chk@chkarch.com

Consultants





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Revisions 1 Owner's Review Comments/ Issue for Bid 5/26/16 2 AF101 Huddle 304 Power/ Data Location 6/2/16 /3\Add Workstations 5/20/16

Project Number

Drawn By

### CODE DATA NOTES

I. A VALUE OF 02 INCHES OF WIDTH PER OCCUPANT HAS BEEN USED TO CALCULATE DOOR AND CORRIDOR EGRESS CAPACITY. IN ALL CASES, THE ACTUAL CLEAR OPENING OF THE DOORS AND ACTUAL CLEAR WIDTH OF CORRIDORS IS USED.

#### 2. A VALUE OF Ø.3 INCHES OF WIDTH PER OCCUPANT HAS BEEN USED TO CALCULATE STAIR EGRESS CAPACITY.

DOOR CLEAR OPENING AND OCCUPANT TABLE 3'-0" DOOR = 33.25" / 2 = 166 OCCUPANTS 3'-4" DOOR = 31.25" / 2 = 186 OCCUPANTS 3'-6" DOOR = 39.25" / 2 = 196 OCCUPANTS 4'-0" DOOR = 4525" / 2 = 226 OCCUPANTS PAIR 3'-0" DOORS = 67.5" / 2 = 337 OCCUPANTS

#### CODE DATA LEGEND

ROOM/AREA OCCUPANCY LOAD

--OCCUPANCY TYPE STORAGE

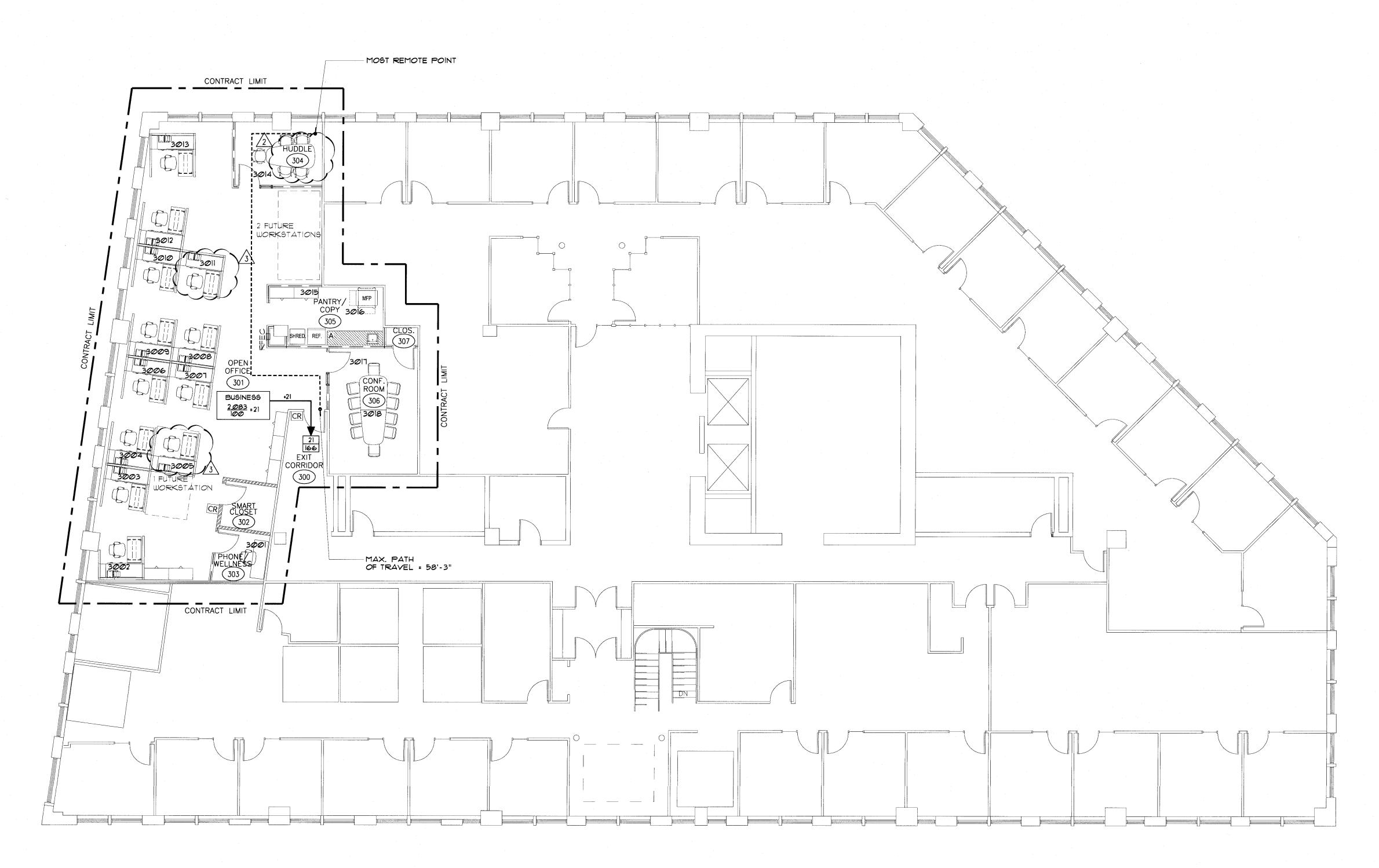
4,900 = 49 ACTUAL OCCUPANCY

OCCUPANCY LOAD FACTOR DOOR CAPACITY

24 - ACTUAL CAPACITY OF DOOR 337 - MAXIMUM ALLOWABLE CAPACITY

DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANT LOAD

•---- MAXIMUM TRAVEL DISTANCE Maximum allowable travel distance: 300'



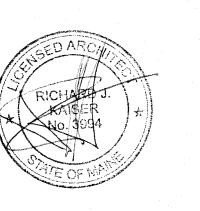
THIRD FLOOR EGRESS PLAN

SCALE: 1/8" = 1'-0"

CLºHESSY HARRIS & KAISER, LLC

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Consultants





Owner's Review Comments/ Issue for Bid 5/26/16 AF101 Huddle 304 Power/ Data Location 6/2/16

5/20/16 1/8" = 1'-0 <u>Project Number</u>

Before Cutting and Patching any items required, obtain the Owner's designated Field Superintendent's approval to proceed.

### <u>Materials:</u> Except as otherwise indicated, or as directed by the

Execution:

General Contractor, use materials for cutting and patching that are identical to existing materials. If identical materials are not available, or cannot be used, use materials that match existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for cutting and patching that will result in equal-or-better performance characteristics than existing construction.

#### Before cutting, examine the surfaces to be cut and patched and the conditions under which the work is to be performed. If unsafe or otherwise unsatisfactory conditions are encountered, take corrective action before proceeding with the work.

Before the start of cutting work, meet at the work site with all parties involved in cutting and patching, including mechanical and electrical trades. Review areas of potential interference and conflict between the various trades. Coordinate layout of the work and resolve potential conflicts before proceeding with the work.

<u>Performance:</u> Cut the work using methods that are least likely to damage work to be retained or adjoining work. Where possible review proposed procedures with the original installer; comply with original installer's recommendations.

Patch with seams which are durable and as invisible as possible. Comply with specified tolerances for the work. Where removal of walls or partitions extends one finished area into another finished area, patch and repair floor and wall surfaces in the new space to provide an even surface of uniform color and appearance. If necessary to achieve uniform color and appearance, remove existing floor and wall coverings and replace with new materials.

Where patch occurs in a smooth painted surface, extend final paint coat over entire unbroken surface containing patch, after patched area has received prime and base

Patch, repair or rehang existing ceilings as necessary to provide an even plane surface of uniform appearance.

SECTION 01340 - SHOP DRAWINGS. PRODUCT DATA & SAMPLES Shop Drawings:

Present in a clear and thorough manner. Title each drawing with Project and Contract name and number; identify each element of drawings by reference to sheet number and detail, schedule, or room number of Contract Documents.

Identify field dimensions; show relation to adjacent or

critical features or work or products. Minimum Sheet Size: Multiples of 8 1/2" X 11".

<u>Product Data:</u>

Submit only pages which are pertinent; mark each copy of standard data to identify pertinent products, referenced to Specification Section. Show reference standards, performance characteristics, and capacities; wiring and piping diagrams and controls; component parts; finishes; dimensions; and related clearances.

Modify manufacturer's standard schematic drawings and diagrams to supplement standard information and to provide information specifically applicable to the work. Delete information which is not applicable.

<u>Samples:</u> Submit full range of manufacturer's standard finishes except when more restrictive requirements are specified, indicating colors, textures, and patterns, for Architect/Engineer selection. Submit samples to illustrate

attachments. Label each sample with identification required by individual

functional characteristics of products, including parts and

Specifications section. General Contractor Review:

Review submittals prior to transmittal; determine and verify field measurements, field construction criteria, manufacturer's catalog numbers, and conformance of submittal with requirements of Contract Documents.

Sign or initial each sheet of shop drawings and product data, and each sample label to certify compliance with requirements of Contract Documents. Notify Architect/Engineer of any deviations from requirements of Contract Documents.

Do not fabricate products or begin work which requires submittals until return of submittal with Architect/Engineer acceptance.

Submittal Requirements: Submit number of copies of product data and manufacturer's instructions Contractor requires, plus two copies which will be retained by the Architect/Engineer.

(Electronic Submission will be accepted.) Submit number of samples specified in individual Specifications section.

Submit under Architect/Engineer accepted form transmittal letter. Identify Project by title and number. Identify work and product by Specifications section.

#### Architect/Engineer Review:

Architect/Engineer will review shop drawings, product data, and samples and return submittals within 30 days (or sooner). The Architect's stamp will read as follows:

NO EXCEPTION TAKEN means that fabrication, manufacture or construction may proceed, providing submittal complies with Contract Documents. Contractor assumes sole responsibility for the required compliance. No response is required of the Contractor.

MAKE CORRECTIONS NOTED means that fabrication, manufacture or construction may proceed, provided submittal is amended and resubmitted to comply with Architect's notations and the Contract Documents, or the Contractor confirms in writing that he will do so. If for any reason. Contractor cannot confirm compliance with notations, Contractor shall resubmit as described for submittals stamped "Rejected".

REJECTED means that submittal does not comply with Contract Documents, and that fabrication, manufacture or construction as submitted must not proceed under any circumstances. Submittals stamped "Rejected" are not permitted on the job site.

REVISE AND RESUBMIT means that fabrication, manufacture or construction may not proceed until submittal is amended and resubmitted to comply with Architect's notations and the Contract Documents.

<u>Distribution:</u> Duplicate and distribute reproductions of shop drawings, copies of product data, and samples, which bear the Architect/Engineer stamp of approval, to iob site file. Record Documents file, subcontractors, suppliers, other affected contractors, and other entities requiring the

information

SECTION 02070 - SELECTIVE DEMOLITION Description of Work:

Extent of demolition work is indicated on drawings. Demolition shall include, but not be limited to, walls, doors and partitions, ceilings, fixtures, mechanical equipment and services, as indicated on drawings. Work shall also include any partial removal of existing construction required to access or modify existing elements, or for the installation of new work.

Project Conditions:

The Owner assumes no responsibility for actual condition of items or structures to be demolished. Except for items or materials indicated to be reused. salvaged, or otherwise indicated to remain the Owner's property, demolished materials shall become the Contractor's property and shall be removed from the site.

Storage of removed items or materials on site will not be

permitted. Conduct demolition operations and remove demolition debris generated to ensure minimum interference with roads, streets, walks and access to areas within the project limits.

Conduct demolition operations to prevent injury to people and damage to portions of the building scheduled to remain. Ensure the safe passage of people around the

Promptly repair damages caused to adjacent facilities by demolition work at no cost to the owner.

The use of explosives will not be permitted. Maintain all existing utilities and protect against damage during demolition operations.

The contractor shall provide secondary containment for any hydraulic fluids, oils or fuels stored on the project

Use water sprinkling or other suitable methods to limit

dust and dirt rising and scattering in the air to lowest

Remove and transport demolition debris in a manner that

Should any water become contaminated with oils, grease, paint or any other substance due to demolition activities, the contractor shall be responsible for disposal of contaminated water in an approved legal manner. Execution:

will prevent spillage on adjacent surface and areas of the

Provide waterproof closures for exterior openings resulting from demolition work.

hexagon head Perform selective demolition work in a systematic manner. Use such methods as required to complete work indicated on drawings in accordance with demolition schedule and governing regulations. grade, steel The contractor shall promptly dispose of demolished

materials. Do not allow demolished materials to accumulate on site. Burning of demolished materials on site is not permitted.

The use of explosives is nor permitted. Burying of demolished materials on site is not permitted. The pouring or washing of waste materials down sewers

or into waterways is not permitted. The contractor shall transport demolished materials off the Owner's site in a legal manner and comply with the hauling and disposal regulations of City, State and Federal authorities having jurisdiction.

Clean Up and Repair:

demolition activities.

Upon completion of demolition work, remove tools, equipment and demolished materials from the site. Remove all temporary protections.

Repair all areas scheduled to remain which may have been damaged during selective demolition. Return these structures and surfaces to their original condition prior to the commencement of selective demolition. Repair adjacent construction or surfaces soiled or damaged by

SECTION 05500 - METAL FABRICATIONS Description of Work:

The extent of metal fabrications is indicated on the drawings and by provisions of this section and shall include, but not be limited to the following:

Miscellaneous clips, plates, channels and angles This section includes items made of iron or steel which are not included as part of Division 5 — Structural Steel, or other metal systems specified elsewhere. <u>Submittals:</u>

Shop Drawings: Show application to project. Furnish setting drawings and templates for installation of bolts and anchors in other work. Indicate shop and field welds by standard AWS welding symbols in accordance with AWS

Product Data: Submit catalog sheets, specifications, and installation instructions for each fabricated item specified, except submit data for fasteners only when directed.

Quality Assurance: Shop fabricate work to the greatest extent possible. Clearly label pieces in shop to facilitate field assembly. Perform welding in compliance with American Welding

greatest extent possible. Take accurate field measurements before preparation of shop drawings and fabrication. Do not delay job progress, allow for field cutting and fitting where taking field measurements before fabrication is not possible. Do not field cut or fit items which have been hot dip galvanized after fabrication.

Society Code. Shop weld and grind connections to the

Steel shapes, plates and bars: ASTM A36 Steel plates to be bent or cold formed: ASTM A 283.

Steel bars and bar size shapes: ASTM A 675, Grade 70, or ASTM A36 Steel tubing: Hot formed, welded or seamless, structural

tubing: ASTM A501 Steel pipe: ASTM A53, type as selected, Grade A, black finish unless galvanizing is required, standard weight (Schedule 40), unless otherwise shown or specified.

Galvanize fasteners for exterior use or for anchorage of metal work to exterior walls. If not indicated, use type, size, style, grade and class as required for secure installation of metal fabrications.

Standard nuts and bolts: ASTM A307, Grade A, regular Lag Bolts: FS FF-B-561 square head Machine bolts: FS FF-B-584 heads: FS FF-N-836 nuts Machine screws: FS FF-S-92, cadmium plated steel Plain washers: FS FF-W-92, round, general assembly Lock washers: FS FF-W-84, helical spring type, carbon Stainless steel fasteners: ASTM A666; Type 302/304 for interior work; Type 316 for exterior work; Philips flathead

(countersunk) screws and bolts.

Concrete inserts: Galvanized ferrous castings; ASTM A47 or ASTM A27; or galvanized pressed steel plate, ASTM A283; type required for anchorage indicated. Externally threaded expansion bolt anchors: FS FF-S-325,

Group II, Type 4, Class 1. Internally threaded expansion shield anchors (for lag bolts): FS FF-S-325, Group II, Type 1 Internally threaded expansion shield anchors (for machine

bolts): FS FF-S-325, Group II, Type 2.

Fabrication:

Use materials of size and thickness indicated. If not indicated, use material of required size and thickness to produce adequate strength and durability for the intended use of the finished product. Provide suitable, compatible anchors and fasteners to support the assembly.

Fabricate items to be exposed to view of material entirely free of surface blemishes including pitting, seam marks. roller marks, rolled trade names and roughness. Remove surface blemishes by grinding or by welding and grinding prior to cleaning, treating, and finishing. Ease exposed edges to a radius of approximately 1/32" unless otherwise noted.

Fabricate joints accurately for close fit. Weld exposed joints continuously unless otherwise noted. Dress exposed welds flush and smooth.

Punch, reinforce, drill and tap metal work as required to receive hardware and other accessory items.

Shop Painting: Thoroughly clean all steel surfaces. Remove oil, grease and similar contaminants in accordance with SSPC SP-1 "Solvent Cleaning". Remove loose mill scale, loose rust, weld slag, spatter and other detrimental material in accordance with SSPC SP-2 "Hand Tool Cleaning", SSPC SP-3 "Power Tool Cleaning", or SSPC SP-7 "Brush Off Blast Cleanina".

Apply high quality, lead free, rust inhibitive primer; Benjamin Moore Ironclad Retardo or architect approved

<u>Installation:</u> Fit and set fabricated metal work accurately in location. alianment and elevation, level, plumb, true and free of rack, measured from established lines and levels. Securely fasten in place and cut off exposed threaded portion of bolts flush with nut.

Adjust railings prior to securing in place to insure alignment and proper matching of joints. Touch up damaged coatings and finishes to eliminate evidence of repair.

Repair minor damage to eliminate all evidence of repair.

Remove and replace any work which can not be

satisfactorily repaired.

SECTION 06100 - ROUGH CARPENTRY Description of Work:

Rough Carpentry includes carpentry work not specified as part of other sections and which is generally not exposed, except as otherwise indicated. Types of work in this section include rough carpentry for wood nailers and blocking, interior blocking (fire retardant treated), and plywood panel boards (fire retardant treated).

Fit carpentry work to other work; scribe and cope as required for accurate fit. Coordinate location of furring, nailers, blocking, grounds and similar supports to allow proper attachment of other work. <u>Fire Retardant Treatment:</u>

Where lumber or plywood is specified or otherwise indicated, provide materials which comply with AWPA Standards for pressure impregnation with fire retardant chemicals, and which have a flame spread rating of not more than 25 when tested in accordance with UL Test 723 or ASTM E 84, and show no increase in flame spread and significant progressive combustion upon continuation of test for additional 20 minutes.

Set carpentry work accurately to required levels and lines, with members plumb and true and accurately cut and

Securely attach carpentry work to substrate by anchoring and fastening as shown and as required by recognized standards.

SECTION 06400 - ARCHITECTURAL WOODWORK Description of Work:

Extent of each type of architectural woodwork is indicated on the drawings and in the schedules.

Types of architectural woodwork include the following: Countertops and Base Cabinets. Quality Assurance:

AWI Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standards" published by the Architectural Woodwork Institute (AWI), except as otherwise indicated. Submittals:

Shop Drawings: Submit Shop Drawings showing location of each item, dimensioned plans and elevations, large scale details, attachment devices and other components. Samples: Submit the following samples of architectural woodwork:

Plastic Laminate: 12" square <u>Measurements:</u>

Before proceeding with fabrication of woodwork required to be fitted to other construction, obtain field measurements and verify dimensions and shop drawing details as required for accurate fit.

Counter and Base Cabinets: Casework "A":

Location: (See Plan) AWI Section 400 Quality Standard: Grade: Premium Construction: As detailed To be selected by Architect Plastic Laminate: Hardware: See Hardware Specs

<u>Installation:</u>

Install woodwork plumb, level, true and straight with no distortions. Shim as required using concealed shims. Install to a tolerance of 1/8" on 8'-0" for plumb and level (including tops); and with no variations in flushness of adjoining surfaces.

Scribe and cut woodwork to fit adjoining work, and refinish cut surfaces or repair damaged finish at cuts. Anchor woodwork to anchors or blocking built—in or

directly attached substrates. Secure to grounds, stripping

and blocking with countersunk, concealed fasteners and

blind nailing as required for a complete installation.

SECTION 07200 - BUILDING INSULATION

Description of Work: Provide all materials, labor, services and equipment to install all building insulation as indicated on the drawings

and as specified herein. Applications of insulation specified in this section shall include the following:

Sound Attenuation Blankets - Specified in Section 09250. Fire Safing Insulation Quality Assurance:

Comply with fire-resistance, flammability and insurance ratings indicated, and comply with regulations as interpreted by governing authorities.

Submit physical samples of each type of insulation for approval in accordance with the general requirements. With product data, submit copies of certified test reports showing compliance with specified performance values, including K-values, densities, burning characteristics, perm ratings, water absorption ratings and similar ratings.

Sound Attenuation Blankets - Specified in Section 09250 Fire Safing Insulation: Provide inorganic (non-asbestos) fibers formed with binders. Semi-rigid felts FS-HH-I-521 Type I, Class 1 and 2; flame spread of 25 by ASTM E 84, 2" thick and as manufactured by United States Gypsum.

<u>Installation:</u> Comply with manufacture's instructions for particular conditions of installation in each case. If printed instructions are not available or do not apply to project conditions, consult manufacture's representative for specific recommendations before proceededing with work. SECTION 07200 - BUILDING INSULATION (CONTINUED)

Extend insulation full thickness as shown over entire area to be insulated. Cut and fit tightly around obstructions and fill voids with insulation. Apply a single layer of insulation of required thickness, unless otherwise shown or required to make up total

Tape joints and ruptures in vapor barriers and seal each continuous area of insulation to surrounding construction to ensure vapor tight installation. Always place vapor barrier on warm side.

Do not install fiberglass insulation on top of or within three inches of recessed light fixtures. This is a requirement of the National Electrical Code to prevent fixture overheating.

SECTION 08110 - HOLLOW METAL FRAMES Quality Assurance:

Where fire-rated door assemblies are indicated or required, provide fire-rated door and frame assemblies that comply with NFPA 80 "Standard for Fire Doors and Windows", and have been tested, listed, and labeled in accordance with ASTM E 152 "Standard Methods of Fire Tests of Door Assemblies" by a nationally recognized independent testing and inspection agency acceptable to authorities having jurisdiction. <u>Submittals:</u>

Shop Drawings: Submit for fabrication and installation of steel frames. Include details of each frame type. conditions at openings, details of construction, location and installation requirements of finish hardware and reinforcements, and details of joints and connections. Show anchorage and accessory items. Provide Schedule of frames using same reference numbers for details and openings as those on Contract Documents.

Standard Steel Frames:

Provide metal frames for doors of types and styles as shown on drawings and schedules. Conceal fasteninas. unless otherwise indicated. Fabricated frames of minimum 16-gauge cold-rolled furniture steel. Fabricate frames with mitered and welded corners.

Except on weatherstripped frames, drill stops to receive 3 silencers on strike jambs of single-swing frames and 2 silencers on heads of double-swing frames. <u>Installation:</u>

Install standard steel frames and accessories in accordance with final shop drawings and manufacturer's data, and as herein specified.

Place frames prior to construction of enclosing walls and ceilings. Set frames accurately in position, plumbed, aligned, and braced securely until permanent anchors are set. After wall construction is completed, remove temporary braces and spreaders leaving surfaces smooth and undamaged.

partitions, place studs in wall anchor notches and wire

tie. In closed steel stud partitions, attach wall anchors

Install fire—rated frames in accordance with NFPA Standard No. 80. In metal stud partitions, install at least 3 wall anchors per jamb at hinge and strike levels. In open steel stud

SECTION 08210 - WOOD DOORS

to studs with tapping screws.

Quality Assurance: Non-Fire Rated Wood Doors: NWMA Industry Standard I.S.-1 Commercial Standard CS-171 "Wood Flush Doors" of the National Woodwork Manufacturer's Association. Factory mark each door with the NWMA "Quality Certified" seal of approval for conformance with NWMA I.S.-1.

Fire-Rated Wood Doors: Where fire resistant classifications are shown or scheduled for wood door assemblies, provide doors which comply with requirements of NFPA No. 80 "Standard for Fire Doors and Windows" and which have been tested and rated with single point hardware by UL. Provide UL label on each door. <u>Submittals:</u>

Product Data: Submit door manufacturer's product data, specifications and installation instructions for each type of wood door. Include details of core and edge construction, trim for openings and louvers (if any) and similar components.

Shop Drawings: Submit Shop Drawings indicating the location and size of each door, elevation of each kind of door, details of construction, location and extent of hardware blocking, fire ratings and other pertinent data.

Products - Fabrication Requirements:

Non-Label Doors: Construct using 5 ply method. Wood used shall be thoroughly seasoned, kiln dried with a moisture content of not less than 5% and not greater than 8%. Core construction shall be particle board Timblend or Novoply conforming to commercial standard CS236-66. Cross bands shall be 1/16" thick hardwood extending full width of door and laid with grain at right angles to face veneers. Stile edge bands shall be two-ply laminated to the core. Outer stile shall be of same species as face veneers. Two-ply rails of mill option hardwoods shall be used. Stile and rails must measure a minimum of 1 3/8". Cross bands and faces shall be laminated to the core with Type I. 100% waterproof melamine fortified urea glue, by the hot plate process. Doors shall be 1 3/4" thick.

Label Fire Doors: Type of construction shall be the standard of the door manufacturer and shall conform to UL requirements. The appropriate label shall be provided on each door. All 20, 45, 60 and 90 minute mineral core doors shall be constructed using an inner stile of 1/2" thick Marinite for added butt hinge screw holding <u>Materials:</u>

Solid Core Doors: Comply with the following requirements: Faces: 1/32" thick, AWI "Premium Grade". Hardwood <u>Veneer to match Building Standard.</u> Construction: PC-5 (Particle Board Core, 5-ply) Edge Construction: Solid, Plain Sawn, Hardwood to match veneer. Openings: Factory cut openings for lites and louvers, trimmed as shown with same solid wood species as exposed edges/mouldings.

plain sliced birch veneer slush wood doors at locations

where doors are indicated to be painted.

Provide 1-3/4" solid core NWMA I.S.-1 good grade

SECTION 08700 - BUILDERS HARDWARE Description of Work:

All new doors shall be equipped with lock sets and latch sets as indicated on the Drawings and as outlined here. All locks shall be masterkeyed as directed by the Owner. Coordinate work of this section with the requirements of the the building security system.

General Requirements:

Provide the proper hardware which permits the swing and hand of each door as indicated on the drawings. Base Metal: Provide plated brass or bronze with the exception of stainless steel and aluminum items.

Fasteners: Provide concealed fasteners to the greatest

extent possible. Do not use through bolts unless otherwise acceptable to the Architect. Coordinate items to be provided by the owner's security vendor prior to generating the hardware schedule.

<u>Submittals:</u> Hardware Schedule: Prepare and submit a complete schedule for approval by the Architect. The schedule submitted will be based upon an examination of the Drawings and this Specification and review of on-site standard hardware items. The schedule should include all

catalog numbers of all items listed. Product Data: Submit manufacturer's product data, catalog cuts, descriptive data, UL listings and other pertinent technical data for each hardware item used. Submit certifications of fire ratings for hardware items located in rated assemblies.

Samples: Submit samples of each finish to be exposed. Show full range of color and finish variations expected. Quality Assurance:

Source: For each type of hardware required for the work of this section, provide products of a single manufacturer. Comply with Americans with Disabilities Act Accessibility Guidelines (ADAAG) and applicable local requirements. Delivery, Storage and Handling: Packaging: Package and label each hardware item

separately with all screws, bolts and accessories required for a complete and proper installation. Coordinate the labeling of packages with hardware set numbers. Store hardware items in locked spaces. Replace all hardware items lost or damaged. Provide copies of

supplier receipts for hardware items delivered to the

project site. Products:

Locksets: Building Standard Lever Lockset Trim Style: Match Building Standard Vertical Rod Exit Device: Match Building Standard or

Corbin Russwin - ED5400 Series Closers: Match Building Standard or LCN Smoothie 4110 Hinges: 4-1/2" Anti-friction Bearing Hinges

Push Plates: Match Building Standard Pulls: Match Building Standard Floor Stop: Match Building Standard or Rockwood #442 Wall Bumper: Not to be used per HIG.

Rockwood 8" H x 2" less than dr width Match Building Standard Finish Armor Plate: Match Building Standard or Rockwood 36" H x 2" less than door width

Kick Plate: Match Building Standard or

Match Building Standard Finish Match Building Standard Brass Finish

Comply with manufacturer's instructions and recommendations, except where more restrictive requirements are specified in this section. Install hardware on doors and frames at locations conforming to ANSI and NAHM standards, DHI mounting heights, except where specifically indicated otherwise or required by authorities having jurisdiction.

possible. Set exterior thresholds in a continuous bed of sealant.

Set hardware plumb, level and in exact alignment and

location. Conceal and countersink fasteners wherever

each door, to ensure proper operation and function of every unit. Replace units which cannot be adjusted to operate freely and smoothly as intended for the application Clean exposed surfaces using non-abrasive materials and

methods recommended by manufacturer of hardware being

Provide temporary protection to ensure work being without

Remove protections and re-clean as necessary immediately

cleaned. Remove and replace work which cannot be

damage or deterioration at time of final acceptance.

successfully cleaned.

prior to final acceptance.

Adjust and check each operating item of hardware and

Description of Work: "Glass" includes prime glass, processed glass, and fabricated glass products. "Glazing" includes glass

installation and materials used to install glass. Types of work in this section include glass and glazing for: Interior Side Lite: 3/8" clear tempered

Mirrors: 1/4" thick glass mirror with silver coating

Quality Assurance:

Prime Glass Standard: FS DD-G-451 Heat-Treated Glass Standard: FS DD-G-1403 Location: Generally all areas where indicated new. Glass Products:

Float/Plate Glass: Type I, Quality g3, clear unless otherwise indicated; where indicated to be tinted, provide manufacturer's standard color. <u>Processed Glass:</u>

Tempered Glass: Provide prime glass of color and type indicated, which has been treated to strenathen alass in bending to not less than 4.5 times annealed strength. Provide tempered glass produced by manufacturer's special process which eliminates tong marks. Where indicated to be tinted, provide manufacturer's standard

Mirror Glass: 1/4" thick, ASTM C 1503, Quality q2 clear float glass: full silver coating, copper coating and organic coating. Edges to be uniformly ground and polished. Fabricated Glass Units: Insulating Glass: Provide 2 sheets of glass as follows, and

1/2" dry air or gas filled space with -20 degrees F dew

maintain a hermetic seal and fabricated with the following

characteristics: Vision Unit: 1/4" bronze annealed (exterior); 1/2" air space; 1/4" clear annealed (interior).

point, with Class A sealant type edge construction to

Edge Construction: Twin primary seals of polyisobutylene; tubular aluminum or galvanized steel spacer bar frame with welded or soldered sealed corners, and filled with desiccant; and secondary seal outside of bar, bonded to both sheets of glass and bar, of polysulfide, silicone or hot melt butyl elastomeric sealant (fabricator's option).

warranty on maintained hermetic seal. <u>Glazing:</u> Install setting blocks of proper size in sill rabbet, located

1/4 of glass width from each corner. Set blocks in thin

Warranty: Provide manufacturer's standard 10 year product

course of heel bead compound. Set units of glass in each series with uniformity of pattern, draw, bow, and similar characteristics.

Clean and trim excess glazing materials from glass and stops or frames promptly after installation, and eliminate stains and discolorations.

Cure, Protection and cleaning: Protect exterior glass from breakage immediately upon installation, by use of crossed streamers attached to framing and held away from glass. Do not apply markers to glass surfaces. Remove nonpermanent labels and clean

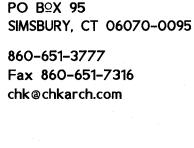
Remove and replace glass which is broken, chipped, cracked, abraded or damaged in other ways during construction period, including natural causes, accidents and vandalism.

Wash and polish glass on both faces and comply with

manufacturer's recommendations for final cleaning.

SECTION 08800 - GLASS & GLAZING

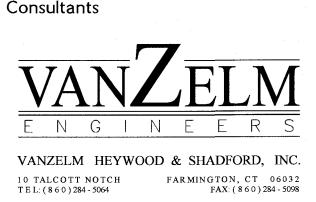
GREYSTONE COURT WEST 573 HOPMEADOW STREET Interior Non Rated Door Lites: 3/8" clear tempered PO BºX 95 Interior Rated Door Lites: 3/8" clear tempered



**CLOHESSY** 

HARRIS &

KAISER, LLC





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Revisions /1\ Owner's Review Comments/ Issue for Bid 5/26/16 /2\AF101 Huddle 304 Power/ Data Location 6/2/16 3 Add Workstations

5/20/16 Project Number Drawn By

N.T.S.

16023

Quality Assurance:

Gypsum Board Standard: Moisture and fire resistive rating ASTM C-1396 by Gypsum Association.

ASTM C-1396 by Gypsum Association.

Metal Support Standard: ASTM C-754

Fire Resistance Rating: Where gypsum drywall systems with

fire resistance ratings are indicated or are required to comply with governing regulations, provide materials and installations identical with applicable assemblies which have been tested and listed by recognized authorities including UL, F.M. and or other testing agencies acceptable to authorities having jurisdiction.

Materials:

Metal Support Materials:

Studs: ASTM C 645, 7/8" furring channels, 1 5/8", 2 1/2", 3 5/8", 6", 25 gauge at 24" on center.

Runners: Match studs, type recommended by stud manufacturer for floor and ceiling support of studs, and for vertical abutment of drywall work at other work.

Stud System Accessories: Provide stud manufacturer's standard clips, shoes, ties, reinforcements, fasteners and other accessories as needed for a complete stud system.

Gypsum Board Products:

Gypsum Wallboard: ASTM C36, with tapered long edges, 5/8" thickness except as otherwise indicated; in maximum lengths available to minimize end to end butt joints.

Regular Type except Type X for fire—resistant rated assemblies.

Trim Accessories:

Provide manufacturer's standard trim accessories of types indicated for drywall work, formed of galvanized steel unless otherwise indicated, with either knurled and perforated or expanded flanges for nailing or stapling, and beaded for concealment of flanges in joint compound. Provide corner beads, trim beads, (USG No. 200-A), and one piece control joint beads.

Joint Treatment Materials:

General: ASTM c 475, type recommended by the manufacturer for the application, except as otherwise

Joint Tape: Perforated type.

supported on gypsum alone.

between boards.

Joint Compound: Ready—mixed vinyl type for interior use, 2 separate grades; one specifically for bedding tapes and filling depressions, and one for topping and sanding.

filling depressions, and one for topping and sanding.

Miscellaneous Materials:

Sound Attenuation Blankets: FS HH-I-251, Type I; semi rigid mineral fiber blanket without membrane, Class 25

attenuation blankets outlined here are based on USG Thermafiber SAFB Blankets or Architect approved equal.

Installation:

flame spread; 1" thick at shaftwall assemblies. Sound

Installation of interior metal wall support system:

Install supplementary framing, blocking and bracing to support fixtures, equipment, services, heavy trim, furnishings and similar work which cannot be adequately

Isolate stud system from transfer of structural loading to system, both horizontally and vertically. Provide slip or cushioned type joints to attain lateral support and avoid axial loading.

Install runner tracks at floors, ceilings and structural walls and columns where gypsum drywall stud system abuts other work, except as otherwise indicated.

Frame door openings with vertical studs securely attached by screws at each jamb either directly to frames or to jamb anchor clips on door frame, install runner track sections (for jack studs) at head and secure to jamb studs.

General gypsum board installation requirements:

Install sound attenuation blankets in the walls of all rooms indicated on plans prior to gypsum board unless product can be readily installed after board has been

Install wall/partition boards vertically to avoid end butt joints wherever possible.

Install exposed gypsum board with face side out. Butt boards together with not more than 1/16" open space

Form control joints and expansion joints where indicated or as recommended by the manufacturer or industry standards with space between edges of boards, prepared to receive trim accessories.

Space fasteners in gypsum boards in accordance with referenced standards and manufacturer's recommendations, except as otherwise indicated.

Installation of drywall trim accessories:

General: Where feasible, use the same fasteners to anchor trim accessory flanges as required to fasten gypsum board to the supports. Otherwise, fasten flanges by nailing or stapling in accordance with manufacturer's instructions and recommendations.

Installation of drywall finishing:

General: Apply treatment at gypsum board joints (both directions), flanges of trim accessories, penetrations, fasteners heads, surface defects and elsewhere as required to prepare work for decoration. Pre-fill open

joints and rounded or beveled edges, using type of

compound recommended by manufacturer.

Apply joint compound in 3 coats (not including pre-fill of openings in base), and sand between last 2 coats and after last coat.

SECTION 09510 - ACOUSTICAL CEILINGS

Description of Work:

Drawings and includes:

Acoustical panel ceiling: 2'-0" x 4'-0"

Mineral Acoustical Tile with Tegular Edge and Exposed

Ceiling Suspension System:

Suspension System.

Comply with ASTM C 635, as applicable to the type of suspension system required for the type of ceiling unit indicated. Coordinate with other work supported by or penetrating through the ceilings, including light fixtures, HVAC equipment, partition system, and sprinkler heads.

Acoustical Panel System: 2'-0" x 4'-0"

Location: Generally all areas where indicated new.

Type: Exposed non-fire rated direct hung suspension

Structural Class: Intermediate duty (ASTM C 635).

System: 9/16" Grid as manufactured by Armstrong or

System: 9/16" Grid as manufactured by Armst approved equal.

Color: White.

Ceiling Units:

Location: Generally all areas.

Product: Armstrong Cortega Second Look with Tegular Edge or approved equal.

Size: 24" x 48" x 5/8"

Fire Rating: Class A

NRC: .55-.65

Light Reflectance: .80 or higher.

CAC: 30-44
Color: White

<u>Installation:</u>

Install materials in accordance with manufacturer's printed instructions, and to comply with governing regulations, fire resistance rating requirements as indicated, and industry standards applicable to work.

Layout acoustical units to comply with Reflected Ceiling Plans.

Install tile and panels with pattern running in one direction.

Install suspension systems to comply with ASTM C 636, with hangers supported only from building structural members. Locate hangers near each end and spaced 4'-0" along each carrying channel or direct hung runner, unless otherwise indicated, leveling to tolerance of 1/8" in 12'-0".

Install edge moldings of type indicated at perimeter of acoustical ceiling area and at locations where necessary to conceal edges of acoustical units. Screw attach moldings to substrates at intervals not over 24" o.c. and not more than 3" from ends. Miter corners accurately and connect securely.

Install acoustical panels in coordination with suspension system, with edges concealed by support of suspension members. Scribe and cut regressed edge of panels to fit accurately at borders and at penetrations. Paint or finish cut edges of tile as recommended by manufacturer to provide uniform appearance.

SECTION 09650 - RESILIENT FLOORING

Description of Work:

Extent of each type of acoustical ceiling is shown on the Drawings and includes:

The extent of resilient flooring required is indicated on the Finish Treatment Plan.

Quality Assurance:

Manufacturer: Provide each type of resilient flooring and accessories as produced by the manufacturer specified, including recommended primers, adhesives and sealants.

the type of Submittals:

Product Data: Submit manufacturer's technical data and installation instructions for each type of resilient flooring and accessory.

Samples: Submit 3 sets of samples of each type, color finish of resilient flooring and accessory required, including full range of color and pattern variation. Provide full size tile units, and 6" long samples of accessories.

Maintenance Instructions: Submit 2 copies of

Maintenance Instructions: Submit 2 copies of manufacturer's recommended maintenance practices for each type of resilient flooring and accessory required.

Replacement materials: After completion of work, deliver to project site the following replacement materials:

Vinyl Base: 12-4' lengths of each, same type, color and

height installed.

Vinyl Composition Tile: 2 boxes of each, same color, lot and size as installed.

Products:
Vinyl Tile:

As indicated on Finish Treatment Plans
Vinyl Wall Base:

As indicated on Finish Treatment Plans

Concrete Slab Primer:

Provide non-staining type as recommended by flooring manufacturer.

Adhesives:

Vinyl Flooring and Base: Provide water proof stabilized type as recommended by flooring manufacturer to suit material and substrate conditions.

Preparation:

Broom clean or vacuum surfaces to be covered, and inspect subfloor.

inspect subfloor.

Use leveling compound as recommended by flooring manufacturer for filling small cracks and depressions in subfloors.

<u>Installation:</u>

Vinyl Composition Tile:

Place flooring with adhesive cement in strict compliance with manufacture's recommendations. Butt tightly to vertical surfaces, thresholds, etc. Scribe around obstructions to produce neat joints, laid tight, even and straight. Extend flooring into toe spaces, door reveals, and into closets and similar openings.

Tightly cement flooring to subbase without cracks, voids, raising and puckering at joints, telegraphing of adhesive spreader marks or other surface imperfections. Hand roll flooring at perimeter of each covered area to assure adhesion.

Vinyl Base:

Apply base to walls, columns, pilasters, casework and other permanent fixtures in rooms or areas where base is required.

Install base in lengths as long as practical, with preformed corner units or fabricated from base materials with mitered or coped inside corners.

Cleaning and Protection:

Remove any excess adhesives or other surface blemishes, using neutral type cleaners as recommended by flooring manufacturer. Protect installed flooring with heavy Kraft paper or other protective covering.

After completion of project, and just prior to final inspection of work, thoroughly clean floors and accessories. Apply polish and buff, with type of polish, number of coats, and buffing procedures in compliance with flooring manufacturer's instructions.

SECTION 09680 - CARPET TILE

Description of Work:

The extent of carpet tile work is shown on the drawings, and in the Finish Schedule and is defined to include carpet tile, adhesive, edge treatment and accessories.

Quality Assurance:

Installer: A firm with not less than 5 years of experience in installation of commercial carpet tile, by methods similar to those required for this project.

Flammability Test Compliance:

Carpet Tile to comply with the following standards:

NFPA 253 Flooring Radiant Panel Test Standard (0.22)

watts/sq/cm or greater).

NFPA 258 Optical Density Standard (450 or less).

ASTM D2859 Pilltest Standard.

Submittals:

Manufacturer's Data: Submit data to show compliance with quality standard requirements, including manufacturer's instructions and recommendations for installation and maintenance

instructions and recommendations for installation and maintenance.

Test Reports: Submit three copies of Certified Test Reports to show Carpet Tile materials comply with flammability

requirements of this Section.

Samples: Submit one (1) full tile sample of each solid color and pattern noted in Finish Legend to Architect for approval.

Product Delivery and Storage:

Deliver carpet tile in original packaging with manuf. label and order no. intact. Follow manufacturer's guidelines for storing prior to installation. Protect from other trades.

Maintenance:

Maintenance Materials: Confirm replacement stock percentage with client/owner prior to ordering.

Maintenance Manual: Submit manufacturer's complete recommendations for the care, cleaning and maintenance of carpet tile prepared after detailed analysis of Owner's intended occupancies and resulting traffic conditions.

Warranty:

Provide special warranty, signed by Contractor, Installer and Manufacturer (Carpet mill) on agreed upon wear performance and appearance, backing, adhesive, and installation.

Products:

Carpet Tile: Refer to Finish Drawings.

Per-Installation Requirements:

Carpet Accessories:
Installation Adhesive: Water-resistive type as recommended by carpet or cushion manufacturer, and which complies with flammability requirements for installed carpet.
Transition Strips: Refer to section 09650 Resilient Flooring.
Wall Base: Refer to section 09650 Resilient Flooring.

Execution:

conditions under which carpeting is to be installed. Repair minor holes, cracks, depressions or rough areas using material recommended by carpet or adhesive manufacturer. Notify Contractor in writing of major conditions detrimental to proper completion of the work. Do not proceed until unsatisfactory conditions have been corrected.

Examine substrates for moisture content and other

Clear away debris and scrape up cementitious deposits from surfaces to receive carpeting; vacuum clean immediately before installation. check concrete surfaces to ensure no "dusting" through installed carpet; apply sealer where required to prevent dusting.

Sequence carpeting with other work so as to minimize possibility of damage and soiling of carpet during remainder of construction period.

Installation:
Comply with

Comply with manufacturer's instructions and recommendations for seam locations and direction of carpet; maintain uniformity of direction and lay of pile. At doors, center seams under door; do not seam in traffic direction at doorways.

Extend carpet tile under open-bottomed and raised-bottom obstructions, and under removable flanges of obstructions. Extend carpet into closets and alcoves of rooms indicated to be carpeted, unless another floor finish is indicated for such spaces. Extend carpet under movable furniture and equipment.

Cleaning and Protection:

Vacuum carpet after installation. Clean carpet if required as per manufacturer's instructions to ensure warranty compliance.

Protect carpet from other trades and finish work prior to final walk—thru and agreed upon substantial completion.

SECTION 09900 - PAINTING

Quality Assurance:

Provide primers and other undercoat paint produced by same manufacturer as finish coats. Use only thinners approved by paint manufacturer, and use only within recommended limits.

Review prime paints which are to be used to ensure compatibility of total coatings system for various substrates. Upon request from other trades, furnish information or characteristics of finish materials provided for use, to ensure compatible prime coats are used.

Product Data: Submit manufacturer's technical information including paint label analysis and application instructions for each material proposed for use.

On 12" x 12" hardboard, provide two samples of each color and material, with texture to simulate actual conditions. Resubmit samples as requested by Architect until acceptable sheen, color, and texture is achieved.

Provide best quality grade of various types of coatings as regularly manufactured by acceptable paint materials manufacturers. Materials not displaying manufacturer's identification as a standard, best grade product will not

Gypsum Wallboard: Acrylic latex flat, 2 coats and 1

primer coat.

Hollow Metal Frames: Acrylic latex semi-gloss, 2 coats and 1 primer coat. (Primer coat can be omitted on frames that are provided shop primed.

Painted Wood Doors: Acrylic latex semi-gloss, 2 coats

and 1 primer coat.

Ferrous Metal: Acrylic latex semi-gloss enamel, 2 coats and 1 coat rust inhibitive primer. Primer coat required on items that are shop primed.

Colors: As indicated on Finish Treatment Plan.

Apply paint in accordance with manufacturer's directions. Use applicators and techniques best suited for substrate and type of material being applied.

Apply additional coats when undercoats, stains or other conditions show through final coat of paint, until paint film is of uniform finish, color and appearance. Give special attention to ensure that surfaces, including edges, corners, crevices, welds, and exposed fasteners receive a dry film thickness equivalent to that of flat surfaces.

Clean up and Protection:

During progress of work, remove from the site, discarded paint materials, rubbish, cans and rags at the end of each work day.

Protect work of other trades, whether to be painted or not, against damage by painting and finishing work. Correct any damage by cleaning, repairing or replacing and repainting, as acceptable to Architect.

other paint spattered surfaces. Remove spattered paint by proper methods of washing and scraping, using care not to scratch or otherwise damage finished surfaces.

At the completion of work of other trades, touch—up and

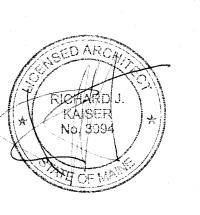
restore all damaged or defaced surfaces.

Upon completion of painting work, clean window glass and

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Consultants

chk@chkarch.com





E HARTFORD rtland Field Office rd Floor Renovations

Revisions

1 Owner's Review Comments/ Issue for Bid 5/26/16

2 AF101 Huddle 304 Power/ Data Location 6/2/16

3 Add Workstations 6/20/16

Date 5/20/16
Scale N.T.S.
Project Number 16023
Drawn By KJP

AGO4

#### HAZARDOUS MATERIALS

HAZARDOUS MATERIALS MAY EXIST IN THE BUILDING. NEITHER THE OWNER NOR THE ARCHITECT WARRANTIES OR GUARANTEES THE AREA OF WORK TO BE FREE OF HAZARDOUS, OR NUISANCE HAZARD MATERIAL. CONSTRUCTION MANAGER IS TO REVIEW THE STATUS OF HAZARDOUS MATERIALS ABATEMENT IN ALL AREAS BEFORE THE START OF CONSTRUCTION.

HAZARDOUS MATERIALS INCLUDE ASBESTOS PIPE, COVERING (INSULATION), VINYL ASBESTOS TILE, SOME LINOLEUM, LEAD BASED PAINT, AND LATEX DUST. NUISANCE HAZARD MATERIAL INCLUDES FIBERGLASS.

BEFORE COMMENCING WORK, THE CONTRACTOR MUST REVIEW ASBESTOS ABATEMENT WORK PLAN WHICH WILL BE PROVIDED BY THE CONSTRUCTION MANAGER, IF APPLICABLE.

#### DEMOLITION LEGEND

\_\_\_\_\_

<u>\_\_\_\_\_</u>

EXISTING PARTITIONS TO REMAIN EXISTING PARTITIONS TO BE DEMOLISHED EXISTING DOOR TO BE DEMOLISHED EXISTING SIDELITE/ WINDOWS TO BE REMOVED

TO BE REMOVED

EXISTING COUNTER AND/OR UPPER SHELVING

**DEMOLITION NOTES** 

I. DEMOLITION CONTRACTOR SHALL LEAVE AREA BROOM CLEAN AT THE COMPLETION OF DEMOLITION CONTRACT.

2. CONTRACTOR SHALL CLEAN ANY AREA OUTSIDE OF THE CONTRACT LIMIT THAT BECOMES DIRTY AS A RESULT OF DEMOLITION. CLEANING SHALL BE DONE DAILY.

3. EXISTING WALLS, DOORS, EQUIPMENT AND FRAMES TO BE REMOVED ARE SHOWN DASHED.

4. PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN.

- 5. THE CONTRACTOR SHALL LIMIT HIS USE OF THE PREMISES TO THE WORK INDICATED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT.
- 6. THE WORK SHALL BE CONDUCTED IN A MANNER WHICH WILL PROVIDE THE LEAST POSSIBLE INTERFERENCE TO THE ACTIVITIES OF THE BUILDING TENANTS.
- WHERE REMOVAL OF WALLS OR PARTITIONS EXTENDS BEYOND ONE FINISHED AREA INTO ANOTHER FINISHED AREA, PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE. IF NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE, REMOVE EXISTING FLOOR
- AND WALL COVERINGS AND REPLACE WITH NEW MATERIALS. 8. PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY ITEMS SCHEDULED FOR REMOVAL
- 9. REMOVE FROM THE SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. TRANSPORT REMOVED MATERIALS AND DISPOSE OF OFF SITE IN A LAWFUL MANNER.

WHICH SHALL BE SALVAGED AND RETURNED TO THE OWNER.

10. WHERE ITEMS HAVE BEEN REMOVED, REMOVE ALL WIRING BOXES, SURFACE MOUNTED RACWAYS/COUNDUITS AND FASTENERS.

- 11. PATCH AND REPAIR ALL SURFACES AS REQUIRED TO RESTORE
- SURFACES TO THEIR ORIGINAL CONDITION. 12. ALL ITEMS SCHEDULED TO BE RELOCATED ARE TO BE STORED IN A
- SECURE, DRY AREA UNTIL THEY ARE REINSTALLED. 13. STORE EXISTING LIGHT FIXTURES SCHEDULED TO BE REMOVED FOR
- RE-USE. REFER TO REFLECTED CEILING PLAN FOR RELOCATION. 14. STORE EXISTING DOORS SCHEDULED TO BE REMOVED FOR RE-USE.
- 15. STORE EXISTING INTERIOR WINDOW-LITES SCHEDULED TO BE REMOVED FOR POSSIBLE RE-USE.

#### DEMOLITION KEYED NOTES

- (1) SALVAGE EXISTING DOORS FOR RE-USE THROUGH-OUT.
- SALVAGE EXISTING LIGHT FIXTURES FOR RE-USE THROUGH-OUT.
- SEE REFLECTED CEILING PLAN, AIØI.
- PREP FOR NEW FLOORING AND NEW WALL PAINT.

(3) EXISTING FLOOR AND WALL FINISHES TO BE REMOVED THROUGH-OUT.

- $\left\langle 4 \right\rangle$  remove existing counter wall supports and overhead shelves.
- (5) REMOVE EXISTING FIRE EXTINGUISHER.
- $\langle 6 \rangle$  coordinate extent of walls to be demolished with floor plan, aigi.
- $\langle 7 \rangle$  Existing ceiling grid and light fixtures to remain as shown.

#### CEILING DEMOLITION LEGEND

EXISTING ACOUSTICAL SUSPENDED CEILING AND GRID TO REMAIN (APPROXIMATELY 1'-11" AFF.)

EXISTING ACOUSTICAL SUSPENDED CEILING AND GRID TO BE REMOVED -----

EXISTING 2x LIGHT FIXTURE TO BE REMOVED

EXISTING SPRINKLER HEAD TO REMAIN

OR RELOCATED

- EXISTING SPRINKLER HEAD TO BE REMOVED OR RELOCATED
- EXISTING DIFFUSER TO BE REMOVED OR RELOCATED
  - EXISTING EXIT SIGN TO REMAIN.

## CEILING DEMOLITION NOTES

- I. EXISTING CEILING GRID, LIGHTS AND ALL OTHER CEILING MOUNTED ITEMS TO BE REMOVED ARE SHOWN DASHED. REMOVE ALL ASSOCIATED WIRES, HANGERS AND FASTENERS.
- 2. PROTECT ALL EXISTING SURFACES SCHEDULED TO REMAIN DURING ALL CONSTRUCTION PHASES.
- 3. WHERE REMOVAL OF CEILING SYSTEM AND LIGHTS EXTENDS BEYOND ONE FINISHED AREA INTO ANOTHER FINISHED AREA, PATCH AND REPAIR CEILING TO PROVIDE AN EVEN SURFACE OF UNIFORM COLOR AND APPEARANCE, IF NECESSARY TO ACHIEVE UNIFORM COLOR AND APPEARANCE, REMOVE EXISTING CEILING AND REPLACE WITH NEW MATERIALS.
- 4. PROTECT ALL EXISTING EQUIPMENT SCHEDULED TO REMAIN DURING ALL CONSTRUCTION PHASES.
- 5. THE CONTRACTOR SHALL LIMIT HIS USE OF THE PREMISES TO THE WORK INDICATED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT.
- 6. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE ITEMS TO BE SALVAGED OR RETURNED TO OWNER.

GREYSTONE COURT WEST

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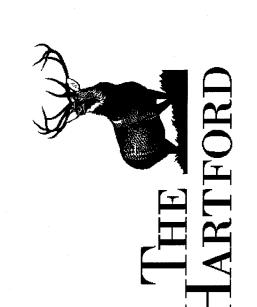
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Consultants

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CLºHESSY HARRIS &

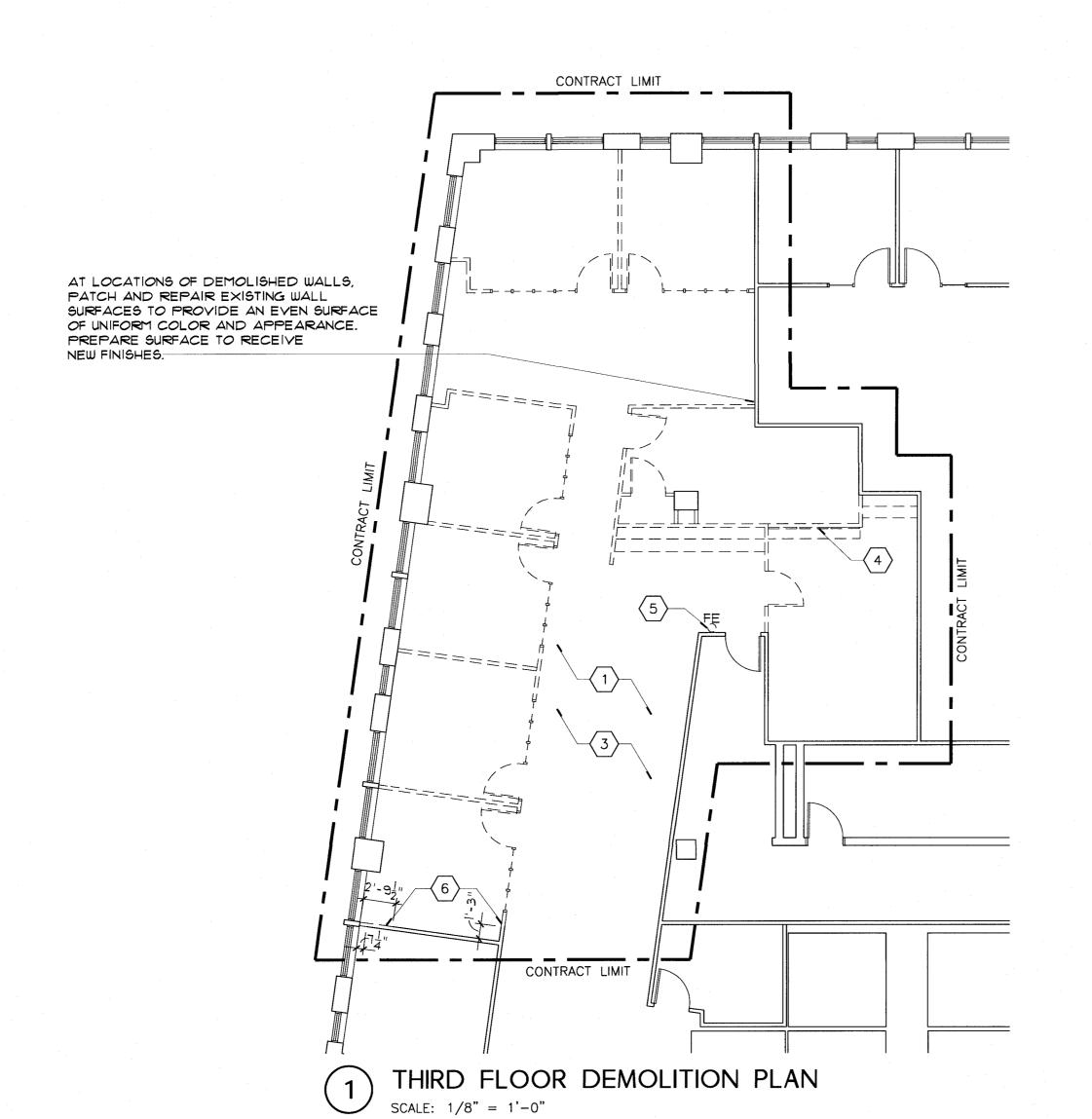
KAISER, LLC

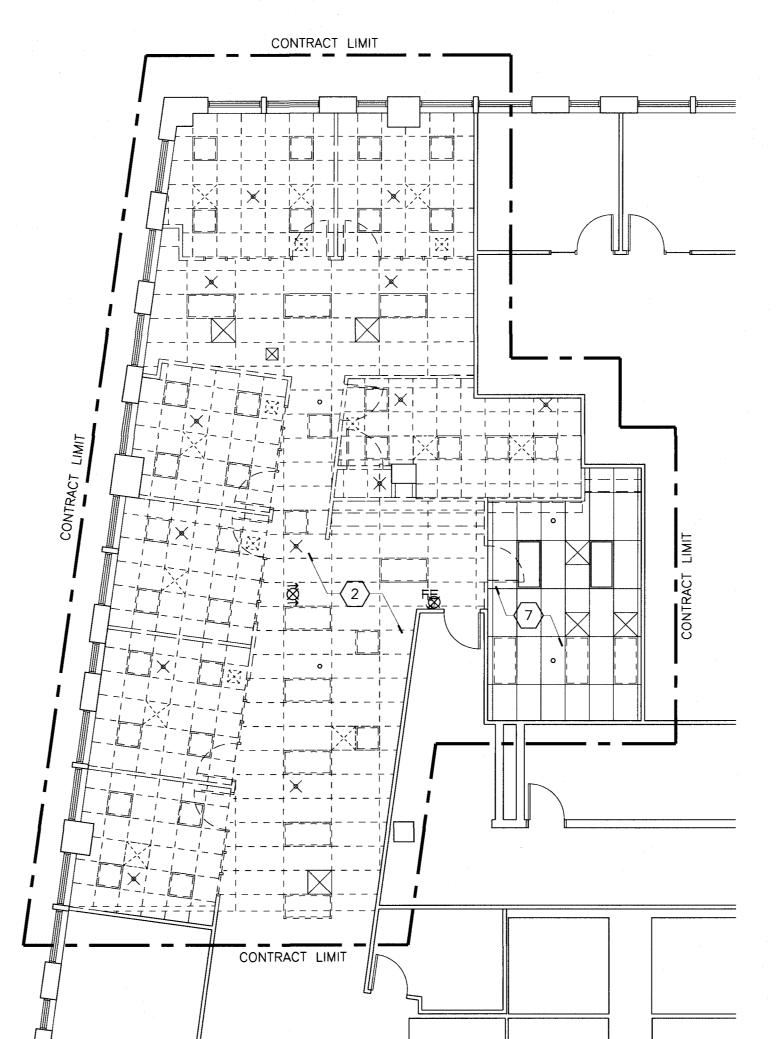


5/20/16 1/8" = 1'-0"

<u>Project Number</u>

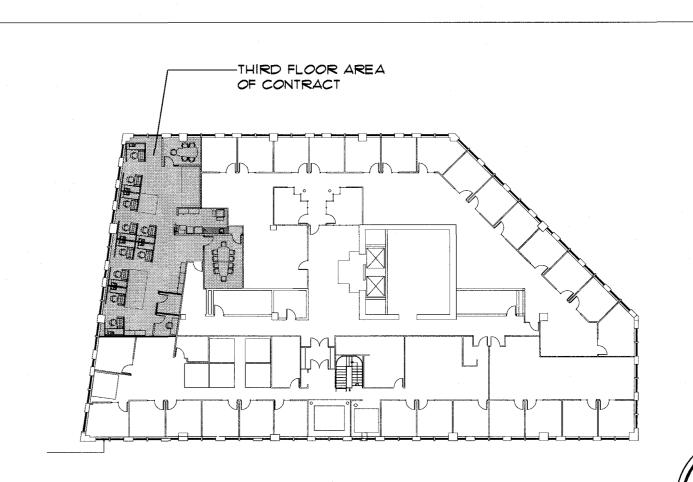
Drawn By





THIRD FLOOR CEILING DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



KEY PLAN

SCALE: N.T.S.

#### FLOOR PLAN NOTES

- 1. ALL DIMENSIONS ARE TO THE FINISH FACE OF THE WALL (-+) OR TO THE CENTERLINE OF THE COLUMN (-+).
- 2. REPAIR ANY DAMAGED WALL AND FLOOR SURFACES, AS A RESULT OF CONSTRUCTION ACTIVITIES, TO A CONDITION WHICH IS ACCEPTABLE TO THE OWNER
- AND WHICH PROVIDES A SUITABLE SUBSTRATE FOR NEW FINISHES. 3. THE CONTRACTOR SHALL LIMIT HIS USE OF THE PREMISES TO THE WORK INDICATED.
- DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT. 4. REMOVE FROM THE SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM CONSTRUCTION ACTIVITIES. TRANSPORT REMOVED MATERIALS AND DISPOSE OF OFF SITE IN A LAWFUL MANNER.
- 5. ALL FULL HEIGHT STEEL STUD WALLS AND WALLS FRAMED TO THE UNDERSIDE OF STEEL BEAMS AND JOISTS SHALL UTILIZE A SLIP TRACK CONNECTION AT THE TOP OF WALL TO ALLOW FOR DEFLECTION, AS REQUIRED.
- 6. STEEL STUD WALLS SHALL BE DIAGONALLY BRACED FROM ABOVE THE CEILING TO THE STRUCTURE ABOVE WITH 3 5/8" STEEL STUDS AT 4'-0" O.C. MAX.
- 7. ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED.
- 8. THE WORK SHALL BE CONDUCTED IN A MANNER WHICH WILL PROVIDE THE LEAST POSSIBLE INTERFERENCE TO BUILDING TENANTS.
- 9. FURNISH AND INSTALL FIRE EXTINGUISHER CABINETS AS INDICATED, MOUNTED 36" AFF. TO THE BOTTOM OF THE CABINET. LOCATION OF NEW FIRE EXTINGUISHER CABINETS IS INDICATED WITH "RFEC". FIRE EXTINGUISHER CABINETS TO BE SEMI- RECESSED STYLE CABINET, LARSEN ARCHITECTURAL SERIES, OR EQUIVALENT.
- 10. NEW TENANT SECURITY DEVICES INCLUDING CARD READERS, TO BE PROVIDED AND INSTALLED BY TENANT'S SECURITY VENDOR. G.C. TO COORDINATE W/ VENDOR.
- 11. IN CONFERENCE ROOM 306, AT LOCATION OF FLAT SCREEN MONITOR, PROVIDE HORIZONTAL, CONTINUOUS, FIRE RETARDANT TREATED WOOD BLOCKING IN WALL, AND BACKER PLATE.

#### WALL LEGEND

3 5/8" 25 GAUGE METAL STUDS @ 16"O.C. WITH 5/8" GYPSUM BOARD ON 1 EACH SIDE. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE SUSPENDED ACOUSTICAL CEILING. (NOT USED)

3 5/8" 25 GAUGE METAL STUDS @ 16"O.C. WITH 5/8" GYPSUM BOARD ON 2 -----EACH SIDE. SOUND ATTENUATION BLANKETS ARE TO BE PLACED IN THE PARTITION CAVITY AND ARE TO BE PLACED ABOVE THE CEILING, RUNNING THE LENGTH OF THE PARTITION AND EXTENDING 24" IN BOTH DIRECTIONS PERPENDICULAR TO THE LENGTH OF THE PARTITION. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE SUSPENDED

ACOUSTICAL CEILING. 3 5/8" 25 GAUGE METAL STUDS @ 16"O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. VAPOR BARRIER AND SOUND ATTENUATION BLANKETS ARE TO BE PLACED IN THE PARTITION CAVITY RUNNING THE LENGTH OF THE PARTITION. PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF

THE DECK ABOVE. 3 5/8" 25 GAUGE METAL STUDS @ 16"O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. SOUND ATTENUATION BLANKETS ARE TO BE PLACED IN THE PARTITION CAVITY. PARTITIONS ARE TO EXTEND TO THE

UNDERSIDE OF THE DECK ABOVE.

#### SYMBOLS LEGEND

- RFEC RECESSED FIRE EXTINGUISHER CABINET (RFEC)
- CR NEW CARD READER

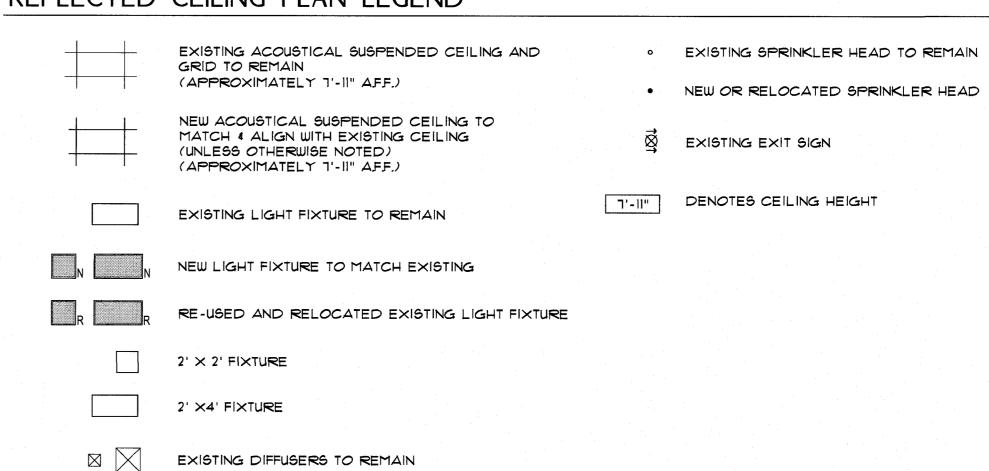
#### REFLECTED CEILING PLAN GENERAL NOTES

- I. NEW CEILING SYSTEM TO BE INSTALLED, UNLESS SHOWN OTHERWISE. 2. GENERAL CONTRACTOR TO COORDINATE LOCATION OF CEILING AND LIGHT SUPPORTS. ANY CONFLICTS BE BROUGHT TO THE ATTENTION OF THE
- ARCHITECT. 3. EXISTING HYAC DIFFUSERS AND SPRINKLER HEADS ARE SHOWN FOR COORDINATION PURPOSES ONLY.
- 4. CENTER ALL NEW OR RELOCATED ACOUSTICAL CEILING SYSTEMS IN ROOM UNLESS OTHERWISE NOTED.
- 5. REWORK EXISTING HVAC SUPPLY AND RETURN AS REQUIRED FOR NEW WALL CONFIGURATIONS. REFER TO MEP/FP DRAWINGS.
- 6. REWORK EXISTING SPRINKLERS AND INSTALL NEW SPRINKLERS AS REQUIRED.
- REFER TO MEP/FP DRAWINGS.
- INSTALLED IN THE CENTER OF CEILING TILES. 8. REPLACE ANY STAINED OR DAMAGED CEILING TILES AS REQUIRED IN AREAS WITH EXISTING CEILING TO REMAIN. AREAS TO RECEIVE REUSED TILES TO HAVE THE TILES SELECTED SO AS TO BE UNDAMAGED, AND TO BE SIMILAR IN COLOR AND TEXTURE.

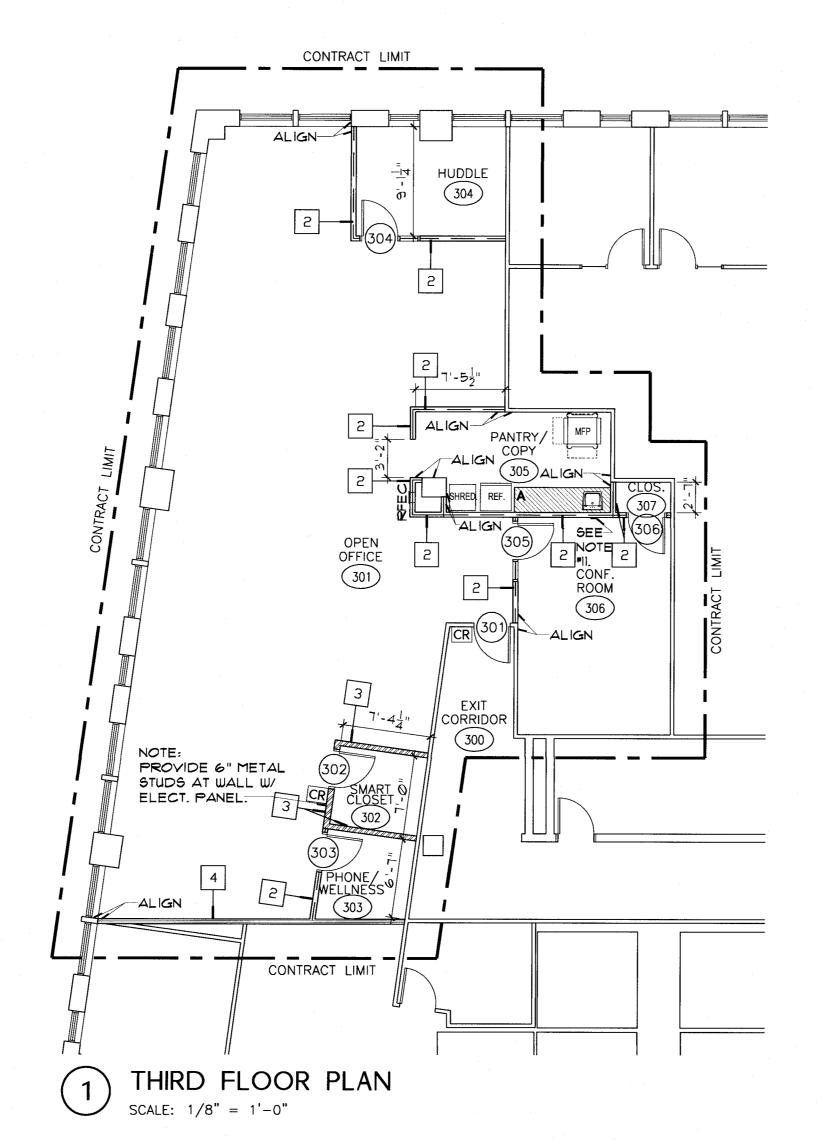
1. ALL NEW OR RELOCATED LIGHT FIXTURES, DIFFUSERS AND SPRINKLERS TO BE

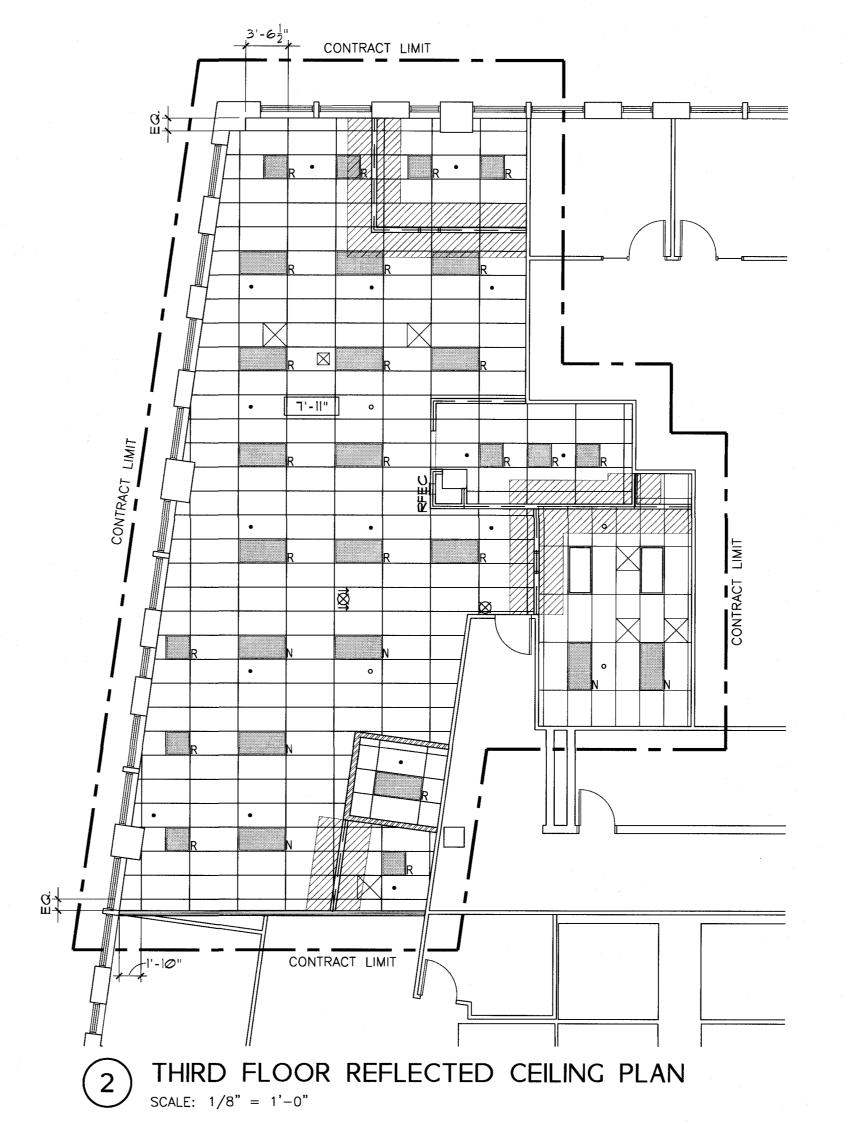
- 9. EXISTING LIGHT FIXTURES TO BE RE-USED. CLEAN AND RELAMP LIGHTING FIXTURES THAT ARE TO BE REUSED OR EXISTING TO REMAIN. NEW LAMPS TO MATCH IN COLOR TEMPERATURE.
- 10. INSTALL SOUND ATTENUATION INSULATION ABOVE CEILING, 2'-0" ON EACH SIDE OF WALL TYPE '2' AS INDICATED ON PLAN WITH HATCH PATTERN, U.O.N. BATT INSULATION SHALL HAVE A FLAME SPREAD NO GREATER THAN 25 AND SMOKE DEVELOPMENT NOT GREATER THAN 50. PROVIDE THERMOFIBER LIGHT PROTECTION KIT AT THE LIGHT FIXTURES WITHIN THE CEILING AREAS.

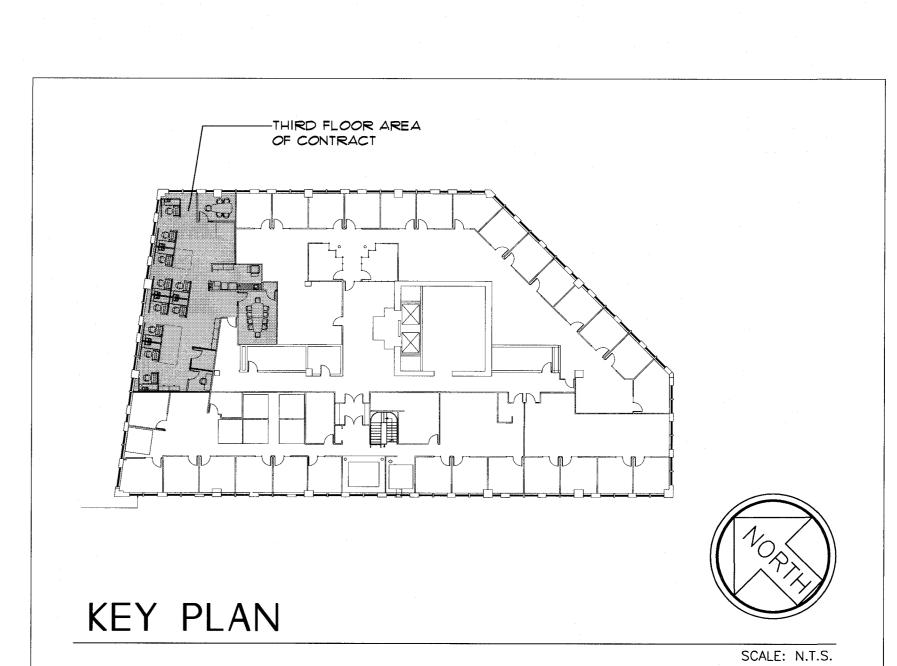
## REFLECTED CEILING PLAN LEGEND



SOUND ATTENUATION BLANKETS 24" EACH SIDE OF WALL







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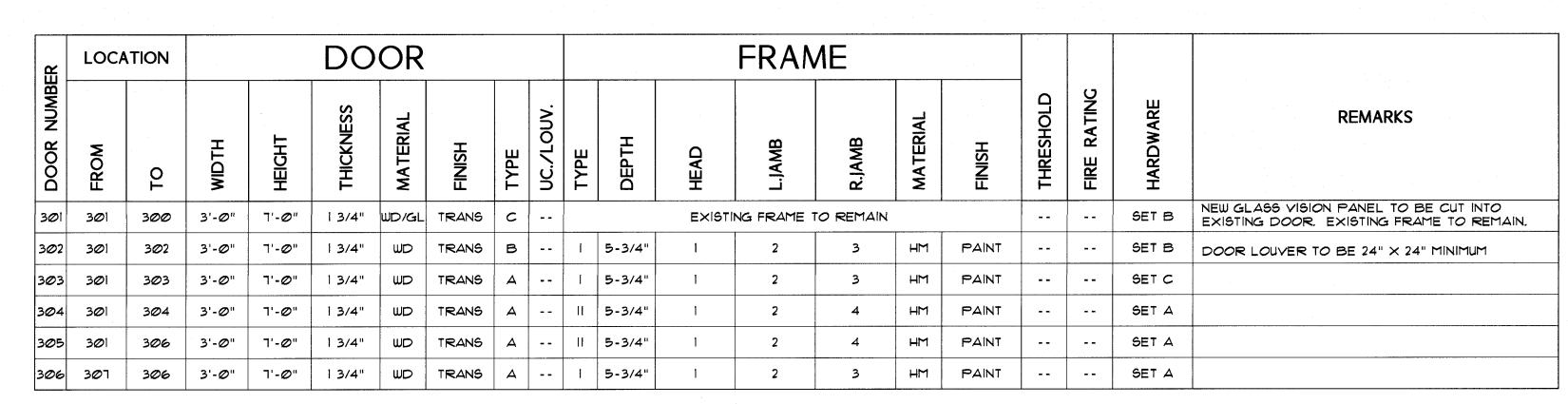


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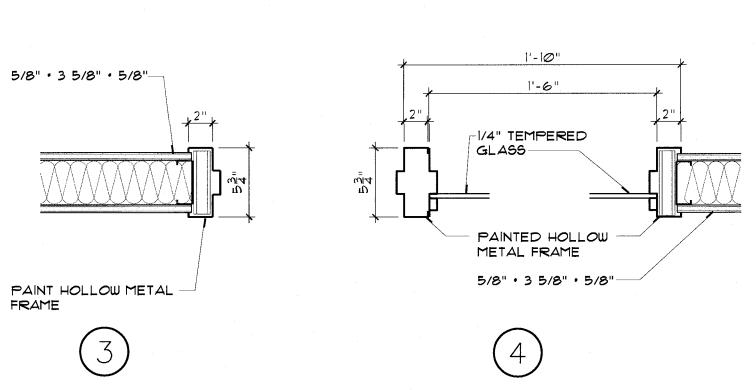
1/8" = 1'-0"

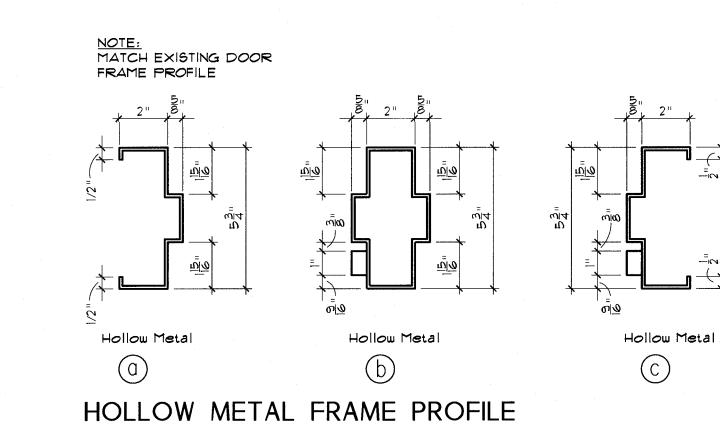
<u>Project Number</u>

Drawn By



- 1. HARDWARE TO MATCH ICC/ANSI AII7,1-2003 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES REQUIREMENTS.
- 2. REUSED DOORS TO BE SELECTED FROM AVAILABLE SUPPLY OF DOORS SALVAGED FROM DEMOLITION. G.C. TO SELECT THE HIGHEST QUALITY DOORS AVAILABLE. EXISTING SCRATCHES OR DINGS TO BE CLEANED, INFILLED OR TOUCHED UP AS MUCH AS POSSIBLE, SELECTED DOORS TO BE OF SIMILAR SPECIES AND STAIN COLOR TO THE EXTENT POSSIBLE.
- 3. CONTRACTOR SHALL PROVIDE NEW DOOR FRAMES AND HARDWARE AS INDICATED AND DETAILED, INCLUDING ALL RELATED ACCESSORIES, MATERIALS AND LABOR FOR A COMPLETE INSTALLATION.
- 4. COORDINATE ALL KEYING REQUIREMENTS WITH THE BUILDING OWNER AND TENANT. ALL EXISTING KEYED CYLINDER CORES TO BE CHANGED OUT TO BLANK CORES.
- 5. ALL EXISTING HARDWARE SHOULD BE REVIEWED BY HARDWARE SUB-CONTRACTOR FOR FUNCTION AND ANY NEEDED REPAIRS SHOULD BE MADE.
- 6. NEW ENTRANCE DOORS WITH WOOD STYLE AND RAIL AND GLASS PANEL TO HAVE WOOD STAINED TO MATCH TYPICAL BUILDING STANDARD WOOD STYLE AND RAIL ENTRANCE DOORS.





SCALE 3"=1'-0"



--5/8" • 3 5/8" • 5/8"

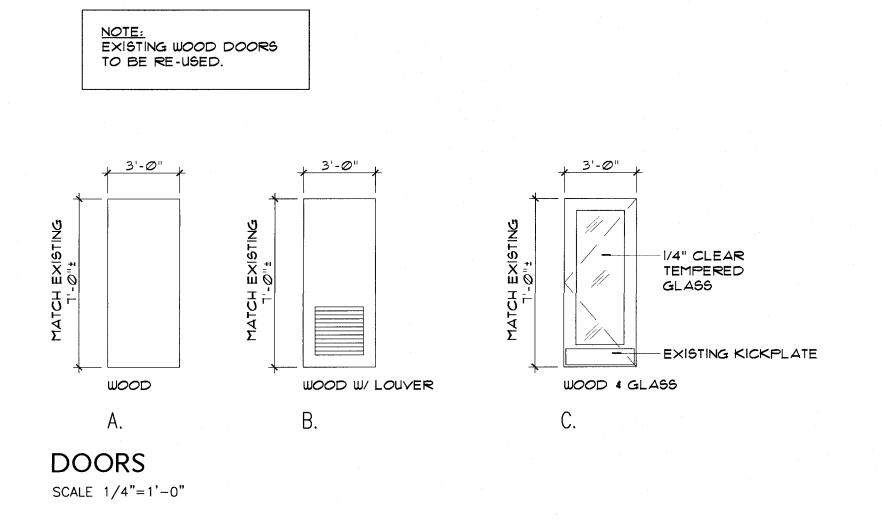
WALL CONDITIONS -VARY SEE PLAN

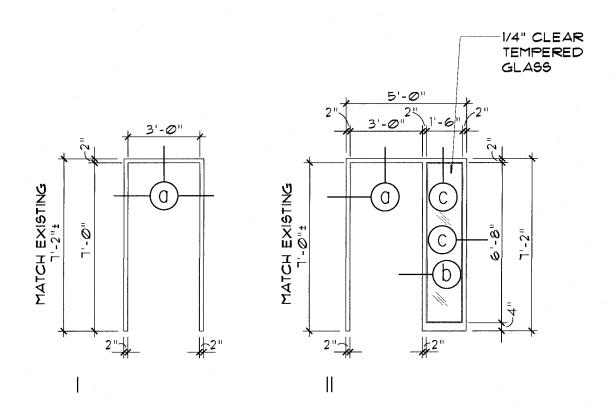
METAL CORNER BEAD -

- PAINT HOLLOW METAL -

(TYPICAL)

FRAME





HOLLOW METAL FRAMES SCALE 1/4"=1'-0"

## HARDWARE SETS

SET A (CONFERENCE ROOM, HUDDLE ROOM, CLOSET) 1 1/2 PR BUTTSLATCHSET: PASSAGE SET

FLOOR STOPSILENCERS

SET B (ENTRANCE DOOR, SMART ROOM) I PR BUTTS · DOOR CLOSER

· FLOOR STOP · SILENCERS KICKPLATE SECURITY VENDOR TO PROVIDE:

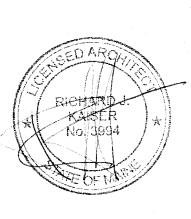
• ELECTRIFIED MORTISED LOCKSET: STORAGE FUNCTION

I ELECTRIFIED TRANSFER HINGE
POWER SUPPLY · CARD READER REQUEST TO EXIT DEVICE

SET C

(PHONE/ WELLNESS ROOM) I 1/2 PR BUTTSLOCKSET: PRIVACY FUNCTION FLOOR STOP · SILENCERS

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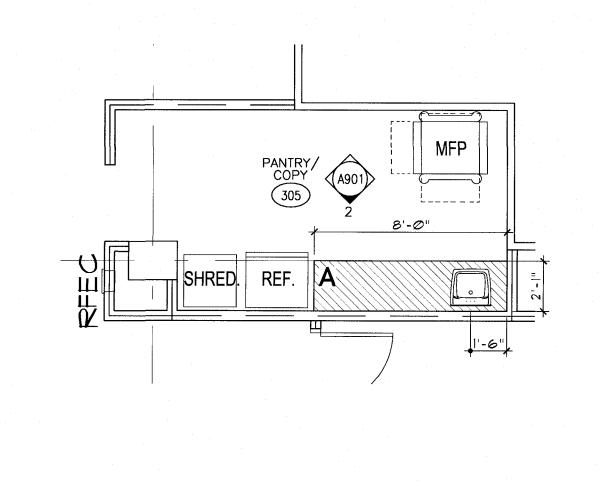
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5/20/16 AS NOTED Project Number



ADA SINK W/ GARBAGE ---DISPOSAL UNIT. IN-SINKERATOR BADGER 5 2YB90 (GRAINGER). P.LAM COUNTERTOP W/-4" BACKSPLASH PL2 PLAM BASE CABINETS-

PURLOGIX MODEL \*IPC2U (GRAINGER). REPLACEMENT FILTER PURLOGIX MODEL \*39AP27 (GRAINGER). -COFFEE MAKER, FURNISHED AND INSTALLED BY G.C. G.C. TO PROVIDE AND CONNECT COPPER WATERLINE. KEURIG MODEL "KI55 (STAPLES). -MICROWAYE FURNISHED AND INSTALLED BY G.C. SHARP MODEL #R2ILCF (GRAINGER). -REFRIGERATOR, FURNISHED AND INSTALLED BY G.C. G.C. TO PROVIDE AND CONNECT COPPER WATERLINE. FRIGIDAIRE MODEL \*FGVUITF8QF (BESTBUY). -COORDINATE THE INSTALLATION OF DUPLEX OUTLETS FOR THE MICROWAVE OVEN, REFRIGERATORS, AND COFFEE MAKER, ETC. EQUIPMENT FURNISHED AND INSTALLED BY G.C.

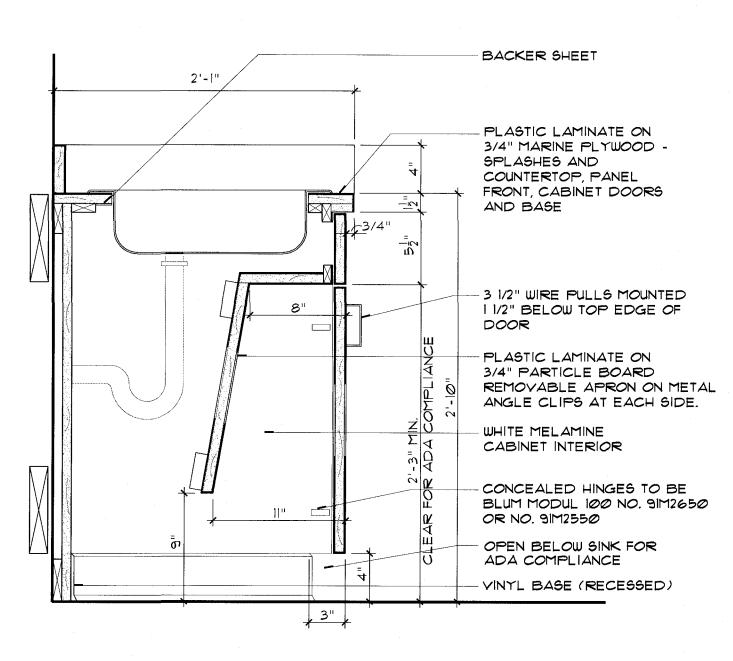
TABLETOP WATER DISPENSER, FURNISHED AND INSTALLED BY G.C. G.C. TO PROVIDE AND CONNECT COPPER WATERLINE.

ENLARGED PLAN AT PANTRY/ COPY

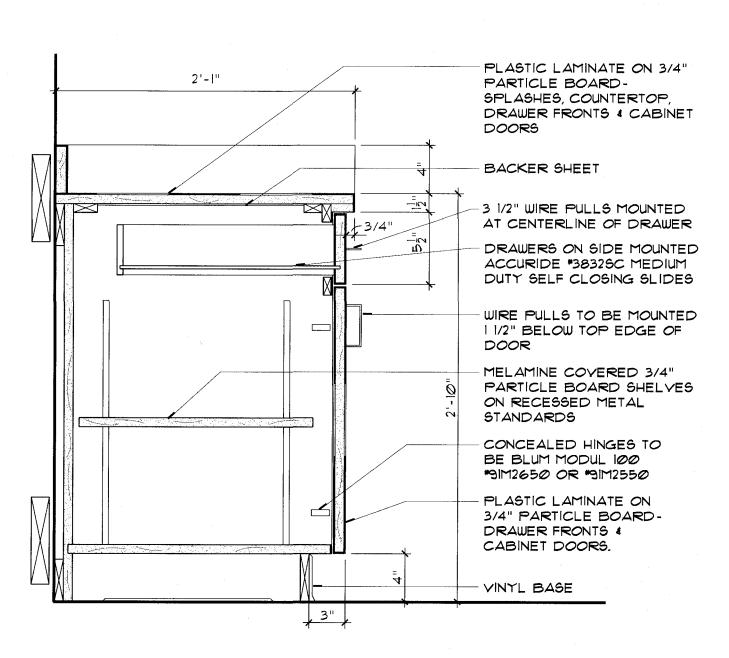
SCALE: 1/4" = 1'-0"

CASEWORK 'A' INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



SECTION - CASEWORK 'A'
SCALE: 1 1/2"=1'-0"



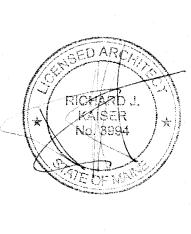
SECTION - CASEWORK 'A'

SCALE: 1 1/2"=1'-0"

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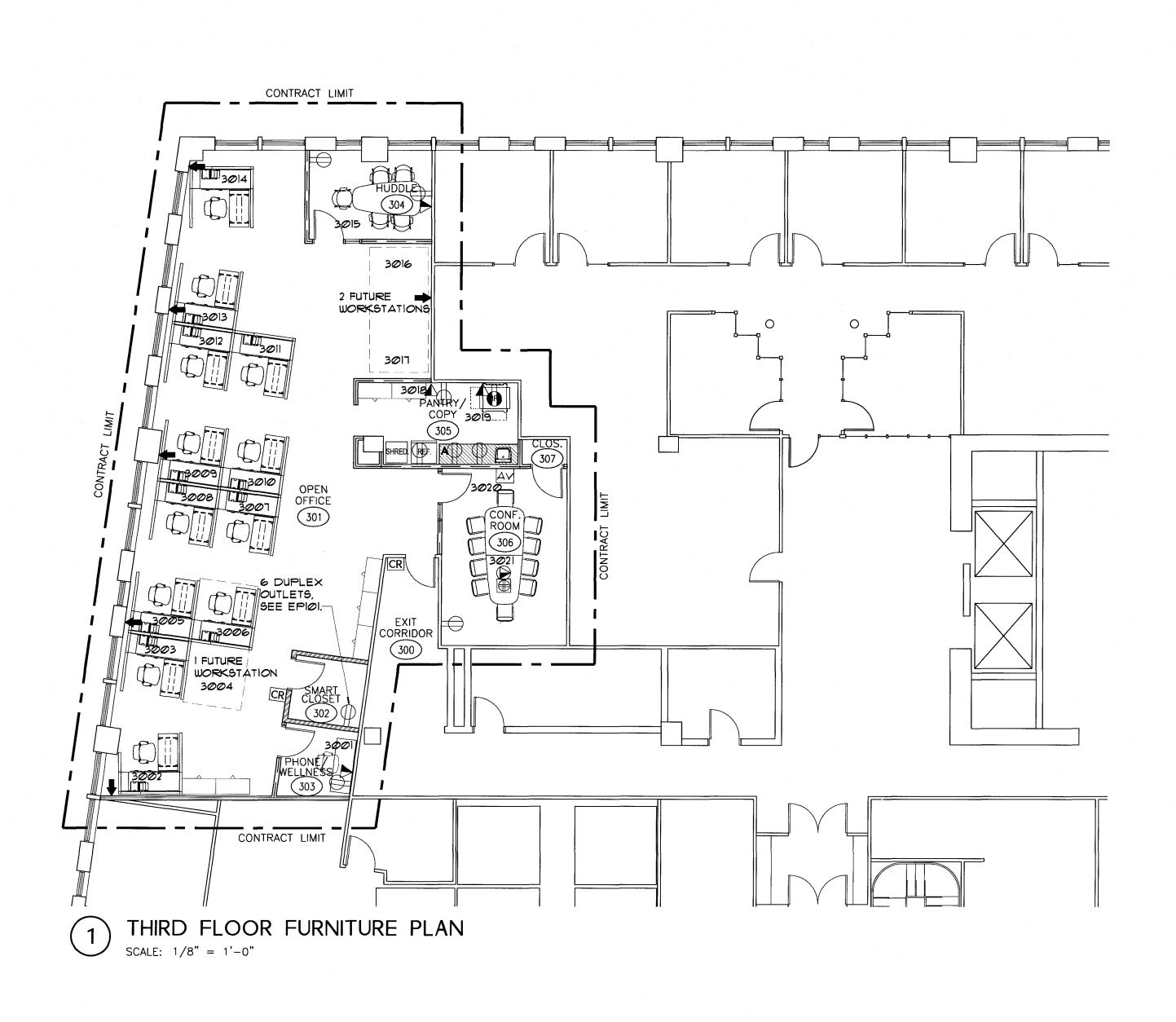
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100 Middle Street Portland, Maine Owner's Review Comments/ Issue for Bid 5/26/16 AF101 Huddle 304 Power/ Data Location 6/2/16

5/20/16 1 1/2" = 1'-0" <u>Project Number</u>



# (P1) (C1) B1 OFFICE 301 306 **P3** 6 DUPLEX OUTLETS, SEE EPIØI. B2 VCT2 CONTRACT LIMIT THIRD FLOOR FINISH TREATMENT PLAN

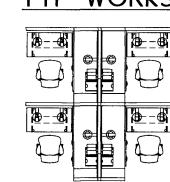
#### FURNITURE PLAN NOTES

- PROPOSED FURNITURE LAYOUT IS FOR DESIGN INTENT ONLY, TO COORDINATE THE FURNITURE PLAN AND ARCHITECTURAL PLAN. SEE FURNITURE INSTALLATION DRAWINGS PROVIDED BY FURNITURE VENDOR FOR FIELD INSTALLATION OF FURNITURE.
- PROPOSED VOICE/ DATA LOCATIONS ARE FOR FOR DESIGN INTENT ONLY, SEE CABLING AND ELECTRICAL DRAWINGS FOR ALL OUTLET REQUIREMENTS AND LOCATIONS. THIS IS A COORDINATION LAYOUT FOR THE FURNITURE WITH THE PROPOSED OUTLETS LOCATIONS.
- 3. BASE POWER IN LOCATIONS FOR SYSTEMS FURNITURE TO BE FED FROM ADJACENT WALLS, WHIPS TO BE PROVIDED TO G.C. BY FURNITURE VENDOR.
- 4. IN AREA OF FUTURE WORKSTATIONS, CONTRACTOR TO STUB-UP POWER 4 DATA BUT NOT PULL CONDUIT FULLY, AS WORKSTATIONS WILL BE INSTALLED AT A FUTURE UNDETERMINED DATE. COVER WITH COVER PLATE AS REQUIRED.

#### HERMAN MILLER WORK STATION POWER INFO

- 1. (1) 3P CIRCUIT WILL BR USED FOR EVERY (8) WORKSTATIONS.
- 2. EACH WORKSTATION TO HAVE (3) DUPLEX OUTLETS.
- 3. COMPUTERS WILL E FED FROM "A" AND "B" FURNITURE CIRCUITS. EACH STATION WILL HAVE EITHER (2) "A" CIRCUITS OR (2) "B" CIRCUITS WHICH WILL BE LOCATED IN BASE.
- 4. GENERAL PWOER WILL BE FED FROM THE "C" FURNITURE CIRCUIT. THIS DUPLEX OUTLET WILL BE ABOVE THE WORK SURFACE.
- 5. THE "D" FURNITURE CURCUIT WILL BE USED AS NEEDED FOR SPECIAL
- CONDITIONS.
- 6. THE DATA WULL BE (8) CAT6 CABLES, ONE FED IN FROM THE CORE TO THE FURNITURE. OF CONFIRMED THE HM BOTTOM RACEWAY CAN FIT (8) CAT6 CABLES.

#### TYP WORKSTATION WIRING CONFIGURATION



#### **LEGEND**

- FLOOR TEL/DATA OUTLET
- STANDARD SINGLE DATA OUTLET
- DUPLEX ELECTRICAL RECEPTACLE
- QUAD ELECTRICAL RECEPTACLE
- FLAT SCREEN MONITOR LOCATION POWER, DATA AND CABLE TV LOCATE AT

BASE POWER-IN FOR SYSTEMS FURNITURE

- 66" A.F.F. TO CENTER LINE
- DEDICATED DUPLEX 20 AMP 110 VOLT

#### FINISH NOTES

- 1. EXISTING OR NEW SURFACES TO BE PAINTED SHALL BE SANDED, LEVEL, AND SMOOTH PRIOR TO NEW FINISH APPLICATION, SURFACES SHOULD BE FREE OF DIRT, DUST, AND OIL RESIDUE.
- COMPOUND AND TAPE PRIOR TO FINISH TREATMENT. 3. CONTRACTOR TO PROTECT FINISHED SURFACES DURING OTHER WORK.

2. NEW WALLS AND SURFACES SHALL RECEIVE THE FOLLOWING TREATMENT: SANDING AND (3) COATS OF

- 4. CONTRACTOR IS REQUIRED TO SUBMIT ALL SPECIFIED WALL AND FLOOR FINISH PRODUCTS FOR APPROVAL PRIOR TO ORDERING.
- 5. CONTRACTOR IS TO INSTALL FINISH PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.
- 6. ALL WALLS AND TRIM TO BE PAINTED ARE TO RECEIVE A PRIMER COAT AND TWO COATS OF FINISH PAINT. 1. DO NOT PAINT OVER CODE-REQUIRED LABELS AFFIXED TO DOORS, EQUIPMENT, VENTS, SIGNS, ETC.
- 8. UPON COMPLETION, THE PAINTED SURFACES SHOULD BE UNIFORM IN COLOR AND APPEARANCE.
- 9. ALL WALLS INCLUDING INTERIOR OF CLOSETS TO BE PAINTED PI UNLESS OTHERWISE NOTED. 10. CONTRACTOR 15 TO CLEAN FLOOR PRIOR TO NEW FINISH INSTALLATION. THIS INCLUDES REMOVAL OF ANY

EXISTING FLOORING ADHESIVE AND OTHER PRODUCTS UNLESS NOTED OTHERWISE.

- 11. SUBSTRATE IS TO BE CLEAN, DRY, LEVEL AND SMOOTH PRIOR TO NEW FLOOR INSTALLATION.
- 12. CONTRACTOR IS TO USE MANUFACTURER'S RECOMMENDED ADHESIVES FOR ALL SPECIFIED FLOORING
- 13. ALL ROOMS INCLUDING INTERIOR OF CLOSETS TO RECEIVE CARPET CI UNLESS OTHERWISE NOTED.
- 14. DELIVER OVERRUN ON NEW FLOOR FINISH MATERIALS TO OWNER, CONFIRM ACCEPTABLE USABLE SCRAPS AND PRODUCT PRIOR TO DISCARDING.
- 15. CARPET SHOULD BE VACUUMED AND CLEANED OF DIRT AND CONSTRUCTION DEBRIS DAILY AFTER INSTALLATION.
- 16. UPON COMPLETION OF INSTALLATION, NEW CARPET SHOULD BE LEVEL AND TIGHT TO WALL AND UNIFORM IN COLOR. COORDINATE QUANTITY AND DYE LOTS ACCORDINGLY.
- 17. VINYL COMPOSITION TILE/VINYL TILE/SHEET VINYL SHALL BE INSTALLED WITH GRAIN GOING IN SAME
- DIRECTION. SUBMIT SEAMING DIAGRAM FOR SHEET VINYL INSTALLATION. 18. PROVIDE MANUFACTURERS RECOMMENDED TRANSITIONS AS REQUIRED BETWEEN FLOORING MATERIALS.
- 19. G.C. TO REVIEW EXISTING WINDOW BLINDS TO ENSURE THEY ARE IN GOOD WORKING ORDER, REPAIR OR REPLACE AS REQUIRED. MATCH EXISTING. 20. SEE SPECIFICATIONS FOR FURTHER INFORMATION

#### WALL FINISH LEGEND

- WALL PAINT MANUF .: PPG COLOR: 1025-1 COMMERCIAL WHITE EGGSHELL LOCATION: TYPICAL PAINT COLOR: ALL AREAS U.O.N.
- MANUF .: SHERWIN WILLIAMS COLOR: SW1641 COLONNADE GRAY
- SEMI GLOSS FINISH: LOCATION: HM DOOR FRAMES AND TRIM MANUF .: SHERWIN WILLIAMS
- COLOR: SW1641 COLONNADE GRAY FINISH: EGGSHELL LOCATION: ACCENT AS NOTED
- MANUF .: SHERWIN WILLIAMS
- COLOR: SW6493 EBBTIDE FINISH: EGGSHELL LOCATION: ACCENT AS NOTED

### FLOOR FINISH LEGEND

- CARPET MANUF.: STYLE: SHAW CONTRACT GROUP DIFFUSE 59575 MAGNETIC FIELDS 15505 COLOR: TYPE: 24"×24" TILE LOCATION: TYPICAL U.O.N.
- INSTALLATION: QUARTER TURN VINYL FLOORING MANUF .: ARMSTRONG VINYL PLANK FLOORING NATURAL

CARAMEL

CREATIONS TP750

SMART CLOSET 302

LOCATION: COPY/ PANTRY 305 VCT2 MANUF :: STYLE: ARMSTRONG STANDARD EXCELON 12"X12" COLOR:

LOCATION:

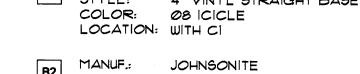
PIONITE GRAPHITE SPEKTRUM AE021 COLOR: FINISH: SUEDE

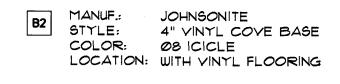
PLASTIC LAMINATE

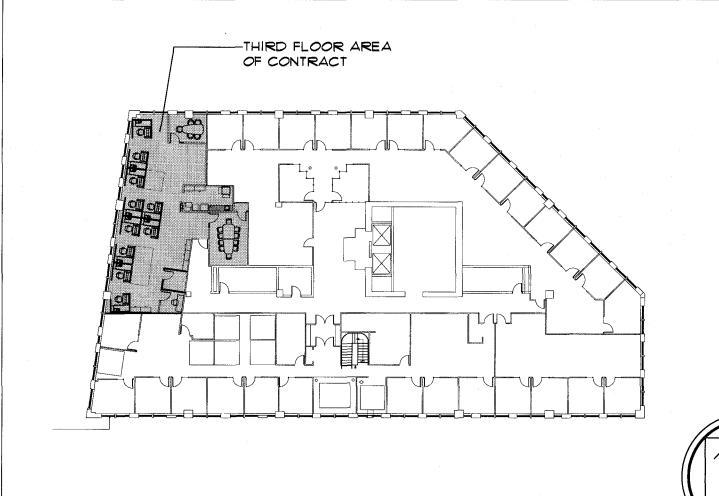
CONTRACT LIMIT

- LOCATION: COUNTER TOPS
- MANUF.: PIONITE COLOR: MANILA LINEN AT231 SUEDE FINISH: LOCATION: BASE CABINETS

## BASE MANUF.: JOHNSONITE STYLE: 4" VINYL STRAIGHT BASE







KEY PLAN



SCALE: N.T.S.

<u>Project Number</u> Drawn By

Revisions

/3\Add Workstations

5/20/16

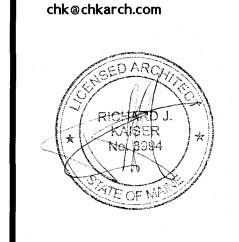
16023

1/8" **=** 1'-0"

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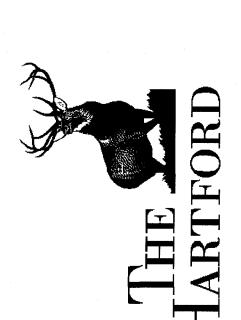


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