

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that ELC LIMITED LIABILITY CO. Located At 130 MIDDLE ST

Job ID: 2012-05-4014-ALTCOMM

CBL: 029- E-001-001

has permission to Renovate 2<sup>nd</sup> floor for new tenant

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY**

**PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required inspections:

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-05-4014-ALTCOMM

Located At: 130 MIDDLE ST

CBL: 029- E-001-001

## **Conditions of Approval:**

### **Zoning**

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

### **Fire**

All construction shall comply with City Code Chapter 10.

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Fire extinguishers are required. Installation per NFPA 10.

The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.

A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.

A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.

Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.

Non-combustible construction of this structure requires all construction to be Non-combustible.

Any cutting and welding done will require a Hot Work Permit from Fire Department.

### **Building**

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

All framing must be metal studs.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-4014-ALTCOMM	Date Applied: 5/15/2012	CBL: 029- E-001-001	
Location of Construction: 130 MIDDLE ST	Owner Name: ELC LIMITED LIABILITY CO	Owner Address: 42 MARKET ST PORTLAND, ME 04101	Phone: 774-1000
Business Name:	Contractor Name: Monaghan Woodworks – Ken Cianchette	Contractor Address: 42 Market St, Portland, ME 04101	Phone: 774-1000
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: B-3
Past Use: Offices	Proposed Use: Offices – renovations for new tenant on 2 <sup>nd</sup> floor	Cost of Work: \$75,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. [unclear]</i>	Inspection: Use Group: <i>B</i> Type: <i>2B</i> <i>IBC 09</i> Signature: <i>[unclear]</i>
Proposed Project Description: office renovation		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Gayle	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with conditions</i> <i>5/18/12</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[unclear]</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2012 05 4014 66

B-3  
not  
that



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 130 Middle Street <i>2nd floor</i>		
Total Square Footage of Proposed Structure 5,178 Sq. Ft.	Square Footage of Lot 60,570 sq. ft.	
Tax Assessor's Chart, Block & Lot Chart# 29 Block# E Lot# 001	Owner: ELC LIMITED LIABILITY CO 42 MARKET ST PORTLAND ME 04101	Telephone: (207) 774-1000
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:  David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	Cost Of Work: \$ 75,000  Fee: \$ 770.00  C of O Fee: \$
Current legal use (i.e. single family) <u>Office</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Office</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Office renovation for new tenant. New paint/flooring, doors and internal glazing.</u>		
Contractor's name, address & telephone: <u>Monaghan Woodworks (207) 775-2683</u> Who should we contact when the permit is ready: <u>Ken Cianchette</u> Mailing address: <u>130 Limited Liability Company</u> Phone: <u>(207) 774-1000</u> <u>42 Market Street</u> <u>Portland, ME 04101</u>		

RECEIVED  
MAY 15 2012  
Dept. of Building Inspections  
City of Portland Maine

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874 8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 5-15-12

**This is not a permit; you may not commence ANY work until the permit is issued.**



# Certificate of Design Application

From Designer: Archetype, PA  
 Date: May 15, 2012  
 Job Name: \_\_\_\_\_  
 Address of Construction: 130 Middle Street

~~2009~~  
**2003 International Building Code**

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) B

Type of Construction 2B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) N/A

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 – 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
N/A	

### Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
 \_\_\_\_\_ Basic wind speed (1809.3)  
 \_\_\_\_\_ Building category and wind importance factor,  $I_w$   
 table 1604.5, 1609.5)  
 \_\_\_\_\_ Wind exposure category (1609.4)  
 \_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
 \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)  
 \_\_\_\_\_ Seismic use group ("Category")  
 \_\_\_\_\_ Spectral response coefficients,  $S_a$  &  $S_D$  (1615.1)  
 \_\_\_\_\_ Site class (1615.1.5)

N/A Live load reduction  
 \_\_\_\_\_ Roof *live* loads (1603.1.2, 1607.11)  
 \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
 \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
 \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)  
 \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
 \_\_\_\_\_ Seismic design category (1616.3)  
 \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
 \_\_\_\_\_ Response modification coefficient,  $R_d$  and  
 deflection amplification factor  $C_d$  (1617.6.2)  
 \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
 \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure

### Other loads

\_\_\_\_\_ Concentrated loads (1607.4)  
 \_\_\_\_\_ Partition loads (1607.5)  
 \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
 1607.12, 1607.13, 1610, 1611, 2404)



# Accessibility Building Code Certificate

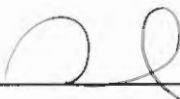
**Designer:** Archetype, PA

**Address of Project:** 130 Middle Street

**Nature of Project:** Office Renovation

\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

**Signature:** 

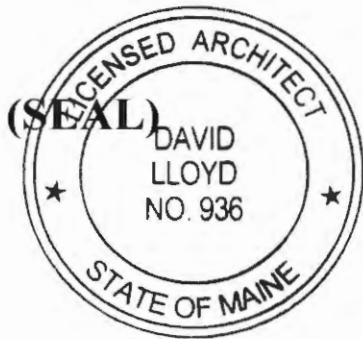
**Title:** Architect

**Firm:** Archetype, PA

**Address:** 48 Union Wharf

\_\_\_\_\_

**Phone:** (207) 772-6022



For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# PORTLAND MAINE

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## Receipts Details:

**Tender Information:** Check , BusinessName: 130 Limited Liability Company, Check Number: 1557

**Tender Amount:** 770.00

## Receipt Header:

**Cashier Id:** gguertin

**Receipt Date:** 5/16/2012

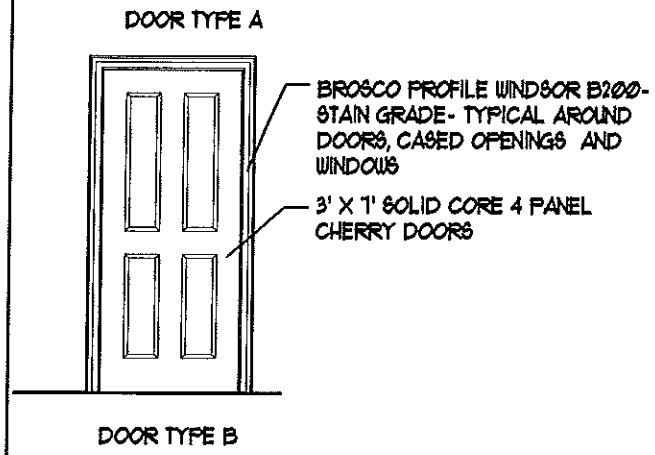
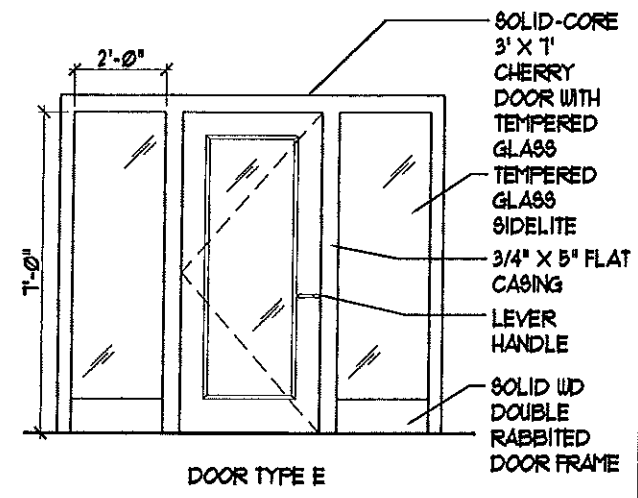
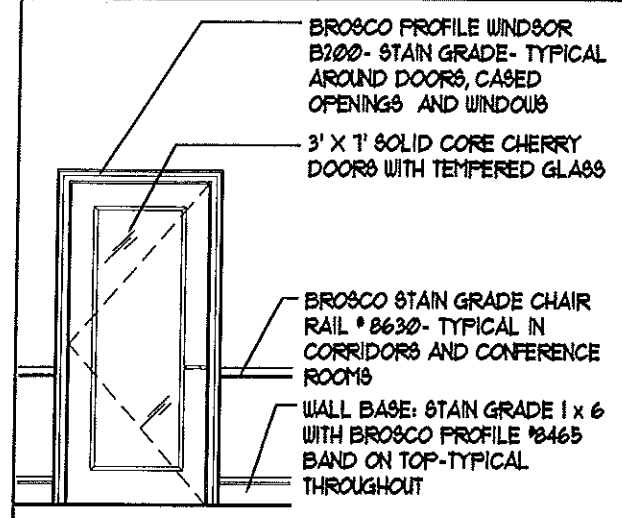
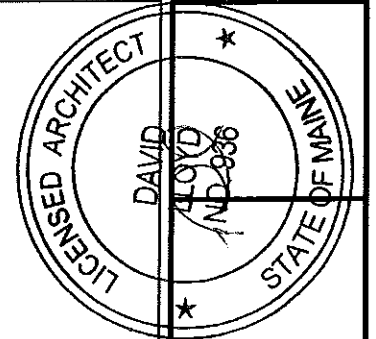
**Receipt Number:** 44022

## Receipt Details:

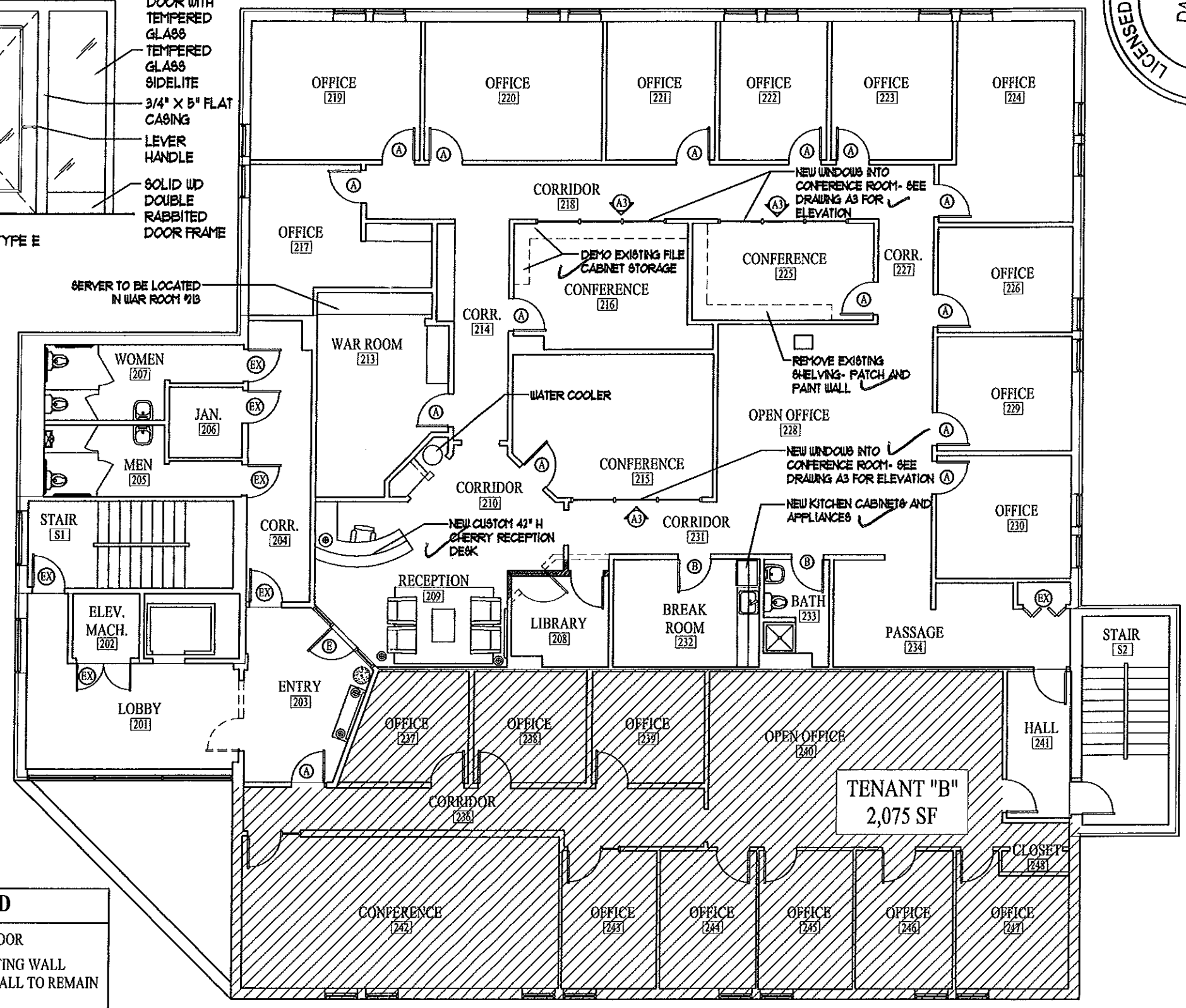
Referance ID:	6539	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	770.00	Charge Amount:	770.00
Job ID: Job ID: 2012-05-4014-ALTCOMM - office renovation			
Additional Comments: Monaghan Woodwork			

Thank You for your Payment!





SERVER TO BE LOCATED IN WAR ROOM #13



LEGEND	
(EX)	EXISTING DOOR
----	DEMO EXISTING WALL
=====	EXISTING WALL TO REMAIN
	NEW WALL








1 | FLOOR PLAN- SECOND FLOOR  
SCALE: 3/32"=1'-0"

**ARCHETYPE** architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Date: 01 May 2012  
Scale: 3/16"=1'-0"  
SECOND FLOOR PLAN

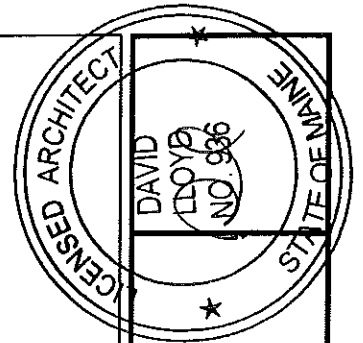
Project: 130 MIDDLE STREET  
PORTLAND, MAINE

A1

LIGHTING FIXTURE SCHEDULE	
	RECESSED FIXTURE OPEN DOWNLIGHT
	BATHROOM SCONCE- FORECAST LIGHTING RENE 1 LIGHT BRONZE #F3535700
	2 X 2 RECESSED DIRECT/INDIRECT TROFFER WITH CENTER DIFFUSER BASKET SEMI SPECULAR LOUVER FLUSH FRAME
	2 X 4 RECESSED DIRECT/INDIRECT TROFFER WITH CENTER DIFFUSER BASKET SEMI SPECULAR LOUVER FLUSH FRAME
	FOCAL POINT CONCAVE VERVE III 4' PENDANT WITH CENTER LOUVER
	CEILING MOUNTED FIXTURE- FORECAST LIGHTING CASSANDRA 2-LIGHT CEILING FIXTURE IN SORRELL BRONZE #F615520UNV
	ART ACCENT LIGHT- LYTECASTER RECESSED DOWN LIGHT LIGHTOLIER #378X



**1** | CEILING PLAN- SECOND FLOOR  
SCALE: 3/32"=1'-0"



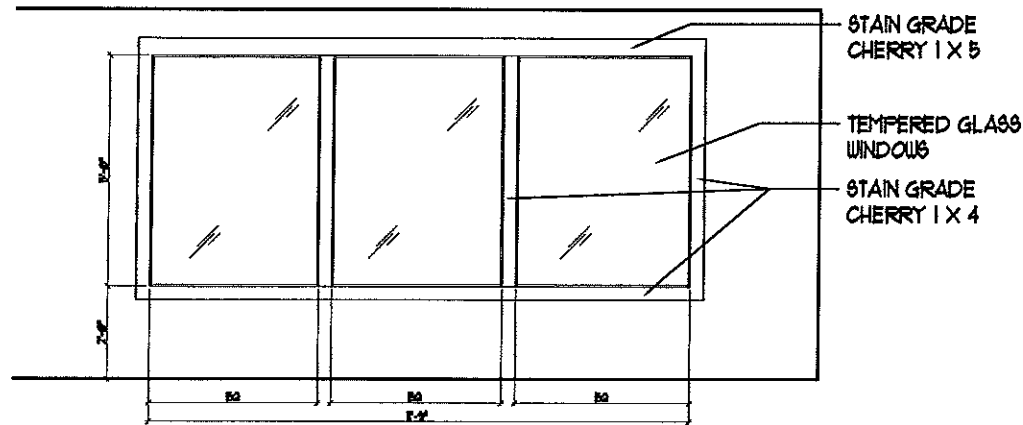
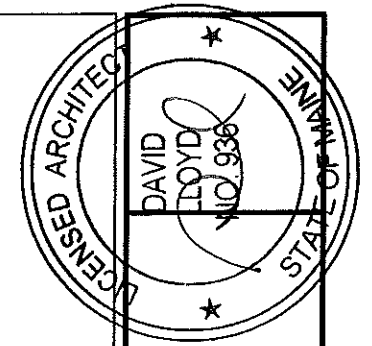
**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Date: 06 April 2012  
Scale: 3/16"=1'-0"

SECOND FLOOR  
CEILING PLAN

Project:  
130 MIDDLE STREET  
PORTLAND, MAINE

A2



**1** INTERIOR ELEVATION- CONFERENCE ROOMS

SCALE: 1/4"=1'-0"

FINISH SCHEDULE					
ROOM #	ROOM NAME	FLOOR	BASE	WALL	CEILING
201	LOBBY	CERAMIC TILE	CERAMIC	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
202	ELEV. MACH.	EXISTING	EXIST.	EXISTING	EXIST.
203	ENTRY	CERAMIC TILE	WOOD	STAIN GRADE CHERRY WAINSCOT TO 36" A.F.F.	ACT-1
204	CORRIDOR	CERAMIC TILE	CERAMIC	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
205	MENS REST.	EXISTING	EXIST.	PTD. GYP.	ACT-1
206	JAN.	EXISTING	EXIST.	PTD. GYP.	EXIST.
207	WOMENS REST.	EXISTING	EXIST.	PTD. GYP.	ACT-1
208	LIBRARY	CARPET	WOOD	PTD. GYP.	ACT-1
209	RECEPTION	CERAMIC TILE	CERAMIC	STAIN GRADE CHERRY WAINSCOT TO 36" A.F.F.	ACT-1
210	CORRIDOR	CARPET	WOOD	CHAIR RAIL / PTD. GYP.	ACT-1
211	NOT USED	--	--	--	--
212	NOT USED	--	--	--	--
213	WAR ROOM	CARPET	WOOD	PTD. GYP.	ACT-1
214	CORRIDOR	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
215	CONFERENCE	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
216	CONFERENCE	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
217	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
218	CORRIDOR	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
219	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
220	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
221	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
222	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
223	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
224	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
225	CONFERENCE	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
226	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
227	CORRIDOR	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
228	OPEN OFFICE	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
229	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
230	OFFICE	CARPET	WOOD	PTD. GYP.	ACT-1
231	CORRIDOR	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1
232	BREAK ROOM	VCT	WOOD	PTD. GYP.	ACT-1
233	RESTROOM	EXISTING	EXIST.	PTD. GYP.	ACT-1
234	PASSAGE	CARPET	WOOD	CHERRY CHAIR RAIL / PTD. GYP.	ACT-1

FINISH KEY		
TAG	MANUFACTURER	DESCRIPTION
CERAMIC TILE	DAL TILE	AYERS ROCK- COLOR TBD
CARPET	SHAW	IRONWORK #60651
ENGINEERED WOOD	MIRAGE	ENGINEERED WOOD- COLOR TBD
VCT	MANNINGTON	BRUSHWORK 1/8" 12" X 12" - COLOR TBD
ACT 1	ARMSTRONG	24" X 24" MESA 687 WITH SUPRAFINE GRID

**ARCHETYPE**  
Architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Date: 01 May 2012  
Scale: 3/16"=1'-0"  
SCHEDULES AND INTERIOR ELEVATIONS

Project: 130 MIDDLE STREET  
PORTLAND, MAINE

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