

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <i>338 Main Street</i>		Owner: <i>Tom</i>		Phone: <i>767-3717</i>		Permit No: 001000
Owner Address: <i>338 Main Street Portland ME</i>		Lessee/Buyer's Name:		Business Name: <i>Tom 773-8389</i>		
Contractor Name:		Address: <i>338 Main Street Portland ME</i>		Phone:		Permit Issued: SEP 12 2000
Past Use: <i>retail</i>		Proposed Use: <i>restaurant</i>		COST OF WORK: \$ <i>25,000</i>		
Proposed Project Description: <i>change of use from retail to restaurant interior reno</i>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		PERMIT FEE: \$ <i>174.00</i>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Signature: <i>[Signature]</i>		INSPECTION: Use Group: <i>M</i> Type: <i>3 B</i> <i>BOCA 99</i> Signature: <i>[Signature]</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature: _____ Date: _____		
Permit Taken By:		Date Applied For: <i>June 14 2000 R</i>				Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS
CEO DISTRICT

COMMENTS

16 June 2004 called over and reator regarding permit application? Owner
 said to call Tina Dipi. Called left message
 10/3/00 Punch list w/ Jeff Tom - check to see about fire door at kitchen
 Rail system ok
 11/1/00 Verified with Tom that the kitchen door can be a Max 3/8" off floor when
 closed and magnetic closer wired to heat sensor JB
 11/22/00 Final inspection: All conditions for fire separation and venting met - See
 attached memos JB Issue C.O.

CBL# 029.B 004
 permit# 001000

Inspection Record

Type	Date
Foundation:	
Framing:	
Plumbing:	
Final:	
Other:	

To SAM HOPPER

274. 8716

FR. BILL NEMMERS

RE: 339 FORE ST.

PROPOSED TAI RESTAURANT
(IN FORMER PETER REMUEY'S SPACE)

- 1) I have found a ceiling design which gives us 1 1/2 hr. with a fire rated acoustical lay in. I am asking if you can award us an additional 1/2 hr for the existing plaster/plywood ceiling which is in addition to those parts required for the 1 1/2 hr rating. I have included catalogue cuts for the ceiling tile.
- 2) You asked for a sketch showing the proposed fire separation between the kitchen below and the restaurant above. All the cooking aspects of the kitchen will occur in the front area which is surrounded by masonry walls. We are proposing installing a 1 hr door on a ~~smoke~~^{HEAT} release mechanism. Instead of building a fire rated structure all around the stairs, which because of the staggered floor elevations will be difficult and operationally bad.
- 3) I will give you more detailed drawings for a building permit application - this is to get an opinion so we can determine costs for the lease negotiations.

Bill Nemmers 774 3683

Department of Human Sciences
Division of Health Engineering

9/25
66
9/25

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation: Portland
Street Subdivision Lot #: 339 Fore

PROPERTY OWNERS NAME

Last: Tim First: Douglas
Applicant Name: Dave the Plumber
Mailing Address of Owner/Applicant (If Different): 48 Chesley

PORTLAND PERMIT # 7450 STATE COPY
Date Permit Issued: 9/18/00 \$ 610101 If Double Fee Charged
L.P.I. # 011214

Local Plumbing Inspector Signature

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

[Signature] 9-18-00
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

[Signature] 11/22/00
Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER - SPECIFY <u>Rest</u>	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>6615</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
OR		Urinal	5	Sink
		Drinking Fountain		Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.	2	Indirect Waste	1	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	1	Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor		Garbage Disposal
OR		Bidet		Laundry Tub
		Other: _____		Water Heater
TRANSFER FEE [\$6.00]		Fixtures (Subtotal) Column 2	7	Fixtures (Subtotal) Column 1
			3	Fixtures (Subtotal) Column 2
			10	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



Certificate of Occupancy

LOCATION 389 FORE ST. CBL: 29-B-4

Issued to **BOUG TIMM**

Date of Issue **NOVEMBER 22, 2000**

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 001000, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

Limiting Conditions:

APPROVED OCCUPANCY

RESTAURANT
USE GROUP **A3**
TYPE 3B
BOCA 99

This certificate supersedes
certificate issued

Approved:

11/22/00

(Date)

Deanne Bourke
Inspector

G. Samuel [Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

J.T. Inc. W.C.

BUILDING PERMIT REPORT

DATE: 15 June 2009 ADDRESS: 339 Fore St- CBL: 029-B-004

REASON FOR PERMIT: Change of use from retail to restaurant (interior reno)

BUILDING OWNER: Doug Timm Andrew Jans - 774-8366

PERMIT APPLICANT: Siam C. Te Cafe CONTRACTOR

USE GROUP: A-3 CONSTRUCTION TYPE: 3B CONSTRUCTION COST: \$25,000.00 PERMIT FEES: \$174.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *11, *13, *17, *23, *27, *29, *31, *32, *34, *36, 12, #37

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
*17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/14

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

*23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

*27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements.

separate permits are required for New signage. Property is located in a Pedestrian Activity District

*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

*35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

This permit is being issued but before any work begins a plan of the following items shall be submitted to this office of review and approval - 1. The fire separation between the proposed restaurant and the dwelling units above - 2 hrs is required - 2. Your plan show you're using the basement for food prep - How is the kitchen area cooking equipment going to be vented? 3. The exit discharge from the basement area - 4. The type of interior surfaces of food prep area.

Samuel H. Houson, Building Inspector
Cc: Lt. M. Dougall, PFD
Marge Schmueckel, Zoning Administrator

(37) you shall check with the city clerk's office for all required food service and liquor licenses. They will also pass on all the state smoking guidelines.

PSH 1/26/00

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

****CERTIFICATE OF OCCUPANCY FEE \$50.00

**** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>339 Fore St., Portland, ME</u>			
Total Square Footage of Proposed Structure <u>1323 SF</u>		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <u>029</u> Block# <u>B</u> Lot# <u>004</u>		Owner: <u>Doug Timm</u>	Telephone#: <u>767-7777</u>
Owner's Address: <u>P.O. Box 1250 Portland, ME 04104</u>		Lessee/Buyer's Name (If Applicable) <u>Siam City Cafe</u>	Cost Of Work: <u>\$25,000</u> Fee: <u>\$174.00</u>
Proposed Project Description:(Please be as specific as possible) <u>Convert Retail/office space to Restaurant & kitchen in basement</u> <u>Change of use Retail to Restaurant</u>			
Contractor's Name, Address & Telephone <u>P.O. Box 4606 Portland, ME 04112</u>		Rec'd By <u>(initials)</u>	
Current Use: <u>Retail/office</u>		Proposed Use: <u>Restaurant</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

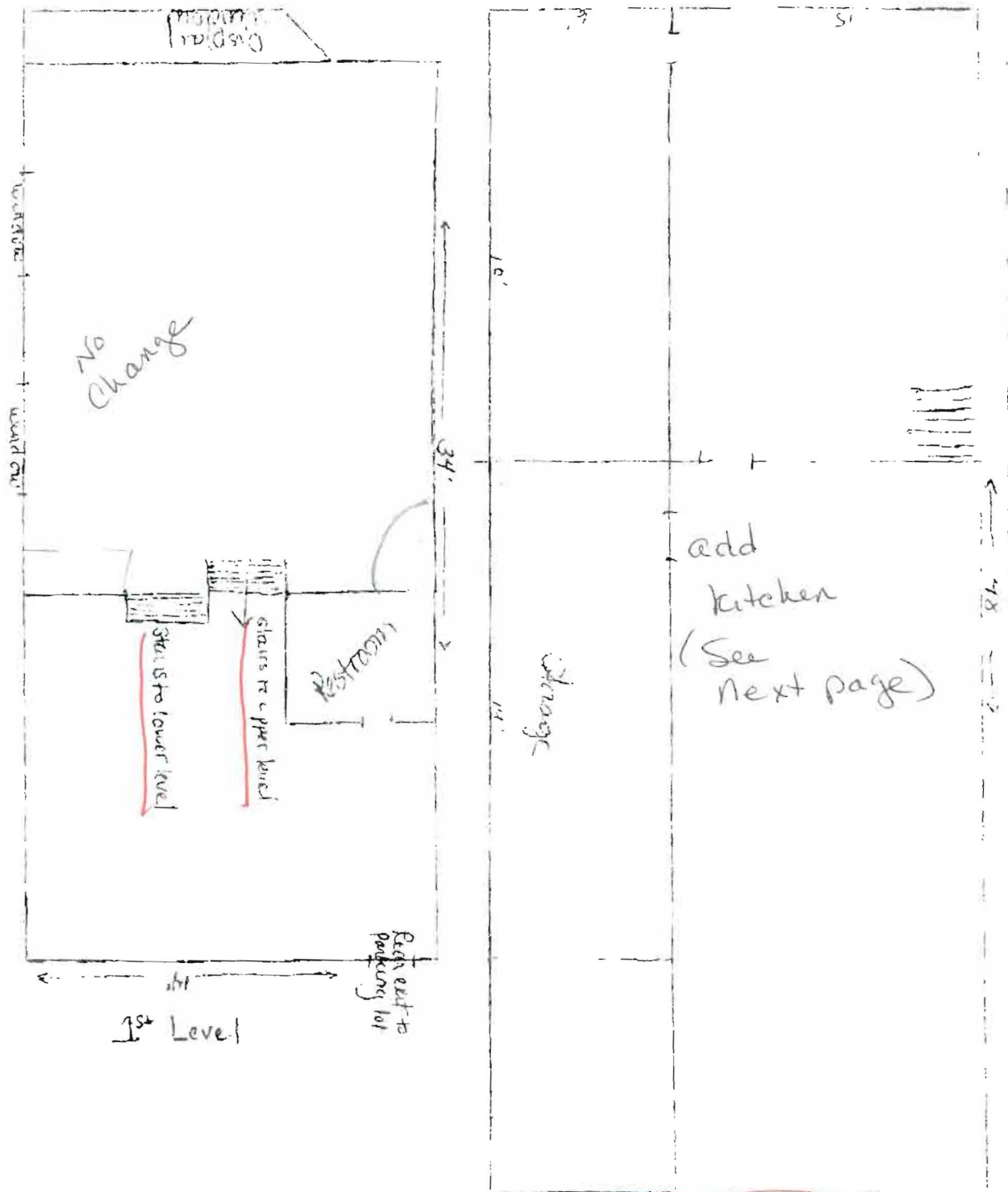
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>6/14/00</u>
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum



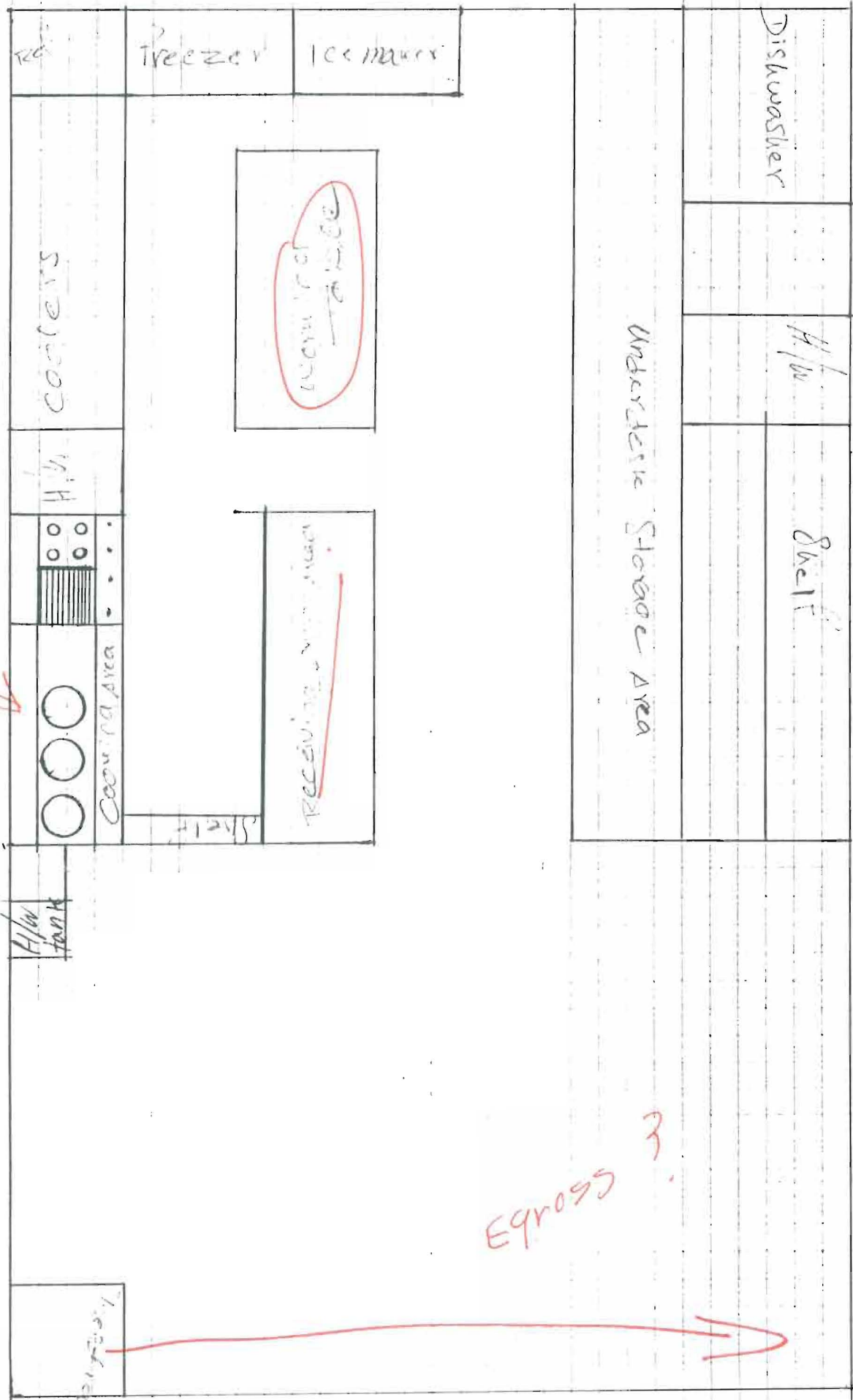


* NOT TO SCALE



Basement Level

New I. Lat 1023



Egress 3

Basement

To SAM HOPKES

874. 8716

FR. BILL NEMMERS

received
8/31/00

RE: 339 FORE ST.

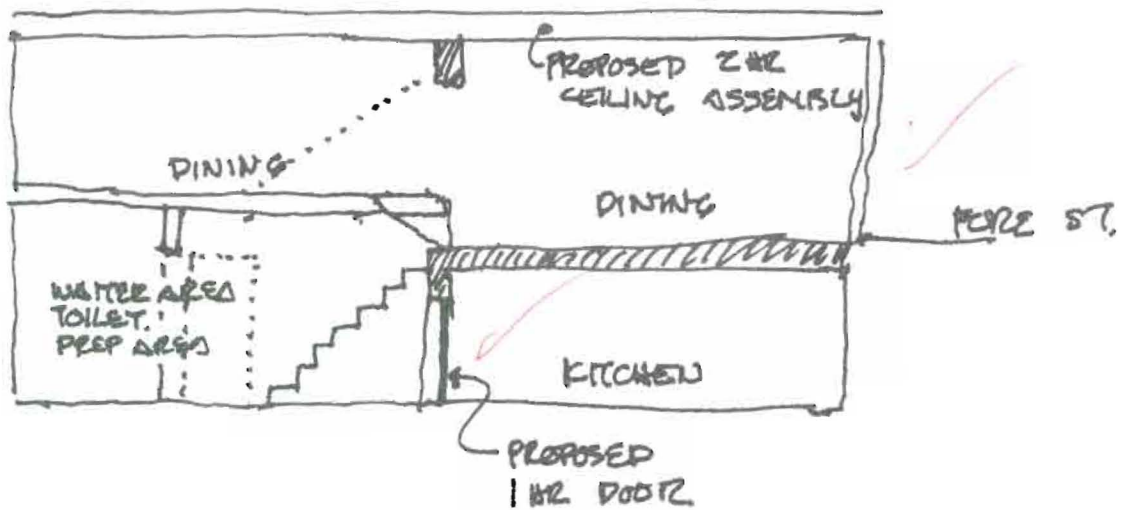
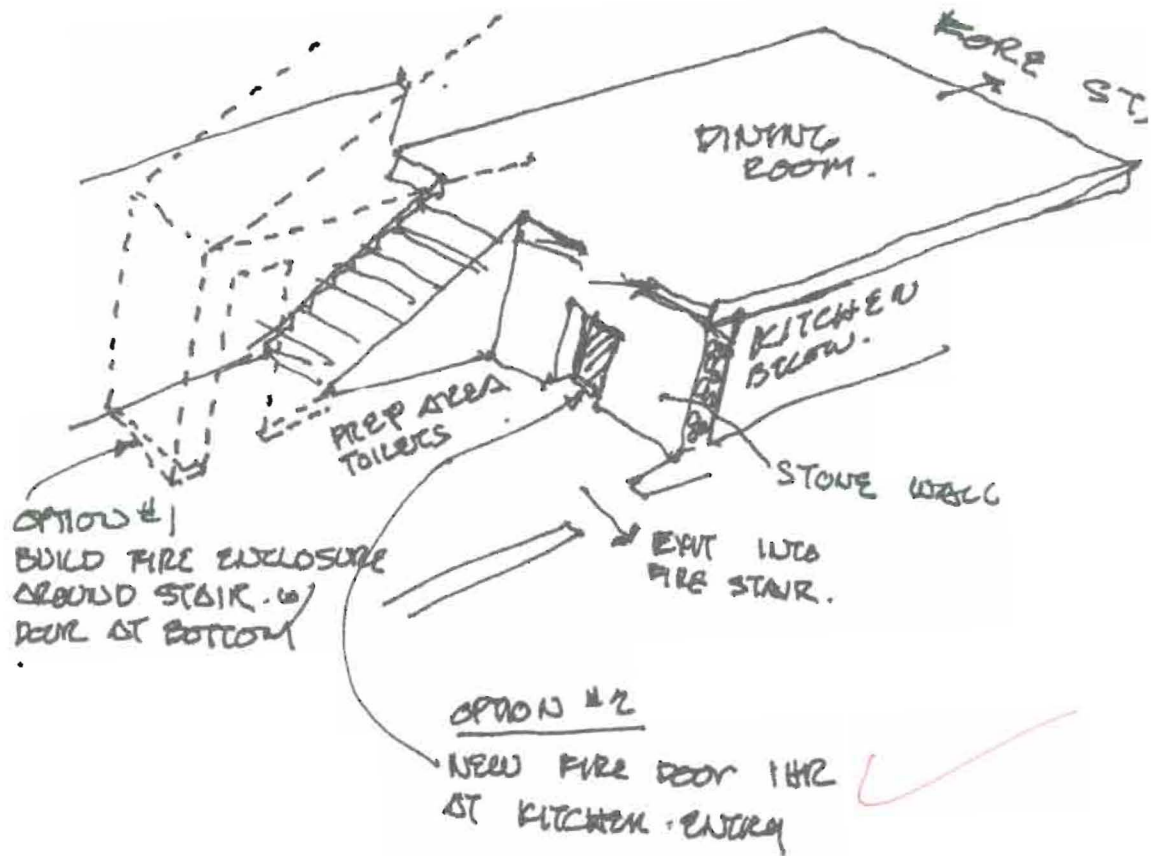
PROPOSED TAI RESTAURANT
(IN FORMER PETER RENNEY'S SPACE)

- 1) I have found a ceiling design which gives us 1 1/2 hr. with a fire rated acoustical lay in. I am asking if you can award us an additional 1/2 hr for the existing plaster/plywood ceiling which is in addition to those parts required for the 1 1/2 hr rating. I have included catalogue cuts for the ceiling tile.
- 2) You asked for a sketch showing the proposed fire separation between the kitchen below and the restaurant above. All the cooking aspects of the kitchen will occur in the front area which is surrounded by masonry walls. We are proposing installing a 1 hr door on a ~~fire~~^{HEAT} release mechanism. Instead of building a fire rated structure all around the stairs, which because of the staggered floor elevations will be difficult and operationally bad.
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Bill Nemmers 774 3683

339 FORE ST.

PROBLEM: TO ISOLATE KITCHEN FROM DINING AREA -
WITH FIRE WALL.



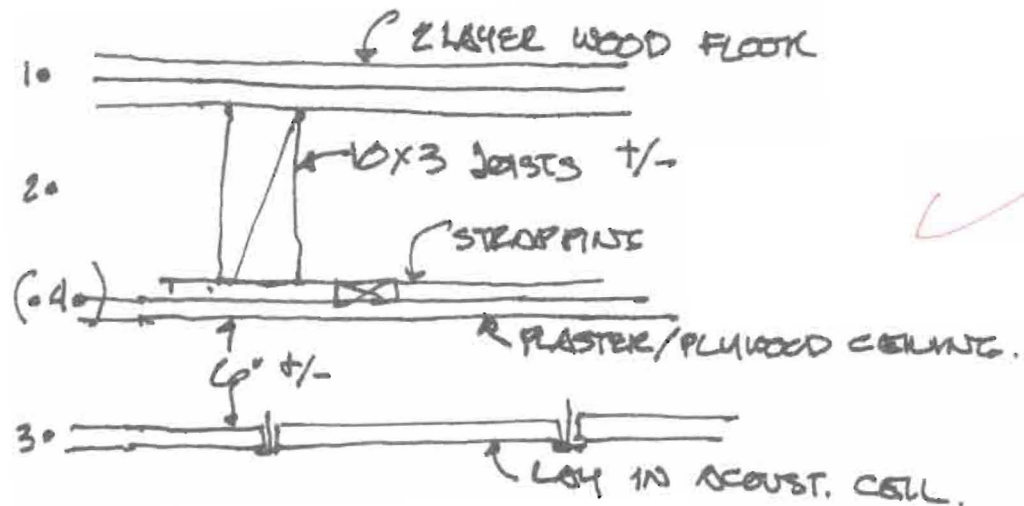
PROPOSED THAI RESTAURANT.

CORNER FORE ST & MARKET.

339 FORE STREET

2 HOUR CEILING SEPARATION RATIONALE.

EXISTING CONDITION



ACCORDING TO ULI DESIGN # L208 (3.1.5)

1/2 hr rating with 1. double wood floor

2. 3x8 joists

3. 5/8" P (FIRE RATED) LAY IN ACOUST. TILE

CAN you give an additional 1/2 hr credit for the existing plaster/plywood ceiling (0.4)

16 so, we will replace the existing acoustical tile with 5/8" Armstrong "MINEBOARD" FIRE GUARD

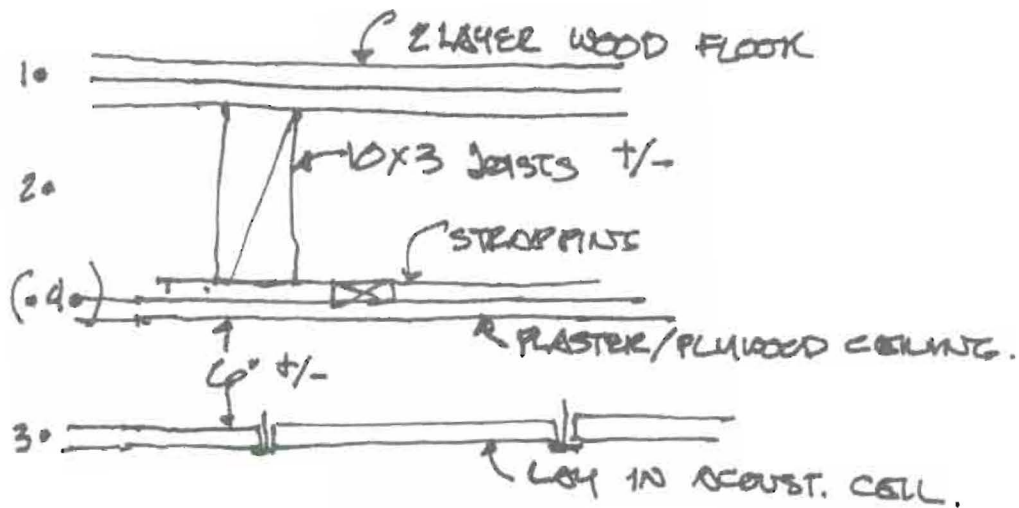
PROPOSED THAI RESTAURANT.

CORNER FORE ST & MARKET.

339 FORE STREET

2 HOUR CEILING SEPARATION REQUIREMENT.

EXISTING CONDITION



ACCORDING TO ULI DESIGN # L208 (2.1.5)

1/2 hr rating with 1. double wood floor

2. 3x8 JOISTS

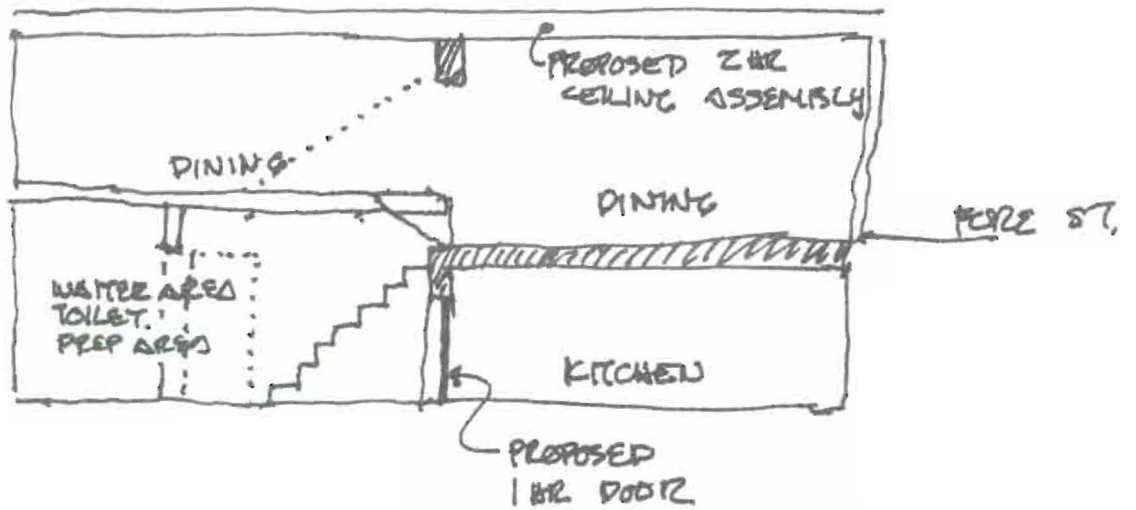
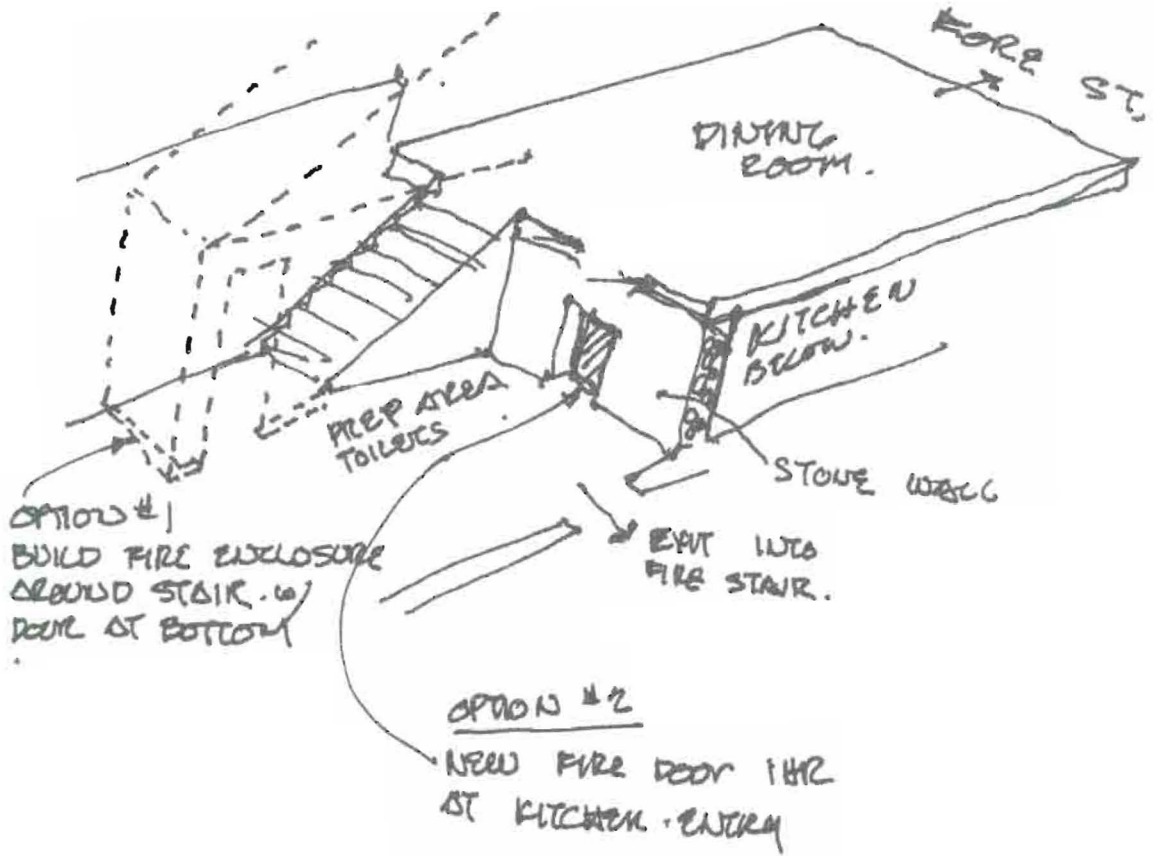
3. 5/8" P (FIRE RATED) LAY IN ACOUST. TILE

CAN you give an additional 1/2 hr credit for the existing plaster/plywood ceiling (0.4)

16 so, we will replace the existing acoustical tile with 5/8" armstrong MINERAL FIBER FIRE GUARD

339 FOYLE ST.

PROBLEM: TO ISOLATE KITCHEN FROM DINING AREA -
WITH FIRE WALL.



MINABOARD/ FIRE GUARD

Minaboard is an economical easy-to-install lay-in ceiling. It is made of acoustically efficient fire-retardant mineral fiber. Minaboard panels are available in a variety of sizes and surface designs including the hand-somely textured Designer Minaboard.

PHYSICAL DATA

Color:
White

NRC Range:
50-60
55-65—Fire Guard

STC Range:
35-39 (40-44 available for Fissured, Fissured Fire Guard [except for item V-8298], Classic, Classic Fire Guard, Coretega, and Cortega Fire Guard)
30-34—Designer and Designer Fire Guard (35-39 available)
40-44—Cortega item 747

Light Reflectance:
LR-1 (75% or over)

Flame Spread:
0-25 (ASTM E 84)
Class A (Fed. Spec. 55.5 118B)
25 or under (UL Label)

Insulation Value:
Minaboard—Average C factor (at 75 F) is .63
R factor is 1.6
Fire Guard—Average C factor (at 75 F) is .67
R factor is 1.5

Surface Finish:
Factory-applied washable white vinyl latex paint finish. Fissured, Classic, and Cortega are also available with a scrubbable vinyl-plastic finish.

Recommended Armstrong Suspension System:
(See pp. 62-65.)

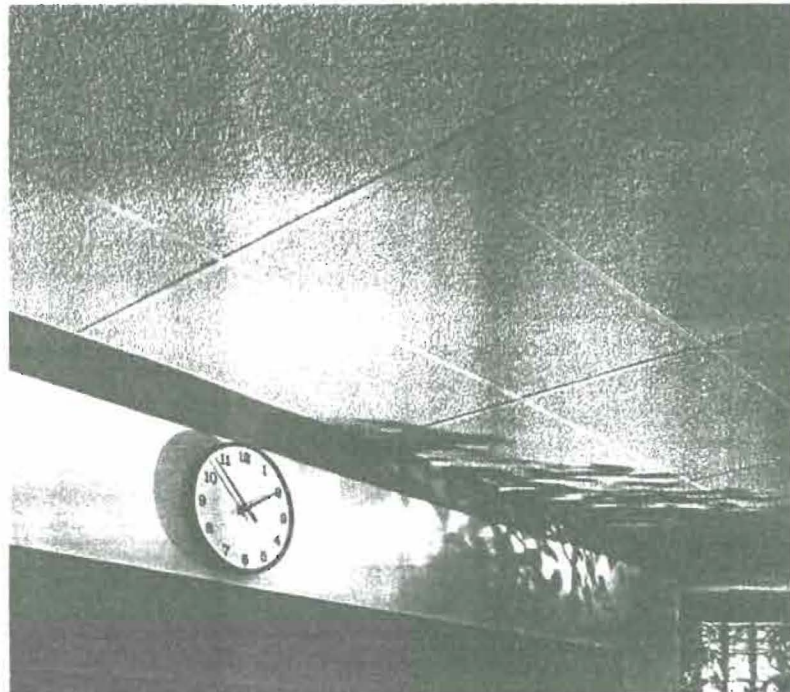
Fire-Resistance Ratings:
Fire Guard is a fire-resistant ceiling that can be used in applicable UL fire-resistance designs. Summary assembly data are included in the tables on pages 72-73. See current Underwriters' Laboratories, Inc., Fire-Resistance Directory for complete assembly design information.



09500/ARO
BuyLine 0729

page 61

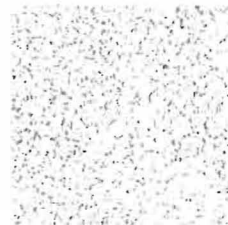
AFFORDABLE CEILINGS



Designer Minaboard

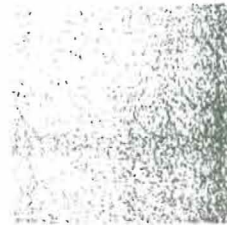


Classic
751A—24" x 24" x 1/8" lay-in
758B—24" x 48" x 1/8" lay-in
765B—24" x 48" x 1/8" lay-in, plastic finish
890A—24" x 48" x 1/8" lay-in Fire Guard (UL Label)



Cortega
747—24" x 48" x 1/8" lay-in
770—24" x 24" x 1/8" lay-in
769A—24" x 48" x 1/8" lay-in
772A—24" x 60" x 1/8" lay-in
773A—20" x 60" x 1/8" lay-in
761—24" x 48" x 1/8" lay-in, plastic finish
824—24" x 24" x 1/8" lay-in Fire Guard (UL Label)
823—24" x 48" x 1/8" lay-in Fire Guard (UL Label)

Georgian
764A—24" x 24" x 1/8" lay-in
763B—24" x 48" x 1/8" lay-in
898A—24" x 48" x 1/8" lay-in Fire Guard (UL Label)



Designer
734—24" x 48" x 1/8" lay-in
735A—24" x 24" x 1/8" lay-in
833—24" x 48" x 1/8" lay-in Fire Guard (UL Label)



Fissured
756A—24" x 24" x 1/8" lay-in
755B—24" x 48" x 1/8" lay-in
762B—24" x 60" x 1/8" lay-in
771A—20" x 60" x 1/8" lay-in
767B—24" x 48" x 1/8" lay-in, plastic finish
896—24" x 24" x 1/8" lay-in Fire Guard (UL Label)
895—24" x 48" x 1/8" lay-in Fire Guard (UL Label)
829B—24" x 48" x 1/8" lay-in, ventilating Fire Guard (UL Label)
774—24" x 48" x 1/8" lay-in Fire Guard (UL Label)

	CONCRETE THICKNESS	UNIT SIZE & TYPE*	UNIT THICKNESS	MAXIMUM FIXTURE PENETRATION (ft ² /100 ft ²)	MAXIMUM DUCT PENETRATION (in. ² /100 ft ²)	ULI DESIGN NUMBER†
2-Hour—Exposed Grid (cont.)	2½"	30"x 60", P or PC 20"x 60", P or PC 24"x 48", P or PC 24"x 24", P 20"x 60", P or PC	¾"	20	113	G250 (-)
1½-Hour—Concealed Grid	2"	12"x 12", BF or P	¾" (for BF) or ½" (for P)	2½	576	G027 (7-1½)
	2"	24"x 24", BF or P	¾" (for BF) or ½" (for P)	25	576	G029 (21-1½)
1½-Hour—Exposed Grid	2"	24"x 48", P or PC	¾" (for P or PC)	None	None	G239 (9-1½)
1-Hour—Exposed Grid	2"	24"x 48", P 24"x 24", P	¾" or ½"	None	None	G241 (B2-1)
Double-Ply Wood (or plywood), 2 x 10 Wood Joists						
1-Hour—Concealed Grid	NA	12"x 12", P	¾" or ½"	None	None	L004 (9-1)
	NA	12"x 12", BF or P 12"x 24", BF or P	¾" (for BF) ½" (for P)	14	81	L005 (-)
1-Hour—Exposed Grid	NA	24"x 48", P	¾"	16	110	L209 (30-1)
	NA	24"x 48", P	¾"	24	227	L210 (51-1)
Double-Ply Wood (or plywood), 3 x 8 Wood Joists						
1½-Hour—Exposed Grid	NA	24"x 48", P or PC 24"x 24", P	¾"	None	None	L208 (8-1½)
Precast Concrete Plank						
2-Hour—Concealed Grid	2"	12"x 12", BF or P	¾" (for BF) or ½" (for P)	12	126	P001 (RC14-2)
	2"	12"x 12", BF or P	¾"	None	None	P004 (RC4-2)
Lightweight Insulating Concrete on Ribbed or Corrugated Steel Deck						
2-Hour—Exposed Grid	2"	24"x 48", PC plus 24"x 48", Gypsum Bd.	¾" PC plus ½" Gyp. Bd.	16	57	P215 (RC24-2)
	2"	24"x 48", PC plus 24"x 48", Gypsum Bd.	¾" PC plus ½" Gyp. Bd.	16	57	P219 (-)
	2½" Minimum to 6½"***	24"x 48", P or PC 24"x 24", BF, P, or PC 20"x 60", P or PC	¾" (for P or PC) ¾" (for BF)	24	576	P251
1½-Hour—Exposed Grid	3½"***	24"x 48", P	¾"	24	255	P231
1-Hour—Exposed Grid	2"	24"x 48", P	¾"	16	57	P216 (RC8-1)
Mineral-Fiber, Glass-Fiber, or Composite Roof Insulation						
1½-Hour—Exposed Grid	INSULATION THICKNESS					
	1" Minimum to Unlimited Maximum	24"x 48", P or PC	¾"	24	255	P225 (-)
	1" Minimum to Unlimited Maximum	24"x 48", P or PC	¾"	24	255	P227 (-)
	1" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 24", P or PC	¾" (for P) ¾" (for PC)	24	113	P250 (-)
1-Hour—Exposed Grid	1" Min. & Max.	24"x 48", P	¾"	16	113	P206 (RC16-1)
	1" Min. & Max.	24"x 48", PC	¾"	16	57	P210 (RC4-1)
	1" Minimum to 2" Maximum	24"x 48", PC	¾"	16	57	P211 (RC3-1)
	1" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 24", P or PC	¾"	24	576	P225 (-)
	1" Minimum to Unlimited Maximum	24" x 48", P or PC 24"x 24", P or PC	¾"	24	255	P227 (-)
	1" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 24", P or PC	½" (for P) ¾" (for PC)	24	576	P250 (-)
	1" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 24", P or PC	¾"	24	576	P253
Structural Cement/Wood-Fiber Plank						
1½-Hour—Exposed Grid	PLANK THICKNESS					
	2½" Minimum to Unlimited Maximum***	24"x 48", P 24"x 24", BF 20"x 60", P	¾" (for P) ¾" (for BF)	24	254	P253
1-Hour—Exposed Grid	2½" Minimum to Unlimited Maximum***	24"x 48", P or PC 24"x 24", BF, P, or PC 20"x 60", P or PC	¾" (for P or PC) ¾" (for BF)	24	576	P253
Poured Gypsum Concrete over ½" Gypsum Board						
1½-Hour—Exposed Grid	CONCRETE THICKNESS					
	1½"	24"x 60", P	¾"	16	288	P217 (RC6-1½)
RMA (Inverted Roof Membrane Assembly)						
1-Hour—Exposed Grid	INSULATION THICKNESS					
	2" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 24", BF	¾" ¾"	24	255	R217 (ULC)†

MINABOARD/ FIRE GUARD

Minaboard is an economical easy-to-install lay-in ceiling. It is made of acoustically efficient fire-retardant mineral fiber. Minaboard panels are available in a variety of sizes and surface designs including the hand-somely textured Designer Minaboard

PHYSICAL DATA

Color:
White

NRC Range:
50-60
55-65—Fire Guard

STC Range:
35-39 (40-44 available for Fissured, Fissured Fire Guard [except for item V-8298], Classic, Classic Fire Guard, Coretega, and Cortega Fire Guard)
30-34—Designer and Designer Fire Guard (35-39 available)
40-44—Cortega item 747

Light Reflectance:
LR-1 (75% or over)

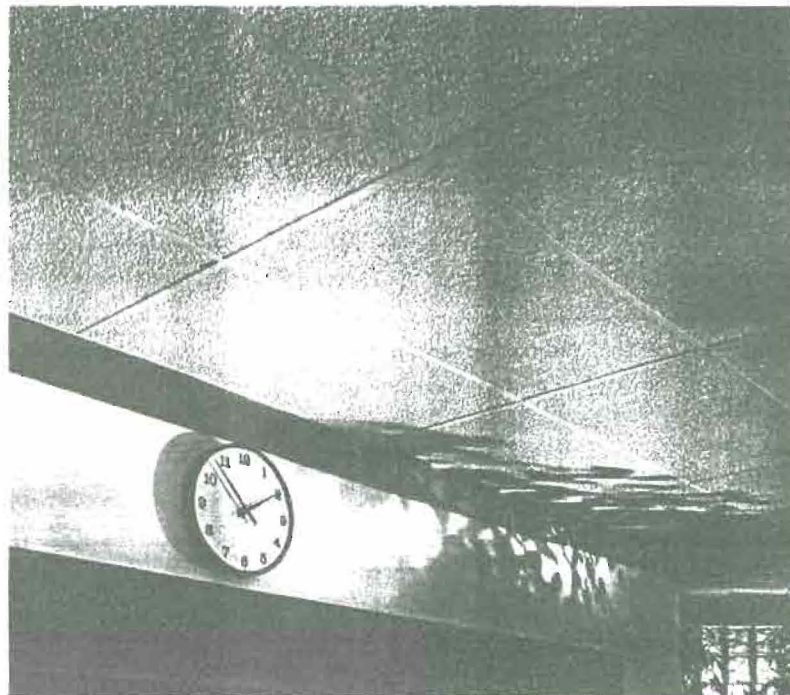
Flame Spread:
0-25 (ASTM E 84)
Class A (Fed. Spec. 55 S 1188)
25 or under (UL Label)

Insulation Value:
Minaboard—Average C factor (at 75 F) is 63.
R factor is 1.6.
Fire Guard—Average C factor (at 75 F) is 67.
R factor is 1.5.

Surface Finish:
Factory-applied washable white vinyl latex paint finish. Fissured, Classic, and Cortega are also available with a scrubbable vinyl-plastic finish.

Recommended Armstrong Suspension System:
(See pp. 62-65.)

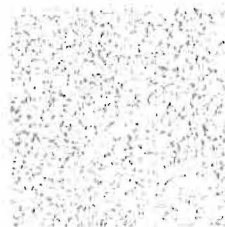
Fire-Resistance Ratings:
Fire Guard is a fire-resistant ceiling that can be used in applicable UL fire-resistance designs. Summary assembly data are included in the tables on pages 72-73. See current Underwriters' Laboratories, Inc., Fire-Resistance Directory for complete assembly design information.



Designer Minaboard

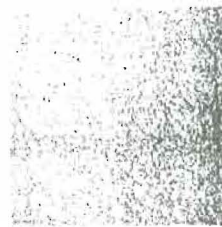


Classic
751A—24" x 24" x 1/8" lay-in
758B—24" x 48" x 1/8" lay-in
765B—24" x 48" x 1/8" lay-in, plastic finish
890A—24" x 48" x 1/8" lay-in Fire Guard (UL Label)



Cortega
747—24" x 48" x 1/8" lay-in
770—24" x 24" x 1/8" lay-in
769A—24" x 48" x 1/8" lay-in
772A—24" x 60" x 1/8" lay-in
773A—20" x 60" x 1/8" lay-in
761—24" x 48" x 1/8" lay-in, plastic finish
824—24" x 24" x 1/8" lay-in Fire Guard (UL Label)
823—24" x 48" x 1/8" lay-in Fire Guard (UL Label)

Georgian
764A—24" x 24" x 1/8" lay-in
763B—24" x 48" x 1/8" lay-in
898A—24" x 48" x 1/8" lay-in Fire Guard (UL Label)



Designer
734—24" x 48" x 1/8" lay-in
735A—24" x 24" x 1/8" lay-in
833—24" x 48" x 1/8" lay-in Fire Guard (UL Label)



Fissured
756A—24" x 24" x 1/8" lay-in
755B—24" x 48" x 1/8" lay-in
762B—24" x 60" x 1/8" lay-in
771A—20" x 60" x 1/8" lay-in
767B—24" x 48" x 1/8" lay-in, plastic finish
896—24" x 24" x 1/8" lay-in Fire Guard (UL Label)
895—24" x 48" x 1/8" lay-in Fire Guard (UL Label)
829B—24" x 48" x 1/8" lay-in, ventilating Fire Guard (UL Label)
774—24" x 48" x 1/8" lay-in Fire Guard (UL Label)

	CONCRETE THICKNESS	UNIT SIZE & TYPE*	UNIT THICKNESS	MAXIMUM FIXTURE PENETRATION (ft ² /100 ft ²)	MAXIMUM DUCT PENETRATION (in. ² /100 ft ²)	ULI DESIGN NUMBER‡
2-Hour—Exposed Grid (cont.)	2 1/2"	30"x 60", P or PC 20"x 60", P or PC 24"x 48", P or PC 24"x 24", P 20"x 60", P or PC	3/4"	20	113	G250 (-)
1 1/2-Hour—Concealed Grid	2"	12"x 12", BF or P 24"x 24", BF or P	3/8" (for BF) or 3/4" (for P) 3/8" (for BF) or 3/4" (for P)	2 1/2 25	576 576	G027 (7-1 1/2) G029 (21-1 1/2)
1 1/2-Hour—Exposed Grid	2"	24"x 48", P or PC	3/8" (for P or PC)	None	None	G239 (9-1 1/2)
1-Hour—Exposed Grid	2"	24"x 48", P 24"x 24", P	3/8" or 1/2"	None	None	G241 (32-1)
Double-Ply Wood (or plywood), 2 x 10 Wood Joists						
1-Hour—Concealed Grid	NA NA	12"x 12", P 12"x 12", BF or P 12"x 24", BF or P	3/8" or 3/4" 3/8" (for BF) 3/4" (for P)	None 14	None 81	L004 (9-1) L005 (-)
1-Hour—Exposed Grid	NA NA	24"x 48", P 24"x 48", P	3/8" 3/4"	16 24	110 227	L209 (30-1) L210 (51-1)
Double-Ply Wood (or plywood), 2 x 8 Wood Joists						
1 1/2-Hour—Exposed Grid	NA	24"x 48", P or PC 24"x 24", P	3/8"	None	None	L208 (8-1 1/2)
Precast Concrete Plank						
2-Hour—Concealed Grid	2" 2"	12"x 12", BF or P 12"x 12", BF or P	3/8" (for BF) or 3/4" (for P) 3/8"	12 None	126 None	P001 (RC14-2) P004 (RC4-2)
Lightweight Insulating Concrete on Ribbed or Composite Deck						
2-Hour—Exposed Grid	2" 2" 2 1/4" Minimum to 6 1/2"***	24"x 48", PC plus 24"x 48", Gypsum Bd. 24"x 48", PC plus 24"x 48", Gypsum Bd. 24"x 48", P or PC 24"x 24", BF, P, or PC 20"x 60", P or PC	3/8" PC plus 1/2" Gyp Bd 3/8" PC plus 1/2" Gyp Bd 3/8" (for P or PC) 3/4" (for BF)	16 16 24	57 57 576	P215 (RC24-2) P219 (-) P251
1 1/2-Hour—Exposed Grid	3 1/4"***	24"x 48", P	3/8"	24	255	P231
1-Hour—Exposed Grid	2"	24"x 48", P	3/8"	16	57	P216 (RC8-1)
Mineral-Fiber, Glass-Fiber, or Composite Roof Insulation						
1 1/2-Hour—Exposed Grid	INSULATION THICKNESS 1" Minimum to Unlimited Maximum 1" Minimum to Unlimited Maximum 1" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 48", P or PC 24"x 48", P or PC 24"x 24", P or PC	3/8" 3/8" 3/8" (for P) 3/4" (for PC)	24 24 24	255 255 113	P225 (-) P227 (-) P250 (-)
1-Hour—Exposed Grid	1" Min. & Max. 1" Min. & Max. 1" Minimum to 2" Maximum 1" Minimum to Unlimited Maximum 1" Minimum to Unlimited Maximum 1" Minimum to Unlimited Maximum	24"x 48", P 24"x 48", PC 24"x 48", PC 24"x 48", P or PC 24"x 24", P or PC 24" x 48", P or PC 24"x 24", P or PC 24"x 48", P or PC 24"x 24", P or PC	3/8" 3/8" 3/8" 3/8" 3/8" 3/8" (for P) 3/4" (for PC)	16 16 16 24 24 24 24	113 57 57 576 255 576	P206 (RC16-1) P210 (RC4-1) P211 (RC3-1) P225 (-) P227 (-) P250 (-)
Structural Cement/Wood-Fiber Plank						
1 1/2-Hour—Exposed Grid	PLANK THICKNESS 2 1/2" Minimum to Unlimited Maximum***	24"x 48", P 24"x 24", BF 20"x 60", P	3/8" (for P) 3/4" (for BF)	24	254	P253
1-Hour—Exposed Grid	2 1/2" Minimum to Unlimited Maximum***	24"x 48", P or PC 24"x 24", BF, P, or PC 20"x 60", P or PC	3/8" (for P or PC) 3/4" (for BF)	24	576	P253
Poured Gypsum Concrete over Insulation						
1 1/2-Hour—Exposed Grid	CONCRETE THICKNESS 1 1/2"	24"x 60", P	3/8"	16	288	P217 (RC6-1 1/2)
IRMA (Inverted Roof Membrane Assembly)						
1-Hour—Exposed Grid	INSULATION THICKNESS 2" Minimum to Unlimited Maximum	24"x 48", P or PC 24"x 24", BF	3/8" 3/4"	24	255	R217 (ULC)†

**Concrete plus insulation thickness
***Plank plus insulation thickness
†Underwriter's Laboratories of Canada

COMMERCIAL PROPERTIES, INC.
100 SILVER STREET
PORTLAND ME 04101
207-774-1885
FAX # 207-774-8397

774-1885-1199

PROFESSIONAL OFFICE/RETAIL SPACE PRIME OLD PORT LOCATION!



M
029

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B

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004

**339 FORE STREET
PORTLAND, MAINE**

Doyle Thun
PO Box 1250
04104

As listing broker for this property, we are required by Maine State Law to disclose to any potential buyer that we represent the Seller's interest in any potential transaction and as such have a fiduciary duty to disclose to the Seller information which is material to the sale, which may be acquired from the Buyer or any other source.

PROPERTY INFORMATION

ADDRESS: 339 Fore Street (Boothbay Square)
Portland, Maine

CONSTRUCTION: Red Brick Construction

ELECTRICAL: Separately metered

HEAT: Gas (Tenant's responsibility)

WATER/SEWER: Municipal Water and Sewer

SPACE AVAILABLE: **First Floor (Street Level) with finished basement**
Approximately 1,323 s.f.

OCCUPANCY DATE: Immediately

LEASE TERM: 3-5 Years

LEASE RATES: Negotiable

FOR MORE INFORMATION CONTACT:
TINA DIPIETRANTONIO # 103
(207) 774-1885

339 Fore Street, Portland, Maine

lock



© 1998 DeLorme. Street Atlas USA

Mag 15.00

Wed Aug 11 14:25 1999

Scale 1:15,625 (at center)

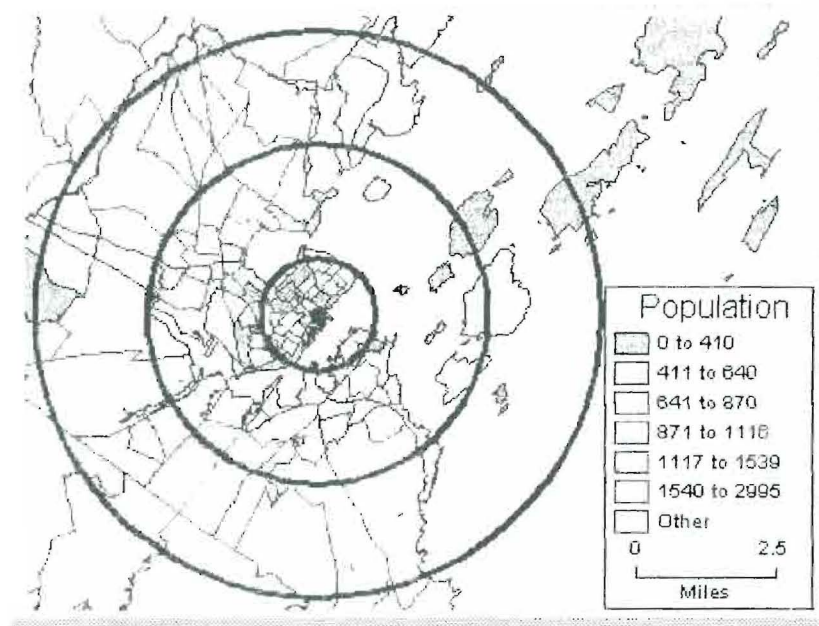
1000 Feet

500 Meters

- | | | | |
|--|---------------------------|--|--------------------|
| | Local Road | | Exit |
| | Ferry | | Railroad |
| | Walkway/Stairway | | Point of Interest |
| | US Highway | | Large City |
| | Interstate/Limited Access | | Geographic Feature |
| | Major Connector | | Hospital |
| | State Route | | Park/Reservation |

Demographic Profile

Boothby Square
339-345 Fore St.
Portland, ME



1998 Demographic Profile

1 Mile Radius

3 Mile Radius

5 Mile Radius

	<u>1998 Estimate</u>	<u>%</u>	<u>1998 Estimate</u>	<u>%</u>	<u>1998 Estimate</u>	<u>%</u>
Population	24,631		85,148		113,380	
Households	12,589		37,342		48,523	
Income						
Median Household Income	31,157		43,014		44,994	
Per Capita Income	18,937		23,190		23,400	
Household Income						
Less than \$5,000	689	5.47%	1,247	3.34%	1,439	2.97%
\$5,000 to \$9,999	1,343	10.67%	2,467	6.61%	2,869	5.91%
\$10,000 to \$14,999	1,307	10.38%	2,493	6.68%	2,966	6.11%
\$15,000 to \$19,999	1,219	9.68%	2,663	7.13%	3,258	6.71%
\$20,000 to \$24,999	890	7.07%	1,996	5.35%	2,479	5.11%
\$25,000 to \$29,999	1,007	8.00%	2,376	6.36%	2,982	6.15%
\$30,000 to \$34,999	964	7.66%	2,583	6.92%	3,157	6.51%
\$35,000 to \$39,999	594	4.72%	1,774	4.75%	2,306	4.75%
\$40,000 to \$49,999	1,452	11.53%	4,670	12.51%	6,180	12.74%
\$50,000 to \$59,999	982	7.80%	3,818	10.22%	5,062	10.43%

\$60,000 to \$74,999	951	7.55%	4,277	11.45%	5,888	12.13%
\$75,000 to \$99,999	623	4.95%	3,496	9.36%	5,019	10.34%
\$100,000 to \$124,999	225	1.79%	1,429	3.83%	2,101	4.33%
\$125,000 to \$149,999	137	1.09%	823	2.20%	1,191	2.45%
\$150,000 or greater	206	1.64%	1,230	3.29%	1,626	3.35%

Housing

Total Units	14,258		40,800		52,676	
Occupied Units	12,589	88.29%	37,342	91.52%	48,523	92.12%
Vacant Units	1,669	11.71%	3,458	8.48%	4,153	7.88%
Owner Occupied Units	2,661	18.66%	18,229	44.68%	26,772	50.82%
Rental Units	9,928	69.63%	19,113	46.85%	21,751	41.29%

Sex

Male	11,783	47.84%	40,090	47.08%	53,685	47.35%
Female	12,848	52.16%	45,058	52.92%	59,695	52.65%

Age

0-4 Years Old	1,464	5.94%	5,352	6.29%	7,136	6.29%
5-9 Years Old	1,206	4.90%	5,006	5.88%	6,868	6.06%
10-13 Years Old	801	3.25%	3,372	3.96%	4,676	4.12%
14-17 Years Old	731	2.97%	3,150	3.70%	4,329	3.82%
18-20 Years Old	1,574	6.39%	4,300	5.05%	5,509	4.86%
21-24 Years Old	2,309	9.37%	5,432	6.38%	6,656	5.87%
25-29 Years Old	2,695	10.94%	7,281	8.55%	9,124	8.05%
30-34 Years Old	2,250	9.13%	7,028	8.25%	9,211	8.12%
35-39 Years Old	2,225	9.03%	7,717	9.06%	10,363	9.14%
40-44 Years Old	1,763	7.16%	7,037	8.26%	9,615	8.48%
45-49 Years Old	1,367	5.55%	5,376	6.31%	7,507	6.62%
50-54 Years Old	1,120	4.55%	4,225	4.96%	5,966	5.26%
55-59 Years Old	900	3.65%	3,690	4.33%	5,165	4.56%
60-64 Years Old	800	3.25%	3,219	3.78%	4,477	3.95%
65-69 Years Old	802	3.26%	3,172	3.73%	4,269	3.77%
70-74 Years Old	795	3.23%	3,138	3.69%	4,130	3.64%
75-79 Years Old	699	2.84%	2,622	3.08%	3,404	3.00%
80-84 Years Old	569	2.31%	2,024	2.38%	2,566	2.26%
85 and Over	561	2.28%	2,007	2.36%	2,409	2.12%

Race

White	23,271	94.48%	82,029	96.34%	109,797	96.84%
Black	556	2.26%	1,037	1.22%	1,193	1.05%
American Indian/Eskimo	149	0.60%	322	0.38%	360	0.32%
Asian/Pacific Islander	598	2.43%	1,651	1.94%	1,907	1.68%
Other	57	0.23%	109	0.13%	123	0.11%

Source: Applied Geographic Solutions, Thousands Oaks, CA



* NOT TO SCALE

Basement Level



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 399 FORE ST. CBL: 29-B-4

Issued to **VOUG TIMM**

Date of Issue **NOVEMBER 22, 2000**

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. **001000**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

**RESTAURANT
USE GROUP #3
TYPE 3B
BOCA 99**

Limiting Conditions:

This certificate supersedes certificate issued

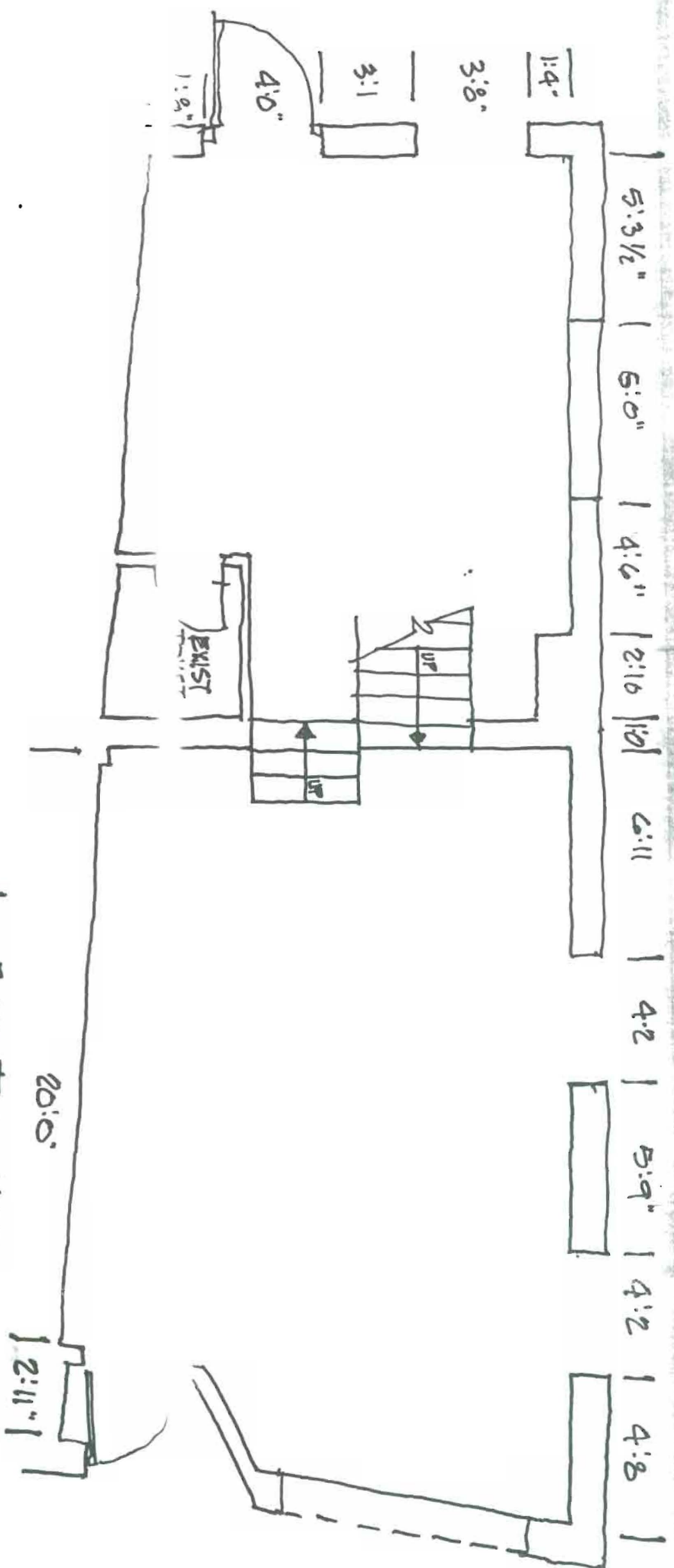
Approved:

11/22/00 *Joanne Bouke*
.....
(Date) Inspector

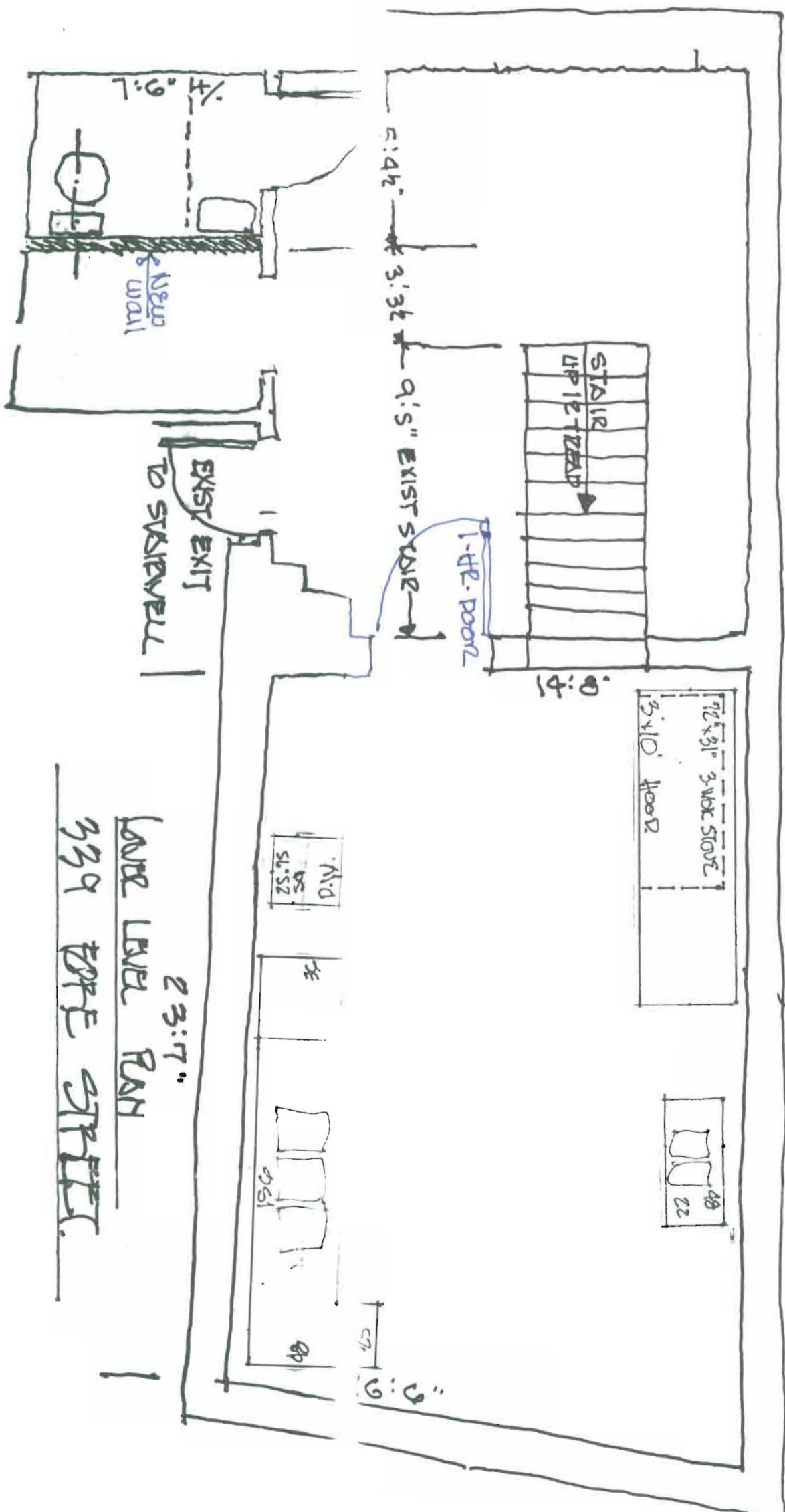
G. Samuel
.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

*2T.100. 7
W.C. 6*



LOT FRONT FURN. 1/4" : 1:0



25:9"

23:7"
 LOWER LEVEL RAN
 339 EPPLE STREET.

5:42" 3:32" 9:5" EXIST STAIR

1-TR. DOOR

EXIST EXIT
 TO STAIRWELL

1/4" 9:1"

18" x 18" wall

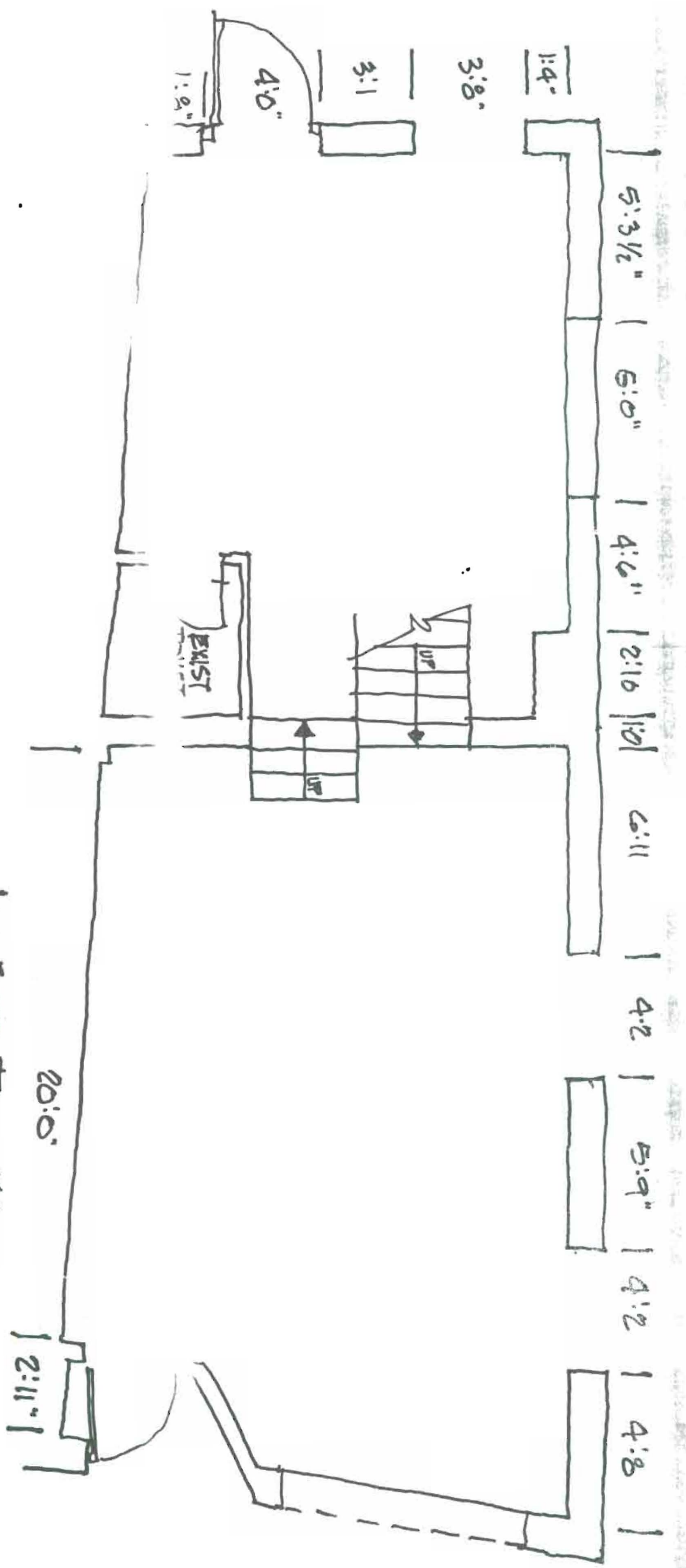
72" x 31" 3-WAY STOVE
 3' x 10' floor

P.V.
 25.75
 5A

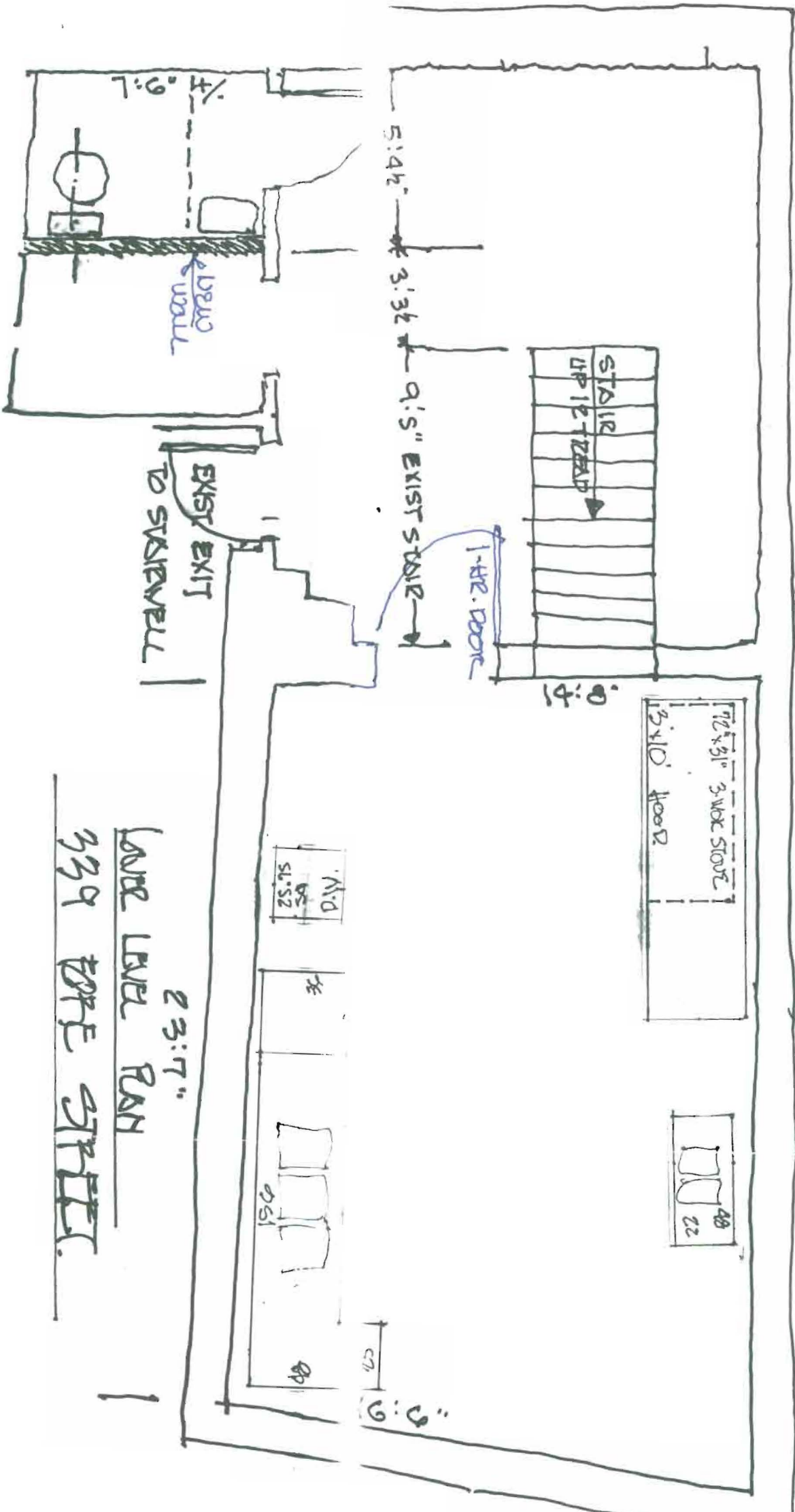
48
 22

57"

9:9"



LOT FRONT - 1/4:1:0



25:9"

23:7"
 LOWER LEVEL RAN
 339 BORE STRUT.

72 x 31" 3-WAY STORE
 3 x 10" floor

48
 22

P.N. 22
 56
 52

48
 22

48
 22

EXIST. EXIT
 TO STAIRWELL

BRUC
 WALL

STAIR
 UP 12 TREADS

1-TR. DOOR

5:4 1/2" 3:3 1/2" 9:5" EXIST STAIR

4:9:1

4:0"

48
 22