

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ION

Permit Number: 090365

This is to certify that MIDDLE STREET OFFICE TOWER A A STES/Middle
 has permission to 4th Floor Renovate existing office layout for expansion by adjoining tenant includes removal & in-fill of an existi
ng stairwell (15-10' opening)
 AT 100 MIDDLE ST 4th floor tower "A" CB 029 E006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other ed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Gaiter

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Philip M. [Signature] 5/18/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0365	Issue Date: 5/18/09	CBL: 029 E006001
-----------------------	------------------------	---------------------

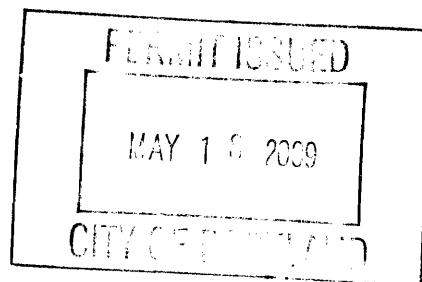
Location of Construction: 100 MIDDLE ST 4th floor tower "A"	Owner Name: MIDDLE STREET OFFICE TOWE	Owner Address: 100 MIDDLE ST	Phone:
Business Name:	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland	Phone: 2077801680
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - Office 4th floor	Proposed Use: Commercial - Office - Renovate existing office layout for expansion by adjoining tenant includes removal & in-fill of an existing stairwell (15x10' opening)	Permit Fee: \$1,980.00	Cost of Work: \$195,212.00	CEO District: 1
Proposed Project Description: 4th Floor Renovate existing office layout for expansion by adjoining tenant includes removal & in-fill of an existing stairwell (15x10' opening)		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: B Type: 2C IBC-2003	
		Signature: (ICG)	Signature: CST. 5/18/09	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 04/27/2009
-----------------------------	---------------------------------

Zoning Approval

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/28/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Date: 5/18/09		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Re-Bar Schedule Inspection: Prior to pouring concrete

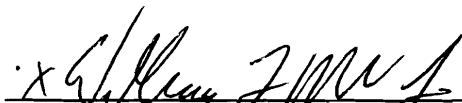
Final inspection required at completion of work.

Final inspection of barriers or alarm systems

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

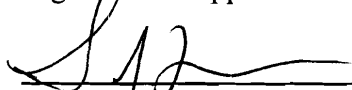
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

5-18-09
Date



Signature of Inspections Official

5-18-09
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0365	Date Applied For: 04/27/2009	CBL: 029 E006001
------------------------------	--	----------------------------

Location of Construction: 100 MIDDLE ST 4th floor tower "A"	Owner Name: MIDDLE STREET OFFICE TOWE	Owner Address: 100 MIDDLE ST	Phone:
Business Name:	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland	Phone (207) 780-1680
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Office - Renovate existing office layout for expansion by adjoining tenant includes removal & in-fill of an existing stairwell (15x10' opening)	Proposed Project Description: 4th Floor Renovate existing office layout for expansion by adjoining tenant includes removal & in-fill of an existing stairwell (15x10' opening)
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/28/2009

Note:**Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/07/2009

Note:**Ok to Issue:**

- 1) The circular stair opening to be removed must be infilled with construction similar to existing construction including fireproofing on the building structure.
- 2) State law requires notification of hazardous materials and abatement by a licensed professional
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/01/2009

Note:**Ok to Issue:**

- 1) Fire Alarm system shall be maintained.
If system is to be off line over 4 hours a fire watch shall be in place.
Dispatch notification required 874-8576.
- 2) No means of egress shall be affected by this renovation
- 3) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 4) Emergency lights are required to be tested at the electrical panel.
- 5) Emergency lights and exit signs are required
- 6) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 7) Any cutting or welding operations require a separate permit from the Fire dept.
- 8) The fire alarm system shall comply with NFPA 72.
Compliance letter is required.
- 9) All construction shall comply with NFPA 101

Location of Construction: 100 MIDDLE ST 4th floor tower "A"	Owner Name: MIDDLE STREET OFFICE TOWE	Owner Address: 100 MIDDLE ST	Phone:
Business Name:	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland	Phone (207) 780-1680
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Comments:

5/7/2009-csh: requested large set of plans. 5/7/09 Plans recieved CSG 5/7/09



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>100 MIDDLE STREET 4TH FLOOR</u>		
Total Square Footage of Proposed Structure/Area <u>6,540 S.F.</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>079-E-006-01</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>MIDDLE STREET OFFICE TOWER ASSOCIATES</u> Address <u>100 MIDDLE STREET</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>780-1680 EXT #3</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>195,312</u> C of O Fee: \$ _____ Total Fee: \$ <u>1,980</u>
Current legal use (i.e. single family) <u>CLASS "A" OFFICE</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>RENOVATE EXISTING OFFICE FOR TENANT EXPANSION</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>RENOVATE EXISTING OFFICE LAYOUT FOR EXPANSION BY ADJOINING TENANT. INCLUDES REMOVAL AND FILL IN OF AN EXISTING STRUCTURE (5' X 10' OPENING).</u>		
Contractor's name: <u>MIDDLE STREET MANAGEMENT, LLC</u>		
Address: <u>100 MIDDLE STREET</u>		
City, State & Zip <u>PORTLAND, MAINE 04101</u>		Telephone: <u>780-1680 EXT #3</u>
Who should we contact when the permit is ready: <u>BILL MCHUGH</u>		Telephone: <u>780-1680 EXT #3</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: William J. McKelvey Date: 4/24/09

This is not a permit; you may not commence ANY work until the permit is issued

**MIDDLE STREET MANAGEMENT, LLC
100 MIDDLE STREET
PORTLAND, MAINE 04101
(207) 780-1680**

April 24, 2009

City Of Portland
389 Congress Street
Portland, Maine 04101

RE: FIRE PERMIT INFORMATION

Dear Sir/Madame:

Below is information requested for the purpose of a Building Permit to renovate 6,540 square feet of existing office area, for current tenant Berry, Berry, Dunn, McNeil & Parker.

Applicant: Middle Street Office Tower A Associates, LP
c/o Middle Street Management, LLC
100 Middle Street
Portland, Maine 04101
780-1680 ext# 3

Architect: HKTA Architects
482 Congress Street
Portland, Maine 04101
774-6016

Purpose: Renovation of 6,540 square feet of existing office space.

Fire Protection: 100 Middle Street, a seven story Class A office complex, was constructed in 1987. The building has both a wet and dry sprinkler system servicing the building and parking area. The metal decking between floors has sprayed on fire proofing. The property also has an automated fire alarm system, Edwards Systems Technology upgraded in 2006, which is tied in to master boxes directly to the Portland Fire Department. The fire alarm system, elevators and fire pump are also connected to an emergency generator.

The building has two internal exit stairwells. The stairwells do have pressurization fans connected to the fire alarm system. The furthest distant to a fire egress is approximately 75 feet

The electrical plan details the location of emergency lighting, and exit signs.

Do not hesitate to contact me with any questions.

Sincerely,

A handwritten signature in black ink that reads "Bill McHugh". The signature is written in a cursive style with a large, stylized "B" and "M".

William F. McHugh, Jr.
Property Manager

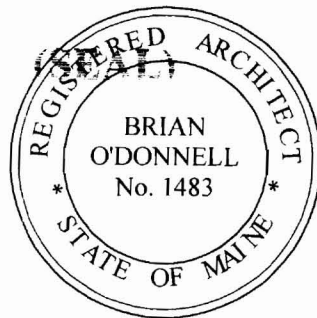


Accessibility Building Code Certificate

Designer: HKTA/architects
Address of Project: 100 Middle Street Portland, Me.
Nature of Project: 4th and 5th floor renovations
Berry Dunn McNeil and Parker
OFFICE SPACE

to the best of my knowledge and belief

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. These provide proof of compliance if applicable.



Signature: Brian O'Donnell
Title: Architect
Firm: HKTA/architects
Address: 582 Congress Street Suite 502
Portland, Me. 04101
Phone: 774-6016

For more information or to download this form and other permit applications visit the



Certificate of Design Application

Form Designer: _____

HKA/architects

Date: _____

4/24/09

Job Name: _____

Berry Dunn McNeil Parker - 4th, 5th floor renovations

Address of Construction: _____

100 Middle Street Portland, Me.

2003 International Building Code

Construction project was designed to the building code criteria listed below

Building Code & Year IBC 2003 Use Group Classification (s) Business

Type of Construction Existing

Is there a Fire suppression system in Accordance with Section 905.5.1 of the 2003 IBC? _____ Supervisory alarm system? _____

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Is a geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

N/A

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1607)

Uniformly distributed floor live loads (1603.11, 1607)

Floor Use: OFFICE

Loads Shown: 50 PSF + 20 PSF Partitions

Wind loads (1603.1.4, 1609)

N/A

Design option utilized (1609.1, 1609.4)

Basic wind speed (1609.3)

Building category and wind importance Factor, I_w
(Table 1609.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.11, 1609.6.2.2)

Pressure for wind pressures (1609.11, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A

Design option utilized (1614.1)

Seismic use group ("Category")

Spectral response coefficients, S_A & S_D (1619.1)

Site class (1619.1.5)

Live load reduction

Roof live loads (1603.1.2, 1607.11)

Roof snow loads (1603.7.3, 1608)

Ground snow load, P_g (1608.3)

If $P_g > 10$ psf, flat-roof snow load, P_f

If $P_g > 10$ psf, snow exposure factor, E

If $P_g > 10$ psf, snow load importance factor, I_s

Roof thermal factor, C_t (1608.4)

Sloped roof snowload, P_s (1608.4)

Seismic design category (1610.3)

Basic seismic force resisting system (1617.6.2)

Response modification coefficient, R , and

Reflection amplification factor, R_d (1617.6.2)

Analysis procedure (1610.1, 1610.2)

Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.4, 1612)

N/A

Flood hazard area (1612.1)

Elevation of structure

Other loads

N/A

Concentrated loads (1607.4)

Partition loads (1607.6)

Wind loads (Table 1607.8, 1607.9.1, 1607.9.2, 1607.10, 1607.11, 1607.12, 1607.13, 1607.14)



Certificate of Design

Date:

4/24/09

From:

HRTA/architects

These plans and / or specifications covering construction work on:

Berry Dunn McNeil Parker 4th and 5th floors.

100 Middle Street, Portland, Me.

to the best of my knowledge and belief

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature:

Brian O'Donnell

Title:

Architect

Firm:

HRTA/architects

Address:

582 Congress Street Suite 502
Portland, Me. 04101

Phone:

774-6016

For more information or to download this form and other permit applications visit the

BERRY, DUNN, McNEIL, PARKER

CERTIFIED PUBLIC ACCOUNTANTS

FOURTH AND FIFTH FLOOR
100 MIDDLE STREET
PORTLAND, ME

FOURTH AND FIFTH FLOOR RENOVATIONS

HKTA/architects
482 Congress Street, Suite 502
Portland, Maine 04101
DATE: 9/3/08

DRAWING LIST:

D-401	FOURTH FLOOR DEMOLITION PLAN
A-401	FOURTH FLOOR PLAN
A-401IT	FOURTH FLOOR IT, A/V & SECURITY
A-401F	FOURTH FLOOR FURNITURE PLAN
A-402	FOURTH FLOOR REFLECTED CEILING PLAN
D-501	FIFTH FLOOR DEMOLITION PLAN
A-501	FIFTH FLOOR PLAN
A-501IT	FIFTH FLOOR IT & A/V & SECURITY
A-501F	FIFTH FLOOR FURNITURE PLAN
A-502	FIFTH FLOOR REFLECTED CEILING PLAN
A-403	FOURTH & FIFTH FLOOR DOOR AND FINISH SCHEDULES
A-404	FOURTH & FIFTH FLOOR DOOR/WINDOW TYPES and CASEWORK DETAILS
A-405	FOURTH & FIFTH FLOOR WALL SECTIONS AND DETAILS
A-406	INTERIOR ELEVATIONS
A-407	ENLARGED PLANS AND INTERIOR ELEVATIONS

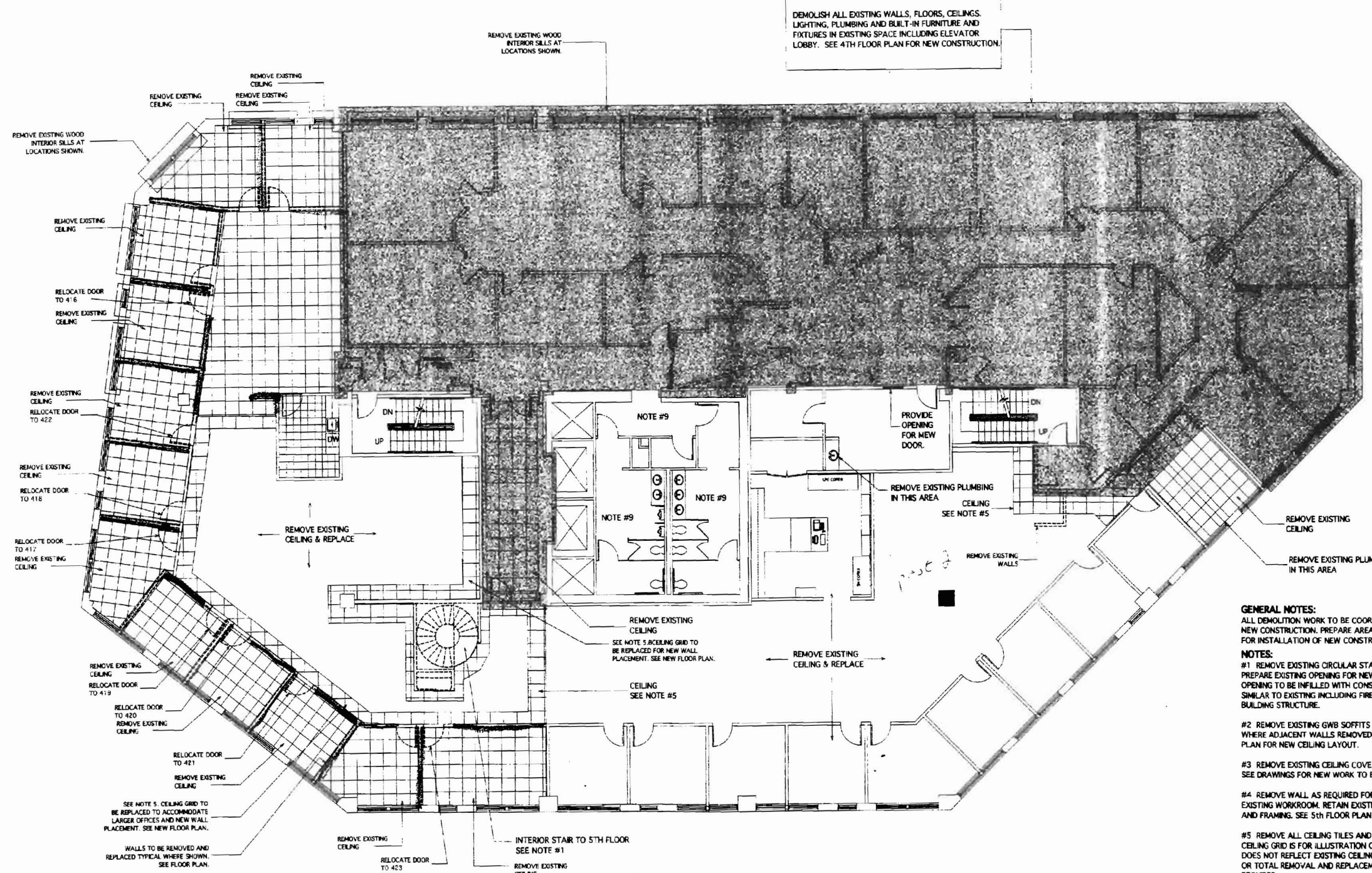
STAIRWELL INFILL AS PART
OF THE RENOVATIONS. SEPERATE
ENGINEERING SHEET FOR INFILL. *JW*

APR 27 2009

GENERAL NOTES

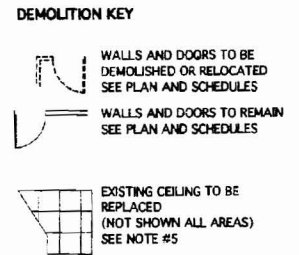
1. During the bidding or pricing, the contractor shall visit the site and acquaint him/herself with all conditions relating to the construction and completion of the project and the employment of labor thereon. Failure to do so will not relieve the contractor of his/her obligations to furnish all equipment, materials, labor, and services necessary to carry out the provisions of the contract.
2. Drawings and specifications in this package are intended for assistance and guidance. Exact dimensions and elevations shall be governed by actual conditions at the site and shall be checked by the contractor. Field verify all dimensions and requirements. Report all discrepancies or omissions to the building management.
3. All primary entrances to the site, to the building, path of travel to suite, sanitary facilities, signage, and other applicable areas shall be accessible to the physically handicapped per the current IBC, ADA and other governing codes and regulations.
4. The contractor shall provide any special barricading and maintain any required lights, warning and directional signs and other protections near and about the site of the renovation work as may be required by local authorities having jurisdiction, and by any other necessary means protect any surrounding adjacent sites, structures, properties and servicing utilities, and shall maintain all safety measures until directed to remove them by appropriate parties.
5. Furnish and pay for all H.V.A.C. permits. Provide all labor, materials and services to alter existing or install new, for a complete operable heating, ventilating and air conditioning system. Provide the above in accordance with all applicable codes, ordinances, and requirements of the servicing utility and functions shown on drawings and as required for the completion of work. Submit shop drawings for approval and as-built drawings upon completion of the work if required by building management.
6. Furnish and pay for all electrical permits. Electrical work shall consist of a complete wiring system including meter loop panel board(s) outlets, wall switches, and installation of lighting fixtures, lamps, bells, appliances, fans and like accessories as indicated on the drawings and required for the completion of the work. Submit shop drawings for approval and as-built drawings upon completion of the work if required by building management. Match building standard cover plates.
7. Furnish and pay for all plumbing permits. Plumbing work shall consist of a complete system including service connections, drain waste and vent lines, hot and cold water lines, and gas lines if indicated on the drawings, all excavation and backfill required, and the installation of all fixtures, water heater and appliances. The system shall meet the requirements of all governing codes and regulations. Contractor shall coordinate all necessary information between plumbing, millwork and electrical subcontractors. Submit shop drawings for approval and as-built drawings upon completion of the work if required by building management.
8. Alter sprinkler system as necessitated by new partitions, floors and ceilings. Design shall be adequate for intended use and must conform to governing codes and regulations. Test all systems as required by all governing codes and regulations prior to applying for certificate of occupancy. Match building standard head unless noted otherwise. Flush heads require in public space on floor 4.
9. Equipment, fixtures and materials not specifically shown in the pricing package, but necessary for completion of the work shall be provided. Such items shall be of type and quality suitable for the services required, and shall be comparable to adjoining or similar items in the building.
10. Where size, capacity, model, style, or other pertinent information is not indicated on the drawings, furnish equipment, fixtures or material of size, quality, and utility which will meet applicable code requirements and which will adequately service the various building facilities as required.
11. All installation methods and procedures shall match existing building standards.
12. Existing electrical to remain unless otherwise noted. See plan for new requirements. Locate new data and telephone outlets at 15" high unless otherwise noted.
13. Telephone requirements to be determined by occupant.
14. Light fixtures to be supported by approved method to structure above, independent of grid. All local codes and ordinances apply. Relocate existing light fixtures to accommodate new layout where possible.
15. Relocate or provide new light switches in all areas modified by renovation.
16. Replace ceilings as noted.
17. Clean up is required on a daily basis and final clean up is required to prepare space for occupancy.
18. Replace, repair, or add new window treatments where required by demolition or new construction using building standards, unless otherwise noted.
19. Prior to application of paint, all surfaces are to be properly prepared, taped, and textured, using building standard finish. All transitions between materials are to be smooth.
20. Paint all access plates, panel boxes, etc. to match adjacent painted surface, unless otherwise noted. Contractor to provide additional touch-up paint to the tenant.
21. Contractor shall provide and install transition strip at all doors where carpet and other flooring meet, unless otherwise noted.
22. Floor covering in closets shall be the same as that of the space onto which the closet door opens unless otherwise noted.
23. Fill, patch, or grind smooth all areas where floor is not level or true prior to flooring installations. Repair and prepare any damage to subfloor to insure proper installation of new materials.
24. Provide and install specified carpet base for all carpeted areas, unless otherwise noted.
25. Exit doors shall be operable from the inside without use of a key or any special knowledge or effort.
26. Exit signs shall be posted above each required exit doorway and wherever otherwise required to clearly indicated direction of egress.
27. Contractor shall provide a construction schedule to the Tenant prior to the start of construction.

*Check walls - raise height
Full room walls to ceiling level*



DEMOLISH ALL EXISTING WALLS, FLOORS, CEILINGS, LIGHTING, PLUMBING AND BUILT-IN FURNITURE AND FIXTURES IN EXISTING SPACE INCLUDING ELEVATOR LOBBY. SEE 4TH FLOOR PLAN FOR NEW CONSTRUCTION.

4 4th FLOOR DENOLITION PLAN
D-401 Scale: 1/8" = 1'-0"



- GENERAL NOTES:**
ALL DEMOLITION WORK TO BE COORDINATED WITH NEW CONSTRUCTION. PREPARE AREAS OF DEMOLITION FOR INSTALLATION OF NEW CONSTRUCTION
- NOTES:**
- #1 REMOVE EXISTING CIRCULAR STAIR. PREPARE EXISTING OPENING FOR NEW CONSTRUCTION. OPENING TO BE INFILLED WITH CONSTRUCTION SIMILAR TO EXISTING INCLUDING FIREPROOFING ON BUILDING STRUCTURE.
 - #2 REMOVE EXISTING GWB SOFFITS AT CEILINGS WHERE ADJACENT WALLS REMOVED. SEE NEW CEILING PLAN FOR NEW CEILING LAYOUT.
 - #3 REMOVE EXISTING CEILING COVE LIGHTING SYSTEM SEE DRAWINGS FOR NEW WORK TO BE INSTALLED.
 - #4 REMOVE WALL AS REQUIRED FOR EXPANSION OF EXISTING WORKROOM. RETAIN EXISTING WALL GLASS AND FRAMING. SEE 5th FLOOR PLAN.
 - #5 REMOVE ALL CEILING TILES AND GRID MEMBERS. CEILING GRID IS FOR ILLUSTRATION ONLY AND DOES NOT REFLECT EXISTING CEILING GRID LAYOUT OR TOTAL REMOVAL AND REPLACEMENT, WHICH IS REQUIRED.
 - #6 REMOVE ALL EXISTING CARPETING ENTIRE FLOOR. COORDINATE WITH TENANT FOR RELOCATION OF FURNITURES REQUIRED FOR REMOVAL OF CARPETING.
 - #7 REMOVE ALL EXISTING LIGHTING FIXTURES IN OFFICE AND OPEN WORK AREAS. PROVIDE NEW LIGHTING FIXTURES. ELECTRICAL CONTRACTOR TO VERIFY # AND LOCATION OF NEW LIGHT FIXTURES TO PROVIDE APPROPRIATE LIGHT LEVEL FOR WORK SPACES.
 - #8 REMOVE ALL CEILING TILES IN CEILINGS TO REMAIN.
 - #9 REMOVE ALL EXISTING FINISHES IN MEN'S AND WOMEN'S RESTROOMS. REMOVE FLOORING, WALL TILE, COUNTERS, SINKS, MIRRORS, TOILET PARTITIONS, ETC. SEE PROPOSED FINISHES. COORDINATE WITH BUILDING MANAGEMENT FOR EXTENT OF UPGRADES.

HKTA / architects, inc.
483 Congress Street Suite 502
Portland, Maine 04101
phone: 207.774.6016
fax: 207.774.9128
e-mail: hktainc@aol.com

HKTA / architects



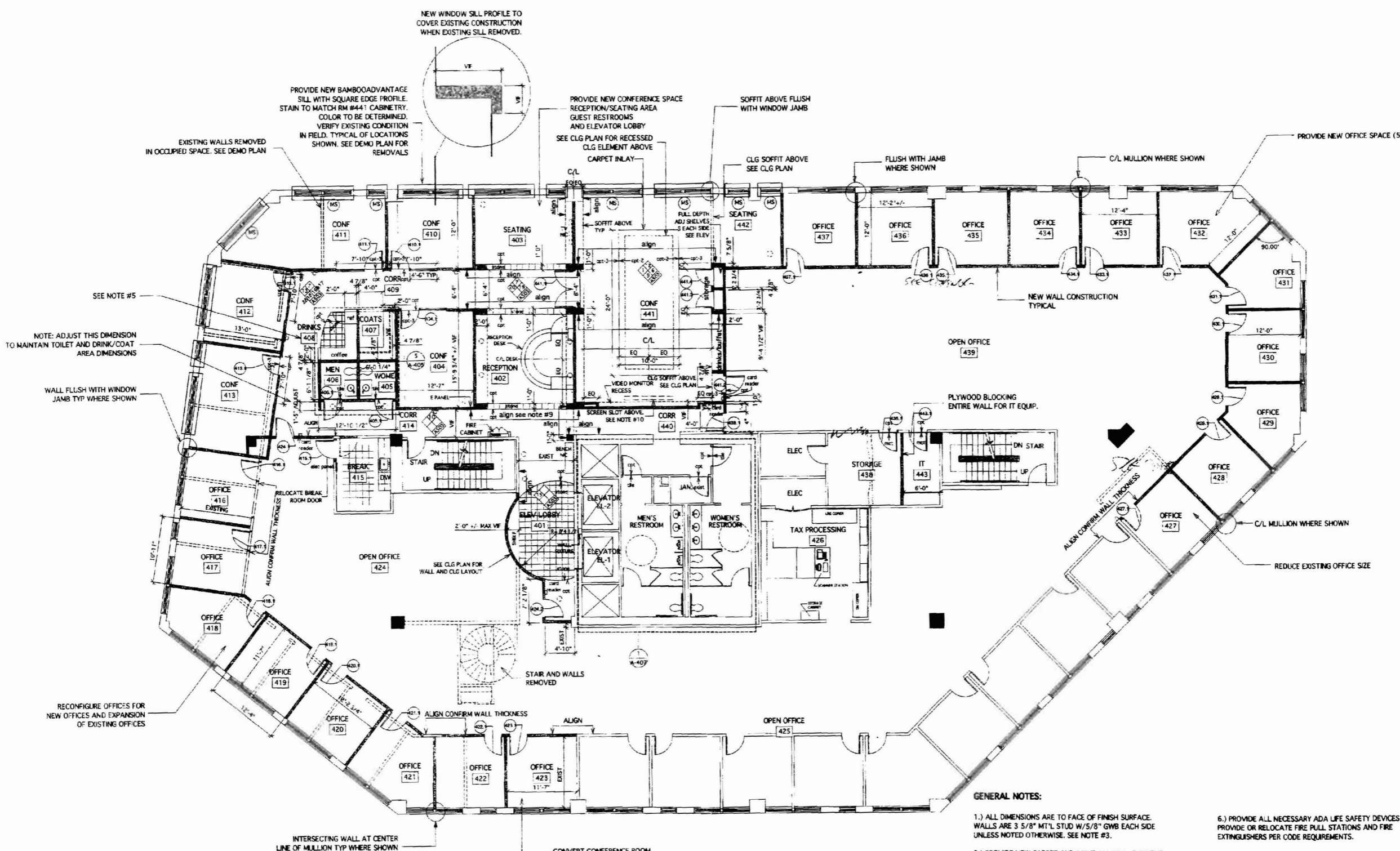
BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
100 Middle Street Portland, Maine

DATE: 9/3/08
REVISIONS:
DATE:

© 2008 HKTA / architects, inc.

DRAWING NO.

D-401



SEE NOTE #5
NOTE: ADJUST THIS DIMENSION TO MAINTAIN TOILET AND DRINK/COAT AREA DIMENSIONS
WALL FLUSH WITH WINDOW JAMB TYP WHERE SHOWN

RECONFIGURE OFFICES FOR NEW OFFICES AND EXPANSION OF EXISTING OFFICES

5Da BERRY, DUNN, McNEIL, PARKER
4 4TH FLOOR with MARCUS SPACE SCHEMATIC PLAN 8/2/07 8/20/07
FINAL PLAN 8/27/07
HKTA/architects
1/8"=1'-0"

↑ NORTH (SHEET ONLY)
① FOURTH FLOOR PLAN
A-401 Scale: 1/8" = 1'-0"

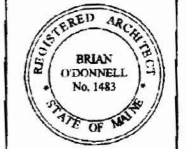
CONSTRUCTION KEY

- SOFFIT OR CEILING FIXTURE ABOVE PLAN LOCATION. SEE DEMO PLAN AND REFLECTED CLG PLAN, NOT ALL CLG FIXTURES SHOWN ON PLAN DRWG.
- WALL OF OCCUPIED SPACE REMOVED SEE DEMO PLAN
- NEW WALLS 3 5/8" MTL STUD WITH 5/8" GWB EACH SIDE. PROVIDE SOUND BATT INSULATION ALL WALLS. ALL WALLS TO BE FROM FLOOR TO FLOOR DECK ABOVE WITH ACOUSTICAL CAULK TOP AND BOTTOM
- WALL WITH INTERIOR GLAZING SEE GLASS TYPES
- ⊗ MOTORIZED WINDOW SHADE FOR WINDOW
- WALL WITH NEW DOOR AND DOOR INFO TAG. SEE DOOR SCHEDULE
- KEY TO INTERIOR ELEVATIONS WITH DETAIL AND SHEET NO. NORTH IS PLAN NORTH (to top of sheet).
- OFFICE 428 SPACE NAME TAG AND NUMBER SEE FINISH SCHEDULE
- CARPET TRANSITION TO OTHER MATERIAL OR CHANGES IN CARPET TYPE

GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE TO FACE OF FINISH SURFACE. WALLS ARE 3 5/8" MTL STUD W/5/8" GWB EACH SIDE UNLESS NOTED OTHERWISE. SEE NOTE #3.
- 2.) PROVIDE NEW CARPET AND PAINT ALL WALLS ON THE ENTIRE FLOOR. SEE FINISH SCHEDULE FOR ADDITIONAL FINISH WORK IN NEW SPACES.
- 3.) WHERE REQUIRED, ALIGN ALL NEW WALLS SUCH THAT GWB IS FLUSH WITH EXISTING SURFACES. VERIFY EXISTING WALL THICKNESS AT ALL LOCATIONS WHERE NEW WALLS ALIGN WITH EXISTING. ADJUST NEW WALL THICKNESS TO MATCH EXISTING IF REQUIRED. CONFIRM ALL DOOR FRAME DIMENSIONS FOR DOORS WHERE EXISTING WALL THICKNESS IS TO BE MATCHED BY NEW WALL AND DOOR OR WHERE NEW DOORS ARE BEING INSTALLED IN EXISTING WALLS.
- 4.) ALL DOOR FRAMES ARE 4" FROM INSIDE CORNER OF ANY ADJACENT INTERSECTING WALL.
- 5.) PROVIDE ALL NECESSARY POWER, LIGHTING, PLUMBING, HVAC, SPRINKLER AND LIFE SAFETY MODIFICATIONS REQUIRED FOR NEW CONSTRUCTION. MODIFY EXISTING SERVICE TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH BUILDING MANAGEMENT FOR MODIFICATIONS TO EXISTING BUILDING SYSTEMS. PROVIDE ALL NEW INSTALLATION TO BUILDING STANDARD UNLESS NOTED OTHERWISE. SEE IT SHEETS FOR POWER REQUIREMENTS FOR EQUIPMENT, RECEPTION AND COUNTER LOCATIONS.
- 6.) PROVIDE ALL NECESSARY ADA LIFE SAFETY DEVICES. PROVIDE OR RELOCATE FIRE PULL STATIONS AND FIRE EXTINGUISHERS PER CODE REQUIREMENTS.
- 7.) PROVIDE CABLE TV CONNECTION FOR LOBBY WALL MOUNTED FLAT SCREEN TV.
- 8.) SECURE ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL AND STATE AGENCIES.
- 9.) LAYOUT OF WALLS AT CORRIDOR 414 DETERMINED BY LOCATION OF EXISTING ELEC PANELS. PANELS TO REMAIN AND NEW WALLS CONSTRUCTED PER LAYOUT.
- 10.) RELOCATE EXISTING PROJECTION SCREEN FROM 5TH FLOOR CONFERENCE ROOM TO NEW CONFERENCE WALLS.
- 11.) COORDINATE WITH OWNER FOR ALL APPLIANCES SHOWN PRIOR TO CASEWORK FABRICATION. ALL APPLIANCES TO BE SELECTED AND PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR.
- 12.) SEE IT, A/V AND SECURITY REQUIREMENTS FOR PLYWOOD BLOCKING REQUIREMENTS.
- 13.) SEE FINISH SCHEDULE FOR NEW FINISHES. ALL NEW AND EXISTING SPACES TO BE PAINTED. REMOVE ALL EXISTING VINYL WALL PAPER PRIOR TO PAINTING. REPAIR WALL AS NECESSARY AFTER WALLPAPER REMOVED AND PRIOR TO PAINTING.

BERRY DUNN McNEIL PARKER
FOURTH AND FIFTH FLOOR
100 Middle Street **Portland, Maine**



HKTA / architects
482 Congress Street Suite 502
Portland, Maine 04101
Phone: 207.774.6016
Fax: 207.774.0728
e-mail: hktainc.com

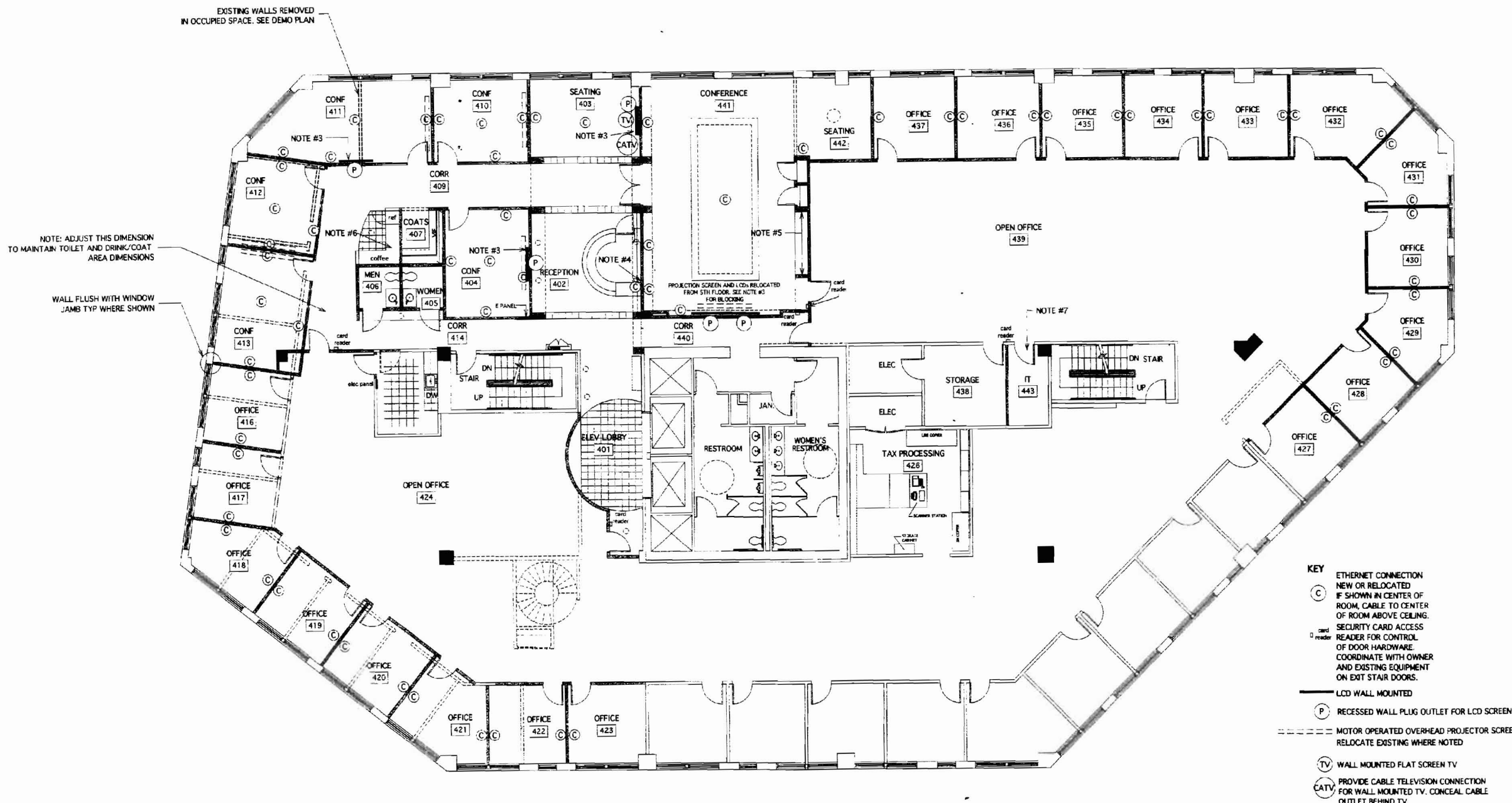
DATE: 9/03/08
REVISIONS:
DATE:

© 2008 HKTA / architects, Inc.

DRAWING NO.

A-401

BERRY DUNN McNEIL PARKER
FOURTH AND FIFTH FLOOR
 100 Middle Street Portland, Maine



NOTE: ADJUST THIS DIMENSION TO MAINTAIN TOILET AND DRINK/COAT AREA DIMENSIONS

WALL FLUSH WITH WINDOW JAMB TYP WHERE SHOWN

- KEY**
- (C) ETHERNET CONNECTION NEW OR RELOCATED IF SHOWN IN CENTER OF ROOM, CABLE TO CENTER OF ROOM ABOVE CEILING.
 - (R) SECURITY CARD ACCESS READER FOR CONTROL OF DOOR HARDWARE. COORDINATE WITH OWNER AND EXISTING EQUIPMENT ON EXIT STAIR DOORS.
 - (P) LCD WALL MOUNTED
 - (M) RECESSED WALL PLUG OUTLET FOR LCD SCREENS
 - (M) MOTOR OPERATED OVERHEAD PROJECTOR SCREEN RELOCATE EXISTING WHERE NOTED
 - (TV) WALL MOUNTED FLAT SCREEN TV
 - (CATV) PROVIDE CABLE TELEVISION CONNECTION FOR WALL MOUNTED TV. CONCEAL CABLE OUTLET BEHIND TV.

5Da BERRY, DUNN, McNEIL, PARKER
4 4TH FLOOR with MARCUS SPACE SCHEMATIC PLAN 8/2/07 8/20/07
 FINAL PLAN 8/27/07
 HKTA/architects
 1/8"=1'-0"



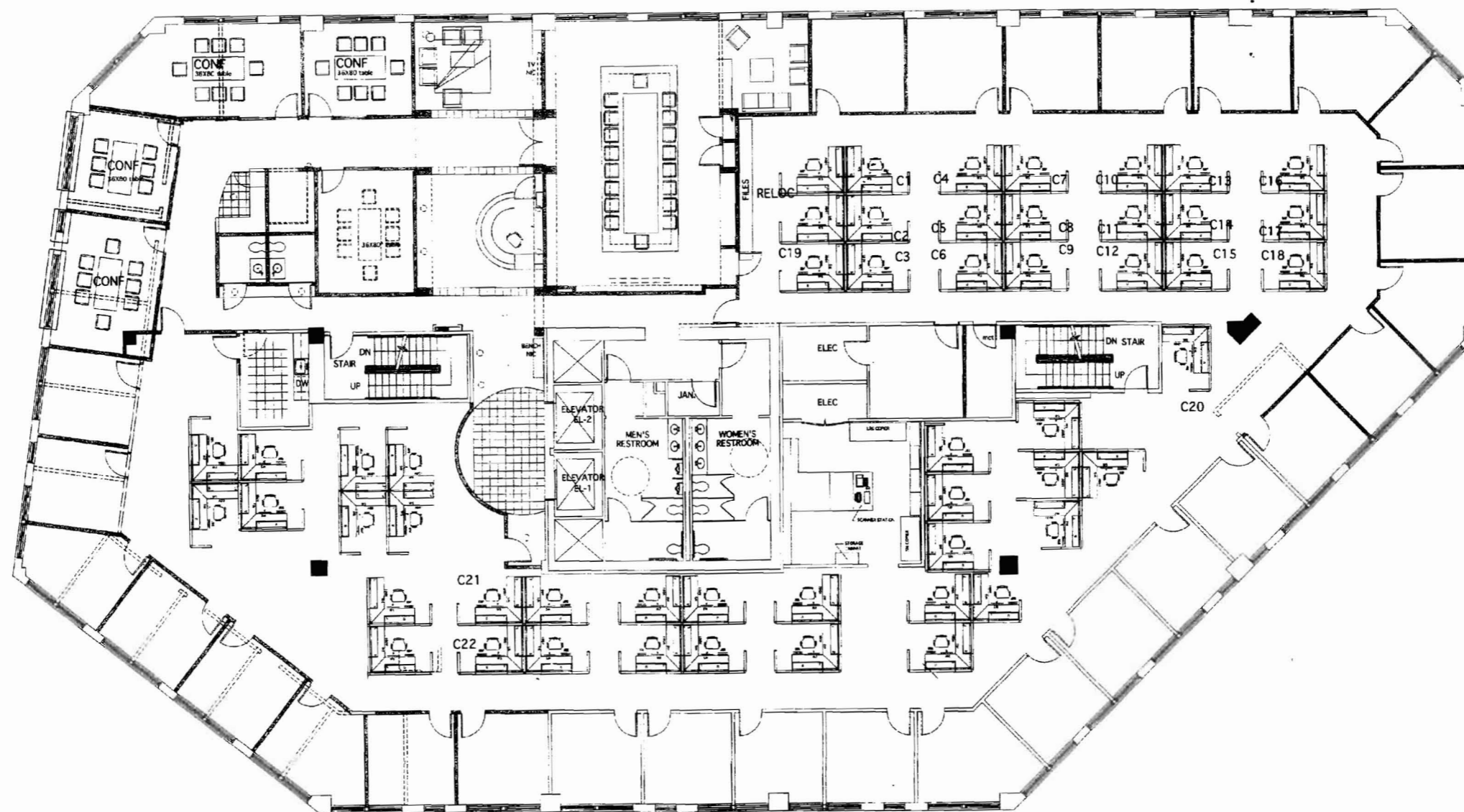
1 FOURTH FLOOR PLAN IT A/V & SECURITY
 A-401 Scale: 1/8" = 1'-0"

- GENERAL NOTES:**
- 1.) COORDINATE WITH OWNER FOR ALL IT A/V AND SECURITY REQUIREMENTS. INTERFACE WITH OWNERS EQUIPMENT FOR ALL NEW INSTALLATIONS.
 - 2.) MOTORIZED PROJECTION SCREEN AND (2) LCDs ARE TO BE RELOCATED FROM EXISTING CONFERENCE ROOM ON 5th FLOOR TO NEW CONFERENCE ROOM #. COORDINATE WITH OWNER FOR ALL INTERFACE REQUIREMENTS.
 - 3.) WHERE LCD SCREENS AND TV ARE SHOWN, PROVIDE 3/4" PLYWOOD BLOCKING BETWEEN STUDS FOR MOUNTING OF SCREENS. CONFIRM WITH OWNER ACTUAL SCREEN SIZE TO BE MOUNTED.
 - 4.) PROVIDE ADEQUATE POWER OUTLET FOR RECEPTION DESK. MIN QUAD OUTLET.
 - 5.) PROVIDE 2 DUPLEX OUTLETS ABOVE COUNTER BACKSPLASH AT EACH END OF COUNTER.
 - 6.) PROVIDE 2 DUPLEX OUTLETS ABOVE COUNTER BACKSPLASH. ONE ON EACH WALL.
 - 7.) CONFIRM WITH OWNER FOR POWER SUPPLY REQUIREMENTS FOR NEW IT EQUIPMENT ROOM. CONFIRM WITH OWNER FOR INTENDED EQUIPMENT LOCATION AND SUITABLE LOCATION FOR POWER.

DATE: 9/3/08
 REVISIONS:
 DATE:

© 2008 HKTA / architects, inc.

DRAWING NO.
A-401IT
 IT/A/V
 & SECURITY



↑ NORTH (SHEET ONLY)
 1 FOURTH FLOOR FURNITURE PLAN
 A-401F Scale: 1/8" = 1'-0"

NOTE: FURNITURE LAYOUT PROVIDED FOR REFERENCE ONLY TO FACILITATE UNDERSTANDING OF POSSIBLE MODIFICATIONS REQUIRED TO MECHANICAL, ELEC, SPRINKER, ETC. SYSTEMS BY CONTRACTORS AND BUILDING MANAGEMENT. ACTUAL LAYOUT MAY VARY FROM THIS PLAN AND QUESTIONS NEED TO BE BROUGHT TO THE ATTENTION OF TENANT.

HKTA / architects, inc.
 482 Congress Street Suite 502
 Portland, Maine 04101
HKTA / architects
 phone: 207.724.6006
 fax: 207.724.9139
 e-mail: hktai@aol.com

BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
 100 Middle Street Portland, Maine

DATE: 9/03/08
 REVISIONS:
 DATE:

© 2008 HKTA / architects, inc.

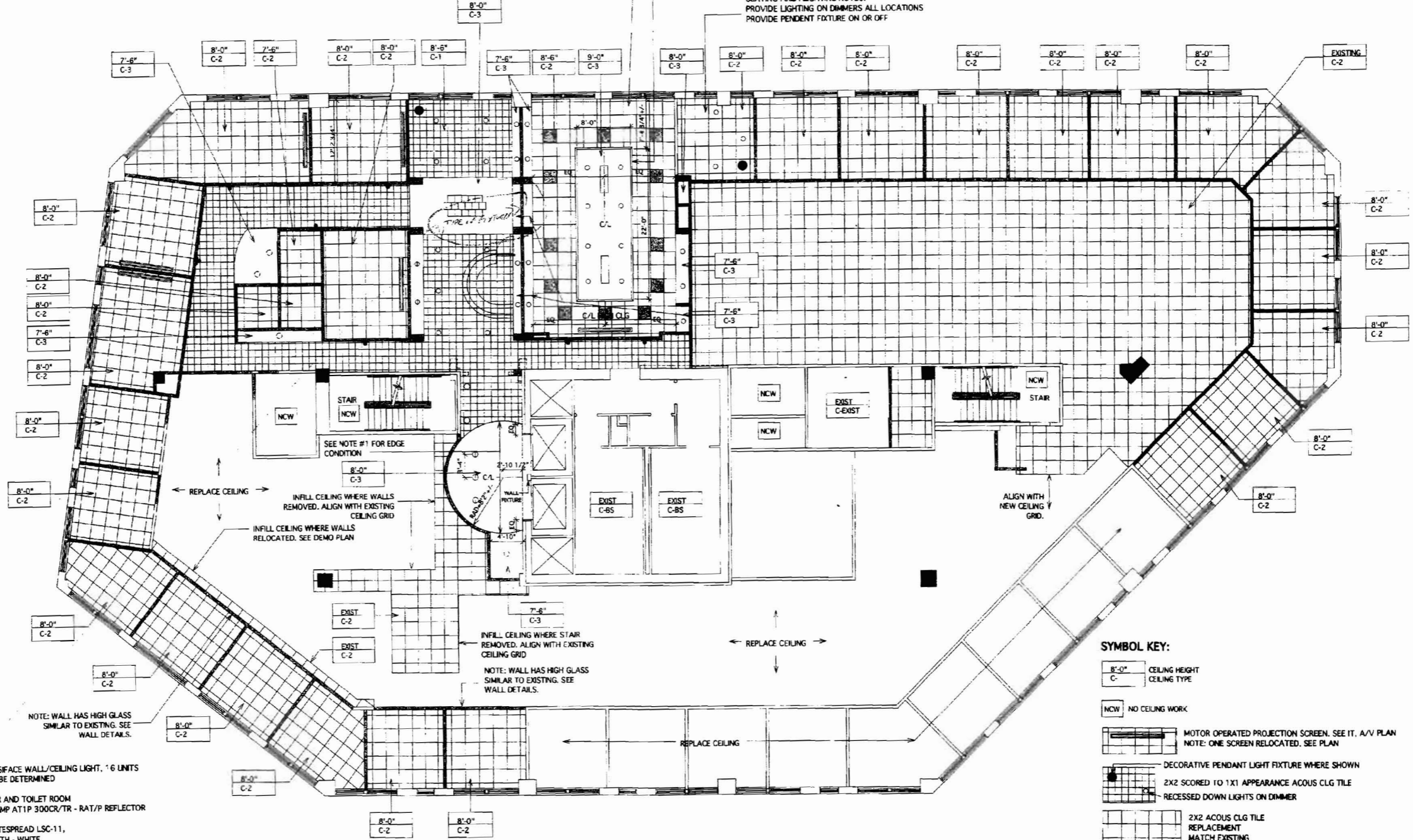
DRAWING NO.

A-401F

ARMSTRONG AXIOM PENNIMELER FINISH SYSTEM FOR COVE CEILING. PROVIDE STRAIGHT FASCIA WITH 6" CEILING HEIGHT CHANGE. PROVIDE 3" RETURN LEG. PROVIDE AXIOM PRODUCT COMPATIBLE WITH CEILING SYSTEMS SHOWN. PROVIDE WELDED SEAMS. NO POP RIVOT ASSEMBLY ALLOWED THIS LOCATION.

CONFERENCE ROOM LIGHTING NOTES:
 PROVIDE RECESSED LIGHTING ON DIMMERS ALL LOCATIONS
 PROVIDE TROFFER LIGHTING WITH 1/2 ON OR ALL ON
 PROVIDE PENDENT FIXTURES ON OR OFF

SEATING AREA LIGHTING NOTES:
 PROVIDE LIGHTING ON DIMMERS ALL LOCATIONS
 PROVIDE PENDENT FIXTURE ON OR OFF



SELECTED LIGHTING FIXTURES:

- CONFERENCE ROOM #441 ENTRANCE: ARTEMIDE SIFACE WALL/CEILING LIGHT, 16 UNITS GROUPED AS SINGLE FIXTURE. LAMP SIZE TO BE DETERMINED
- WALL SCONCE AT SMALL CONFERENCE CORRIDOR AND TOILET ROOM CORRIDORS: Y LIGHTING: SCINTILLA WALL LAMP AT IP 300CR/TR - RAT/P REFLECTOR
- OVER CONFERENCE ROOM TABLE: LIGHTOLIER LYTESPREAD LSC-11, 2 LIGHT TB PERFORATED SHIELDING, 4' LENGTH - WHITE
- ACCENT LIGHT: LIGHTOLIER VETRO DOWNLIGHT 4' CFL
- DOWN LIGHT: BY ELECTRICAL CONTRACTOR
- SEATING PENDANT: GEORGE NELSON CIGAR PENDANT LAMP
- BATHROOM MIRROR LIGHTS: REMOVATORS HARDWARE OWELL SCONCE, 60W 5"X5"X15.25"
- LUNCHROOM PENDANT: Y LIGHTING: CAFFE PENDANT FNT-CAFFE - COLOR TO BE SELECTED
- GENERAL WORK AREAS AND PRIVATE OFFICE SPACE: LIGHTOLIER ALTER CONCEPT SR T5, 2X2, 2X4 TO REPLACE EXISTING.

NOTE:
 ELECTRICAL CONTRACTOR TO VERIFY ALL SUGGESTED INSTALLATIONS FOR APPROPRIATE LIGHT LEVEL FOR LOCATION. IF LIGHT LEVELS ARE CONSIDERED EXCESSIVE OR INADEQUATE BY THE ELECTRICAL CONTRACTOR MODIFICATIONS RECOMMENDATIONS ARE REQUESTED.

4th FLOOR REFLECTED CEILING PLAN
 Scale: 1/8" = 1'-0"

CEILING/LIGHTING NOTES:

- PROVIDE ARMSTRONG AXIOM PROFILE/CLASSIC STEP" #626 (SCORED) 24X24X3/4, 15/16 GRID FACE "PRELUDE"
 ALTERNATIVE IS TO PROVIDE GWB FASCIA WITH EQUAL RADIUS. CEILING HEIGHTS CHANGE IN 6" STEPS FROM 7'6" TO 8'6". SEE CLG PLAN.
- LIGHTING DESIGN AND LAYOUT BY BUILDING MANAGEMENT UNLESS SPECIFIC LOCATIONS OR FIXTURES ARE PROVIDED. ELECTRICAL DESIGNER TO VERIFY ADEQUATE LIGHT LEVELS IN LOCATIONS WHERE FIXTURES ARE SUGGESTED AS PART OF SPACE DESIGN.
- IN AREAS WHERE CEILINGS ARE MODIFIED FOR NEW CONSTRUCTION EXISTING LIGHTING LAYOUT TO BE REPOSITIONED FOR ADEQUATE LIGHT QUALITY AND UNIFORM APPEARANCE.
- GENERAL AREA AND OFFICE LIGHTING LIGHTING FIXTURES TO BE UPGRADED. 2X2 AND 2X4 AS REQUIRED TO MATCH EXISTING LOCATIONS. COORDINATE WITH BUILDING MANAGEMENT FOR FIXTURE UPGRADE.
- ELECTRICAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF LIGHTING PLACEMENT WITH EXISTING OR PROPOSED ABOVE CEILING EQUIPMENT, PIPING, ETC.

CEILING TYPE:

- C-1 ARMSTRONG "CORRUS PROFILE/CLASSIC STEP" #626 (SCORED) 24X24X3/4, 15/16 GRID FACE "PRELUDE"
- C-2 ARMSTRONG "CORRUS PROFILE/CLASSIC STEP" #591 24X24X3/4, 15/16 GRID FACE "PRELUDE"
- C-3 PAINTED GWB
- C-BS BUILDING STANDARD. CONFIRM WITH BUILDING MANAGEMENT
- C- EXIST EXISTING CEILING TO REMAIN

SYMBOL KEY:

- 8'-0" C-2 CEILING HEIGHT
- C-2 CEILING TYPE
- NCW NO CEILING WORK
- MOTOR OPERATED PROJECTION SCREEN. SEE IT, A/V PLAN
 NOTE: ONE SCREEN RELOCATED. SEE PLAN
- DECORATIVE PENDANT LIGHT FIXTURE WHERE SHOWN
- 2X2 SCORED TO 1X1 APPEARANCE ACOUS CLG TILE
- RECESSED DOWN LIGHTS ON DIMMER
- 2X2 ACOUS CLG TILE REPLACEMENT MATCH EXISTING
- SUGGESTED 2X2 FIXTURE LOCATION (conference only)
- 2X2 ACOUS CLG TILE NEW TEGULAR PROFILE WITH 15/16" GRID
- GWB CEILING OR SOFFIT W/ DOWN LIGHTS ON DIMMERS PROVIDE DIMMABLE FIXTURES AT CONFERENCE ROOM
- GWB WITH WALL WASH FIXTURES
- WALL MOUNTED FIXTURE AT ELEV LOBBY
- CLG MOUNTED DECORATIVE LIGHT IN FRONT OF CONFERENCE 441
- WALL SCONCE AT SMALL CONFERENCE ROOMS AND TOILET CORRIDORS

BERRY DUNN MCNEIL PARKER
 FOURTH AND FIFTH FLOOR
 100 Middle Street Portland, Maine



HKTA / architects, inc.
 482 Congress Street Suite 502
 Portland, Maine 04101
 phone: 207.774.6016
 fax: 207.774.9128
 e-mail: hktai@aol.com

DATE: 9/3/08
 REVISIONS:
 DATE:

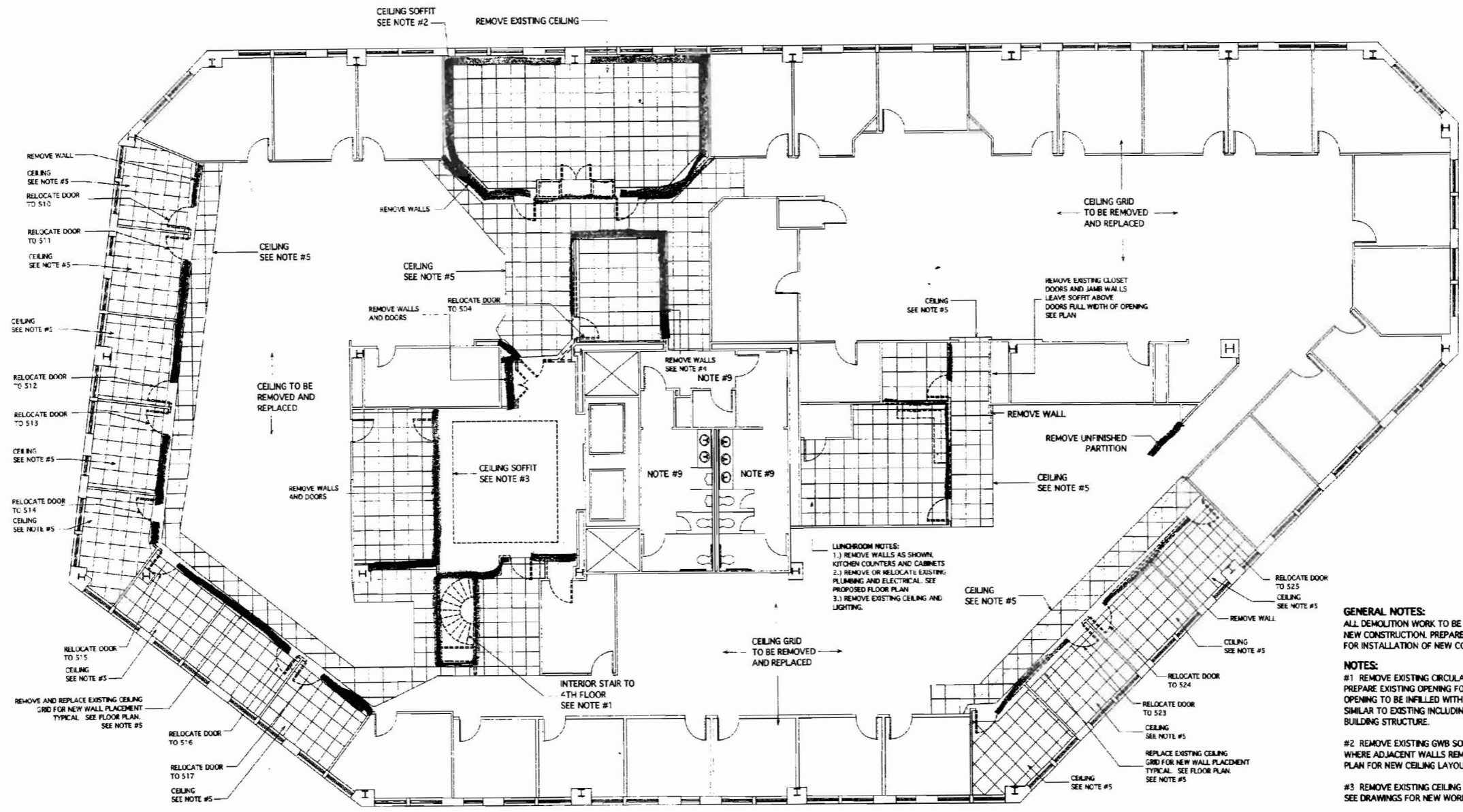
© 2008 HKTA / architects, inc.

DRAWING NO.

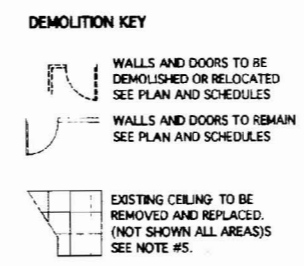
A-402



BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
100 Middle Street Portland, Maine



5 5th FLOOR DEMOLITION PLAN
Scale: 1/8" = 1'-0"



- GENERAL NOTES:**
ALL DEMOLITION WORK TO BE COORDINATED WITH NEW CONSTRUCTION. PREPARE AREAS OF DEMOLITION FOR INSTALLATION OF NEW CONSTRUCTION.
- NOTES:**
- #1 REMOVE EXISTING CIRCULAR STAIR. PREPARE EXISTING OPENING FOR NEW CONSTRUCTION. OPENING TO BE INFILLED WITH CONSTRUCTION SIMILAR TO EXISTING INCLUDING FIREPROOFING ON BUILDING STRUCTURE.
 - #2 REMOVE EXISTING GWB SOFFITS AT CEILINGS WHERE ADJACENT WALLS REMOVED. SEE NEW CEILING PLAN FOR NEW CEILING LAYOUT.
 - #3 REMOVE EXISTING CEILING COVE LIGHTING SYSTEM SEE DRAWINGS FOR NEW WORK TO BE INSTALLED.
 - #4 REMOVE WALL AS REQUIRED FOR EXPANSION OF EXISTING WORKROOM. RETAIN EXISTING WALL GLASS AND FRAMING. SEE 5th FLOOR PLAN.
 - #5 REMOVE ALL CEILING TILES AND GRID MEMBERS. CEILING GRID IS FOR ILLUSTRATION ONLY AND DOES NOT REFLECT EXISTING CEILING GRID LAYOUT OR EXTENT OF REMOVAL.
 - #6 REMOVE ALL EXISTING CARPETING ENTIRE FLOOR. COORDINATE WITH TENANT FOR RELOCATION OF FURN. FIXTURES REQUIRED FOR REMOVAL OF CARPETING.
 - #7 REMOVE ALL EXISTING LIGHTING FIXTURES IN OFFICE AND OPEN WORK AREAS. PROVIDE NEW LIGHTING FIXTURES. ELECTRICAL CONTRACTOR TO VERIFY # AND LOCATION OF NEW LIGHT FIXTURES TO PROVIDE APPROPRIATE LIGHT LEVEL FOR WORK SPACES.
 - #8 REMOVE ALL CEILING TILES IN CEILINGS TO REMAIN.
 - #9 REMOVE ALL EXISTING FINISHES IN MEN'S AND WOMEN'S RESTROOMS. REMOVE FLOORING, WALL TILE, COUNTERS, SINKS, MIRRORS, TOILET PARTITIONS, ETC. SEE PROPOSED FINISHES. COORDINATE WITH BUILDING MANAGEMENT FOR EXTENT OF UPGRADES.

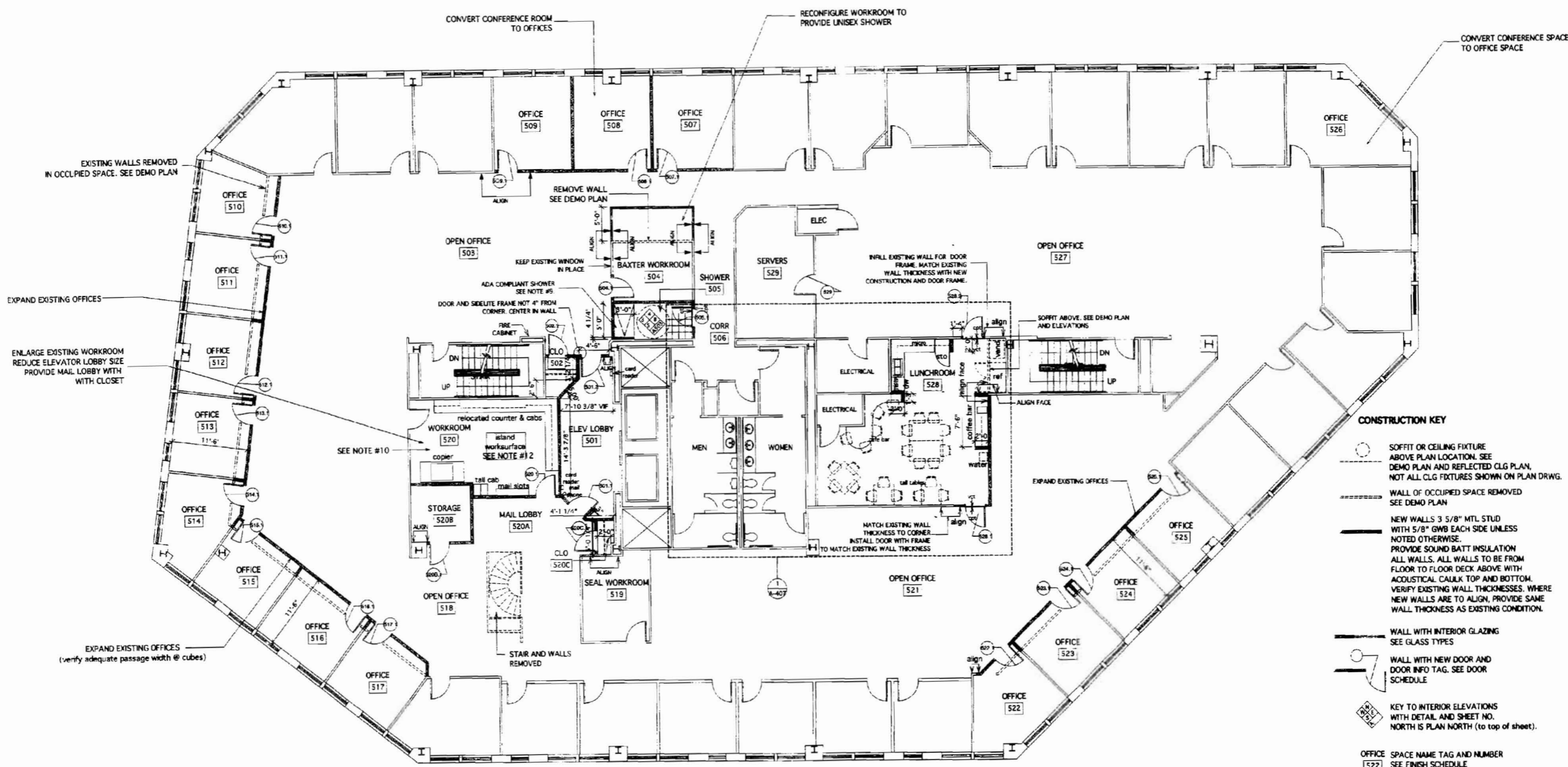
DATE: 9/3/08
REVISIONS:
DATE:

© 2006 HKTA / architects, inc.

DRAWING NO.

D-501

BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
100 Middle Street
Portland, Maine



- CONSTRUCTION KEY**
- SOFFIT OR CEILING FIXTURE ABOVE PLAN LOCATION. SEE DEMO PLAN AND REFLECTED CLG PLAN. NOT ALL CLG FIXTURES SHOWN ON PLAN DRWG.
 - WALL OF OCCUPIED SPACE REMOVED SEE DEMO PLAN
 - NEW WALLS 3 5/8" MTL STUD WITH 5/8" GWB EACH SIDE UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION ALL WALLS. ALL WALLS TO BE FROM FLOOR TO FLOOR DECK ABOVE WITH ACOUSTICAL CAULK TOP AND BOTTOM. VERIFY EXISTING WALL THICKNESSES. WHERE NEW WALLS ARE TO ALIGN, PROVIDE SAME WALL THICKNESS AS EXISTING CONDITION.
 - WALL WITH INTERIOR GLAZING SEE GLASS TYPES
 - WALL WITH NEW DOOR AND DOOR INFO TAG. SEE DOOR SCHEDULE
 - KEY TO INTERIOR ELEVATIONS WITH DETAIL AND SHEET NO. NORTH IS PLAN NORTH (to top of sheet).
 - OFFICE SPACE NAME TAG AND NUMBER SEE FINISH SCHEDULE
 - INTERCOM PHONE SERVICE TO LOCATION SELECTED BY OWNER. VISITOR PICK-UP WILL RING AT SERVICE DESK FOR MANUAL RELEASE OF DOOR LOCK BY STAFF
 - FURNITURE BY OWNER
 - EQUIPMENT BY OWNER

GENERAL NOTES:

- 1.) ALL DIMENSIONS ARE TO FACE OF FINISH SURFACE. WALLS ARE 3 5/8" MTL STUD W/5/8" GWB EACH SIDE UNLESS NOTED OTHERWISE. SEE NOTE #3.
- 2.) PROVIDE NEW CARPET AND PAINT ALL WALLS ON THE ENTIRE FLOOR. SEE FINISH SCHEDULE FOR ADDITIONAL FINISH WORK IN NEW SPACES.
- 3.) WHERE REQUIRED, ALIGN ALL NEW WALLS SUCH THAT GWB IS FLUSH WITH EXISTING SURFACES. VERIFY EXISTING WALL THICKNESS AT ALL LOCATIONS WHERE NEW WALLS ALIGN WITH EXISTING. ADJUST NEW WALL THICKNESS TO MATCH EXISTING IF REQUIRED. CONFIRM ALL DOOR FRAME DIMENSIONS FOR DOORS WHERE EXISTING WALL THICKNESS IS TO BE MATCHED BY NEW WALL AND DOOR OR WHERE NEW DOORS ARE BEING INSTALLED IN EXISTING WALLS.
- 4.) ALL DOOR FRAMES ARE 4" FROM INSIDE CORNER OF ANY ADJACENT INTERSECTING WALL.
- 5.) PROVIDE ALL NECESSARY POWER, LIGHTING, PLUMBING, HVAC, SPRINKLER AND LIFE SAFETY MODIFICATIONS REQUIRED FOR NEW CONSTRUCTION. MODIFY EXISTING SERVICE TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH BUILDING MANAGEMENT FOR MODIFICATIONS TO EXISTING BUILDING SYSTEMS. PROVIDE ALL NEW INSTALLATION TO BUILDING STANDARD UNLESS NOTED OTHERWISE.
- 6.) PROVIDE ALL NECESSARY ADA LIFE SAFETY DEVICES. PROVIDE OR RELOCATE FIRE PULL STATIONS AND FIRE EXTINGUISHERS PER CODE REQUIREMENTS.
- 7.) SECURE ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL AND STATE AGENCIES.
- 8.) SEE IT, A/V AND SECURITY REQUIREMENTS FOR PLYWOOD BLOCKING REQUIREMENTS.
- 9.) PROVIDE NECESSARY FLOOR SLAB MODIFICATIONS FOR INSTALLATION OF ADA COMPLIANT SHOWER STALL. INSTALLER TO PROVIDE SUITABLE UNIT FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- 10.) SEE 5TH FLOOR IT PLAN FOR POWER REQUIREMENTS AT EQUIPMENT AND COUNTERS.
- 11.) PROVIDE HANDICAPPED UNDERSINK PIPING PROTECTION AT OPEN SINK IN KITCHEN.
- 12.) PROVIDE 4'x6' ISLAND WORKCOUNTER. PROVIDE P-LAM TOP SURFACE AND PAINTED SUPPORTS. PROVIDE WORKSURFACE AT 36" AFF. PROVIDE ONE FLL SHELF AT 12" AFF. P-LAM BY FORMICA OR EQUAL. COLOR TO BE SELECTED BY OWNER.
- 13.) SEE FINISH SCHEDULE FOR NEW FINISHES. ALL NEW AND EXISTING SPACES TO BE PAINTED. REMOVE ALL EXISTING VINYL WALL PAPER PRIOR TO PAINTING. REPAIR WALL AS NECESSARY AFTER WALLPAPER REMOVED AND PRIOR TO PAINTING.

5Da BERRY, DUNN, MCNEIL, PARKER
5 5TH FLOOR SCHEMATIC PLAN 8/02/07 08/20/07
FINAL PLAN 8/27/07
HKTA/architects
1/8" = 1'-0"

↑ NORTH (SHEET ONLY)

1 FIFTH FLOOR PLAN
A-501 Scale: 1/8" = 1'-0"

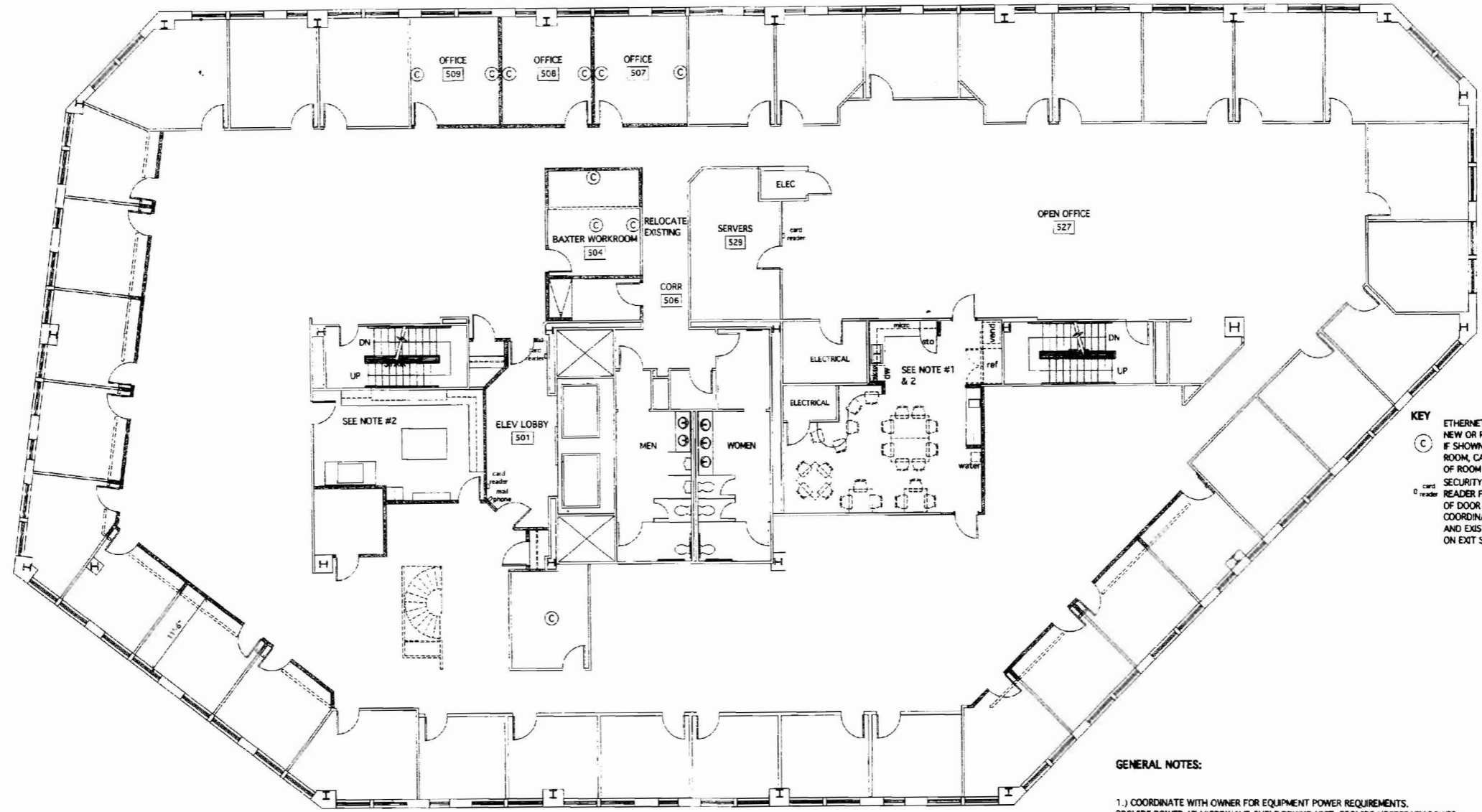
DATE: 9/3/08
REVISIONS:
DATE:

© 2008 HKTA / architects, inc.

DRAWING NO.

A-501

BERRY DUNN McNEIL PARKER
FOURTH AND FIFTH FLOOR
 100 Middle Street Portland, Maine



KEY
 (C) ETHERNET CONNECTION
 NEW OR RELOCATED
 IF SHOWN IN CENTER OF
 ROOM, CABLE TO CENTER
 OF ROOM ABOVE CEILING.
 (C) SECURITY CARD ACCESS
 READER FOR CONTROL
 OF DOOR HARDWARE.
 COORDINATE WITH OWNER
 AND EXISTING EQUIPMENT
 ON EXIT STAIR DOORS.

GENERAL NOTES:
 1.) COORDINATE WITH OWNER FOR EQUIPMENT POWER REQUIREMENTS.
 PROVIDE POWER AT MICROWAVE SHELF BEHIND UNIT. PROVIDE NECESSARY POWER
 FOR COFFEE EQUIPMENT, DISHWASHER, REFRIGERATOR AND VENDING EQUIP.
 PROVIDE 2 DUPLEX OUTLETS ABOVE BACKSPASH AT ALL COUNTER SURFACES.
 PROVIDE GFI OUTLETS WHERE REQUIRED BY CODE.
 2.) COORDINATE WITH OWNER FOR WORKROOM EQUIPMENT POWER REQUIREMENT.
 VERIFY COPIER POWER REQUIREMENTS. PROVIDE 2 DUPLEX OUTLETS ABOVE EACH
 COUNTER WORKSURFACE.

5Da BERRY, DUNN, McNEIL, PARKER
5 5TH FLOOR SCHEMATIC PLAN 8/02/07 08/20/07
 FINAL PLAN 8/27/07
 HKTA/architects
 1/8"=1'-0"




1 FIFTH FLOOR PLAN IT A/V & SECURITY
 A-507 Scale: 1/8" = 1'-0"

DATE: 9/3/08
 REVISIONS:
 DATE:

© 2008 HKTA / architects, inc.

DRAWING NO.
A-501IT
 IT/A/V
 & SECURITY




 NORTH (SHEET ONLY)
1 FIFTH FLOOR FURNITURE PLAN
 A-501F Scale: 1/8" = 1'-0"

NOTE: FURNITURE LAYOUT PROVIDED FOR REFERENCE ONLY
 TO FACILITATE UNDERSTANDING OF POSSIBLE MODIFICATIONS
 REQUIRED TO MECHANICAL, ELEC, SPRINKER, ETC. SYSTEMS
 BY CONTRACTORS AND BUILDING MANAGEMENT. ACTUAL LAYOUT
 MAY VARY FROM THIS PLAN AND QUESTIONS NEED TO BE
 BROUGHT TO THE ATTENTION OF TENANT.

HKTA / architects, inc.
 482 Congress Street Suite 502
 Portland, Maine 04101
HKTA / architects
 phone: 207.774.6016
 fax: 207.774.9228
 e-mail: info@hkta.com

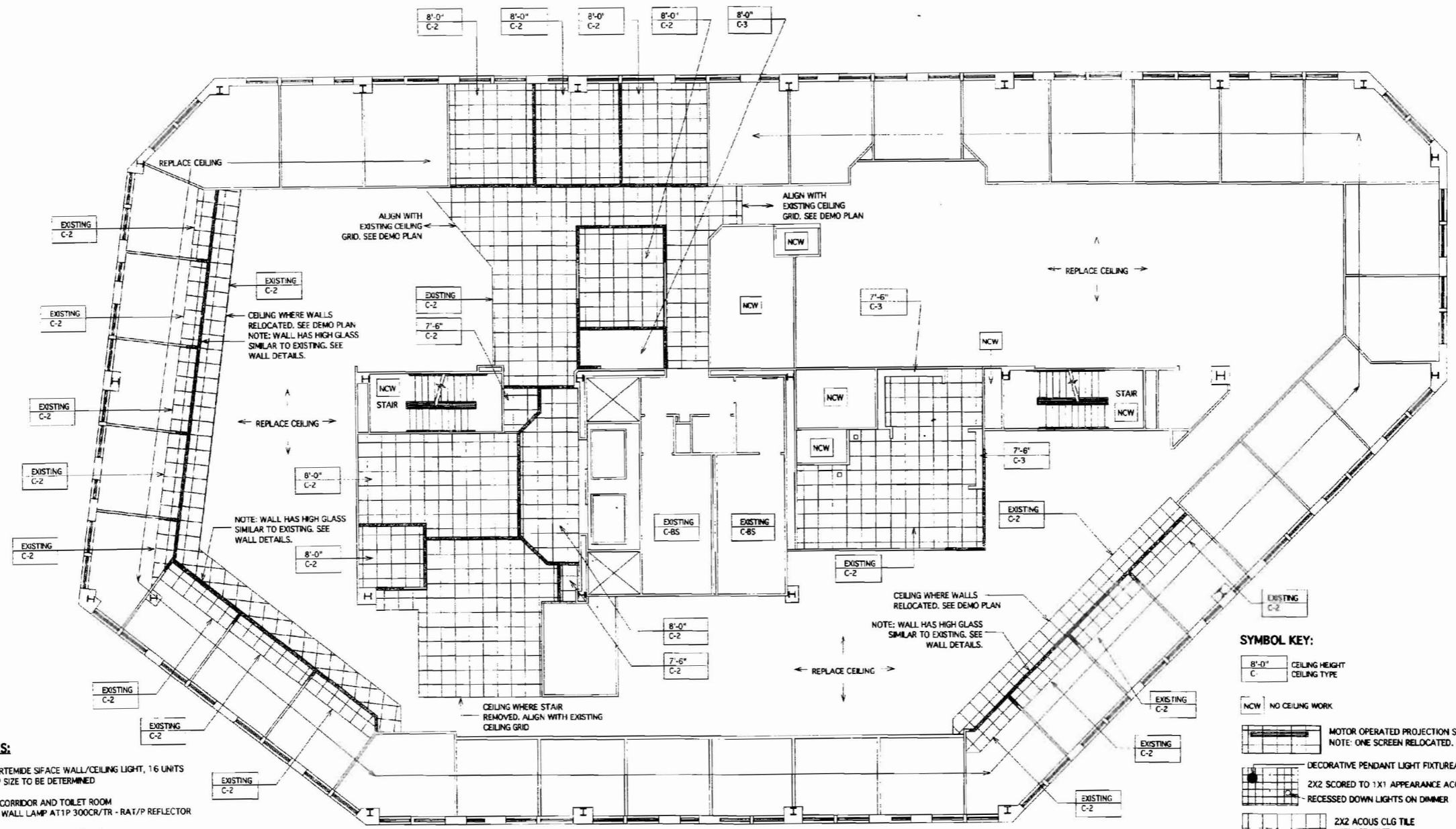
BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
 100 Middle Street Portland, Maine

DATE: 9/03/08
 REVISIONS:
 DATE:

© 2008 HKTA / architects, inc.

DRAWING NO.
A-501F

BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
 100 Middle Street Portland, Maine



SELECTED LIGHTING FIXTURES:

CONFERENCE ROOM #441 ENTRANCE: ARTEMIDE SFACE WALL/CEILING LIGHT, 16 UNITS GROUPED AS SINGLE FIXTURE. LAMP SIZE TO BE DETERMINED

WALL SCONCE AT SMALL CONFERENCE CORRIDOR AND TOILET ROOM
 CORRIDORS: Y LIGHTING: SCINTILLA WALL LAMP AT 1P 300CR/TR - RA1/P REFLECTOR

OVER CONFERENCE ROOM TABLE: LIGHTOLIER LYTESPREAD LSC-11,
 2 LIGHT T8 PERFORATED SHIELDING, 4' LENGTH - WHITE

ACCENT LIGHT: LIGHTOLIER VETRO DOWNLIGHT 4" CFL

DOWN LIGHT: BY ELECTRICAL CONTRACTOR

SEATING PENDANT: GEORGE NELSON OIGAR PENDANT LAMP

BATHROOM MIRROR LIGHTS: REMOVATORS HARDWARE OWELL SCONCE, 60W
 5"X5"X15.25"

LUNCHROOM PENDANT: Y LIGHTING: CAFFE PENDANT FNT-CAFFEE - COLOR TO BE SELECTED

GENERAL WORK AREAS AND PRIVATE OFFICE SPACE: LIGHTOLIER ALTER
 CONCEPT SR T5, 2X2, 2X4 TO REPLACE EXISTING.

NOTE:
 ELECTRICAL CONTRACTOR TO VERIFY ALL SUGGESTED INSTALLATIONS FOR APPROPRIATE LIGHT LEVEL FOR LOCATION. IF LIGHT LEVELS ARE CONSIDERED EXCESSIVE OR INADEQUATE BY THE ELECTRICAL CONTRACTOR MODIFICATIONS RECOMMENDATIONS ARE REQUESTED.

5th FLOOR REFLECTED CEILING PLAN
 Scale: 1/8" = 1'-0"

CEILING/LIGHTING NOTES:

- PROVIDE ARMSTRONG AXIOM CEILING EDGE FOR CURVED 6" HIGH CURVED FASCIA AT ELEVATOR LOBBY. PROVIDE ASSEMBLY FOR TILE TO GWB TRANSITION AND GWB TO GWB TRANSITION.
 ALTERNATIVE IS TO PROVIDE GWB FASCIA WITH EQUAL RADIUS. CEILING HEIGHTS CHANGE IN 6" STEPS FROM 7'6" TO 8'6". SEE CLG PLAN.
- LIGHTING DESIGN AND LAYOUT BY BUILDING MANAGEMENT UNLESS SPECIFIC LOCATIONS OR FIXTURES ARE PROVIDED. ELECTRICAL DESIGNER TO VERIFY ADEQUATE LIGHT LEVELS IN LOCATIONS WHERE FIXTURES ARE SUGGESTED AS PART OF SPACE DESIGN.
- IN AREAS WHERE CEILINGS ARE MODIFIED FOR NEW CONSTRUCTION EXISTING LIGHTING LAYOUT TO BE REPOSITIONED FOR ADEQUATE LIGHT QUALITY AND UNIFORM APPEARANCE.
- GENERAL AREA AND OFFICE LIGHTING LIGHTING FIXTURES TO BE UPGRADED. 2X2 AND 2X4 AS REQUIRED TO MATCH EXISTING LOCATIONS. COORDINATE WITH BUILDING MANAGEMENT FOR FIXTURE UPGRADE.
- ELECTRICAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF LIGHTING PLACEMENT WITH EXISTING OR PROPOSED ABOVE CEILING EQUIPMENT, PIPING, ETC.

CEILING TYPE:

- C-1 ARMSTRONG "CIRRUS PROFILE/CLASSIC STEP" #626 (SCORED) 24X24X3/4, 15/16 GRID FACE "PRELUDE"
- C-2 ARMSTRONG "CIRRUS PROFILE/CLASSIC STEP" #591 24X24X3/4, 15/16 GRID FACE "PRELUDE"
- C-3 PAINTED GWB
- C-BS BUILDING STANDARD. CONFIRM WITH BUILDING MANAGEMENT

SYMBOL KEY:

- 8'-0" C-2 CEILING HEIGHT
C-2 CEILING TYPE
- NCW NO CEILING WORK
- MOTOR OPERATED PROJECTION SCREEN. SEE IT, A/V PLAN
NOTE: ONE SCREEN RELOCATED. SEE PLAN
- DECORATIVE PENDANT LIGHT FIXTUREANCE WHERE SHOWN
- 2X2 SCORED TO 1X1 APPEARANCE ACOUS CLG TILE
- RECESSED DOWN LIGHTS ON DIMMER
- 2X2 ACOUS CLG TILE REPLACEMENT MATCH EXISTING
- SUGGESTED 2X2 FIXTURE LOCATION (conference only)
- 2X2 ACOUS CLG TILE NEW TEGULAR PROFILE WITH 15/16" GRID
- GWB CEILING OR SOFFIT W/ DOWN LIGHTS ON DIMMERS PROVIDE DIMMABLE FIXTURES AT CONFERENCE ROOM
- GWB WITH WALL WASH FIXTURES
- PENDANT HUNG FIXTURES AT LUNCH COUNTER
- WALL MOUNTED FIXTURE AT ELEV LOBBY

DATE: 9/3/08
 REVISIONS:
 DATE:

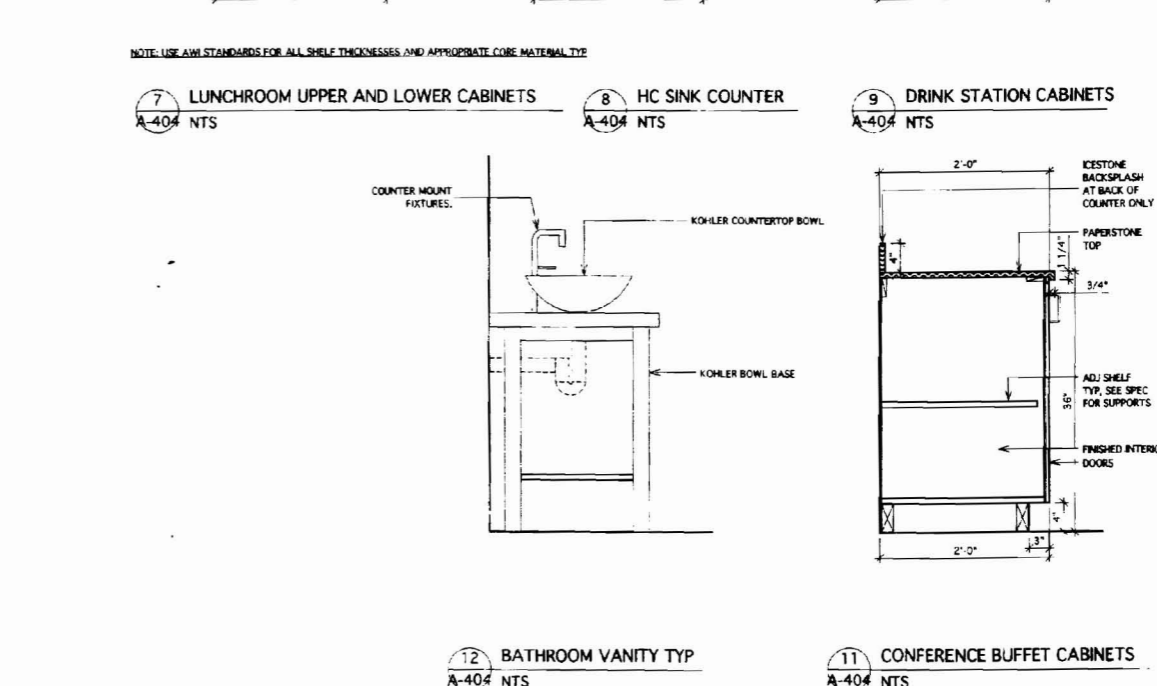
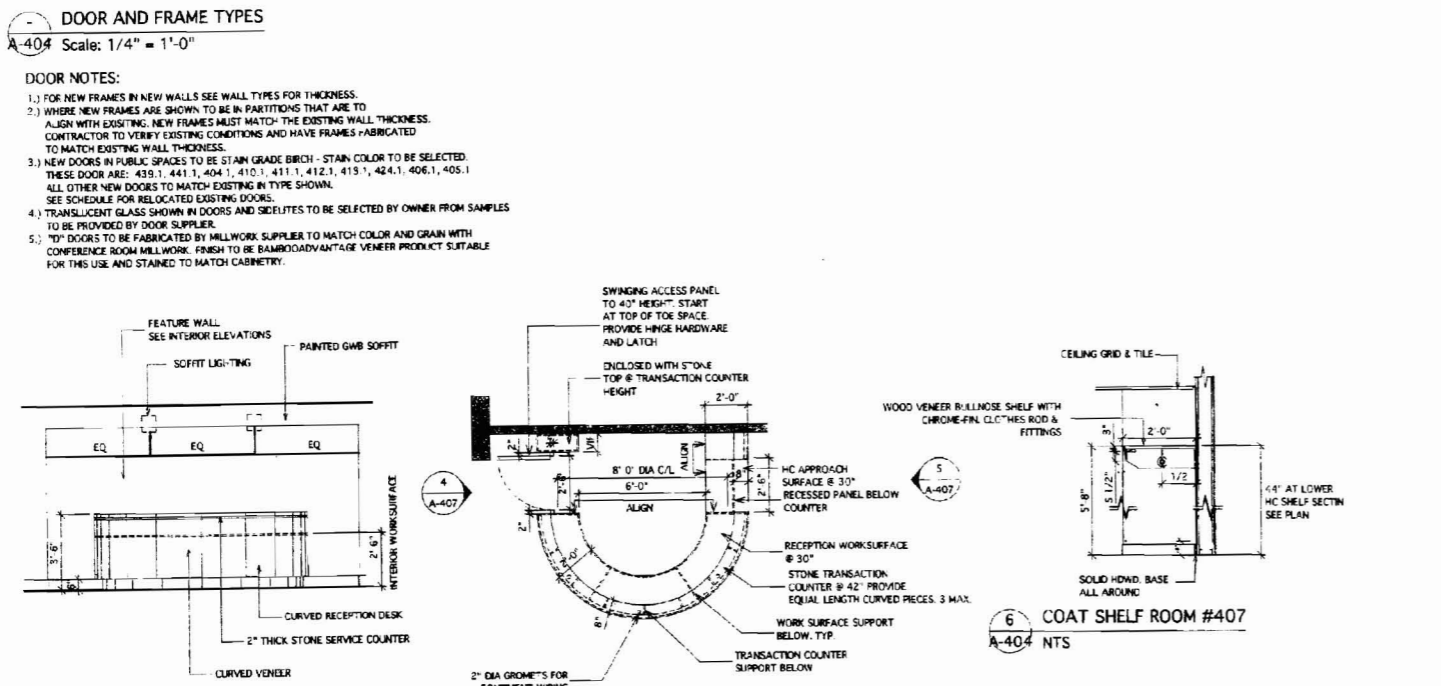
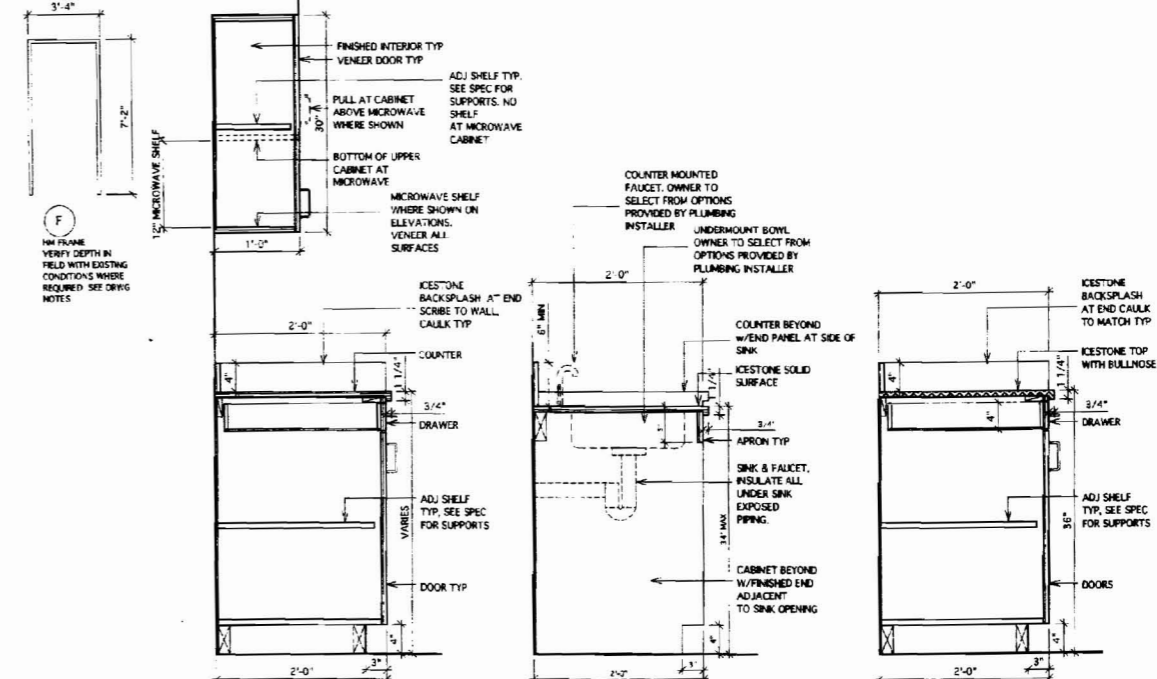
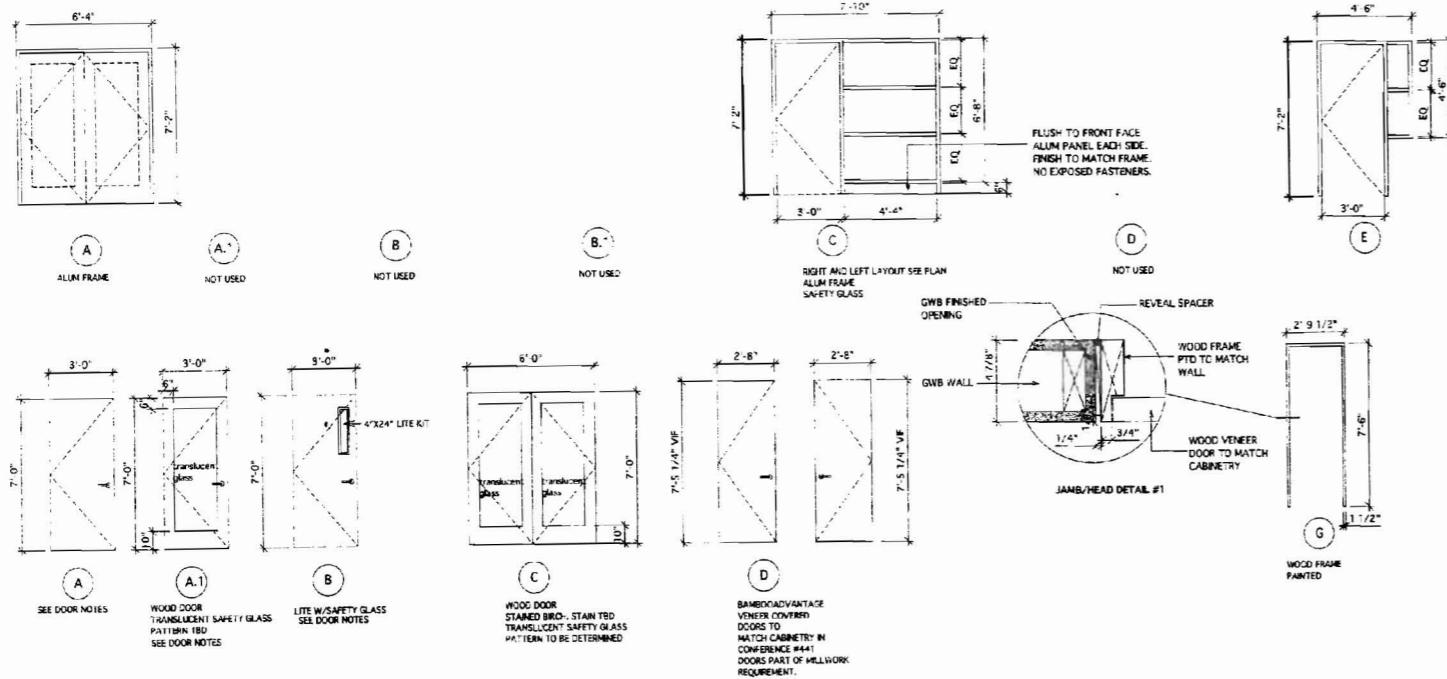
© 2008 HKTA / architects, inc.

DRAWING NO.

A-502

Room Name	Floor Finish	Base Material	North Wall Finish	East Wall Finish	South Wall Finish	West Wall Finish	Ceiling Material	Ceiling Height	Remarks	NOTES
401	ELEV LOBBY	STONE/CPT	STONE/WOOD	PT-1	MA	PT-3	GWB/ACOUS	7'6, 8'0", 8'6"		
402	RECEPTION	STONE/CPT	WOOD	PT-1	MA	PT-3	ACOUS	8'6"		
403	SEATING	STONE/CPT	WOOD	PT-1	PT-1	PT-3	GWB/ACOUS	8'6"		
404	CONF	CPT-3	WOOD	PT-2	PT-2	PT-1	ACOUS	8'0"		
405	WOMEN	CT-1/CT-2	CT-2	PT-4	PT-4	PT-4	GWB	8'0"	SEE PLAN	EXHAUST FAN
406	MEN	CT-1/CT-2	CT-2	PT-4	PT-4	PT-4	GWB	8'0"	SEE PLAN	EXHAUST FAN
407	COATS	CPT	WOOD	PT-1	PT-1	PT-1	ACOUS	8'0"		
408	DRINKS	STONE	WOOD/MVNL	PT-1	PT-3	PT-3	GWB	8'0"		STRAIGHT VINYL @ TOE SPACE
409	CORR	CPT	WOOD	PT-1	PT-1	PT-1	ACOUS	8'6"		
410	CONF	CPT-3	WOOD	PT-1	PT-1	PT-2	ACOUS	8'0"		
411	CONF	CPT-3	WOOD	PT-1	PT-2	PT-1	ACOUS	8'0"		
412	CONF	CPT-3	WOOD	PT-2	PT-1	PT-1	ACOUS	8'0"		
413	CONF	CPT-3	WOOD	PT-2	PT-1	PT-1	ACOUS	8'0"		
414	CORR	CPT	WOOD	PT-1/PT-3	PT-1	PT-1	ACOUS	8'6"		PT-3 @ TOILET DOOR WALL
415	BREAK	EXIST	EXIST	PT-1	PT-1	PT-1	ACOUS	8'0"		
416	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
417	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
418	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
419	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
420	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
421	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
422	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
423	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
424	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
425	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
426	TAX PROCESSING	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
427	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
428	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
429	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
430	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
431	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
432	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
433	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
434	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
435	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
436	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
437	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
438	STORAGE	MCT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
439	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
440	CORR	CPT	WOOD	PT-1	PT-1	PT-1	ACOUS	8'0"		
441	CONF	CPT-2/CPT-3	WOOD	PT-1	PT-1/3	PT-1	GWB/ACOUS	9'8"-6"	Blackout shades	PT-3 E WALL BUFFET RECESS
442	SEATING	CPT-2	WOOD	PT-1	PT-2	PT-2	ACOUS	8'0"	Blackout shades	
443	IT	MCT	VINYL	PT-1	PT-1	PT-1	EXIST	8'0"		COVED VINYL BASE
501	ELEV LOBBY	CPT	WOOD	PT-1	PT-1	PT-1	ACOUS	8'0"		
502	CLO	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"	rod and shelf	
503	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
504	BAXTER WORK	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
505	SHOWER	CT-4	CT-3	CT-3/PT-5	CT-3/PT-5	CT-3/PT-5	SHWR/PT-5	GWB	8'0"	EXHAUST FAN
506	CORR	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
507	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
508	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
509	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
510	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
511	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
512	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
513	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
514	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
515	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
516	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
517	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	ACOUS		
518	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
519	SEAL WORKROOM	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
520	WORKROOM	MCT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
520A	MAIL LOBBY	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
520B	STORAGE	MCT	VINYL	PT-1	PT-1	PT-1	MCT	ACOUS	8'0"	shelving NIC
520C	CLO	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"	rod and shelf	
521	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
522	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
523	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
524	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
525	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
526	OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	EXIST		
527	OPEN OFFICE	CPT	VINYL	PT-1	PT-1	PT-1	ACOUS	8'0"		
528	LUNCHROOM	MCT	VINYL	PT-1	PT-1	PT-1	ACOUS/GWB	8'0"		
529	SERVERS	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		

DOOR		SIZE		FRAME		GENERAL		REMARKS							
ID	Location	Type	Width	Height	Thk	Mtrl	Glazing	Type	Mtrl	Jamb	Head	FIRE Label	HRDWR Set	Accessories	Remarks
404.1	404	A.1	3'0"	7'0"	1 3/4"	WD	SAFETY	C	ALLUM						SIDELITE SAFETY GLAZING
405.1	405	A	3'0"	7'0"	1 3/4"	WD		F	HM						PRIVACY LOCK
406.1	406	A	3'0"	7'0"	1 3/4"	WD		F	HM						PRIVACY LOCK
410.1	410	A.1	3'0"	7'0"	1 3/4"	WD	SAFETY	C	ALLUM						SAFETY GLAZING IN FRAME
411.1	411	A.1	3'0"	7'0"	1 3/4"	WD	SAFETY	C	ALLUM						SAFETY GLAZING IN FRAME
412.1	412	A.1	3'0"	7'0"	1 3/4"	WD	SAFETY	C	ALLUM						SAFETY GLAZING IN FRAME
413.1	413	A.1	3'0"	7'0"	1 3/4"	WD	SAFETY	C	ALLUM						SAFETY GLAZING IN FRAME
415.1	415	A	3'0"	7'0"	1 3/4"	WD		F	HM					CK SIZE	DOOR RELOCATED SEE DEMO
416.1	416	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM					CK SIZE	DOOR RELOCATED SEE DEMO
417.1	417	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM					CK SIZE	DOOR RELOCATED SEE DEMO
418.1	418	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM						DOOR RELOCATED SEE DEMO
419.1	419	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM						DOOR RELOCATED SEE DEMO
420.1	420	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM						DOOR RELOCATED SEE DEMO
421.1	421	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM						DOOR RELOCATED SEE DEMO
422.1	422	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM					CK SIZE	DOOR RELOCATED SEE DEMO
423.1	423	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM						DOOR RELOCATED SEE DEMO
424.1	424	B	3'0"	7'0"	1 3/4"	WD		F	HM						hardware w/card reader
424.2	424	B	3'0"	7'0"	1 3/4"	WD		F	HM						hardware w/card reader
427.1	427	A	3'0"	7'0"	1 3/4"	WD		F	HM					CK SIZE	DOOR RELOCATED SEE DEMO
428.1	428	A	3'0"	7'0"	1 3/4"	WD		F	HM						
429.1	429	A	3'0"	7'0"	1 3/4"	WD		F	HM						
430.1	430	A	3'0"	7'0"	1 3/4"	WD		F	HM						
431.1	431	A	3'0"	7'0"	1 3/4"	WD		F	HM						
432.1	432	A	3'0"	7'0"	1 3/4"	WD		F	HM						
433.1	433	A	3'0"	7'0"	1 3/4"	WD		F	HM						
434.1	434	A	3'0"	7'0"	1 3/4"	WD		F	HM						
435.1	435	A	3'0"	7'0"	1 3/4"	WD		F	HM						
436.1	436	A	3'0"	7'0"	1 3/4"	WD		F	HM						
437.1	437	A	3'0"	7'0"	1 3/4"	WD		F	HM						
438.1	438	A	3'0"	7'0"	1 3/4"	WD		F	HM						
439.1	439	A	3'0"	7'0"	1 3/4"	WD		F	HM						
441.1	441	A.1	(2x) 3'0"	7'0"	1 3/4"	WOOD	SAFETY	A	ALLUM						hardware w/card reader
441.2	441	B	3'0"	7'0"	1 3/4"	WD		F	HM						hardware w/card reader
441.3	441	D	2'8"	VIF	1 3/4"	WD		G	WD	#1	#1				VENEER TO MATCH CABINETS
441.4	441	D	2'8"	VIF	1 3/4"	WD		G	WD	#1	#1				VENEER TO MATCH CABINETS
443.1	443	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST	EXIST						
501.1	501	A	3'0"	7'0"	1 3/4"	WD		E	ALLUM						note #6
501.2	501	B	3'0"	7'0"	1 3/4"	WD		F	ALLUM						hardware w/card reader
502.1	502	A	3'0"	7'0"	1 3/4"	WD		F	HM						
504.1	504	EXISTING	3'0"	7'0"	1 3/4"	WD		F	HM						



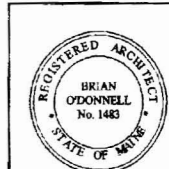
CASEWORK NOTES:

- COUNTERTOPS & BACK SPLASHES @ KITCHEN: ICESTONE SOLID SURFACE W/SQUARE EDGE
- LOBBY SHELF, RECEPTION DESK SERVICE TOP TO BE: MARBLE BED CARRARA LOG 4550 MTG
- CABINETS AND DRAWERS: BAMBOOADVANTAGE, GRAIN STYLE TO BE SELECTED.
- CABINET INTERIOR: BAMBOOADVANTAGE
- ALL SHELVING SHALL BE ADJUSTABLE
- EURO-STYLE HINGES TYP.
- ALL EXPOSED HARDWARE FINISHES SHALL BE SATIN-CHROMIUM PLATED, OR SATIN SS. HARDWARE STYLE TO BE CHOSEN BY OWNER FROM CABINET SUPPLIER SELECTION.
- RECEPTION DESK VENEER TO BE BAMBOOADVANTAGE, GRAIN STYLE TO BE SELECTED.
- SINK AND FAUCET ITEMS TO BE SELECTED BY OWNER FROM OPTIONS PROVIDED BY PLUMBING INSTALLER. COORDINATE COUNTERTOP REQUIREMENTS WITH SELECTED PLUMBING FIXTURES.

RECEPTION DESK GENERAL NOTES:

PROVIDE SHOP DRAWINGS FOR RECEPTION DESK FOR APPROVAL PRIOR TO FABRICATION. PROVIDE BAMBOOADVANTAGE VENEER SAMPLES FOR APPROVAL BY OWNER. PROVIDE HARDWARE SAMPLES FOR APPROVAL BY OWNER.

HKTA / architects, Inc.
485 Congress Street, Suite 502
Portland, Maine 04101
phone: 603.777.0100
fax: 603.777.0105
e-mail: hkta@hkta.com

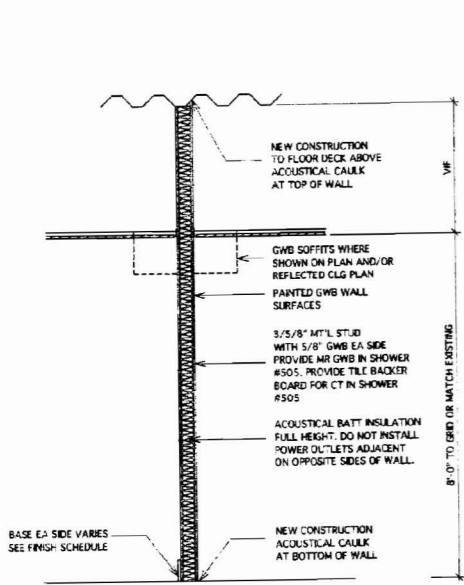


BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
100 Middle Street
Portland, Maine

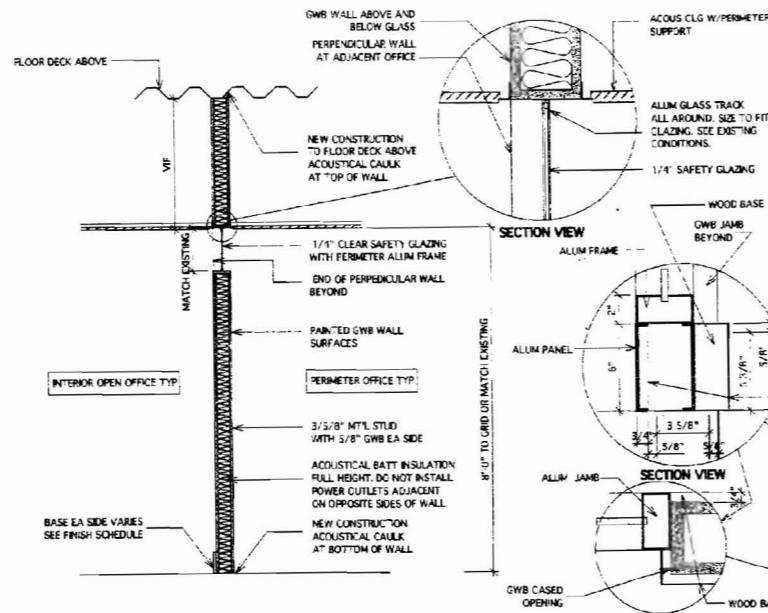
DATE: 9/3/08
REVISIONS:
DATE:

© 2008 HKTA / architects, Inc.

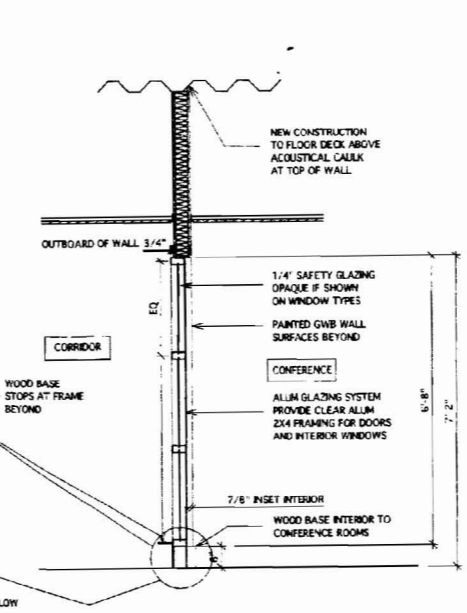
DRAWING NO.
A-404



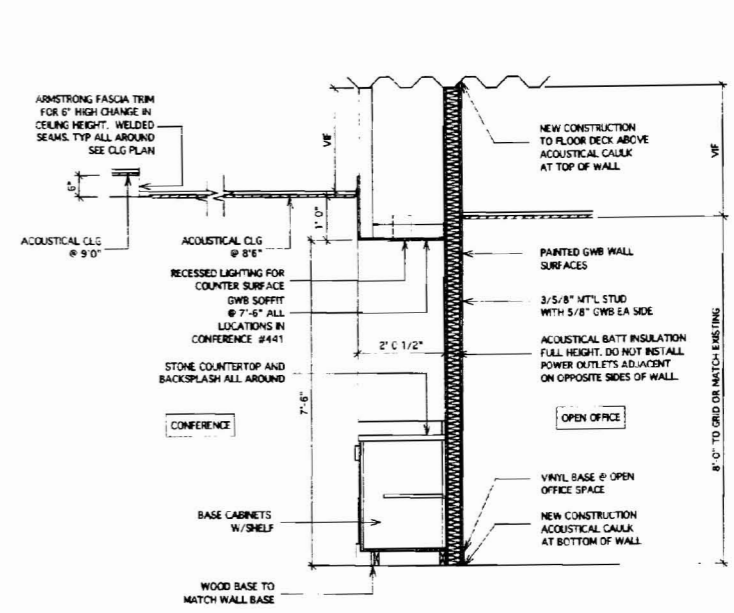
1 FULL WALL SECTION NEW CONSTRUCTION
A-405 Scale: 1/2" = 1'-0"



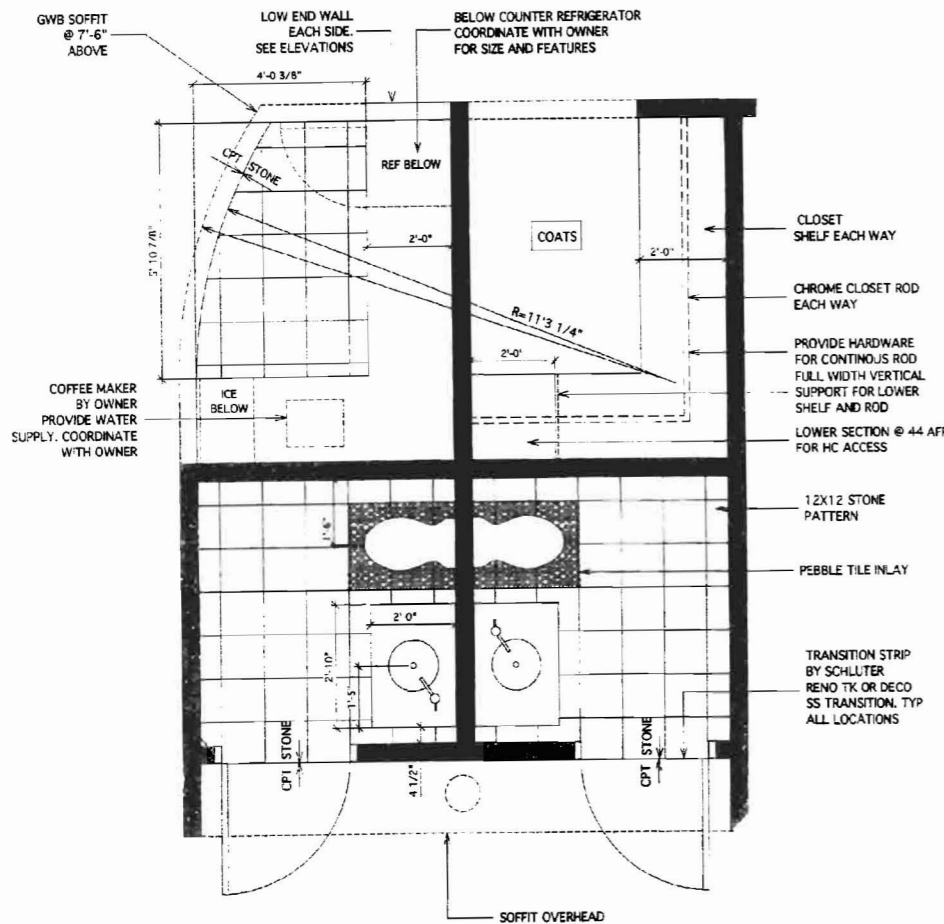
2 WALL W/GLASS NEW CONSTRUCTION
A-405 Scale: 1/2" = 1'-0"



3 FULL WALL SECTION AT INTERIOR WINDOWS
A-405 Scale: 1/2" = 1'-0"



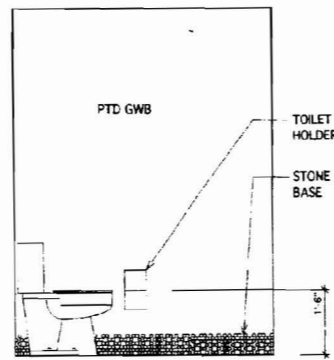
4 CLG CHANGE AND COUNTERS AT CONFERENCE 441
A-405 Scale: 1/2" = 1'-0"



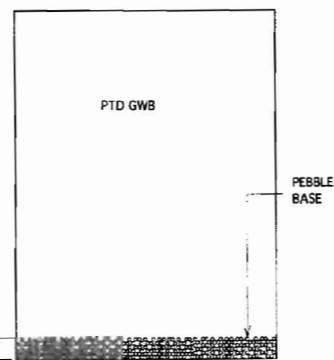
5 ENLARGED RESTROOM DRINK AND COATS PLAN
A-405 Scale: 1/2" = 1'-0"

TOILET ROOM FIXTURES AND ACCESSORIES:

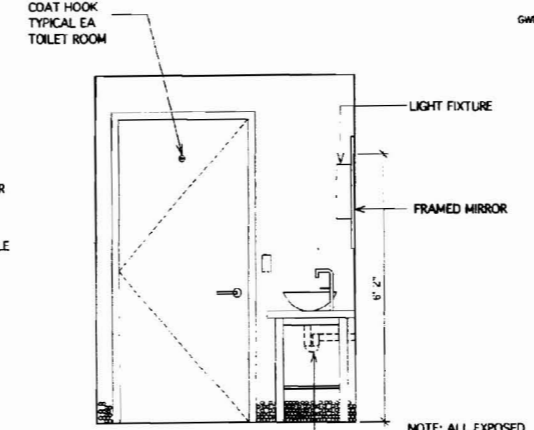
CONTRACTOR TO PROVIDE AND INSTALL:
TOILET: KOHLER SAN RAPHAEL COMFORT HEIGHT PRESSURE LITE 1.0 GPF ELONGATED WITH SEAT
WASH BOWL STAND: KOHLER
WASH BOWL: KOHLER
FAUCET: TENSO DECK MOUNT VESSEL FAUCET BY GROHE 2.2 GPM, STARLIGHT CHROME, 13" TALL
MIRROR: KOHLER, TELLIEUR 20"x31", K-3113
TOILET PAPER HOLDER: SONIA, TECNO PROJECT #116997
MIRROR LIGHTS: RENOVATORS HARDWARE POWELL SCONCE
POLISHED NICKEL FINISH, 60W LAMP.



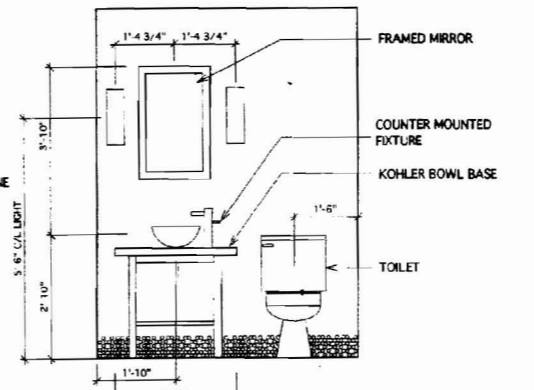
6 NORTH ELEVATION BATHROOM TYP
A-405 Scale: 1/2" = 1'-0"



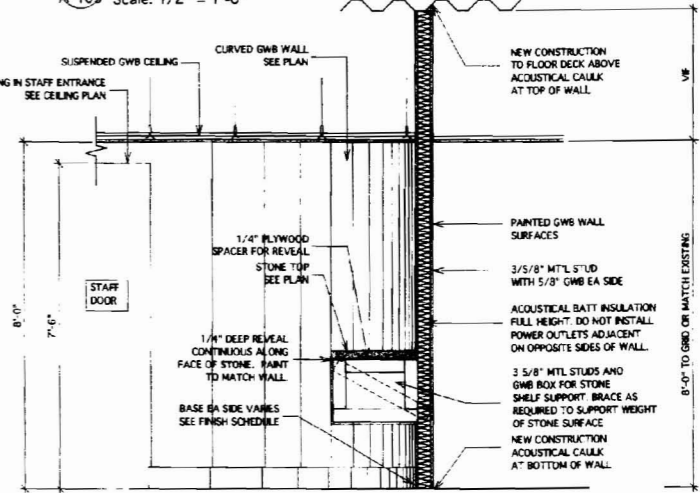
7 EAST ELEVATION BATHROOM TYP
A-405 Scale: 1/2" = 1'-0"



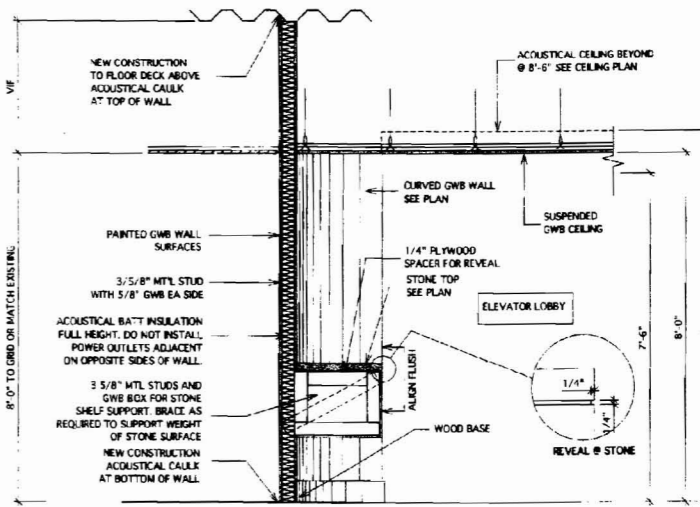
6 SOUTH ELEVATION BATHROOM TYP
A-405 Scale: 1/2" = 1'-0"



8 WEST ELEVATION BATHROOM TYP
A-405 Scale: 1/2" = 1'-0"



9 WALL SECTION @ LOBBY SHELF
A-405 Scale: 1/2" = 1'-0"



10 WALL SECTION @ LOBBY SHELF
A-405 Scale: 1/2" = 1'-0"

BERRY DUNN MCNEIL PARKER
FOURTH AND FIFTH FLOOR
100 Middle Street
Portland, Maine

DATE: 9/3/08
REVISIONS:
DATE:

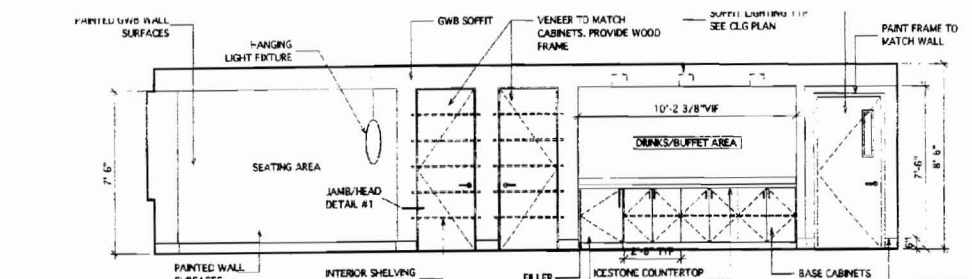
DRAWING NO.

A-405

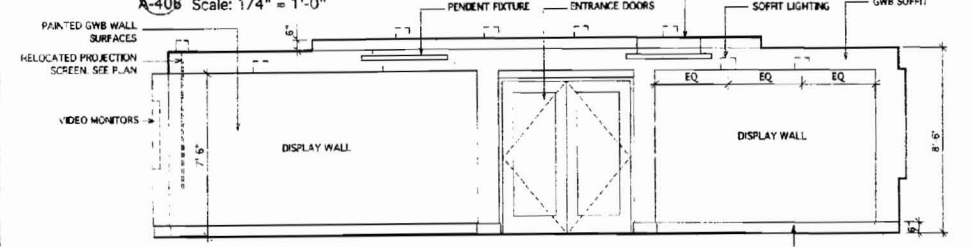
HKTA / architects, inc.
482 Congress Street Suite 402
Portland, Maine 04101
phone: 207.774.6016
fax: 207.774.9128
e-mail: bdm@hkta.com



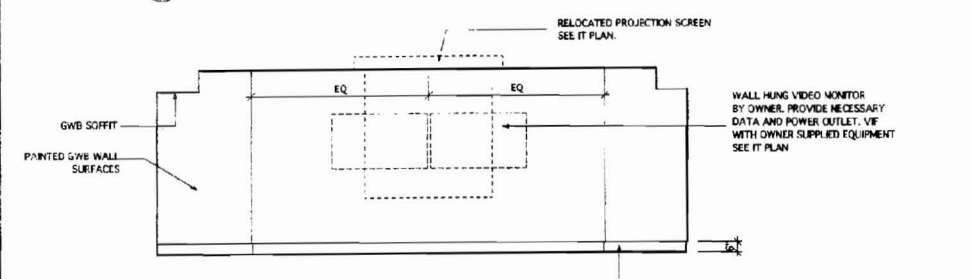
© 2008 HKTA / architects, inc.



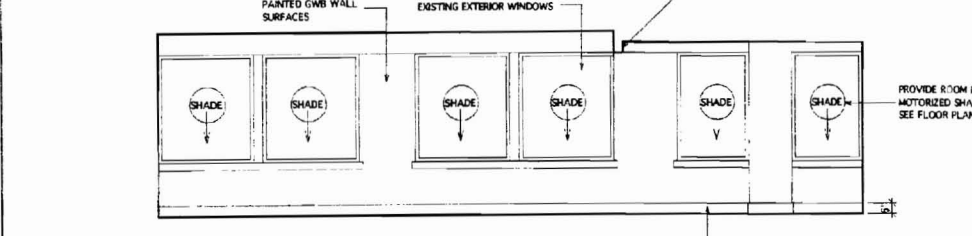
1 EAST ELEVATION CONFERENCE ROOM
A-406 Scale: 1/4" = 1'-0"



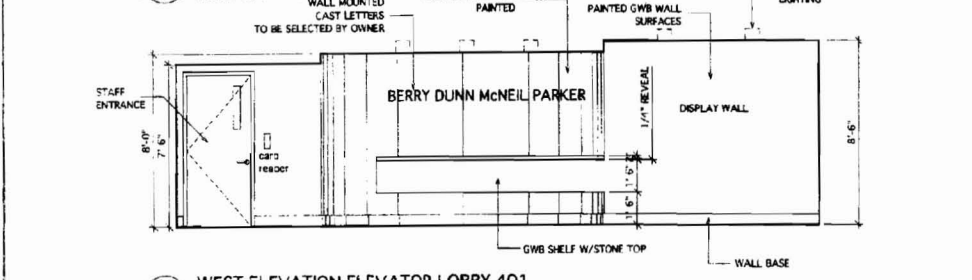
6 WEST ELEVATION CONFERENCE ROOM
A-406 Scale: 1/4" = 1'-0"



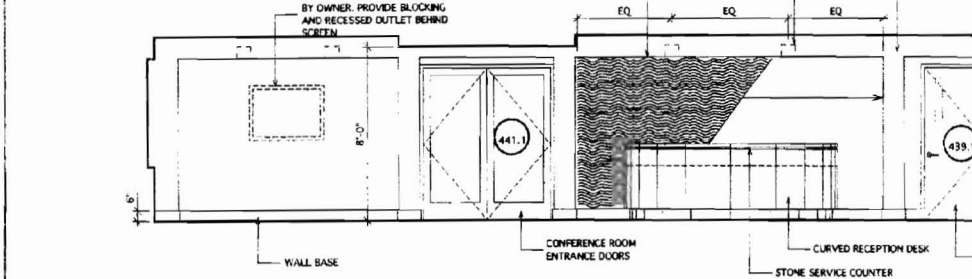
9 SOUTH ELEVATION CONFERENCE ROOM
A-406 Scale: 1/4" = 1'-0"



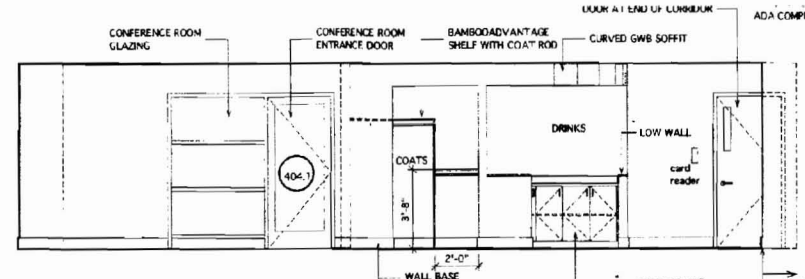
12 NORTH ELEVATION CONFERENCE ROOM
A-406 Scale: 1/4" = 1'-0"



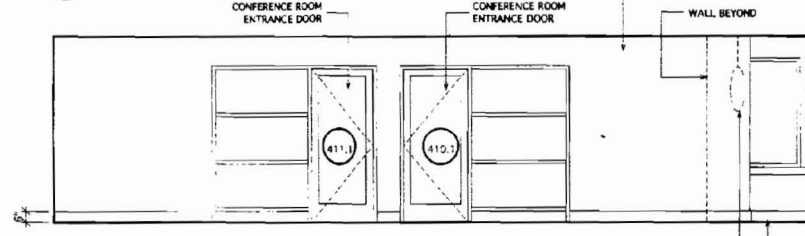
15 WEST ELEVATION ELEVATOR LOBBY 401
A-406 Scale: 1/4" = 1'-0"



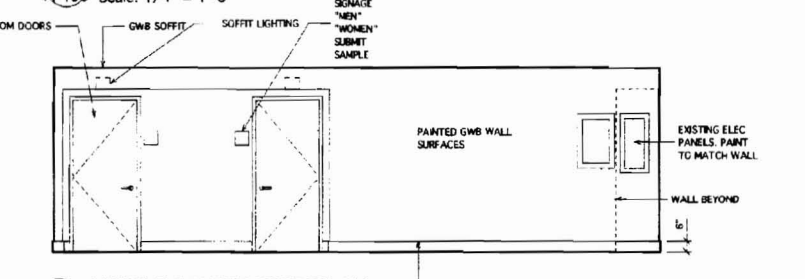
19 WEST ELEVATION RECEPTION 402/SEATING 403
A-406 Scale: 1/4" = 1'-0"



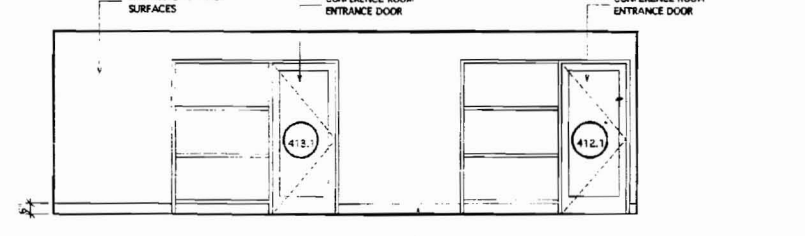
2 SOUTH ELEVATION CORRIDOR 409
A-406 Scale: 1/4" = 1'-0"



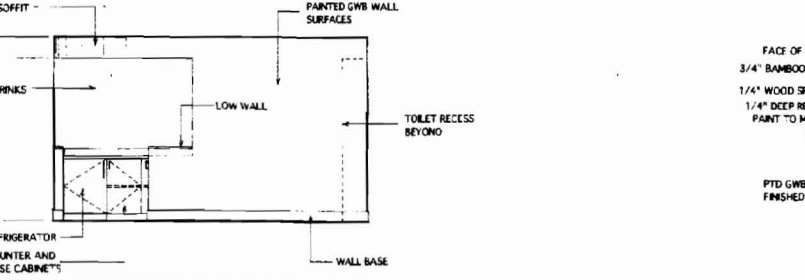
7 NORTH ELEVATION CORRIDOR 409/SEATING 403
A-406 Scale: 1/4" = 1'-0"



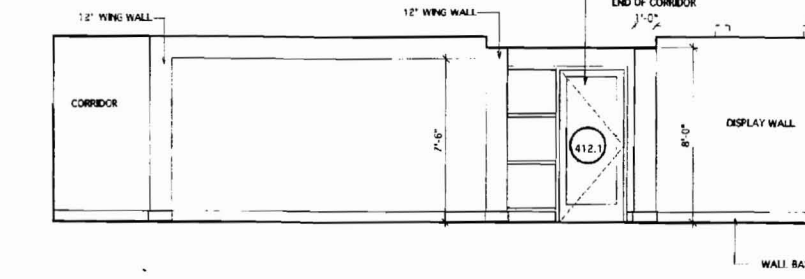
10 NORTH ELEVATION CORRIDOR 414
A-406 Scale: 1/4" = 1'-0"



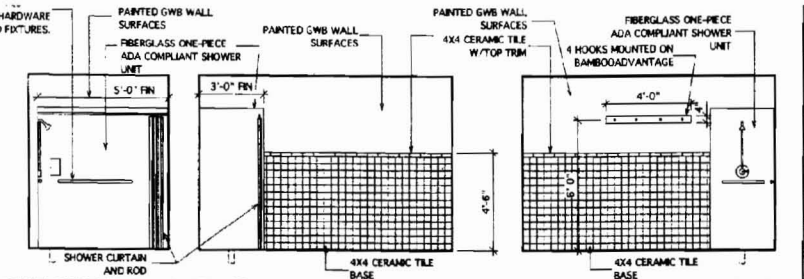
13 WEST ELEVATION CORRIDOR 409
A-406 Scale: 1/4" = 1'-0"



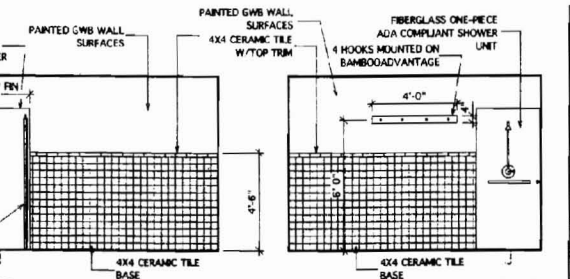
16 EAST ELEVATION CORRIDOR 409/DRINKS 408
A-406 Scale: 1/4" = 1'-0"



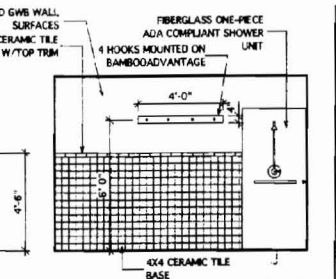
20 WEST ELEVATION RECEPTION 402/SEATING 403
A-406 Scale: 1/4" = 1'-0"



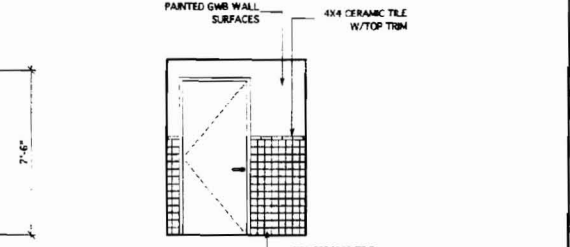
3 WEST SHOWER ELEVATION
A-406 Scale: 1/4" = 1'-0"



4 NORTH SHOWER ELEVATION
A-406 Scale: 1/4" = 1'-0"

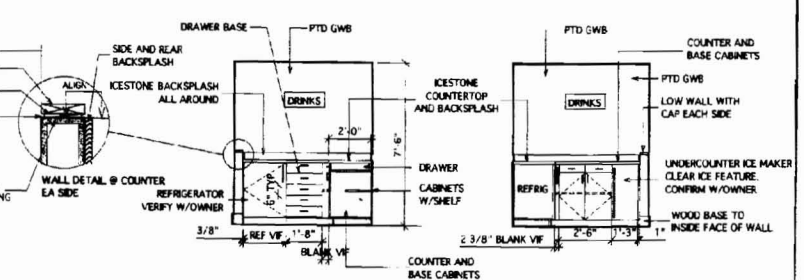


5 SOUTH SHOWER ELEVATION
A-406 Scale: 1/4" = 1'-0"

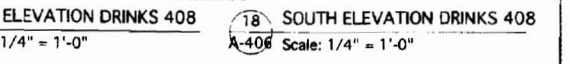


8 EAST SHOWER ELEVATION
A-406 Scale: 1/4" = 1'-0"

- SHOWER NOTES:**
1. CONTRACTOR TO PROVIDE SHOWER CURTAIN W/HOOKS AND ROD. ROD TO BE CHROME. PROVIDE SELECTION OF CURTAIN TYPES FOR OWNER REVIEW AND CHOICE.
 2. SHOWER CONTROLS TO BE ADA COMPLIANT.
 3. SHOWER STALL TO BE ADA COMPLIANT FIBERGLASS (WHITE) WITH SS GRAB BARS WITH APPROPRIATE UNIT REINFORCING AT GRAB BAR LOCATIONS.

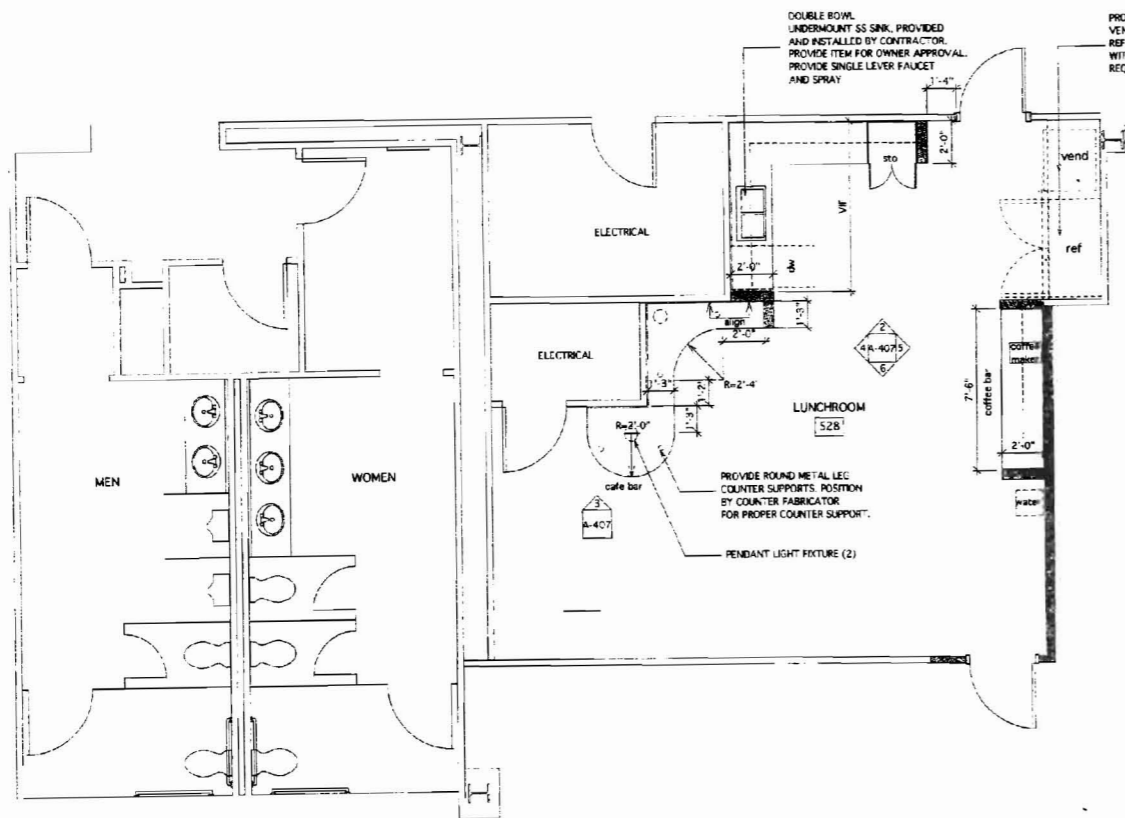


17 EAST ELEVATION DRINKS 408
A-406 Scale: 1/4" = 1'-0"



18 SOUTH ELEVATION DRINKS 408
A-406 Scale: 1/4" = 1'-0"

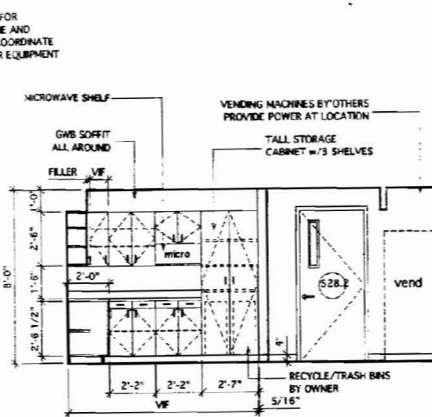
- NOTES:**
1. ALL COMPASS DIRECTIONS REFER TO PLAN NORTH (UP SHEET) NOT TRUE NORTH.
 2. PROVIDE ADEQUATE POWER SUPPLY TO ALL APPLIANCES AND OUTLETS ABOVE KITCHEN AND DRINK AREA COUNTERTOP PER CODE.
 3. PROVIDE WATER SUPPLY AND POWER TO COFFEEMAKER.
 4. PROVIDE WATER SUPPLY TO ICE MAKERS. CONFIRM LOCATION WITH OWNER.
 5. PROVIDE WATER AND POWER SUPPLY TO DISHWASHER.
 6. CONFIRM WITH OWNER ALL REQUIREMENTS FOR COMMERCIAL REFRIGERATOR.
 7. CONFIRM WITH OWNER ALL REQUIREMENTS FOR UNDERCOUNTER REFRIGERATOR.
 8. CONFIRM WITH OWNER ALL REQUIREMENTS FOR UNDERCOUNTER ICE MAKERS.
 9. CONFIRM WITH OWNER ALL REQUIREMENTS FOR VENDING MACHINES.



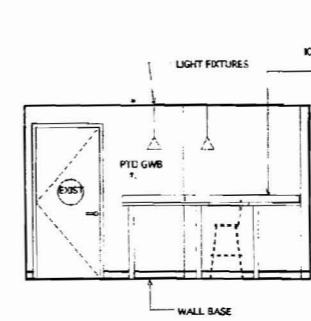
1 FIFTH FLOOR KITCHEN AND COMMON RESTROOMS PLAN
A-407 Scale: 1/4" = 1'-0"

COMMON TOILET ROOM FINISHES:
 FLOOR: TERRA GREEN "TERRA ELEMENTS" 12X12 TILE. COLOR TO BE SELECTED
 WALLS: TERRA GREEN 4X4 TILE. COLOR TO BE SELECTED
 MIRROR: KOHLER, TELLIEUR 20"X31", K-3113, INDIVIDUAL MIRRORS OVER EACH FIXTURE
 WALL SCONCE: RENOVATORS HARDWARE POWELL SCONCE. 3 MEN, 4 WOMEN
 COUNTERTOPS: ICESTONE
 SINKS AND TOILETS: BUILDING STANDARD
 PARTITIONS/URINAL SCREEN: HADRIAN STAINLESS STEEL, FLOOR MOUNTED.

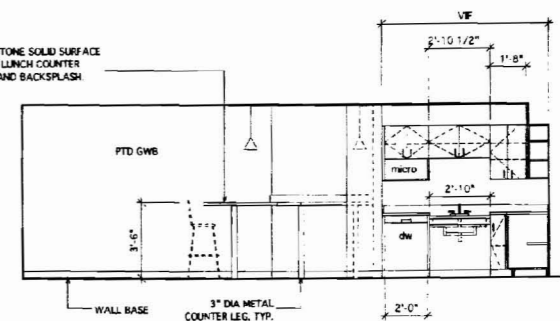
NOTE: MATCH EXISTING LAYOUT WITH NEW COUNTERS, PARTITIONS, ETC.
 COORDINATE WITH BUILDING MANAGEMENT FOR EXTENT OF FINISH UPGRADES



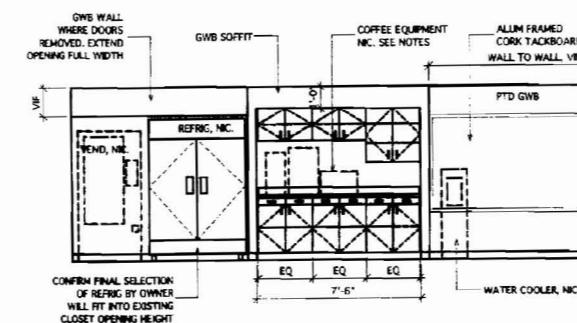
2 KITCHEN ELEVATION
A-407 Scale: 1/4" = 1'-0"



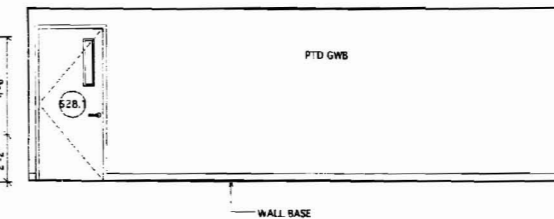
3 KITCHEN ELEVATION
A-407 Scale: 1/4" = 1'-0"



4 KITCHEN ELEVATION
A-407 Scale: 1/4" = 1'-0"



5 KITCHEN ELEVATION
A-407 Scale: 1/4" = 1'-0"



6 KITCHEN ELEVATION
A-407 Scale: 1/4" = 1'-0"

GENERAL NOTES:
 1. CONFIRM ALL REQUIREMENTS FOR INSTALLATION OF OWNER SUPPLIED APPLIANCES, PRIOR TO CONSTRUCTION.
 2. VERIFY ALL NEW CONSTRUCTION REQUIREMENTS WITH EXISTING CONDITIONS FOR CONFLICTS BETWEEN EXISTING AND PROPOSED CONSTRUCTION.
 3. VERIFY EXISTING CONSTRUCTION FOR INSTALLATION OF NEW DOORS AND FRAMES IN EXISTING WALLS OR NEW WALLS THAT MATCH EXISTING. SIZE FRAME FOR EXISTING WALL THICKNESS.
 4. PROVIDE DETAILED DESIGN DRAWINGS FOR LUNCHROOM LUNCH COUNTER BY FABRICATOR/INSTALLER. PROVIDE DETAIL OF SUPPORT LEG AND ATTACHMENT AND WALL SUPPORT REQUIRED FOR THE PROPOSED CONFIGURATION. SHOW SEAM LOCATIONS IN COUNTER LAYOUT.
 5. COORDINATE WITH OWNER FOR WATER REQUIREMENTS AT COUNTER MOUNTED COFFEE EQUIPMENT. PROVIDE WATER SUPPLY, IF REQUIRED.
 6. PROVIDE DETAILED DESIGN DRAWINGS FOR KITCHEN COUNTERS AND CABINETS FOR OWNER REVIEW AND APPROVAL. COORDINATE ALL OWNER SUPPLIED APPLIANCES WITH CABINETS DESIGN DRAWINGS.

HKTA Architects, Inc.
 482 Congress Street, Suite 502
 Portland, Maine 04101
 Phone: 207.774.6016
 Fax: 207.774.9128
 Email: Main@hkta.com



BERRY DUNN MCNEIL PARKER
 FOURTH AND FIFTH FLOOR
 100 Middle Street
 Portland, Maine

DATE: 9/3/08
 REVISIONS:
 DATE:

© 2008 HKTA / architects, Inc.

DRAWING NO.
A-407

