

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 030561

This is to certify that Middle Street Office Tower (East/Middle Street Management)

has permission to Tenant fit-up on 7th floor of Middle Street Tower

AT 100 Middle St 029 E006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on procedure before this building or part thereof is leased or closed-in.  
**48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

[Signature] 5/28/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0561	Issue Date:	CBL: 029 E006001
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Location of Construction: 100 Middle St	Owner Name: Middle Street Office Tower A (east)	Owner Address: 100 Middle St	Phone: 780-1680 x 3
Business Name:	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland	Phone: 2077801680
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3

Past Use: East Tower Office Building	Proposed Use: East Tower Office Building with tenant fit-up on 7th floor	Permit Fee: \$359.00	Cost of Work: \$47,689.00	CEO District: 1
Proposed Project Description: Tenant fit-up on 7th floor of East Tower		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 20 5/28/03 <i>[Signature]</i>	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: kwd	Date Applied For: 05/27/2003	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>[Signature]</i> 5/27/03	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

03-0561

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

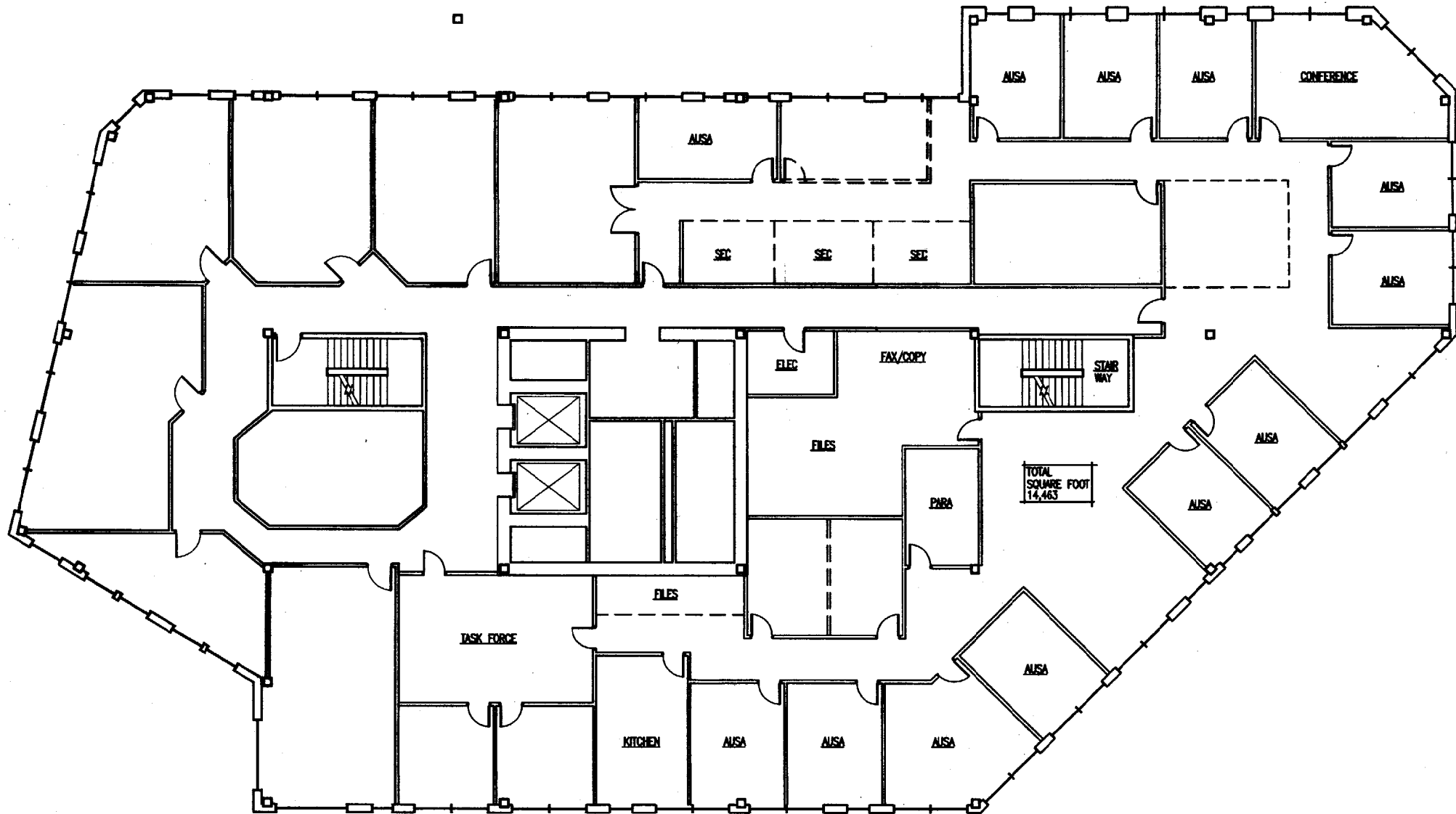
Location/Address of Construction: <u>7TH FLOOR EAST TOWER</u> <u>100 MIDDLE STREET PORTLAND, MAINE</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>29</u> Block# <u>E</u> Lot# <u>6</u>	Owner: <u>MIDDLE STREET TOWER &amp; ASSOC. L.P.</u> <u>100 MIDDLE STREET</u> <u>PORTLAND, MAINE 04101</u>	Telephone: <u>207-780-1680 EXT#3</u>
Lessee/Buyer's Name (If Applicable) <u>GENERAL SERVICES ADMINISTRATION</u> <u>LORI WHITTEMORE</u> <u>E. T. GIGNOUX COURTHOUSE</u> <u>PORTLAND, MAINE 04101</u>	Applicant name, address & telephone: <u>MIDDLE STREET MANAGEMENT</u> <u>100 MIDDLE STREET</u> <u>PORTLAND, MAINE 04101</u> <u>207-780-1680 EXT#3</u>	Cost Of Work: \$ <u>47,689</u> Fee: \$ <u>359.00</u>
Current use: <u>OFFICES</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>OFFICES</u>		
Project description: <u>RENOVATE EXISTING OFFICES, mostly new work on 7th floor</u>		
Contractor's name, address & telephone: <u>MIDDLE STREET MANAGEMENT, LLC</u> <u>100 MIDDLE STREET</u> <u>PORTLAND, MAINE</u>		
Who should we contact when the permit is ready: <u>BILL McNEEL - MIDDLE STREET MANAGEMENT LLC</u>		
Mailing address: <u>100 MIDDLE STREET</u> <u>PORTLAND, MAINE 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-780-1680 EXT#3</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>William J. McNeel</u> AGENT FOR OWNER	Date: <u>5/27/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

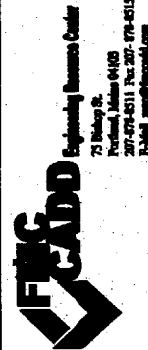


1 7th FLOOR PLAN  
1/8" = 1'-0"

EXISTING

**NOTE:**  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SPECIFICATIONS ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF FPC/CADD DRAFTING SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS FPC/CADD DRAFTING SERVICES, INC. SHALL BE HELD HARMLESS. FPC/CADD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

PROPERTY OF



SEVENTH FLOOR  
EAST TOWER

MIDDLE STREET  
MANAGEMENT LLC

REVISIONS

CODE:

DATE: 01/28/03

SCALE: 1/8"=1'-0"

DRAWN: FMC/MPC

FILE: 03-0037.dwg

SHEET:

1

ROOM ID	Name	Floor	BASE Material	WALLS North	East	South	West	CEILING Material	Height	GENERAL	Remarks
101	CORRIDOR	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
102	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
103	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
104	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
105	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
106	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
107	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
108	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
109	OFFICE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
110	CORRIDOR	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
111	CONF	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		CLG AT MAX HGT AVAIL
112	CLOSET	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
113	STORAGE	CPT1	VB	P1	P1	P1	P1	C1.1	8'0"		
116	CORRIDOR	CPT1	VR	P1	P1	P1	P1	C1.1	8'0"		
117	CORRIDOR	CPT						C1.1			FINISHES TO MATCH EXISTING CORRIDOR
E-1	EXIST 1	Exist	VB	P1	Exist	Exist	Exist	Exist			EXISTING CLG, MATCH BASE

Design Firm  
 HKTA / architects  
 482 Congress Street, Suite 200  
 Portland, Maine 04101  
 phone: 207.774.6006  
 fax: 207.774.9138  
 email: hktainc.com

Consultant  
 BRIAN O'DONNELL  
 No. 1483  
 REGISTERED ARCHITECT  
 STATE OF MAINE

Project Title  
 100 MIDDLE STREET - 7th FLOOR  
 PORTLAND, MAINE

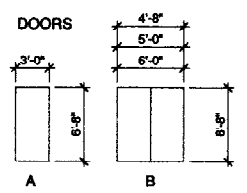
Issue/Revision  
 Project ID: 2002011  
 CAD File Name: 2002011.100 Middle St  
 Drawn By:  
 Checked By:  
 Issue Date:  
 Plot Date: 5/23/03  
 Reviewed by:  
 Designed by: bcd  
 Submitted By:  
 Drawing Code: Floor Plan-1  
 Sheet Title: Floor Plan-1

Drawing No.  
**A-101**

ABB: P1 - Painted GWB  
 VB - Vinyl Base  
 C1.1 - Building standard acous clg  
 CPT1 - Building standard interior carpet  
 CPT - Building standard corridor carpet

WALL TO DECK ABOVE  
 PER BUILDING STANDARD  
 - 6" GWB EA SIDE (TYPE X FOR RATED WALLS)  
 - 3/8" MTL STUD  
 - SOUND INSULATION  
 PER OWNER REQUIREMENTS  
 - VINYL BASE PER FIN SCHED  
 SOUND CAULKING PER OWNER REQUIREMENTS

WALL TYPE



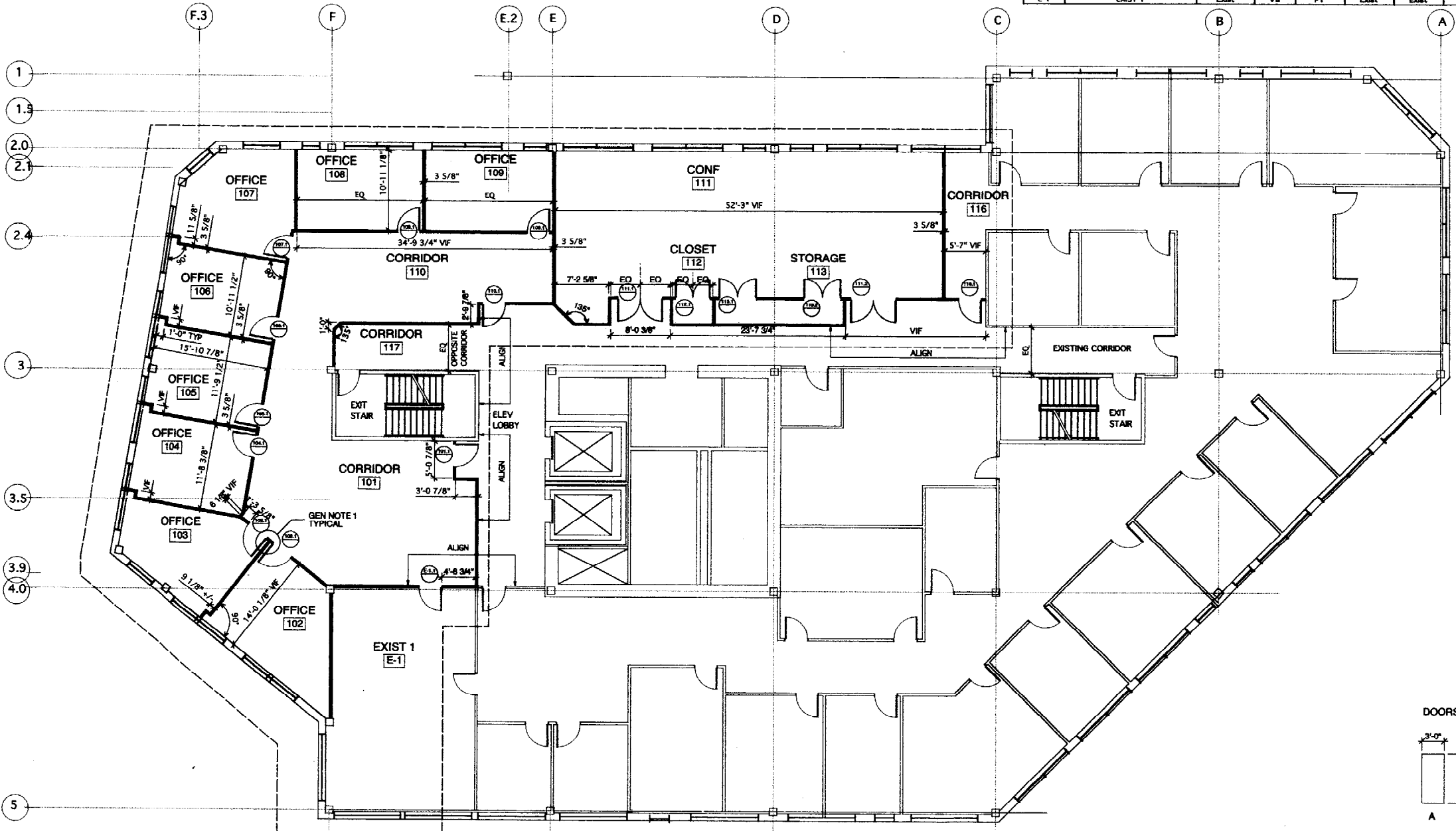
DOOR ID	Location	Type	SIZE Width	Height	Thk	Inst	Glazing	FRAME Type	Inst	Jamb	Head	FIRE Label	HRDWR Set	GENERAL Accessories	Remarks
101.1	A	WD				WD		A	HM			BS	BS		
102.1	A	WD				WD		A	HM			BS	BS		
103.1	A	WD				WD		A	HM			BS	BS		
104.1	A	WD				WD		A	HM			BS	BS		
105.1	A	WD				WD		A	HM			BS	BS		
106.1	A	WD				WD		A	HM			BS	BS		
107.1	A	WD				WD		A	HM			BS	BS		
108.1	A	WD				WD		A	HM			BS	BS		
109.1	A	WD				WD		A	HM			BS	BS		
110.1	A	WD				WD		A	HM			BS	BS		
111.1	B	WD	6'-0"			WD		B	HM			BS	BS		Paired doors
111.2	B	WD	6'-0"			WD		B	HM			BS	BS		Paired doors
112.1	B	WD	4'-8"			WD		B	HM			BS	BS		Paired doors
113.1	B	WD	5'-0"			WD		B	HM			BS	BS		Paired doors
113.2	B	WD	5'-0"			WD		B	HM			BS	BS		Paired doors
116.1	A	WD				WD		A	HM			BS	BS		
E-1.1	A	WD				WD		A	HM			BS	BS		

ABB: BS = Building standard

GENERAL NOTES:  
 1. Doors are positioned at 4" off interior corners to door opening, typical unless shown otherwise.  
 2. Verify all dimensions in field with existing window and mullion placement. Review any wall placement locations which differ substantially from plan dimensions with Owner prior to installation. Base drawing provided by Owner, no field dimensions were taken.

1 FLOOR PLAN  
 A-101 Scale: 1/8" = 1'-0"

KEY  
 Existing construction  
 New construction



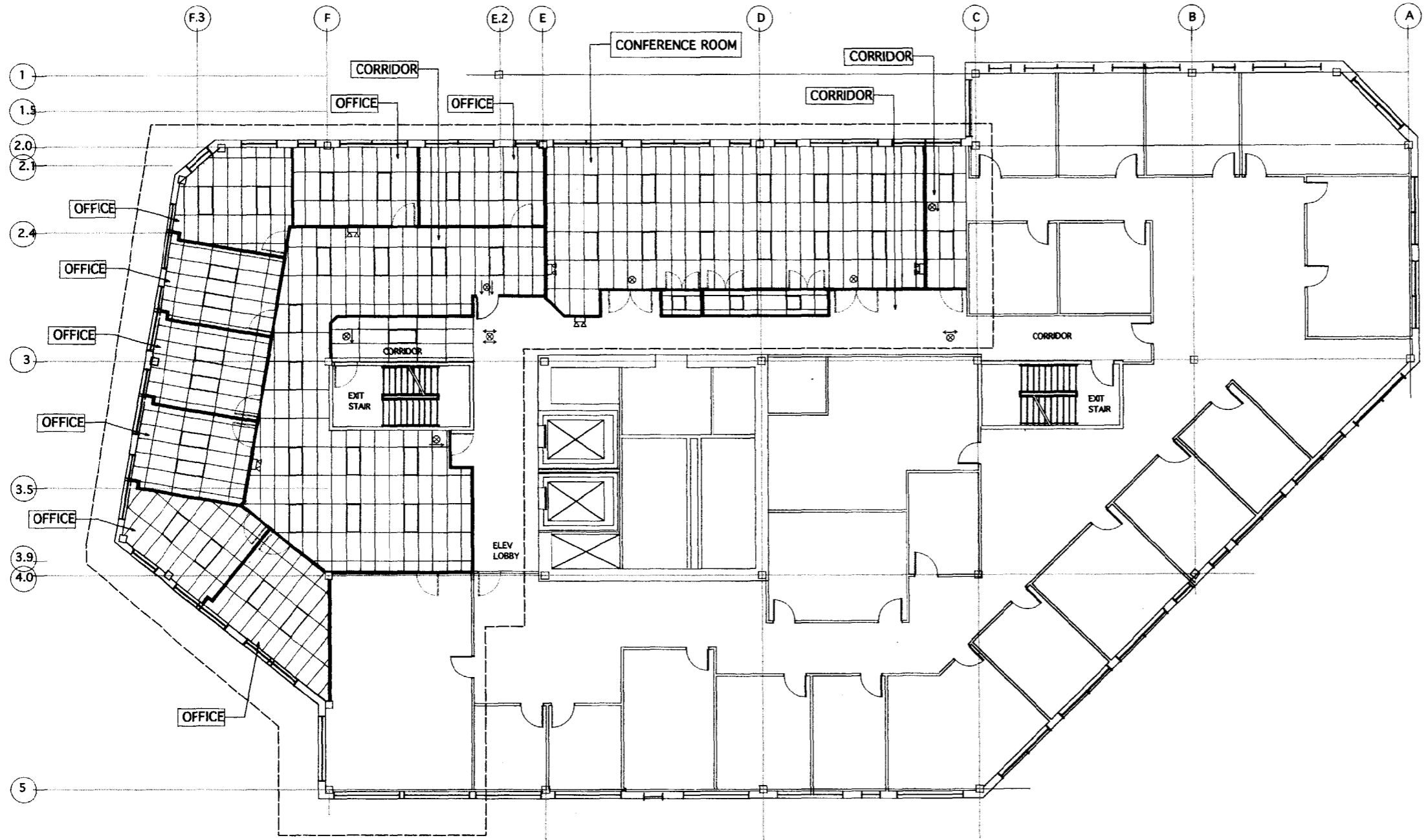
AREA OF WORK

D

C

B

A



1  
A-201  
CEILING PLAN  
Scale: 1/8" = 1'-0"

KEY  
 — Existing construction  
 — New construction

SYMBOL KEY  
 ⊙ EXIT SIGN  
 ⚡ EMERGENCY LIGHT  
 ADA HORN STROBE UNIT  
 [Grid Pattern] 2x4 ACOUS, CLG  
 [Grid Pattern] 2x4 LAY-IN LIGHT FIXTURE  
 [Grid Pattern] 2x2 LAY-IN LIGHT FIXTURE

HKTA ARCHITECTS, INC.  
 482 Congress Street, Suite 210  
 Portland, Maine 04102  
 Phone: 207-774-6016  
 Fax: 207-774-9128  
 e-mail: hktainc@aol.com  
**HKTA / architects**

Consultant



Project Title

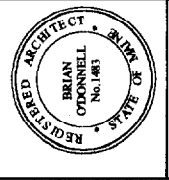
**100 MIDDLE STREET - 7th FLOOR**  
 PORTLAND, MAINE

Issue/Revision	Date

Project ID: 2002011  
 CAD File Name: 2002011 100 Middle  
 Drawn By: bod  
 Checked By: bod  
 Issue Date: 6/23/03  
 Reviewed by: bod  
 Designed by: bod  
 Submitted By: bod  
 Drawing Code: Floor Plan-1  
 Sheet Title: Ceiling Plan-1

Drawing No  
**A-201**  
 of 1

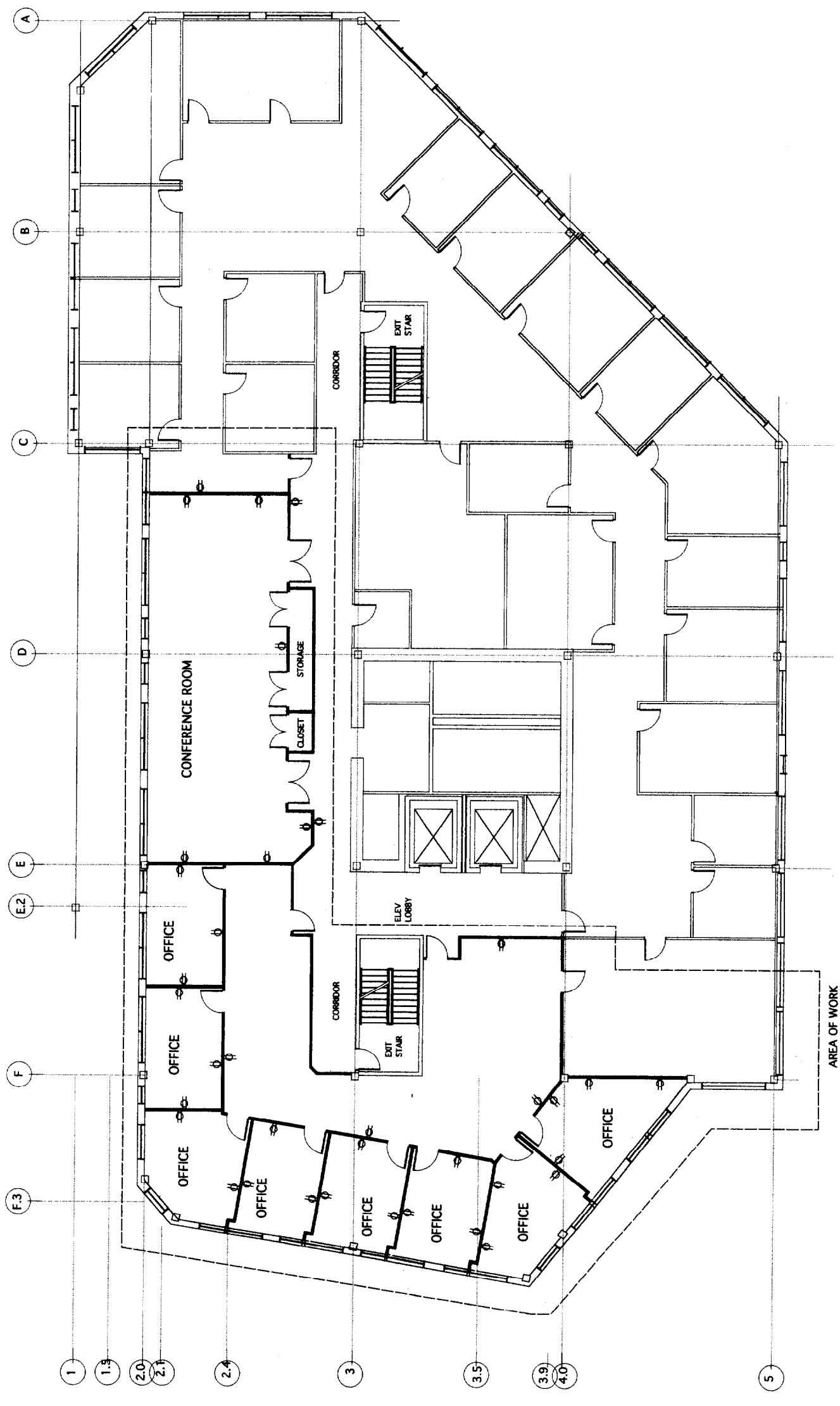
100 MIDDLE STREET - 7TH FLOOR  
PORTLAND, MAINE



Project Title

Consultant

HKTA/architects  
482 Congress Street, Suite 200  
Portland, Maine 04103  
Phone: 207.774.9728  
Fax: 207.774.9728  
e-mail: hktad@aol.com



KEY  
⊕ OUTLET

1 POWER PLAN  
E-101 Scale: 1/8" = 1'-0"