### City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

-				
Location of Construction:	Owner: 130 Middle St LLC		none: 774–1000	Permit No9 9 0 2 1 8
Owner Address:	Lessee/Buyer's Name:	Phone: Bi	usinessName:	PERMIT ISSUED
Contractor Name:	Address:	02135 Phone:	7-739-5566	Permit Issued:
Past Use:	Proposed Use:	COST OF WORK:	PERMIT FEE: \$ 28.20	MAR 1 5 1999
Offices	Saze	FIRE DEPT.   Appro  Denie		PITY OF PORTLAND
		Signature:	Signature: Affe	Zone: CBL: 029-2-001
Proposed Project Description:			VITIES DISTRICT (P.A.D.)	Zoning Approval:
Install Signage		Action: Appro	oved with Conditions:	Shoreland
		Signature:	Date:	□ Subdivision
Permit Taken By:	Date Applied For:	05 March 1999		☐ Site Plan maj ☐minor ☐mm ☐
<ol> <li>Building permits do not include plumbi</li> <li>Building permits are void if work is not stion may invalidate a building permit are</li> </ol>	started within six (6) months of the date of issuar	nce. False informa-		☐ Miscellaneous ☐ Conditional Use ☐ Interpretation ☐ Approved ☐ Denied
		ļ		Historic Preservation  ☐ Not in District or Landmark  ☐ Does Not Require Review  ☐ Requires Review
				Action:
authorized by the owner to make this applicatif a permit for work described in the applicat	CERTIFICATION  of the named property, or that the proposed work ation as his authorized agent and I agree to confection is issued, I certify that the code official's aut ble hour to enforce the provisions of the code(s)	orm to all applicable laws	s of this jurisdiction. In addition, all have the authority to enter all	□ Denied
	O.	5 March 1999		
SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:	
	**************************************			
RESPONSIBLE PERSON IN CHARGE OF V	WORK, TITLE		PHONE:	CEO DISTRICT
Whi	te-Permit Desk Green-Assessor's Canary	/-D.P.W. Pink-Public I	File Ivory Card-Inspector	

#### •

42 Market Street • Portland, ME 04101-5022 • Phone (207) 774-1000

130 Limited Liability Company

February 9, 1999

City of Portland and The Historic Preservation Committee Portland, Maine

PWC

Dear Sirs:

I have reviewed the attached signage plans for the building at 130 Middle Street and give permission for PriceWaterhouseCooper's to attach the sign to building as indicated.

I can be reached at the above number if necessary. Thank you for your assistance.

Sincerely,

Eric Cianchette

Member

	r . 000 - 0.000		FPS-		No. 4338P.	2/2
	Mar. 5. 1999 (2:29PM)	FICATE OF INS	UHANCE			03/05/99
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	lew York, NY 10019			COMPANIES	AFFORDING COVERAGE	
(	212) 830-1000		COMPANY	ravelers	Indemnity Co	. of IL
INSU	ricewaterhouse Co	opers L.P	COMPANY	•		
C	ne Canterbury Gre		COMPANY			
	0. Box 10108	Om 06004 0104	C			
1	Stamford,	CT 06904-2108	COMPANY			
70.50	THIS IS TO CERTIFY THAT THE POLICE INDICATED, NOTWITHSTANDING ANY CERTIFICATE MAY BE ISSUED OR MEXCLUSIONS AND CONDITIONS OF STANDING AND CONDITIONS OF STAN	REQUIREMENT, TERM OR CONDITION IN PERTAIN, THE INSURANCE AFFO	N OF ANY CONTRACT OF ROED BY THE POLICIES	A OTHER DOCUMEN DESCRIBED HEREIS	IT WITH RESPECT TO WHI	CH THIS
CO	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MINIDE/IV)	POLICY EXPERATION DATE (MH/DD/YY)	LBAT	rs
A	COMMERCIAL GENERAL LIABILITY  CLAIMS MADE X OCCUR  OWNER'S & CONTRACTOR'S PROT	UDZJGLSA181T832A-TIL99	01/01/99	07/01/00	GENERAL AGGREGATE PRODUCTS - COMPADY AGG PERSONAL & ADV INJURY EACH OCCURRENCE FIRE DAMAGE (Any one fire) MEO EXP (Any one person)	\$3,000,000 \$1,000,000 \$1,000,000 \$1,000,000 \$250,000 \$1,000
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					EACH ACCIDENT	3
					AGGREGATE	\$
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A	THE DESCRIPTION	UDRJUB395J181-5-98	07/01/98	N CARROLL I	EACH ACCIDENT	\$500,000
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IES/		CLES/SPECIAL NEMS ER IS AN ADDITION ATERHOUSE COOPERS		AS RESPEC	TS PREMISES	
-	ITIFICATE HOLDER		CANCELLAT	ori -		
- Ci	City of Port	land	SHOULD AN EXPRATION 30 DA'	V OF THE ABOVE D DATE THEREOF, THI YS WRITTEN NOTICE E TO MAIL SUCH HO	ESCRIBED POLICES BE CAN E ISSUING COMPANY WILL TO THE CERTIFICATE HOLDER TICE SHALL IMPOSE NO ORI	ENDEAVOR TO MAIL  THE LEFT,  LIGATION OR LIABILITY
			AUTHORIZED RE		COMPANY, IT'S AGENTS C	R REPRESENTATIVES.
ACI	ORD 25-6 (8/93)		l his	Ju	9 ACORD C	ORPORATION 1983

### THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

#### Building or Use Permit Pre-Application Attached Single Family Dwellings/Two-Family Dwelling

#### Multi-Family or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure  Tax Assessor's Chart, Block & Lot Number  Chart# AGC Block# E Lot# COL ISD MIDUREST OFFICE  Owner's Address:  Lessee Buyer's Name (If Applicable)  Owner's Address:  Lessee Buyer's Name (If Applicable)  Proposed Project Description (Please be as specific as possible)  Contractor's Name, Address & Telephone  *All Construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art III.  *All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art III.  *HVAC(Heating, Ventilialition and Air Conditioning) installation must comply with the 1998 B.O.C.A. Building Code.  *All Electrical Installation must comply with the 1996 B.O.C.A. Building Code as amended by Section 6-Art III.  *HVAC(Heating, Ventilialition and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Cod  You must Include the following with you application:  1) ACopy of your Deed or Purchase and Sale Agreement  2) A Copy of your Construction Contract, if available  3) A Plot Plan/Site Plan  Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.  4) Building Plans  Unless exempted by State Law, construction documents must be designed by a registered design professional. A complete set of construction withing showing all of the following elements of construction.  *Building Plans  Unless exempted by State Law, construction documents must be designed by a registered design professional. Plan Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.  4) Building Plans  Unless exempted by State Law, construction documents must be designed by a registered design professional. Plan Minor or Major site plan review will be required drainage and dampproofing  *Electrical and plumbing layout, Mechanical drawings for a	the City, payment arrangemen	ts must be mad	te octore permits of an	y Killu are at	cepteu.	
Tax Assessor's Chart, Block & Lot Number Chartif (NQQ) Block E Lott COI Brill Not College S S S S S S S S S S S S S S S S S S	Location/Addressof Construction (include Portion of Building)	130 M	DOUR ST			
Chards (QQ Blocks) E Loss (COL Bo MODE ST LLC Cost of Work: Fee Dr Mode States) Essee/Buyer's Name (If Applicable)  Proposed Project Description (Please be as specific as possible)  Contractor's Name, Address & Telephone  Contractor's Name, Address & Telephone  Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.  *All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art  *All plumbing must be conducted in compliance with the State of Maine Plumbing Code.  *All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.  *HVAC(Heating, Ventilliation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Cod  You must Include the following with you application:  1) ACopy of Your Deed or Purchase and Sale Agreement  2) A Copy of Your Construction Contract, if available  3) A Plot Plan/Site Plan  Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.  4) Building Plans  Unless exempted by State Law, construction documents must be designed by a registered design professional.  A complete set of constructions  **Floor Plans & Elevations**  **Flo	Total Square Footage of Proposed Structure		Square Footage of Lot			
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	Signature of applican:			2/2	195	
Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.  Additional Site review and related fees are attached on a separate addendum						er.

#### City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716 Location of Construction: Owner: Phone: Permit No 9 9 0 21 8 130 Middle St 130 Middle St ILC 774-1000 Lessee/Buyer's Name: Owner Address Phone: Business Name: Price Waterhouse Coopers Permit Issued Phone: Address: Contractor Name: asswerSienworks Croup. Inc. 167 Coray Rd 02135 Boston, MA 617-739-5566 1 5 1999 COST OF WORK: PERMIT FEE: Past Use: Proposed Use: \$ 28,20 INSPECTION Jana, PEITY OF POR FIRE DEPT. Approved Offices Same □ Denied CBL: 029-E-001 Zone: BOCA 96 Signature: Zoning Approval: Proposed Project Description: PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) -Action: Approved Special Zone or Reviews: Approved with Conditions: Install Signage □Shoreland Denied □Wetland □ Flood Zone Date: □ Subdivision Signature: ☐ Site Plan mai ☐minor ☐mm ☐ Permit Taken By: Date Applied For: SP 05 March 1999 Zoning Appeal □ Variance This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. ☐ Miscellaneous Building permits do not include plumbing, septic or electrical work. ☐ Conditional Use Building permits are void if work is not started within six (6) months of the date of issuance. False informa-☐ Interpretation □Approved tion may invalidate a building permit and stop all work.. □ Denied Historic Preservation ☐ Not in District or Landmark □ Does Not Require Review ☐ Requires Review Action: CERTIFICATION □ Appoved □ Approved with Conditions I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, □ Denied if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit 05 Barch 1999 SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE: RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE: **CEO DISTRICT**

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

#### SIGNAGE PRE-APPLICATION

PLEASE ANSWER ALL OUESTIONS ADDRESS: 130 MIDDLE ST OWNER: 13: MIDDLE ST LLC 42 MANKET APPLICANT SIGHLIAMS CAUSE, BEARANS ASSESSOR NO. 029 DUCK E VOT: 0 PLEASE CIRCLE APPROPRIATE ANSWER SINGLE TENANT LOT? YES MULTI-TENANT LOT? YES FREESTANDING SIGN? (ex. Pole Sign) YES NO --- DIMENSIONS MORE THAN ONE SIGN? YES DIMENSIONS SIGN ATTACHED TO BLDG .? YES NO DIMENSIONS MORE THAN ONE SIGN? YES NO DIMENSIONS AWNING: YES NO IS AWNING BACKLIT? YES NO HEIGHT OFF SIDEWALK IS THERE ANY MESSAGE, TRADEMARK OR SYMBOL ON IT? LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS: TENANT BLDG. FRONTAGE (IN FEET):\_ \*\*\* REQUIRED INFORMATION NEW. 16 XI = 16 SF. - PAIC LARRANUIS COPEN 14x1 = 14SF - PURDY

#### YOU SHALL PROVIDE:

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.

SIGNATURE OF APPLICANT:

DATE:

#### INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

Applicants for a sign permit will be asked to submit the following information to the Code Enforcement Office:

- 1. Proof of insurance
- 2. Letter of permission from the owner
- 3. A sketch plan of lot, indicating location of buildings, driveways and any abutting streets or right of ways. Lengths of building frontages and street frontages should be noted. (see attached)
- 4. Indicate on the plan all existing and proposed signs
- 5. Computation of the following:
  - A) Sign area of each existing and proposed building sign
  - B) Sign area height and setback of each existing and proposed freestanding sign
  - 6. A sketch of any proposed sign(s), indicating dimensions, materials, source of illumination and construction method (see attached).
  - 7. Certificate of flammability required for awning/canopy at time of application.
  - 8. UL # required for lighted signs at the time of application.

Fee for permit - \$25.00 plus \$0.20 per square foot

Fee for awning based on cost of work - \$25.00 for the first \$1,000.00, \$5.00 for each additional \$1,000.000.

**NOTE:** Once a sketch plan has been filed for a property, the code enforcement office will keep a record of the plan so that a new sketch plan will not be required for later changes to signage on the property. In such an instance, applicants will only be required to submit information applicable to the new sign.

#### BUILDING PERMIT REPORT

	BUILDING FERVILL REPORT
	E: 15 MAYCH 1999 ADDRESS: 130 Middle ST. CBL 929-E-90/
REA	SON FOR PERMIT: SIGNAGE
	DINGOWNER: 130 middle SJ. LLC
CON	TRACTOR: SIGN WORKS Group FRC.
PERM	VIIT APPLICANT:
USE	GROUP SIGNAGE BOCA 1996 CONSTRUCTION TYPE
	CONDITION(S) OF APPROVAL
This ]	Permit is being issued with the understanding that the following conditions are met:
	* * * * * * * * * * * * * * * * * * *
Appr	oved with the following conditions: *\frac{\pm 31}{\pm}
1	This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2.	Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be
	obtained. (A 24 hour notice is required prior to inspection)
2.5	Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more
	than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside
	edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with
	an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be
	higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane
	material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6"
	of the same material. Section 1813.5.2
2.6	Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of
	foundation and a maximum 6 'o.c. between bolts. (Section 2305.17)
3.	Precaution must be taken to protect concrete from freezing. Section 1908.0
<del>!</del> .	It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to
	verify that the proper setbacks are maintained.  Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from
),	adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting
	rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior
	spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board
	or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
	All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National
	Mechanical Code/1993). Chapter 12 & NFPA 211
	Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's
	building code.
	Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking
	surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum
	height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and
	public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
	(Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".)
	Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections
	1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)

Every classica room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or

The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4

Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum

Headroom in habitable space is a minimum of 7'6". (Section 1204.0)

11" tread. 7" maximum rise.( Section 1014.0)

9.

10.

11.

knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
- 14. All vertical openings shall be enclosed with construction having a fire rating of at lest one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 28. Please read and implement the attached Land Use-Zoning report requirements.
- 29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

30. • 31.	Glass and glazing shall meet the requirements of Chapter 24 of the building code.  Signage shall be installed as per section 3102.9.
32.	

R. Amphel Hoffses, Building Inspector

cc/Lt. MgDougall, PFD

Marge Schmuckal, Zoning Administrator

PSH 8-1-98

33.

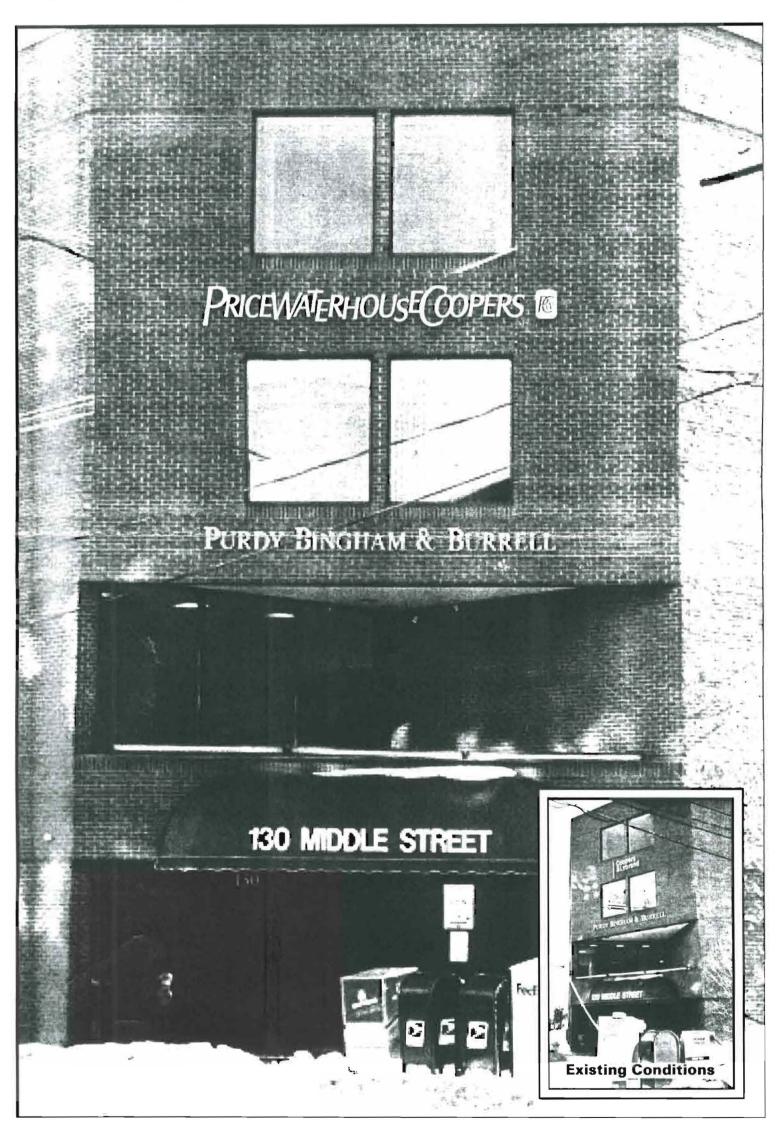
21 1/2" 11 7/8"

# PRICEWATERHOUSE COPERS @

15 5/8

Detail Sign Elevation, 3/8" = 1'-0"

Stretch of PriceWaterhouseCoopers lettering (16'-0") to match stretch of Purdy Bingham and Burrell lettering, existing on building lascia below proposed sign location. Individually mounted non-illuminated reverse channel fabricated aluminum letters, with heavy gauge aluminum faces and returns, all welded construction. Return depth to be 2" Letters to be attached to building fascia with concealed threaded aluminum studs, pressed into pre-drilled mounting holes filled with silicone sealant.



PhotoComp, NTS

167 Corey Road Boston, MA 02135 617•739•5566 fax 617•739•5577

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SignWorks Group, Inc.

project:	PriceWaterhouseCoopers	Ī
location:	Portland, ME	1
description:	Non-illuminated Letters	}
approval:		1

revisions/notes:	date: 01-18-99	
	scale: Noted	
Revised 02-16-99	file name: Pwc4.CDL	
This drawing is given in confidence and may not be used or disseminated in any way without prior written consent from	sheet: 1 of 1	
this Company. All common law and copyright laws era hereby specifically reserved.	dwg. no: SK - 1	

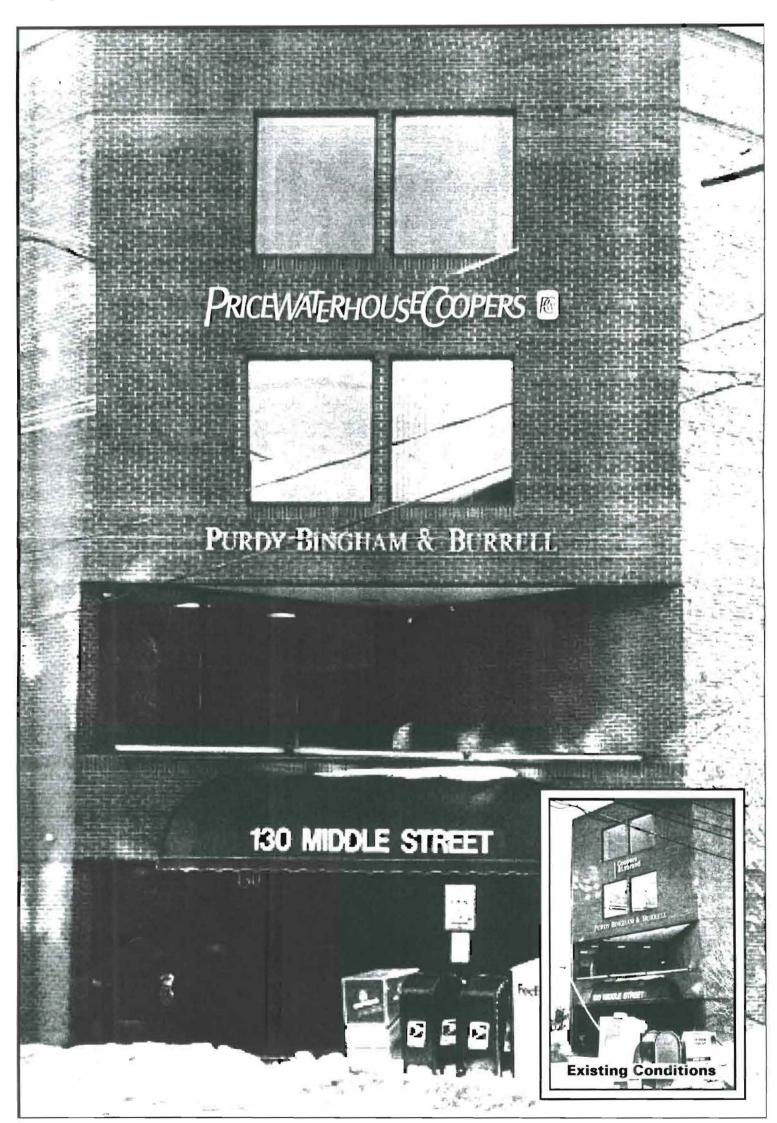
21 1/2" 11 7/8"

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15 5/

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