

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070159

PERMIT ISSUED

APR 19 2007

CITY OF PORTLAND

This is to certify that DUNKERLY MARY V / Architect type P A Architectshas permission to Change of use, Office Condo Residential Condo fit-up of 1st floorAT 150 MIDDLE ST P01 029 A001P01

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or occupied. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Thomas M. Manley 4/19/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

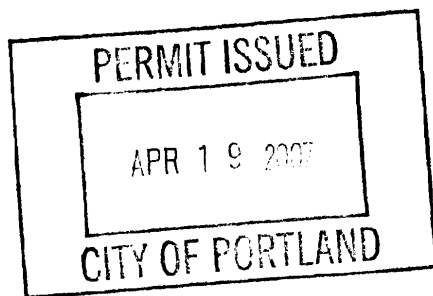
Permit No: 07-0159	Issue Date:	CBL: 029 A001P01
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Location of Construction: 150 MIDDLE ST P01	Owner Name: DUNKERLY MARY V	Owner Address: 150 MIDDLE ST # 4B	Phone:
Business Name:	Contractor Name: Archetype P A Architects	Contractor Address: 48 Union Wharf Portland	Phone 2077726022
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: 53

Past Use: Commercial Condo/ Office	Proposed Use: Residential Condo Change of use, Office Condo to Residential Condo w/ fit-up on 5th floor	Permit Fee: \$1,895.00	Cost of Work: \$180,000.00	CEO District: 1
Proposed Project Description: Change of use. Office Condo to Residential Condo w/ fit-up on 5th floor		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2/B Type: 5B IBC 2003 Signature: <i>Jm 3/19/07</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 02/12/2007	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>01/15/07 APN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation y2 <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/5/07</i> <i>D. Andrews</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0159	Date Applied For: 02/12/2007	CBL: 029 A001P01
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Business Name:	Contractor Name: Archetype P A Architects	Contractor Address: 48 Union Wharf Portland	Phone: (207) 772-6022
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Residential Condo Change of use, Office Condo to Residential Condo w/ fit-up on 5th floor	Proposed Project Description: Change of use. Office Condo to Residential Condo w/ fit-up on 5th floor
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 04/05/2007

Note: **Ok to Issue:**

- 1) * Approval based on revised drawings---bottom edge of skylights to be held back from roof edge a minimum of 12 inches.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 02/15/2007

Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 04/19/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

2/14/2007-amachado: Left message for David Lloyd. Need to know if the outside height of the building is changing at all and I need 11" x 17" plans.

2/14/2007-amachado: The height of the building is not changing.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 150 Middle Street - The Storer Building Condo		
Total Square Footage of Proposed Structure 1,122 sq. ft.		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# 29 Block# A Lot# 1	Owner: Mary Dunkerly 150 Middle St. #4B Portland, ME 04101	Telephone: 800-659-9607
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	Cost Of Work: \$ 180,000 Fee: \$ 1,820 C of O Fee: \$ 75
Current legal use (i.e. single family) <u>Office</u> Total: \$1,895 If vacant, what was the previous use? <u>Office</u> Proposed Specific use: <u>Residential Condo</u> Is property part of a subdivision? <u>Yes</u> If yes, please name <u>The Storer Building Condo</u> Project description: <u>Conversion of Office Space to Condo in an existing 33 Unit Condo Building. 5th floor</u> <u>Change of use w/out up</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>David Lloyd - Archetype, P.A.</u> Mailing address: <u>Archetype, P.A.</u> <u>48 Union Wharf</u> <u>Portland, ME 04101</u> Phone: <u>(207) 772-6022</u>		

**Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: RL

Date: 2-12-07

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

FEB 12 2007

RECEIVED

This is not a permit; you may not commence ANY work until the permit is issued.



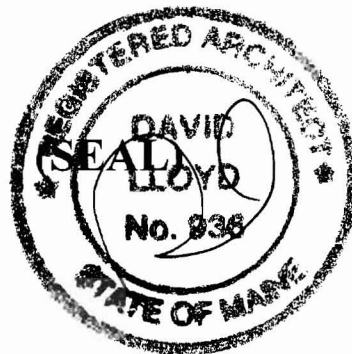
Accessibility Building Code Certificate

Designer: David Lloyd, Archetype, P.A.

Address of Project: 150 Middle Street, 5th Floor

Nature of Project: Conversion of office space on the 5th floor to a condo in an existing 33 unit condo building.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

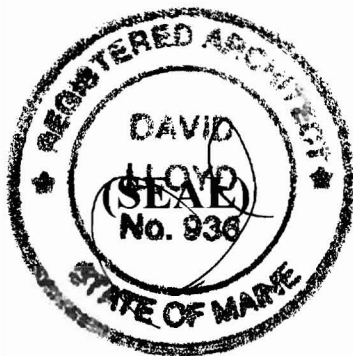
Date: February 6, 2007

From: Archetype, P.A.

These plans and / or specifications covering construction work on:

150 Middle Street

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature: 

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: Archetype, P.A.
Date: February 6, 2007
Job Name: Dunkerly Condo
Address of Construction: 150 Middle Street

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R-2
Type of Construction Type III
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes, Existing
Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) R-2, adjacent to B 1, HR.
Supervisory alarm System? ? Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)
Basic wind speed (1809.3)
Building category and wind importance Factor, w
table 1604.5, 1609.5)
Wind exposure category (1609.4)
Internal pressure coefficient (ASCE 7)
Component and cladding pressures (1609.1.1, 1609.6.2.2)
Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)
Seismic use group ("Category")
Spectral response coefficients, S_D & S_{D1} (1615.1)
Site class (1615.1.5)

**Floor load changed
from office to
residential - no
Structural changes**

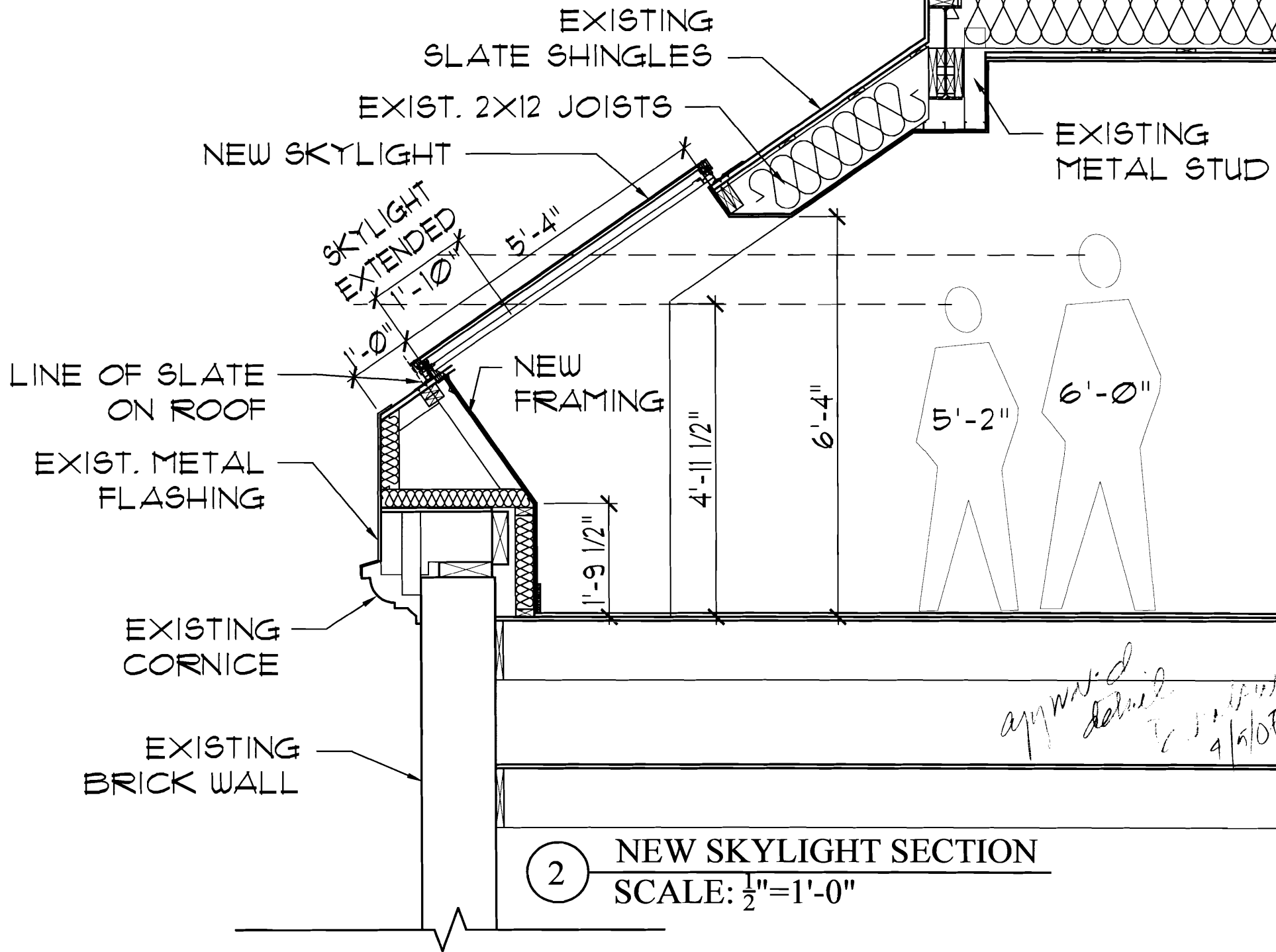
Live load reduction
Roof live loads (1603.1.2, 1607.11)
Roof snow loads (1605.7.3, 1608)
Ground snow load, P_g (1608.2)
If $P_g > 10$ psf, flat-roof snow load P_f
If $P_g > 10$ psf, snow exposure factor, C_e
If $P_g > 10$ psf, snow load importance factor, I_s
Roof thermal factor, C_t (1608.4)
Sloped roof snowload, P_s (1608.4)
Seismic design category (1616.3)
Basic seismic force resisting system (1617.6.2)
Response modification coefficient, R , and
deflection amplification factor C_d (1617.6.2)
Analysis procedure (1616.6, 1617.5)
Design base shear (1617.4, 16175.5.1)

Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)
Elevation of structure

Other loads

Concentrated loads (1607.4)
Partition loads (1607.5)
Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



EXISTING
W 18X35

EXIST. SLATE
SHINGLES

EXISTING 3'-6"
SKYLIGHT

EXIST.
MTL. STUD

FLASHING
SLATE

0" 1'-10"

EXIST. 2X12 JOISTS

EXIST. METAL
FLASHING

EXIST. 3X12

EXIST. 2X4

EXISTING
CORNICE

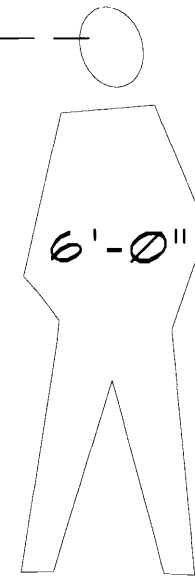
EXIST. 3X10 BEAMS

EXISTING
BRICK WALL

3'-10"

4'-11 1/2"

6'-4"

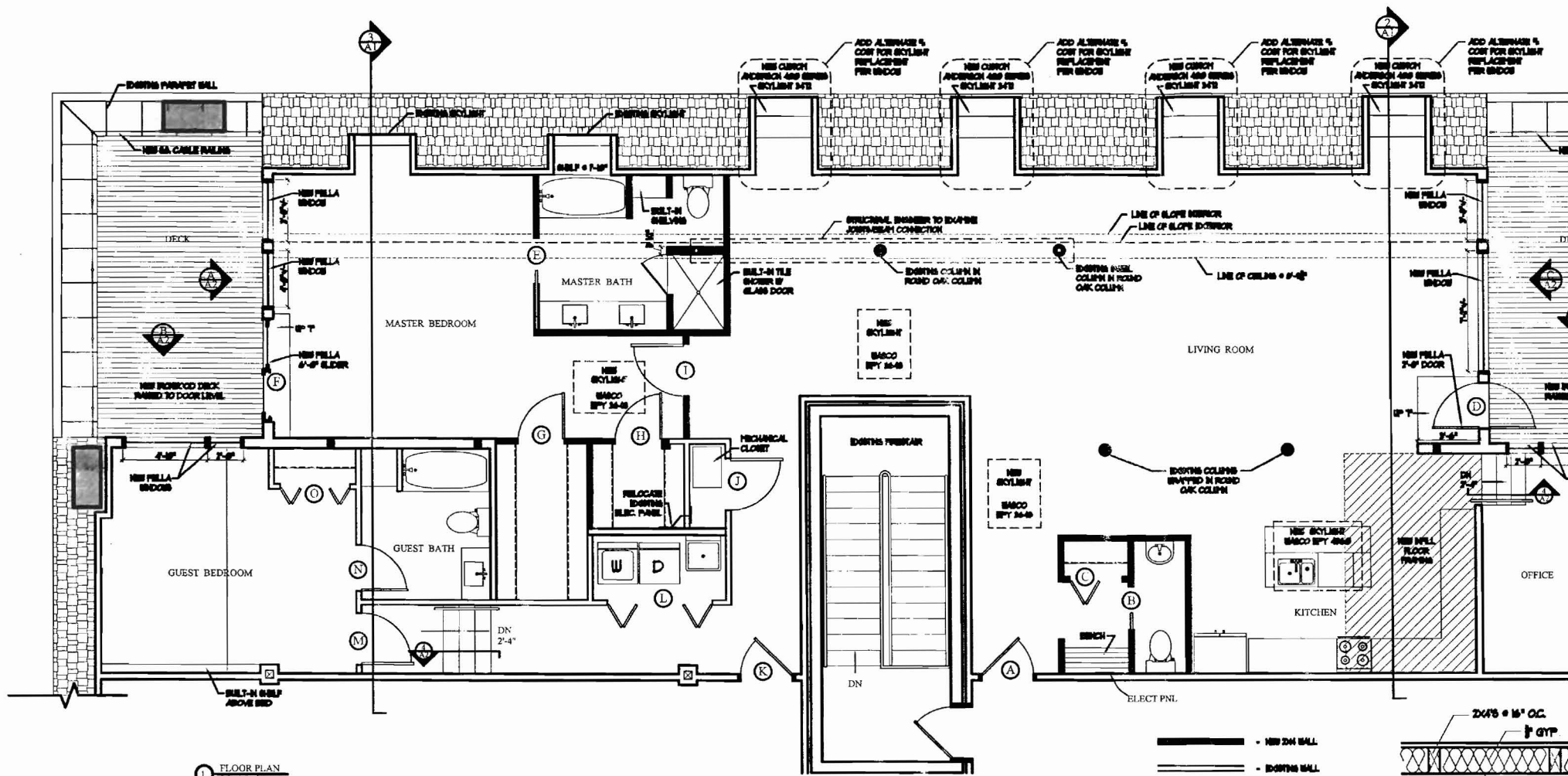


HYAC SPACE FOR DUCTWORK

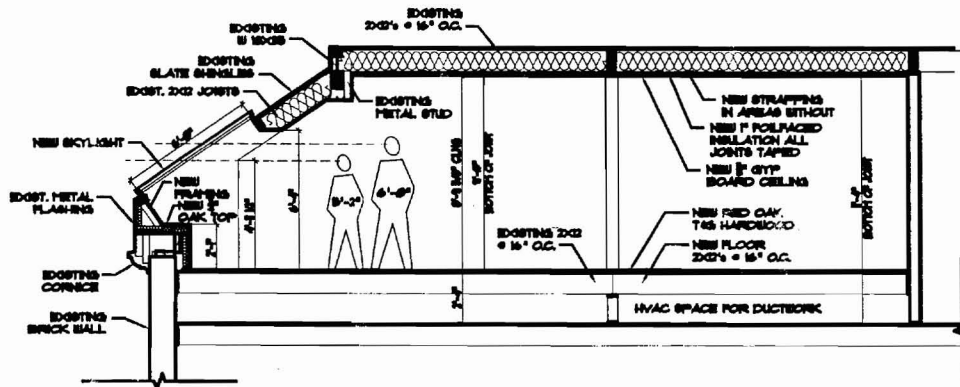
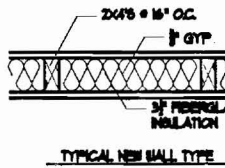
1

EXISTING SECTION

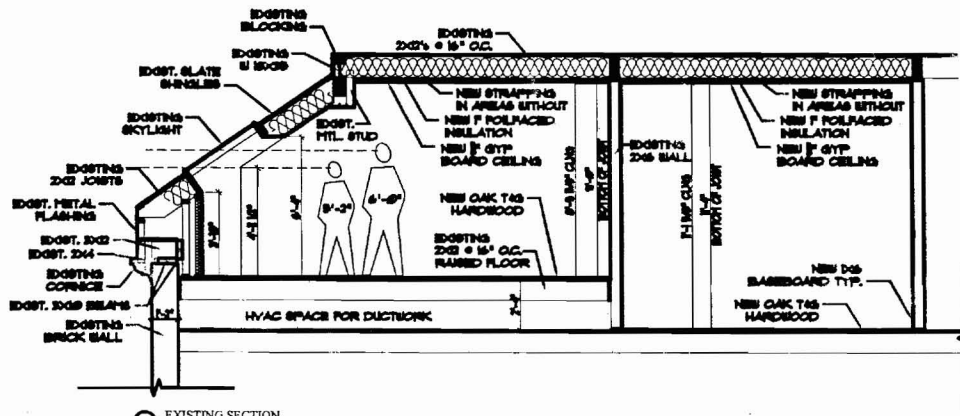
SCALE: 1/2" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4"=1'-0"



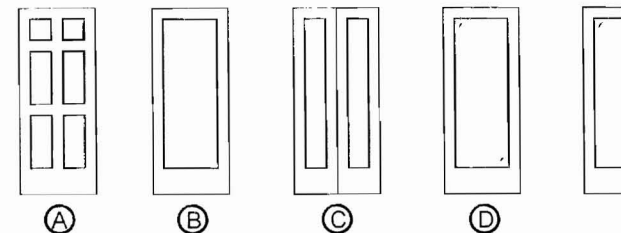
2 NEW SKYLIGHT SECTION
SCALE: 1/4"=1'-0"



EXISTING SECTION
SCALE: 1/4"=1'-0"

* DOOR SCHE

DOOR	LOCATION	SIZE			DOOR		THRESH
		Width	Height	Thick	Type	Material	
A	Unit Entry	3'-0"	6'-8"	1 3/4"	A	Wood	Aluminum
B	Half Bath	2'-6"	6'-8"	1 3/4"	B	Wood	Wood
C	Entry Closet	3'-0"	6'-8"	1 3/4"	C	Wood	None
D	Living Rm. Deck	2'-8"	6'-8"	1 3/4"	D	Wood & Glass	Aluminum
E	M. Bedrm Bath	2'-8"	6'-8"	1 3/4"	B	Wood	None
F	M. Bedrm Deck	2'-6"	6'-8"	1 3/4"	E	Wood & Glass	Aluminum
G	M. Bedrm Closet1	2'-8"	6'-8"	1 3/4"	B	Wood	None
H	M. Bedrm Closet2	2'-8"	6'-8"	1 3/4"	B	Wood	None
I	Master Bedroom	3'-0"	6'-8"	1 3/4"	B	Wood	None
J	Mech. Closet	3'-0"	6'-8"	1 3/4"	B	Wood	None
K	Secondary Entry	3'-0"	6'-8"	1 3/4"	G	Metal	Aluminum
L	Laundry Closet	4'-0"	6'-8"	1 3/4"	F	Wood	None
M	Guest Room	3'-0"	6'-8"	1 3/4"	B	Wood	None
N	Guest Rm. Bath	2'-8"	6'-8"	1 3/4"	B	Wood	None
O	Guest Rm. Closet	4'-0"	6'-8"	1 3/4"	F	Wood	None

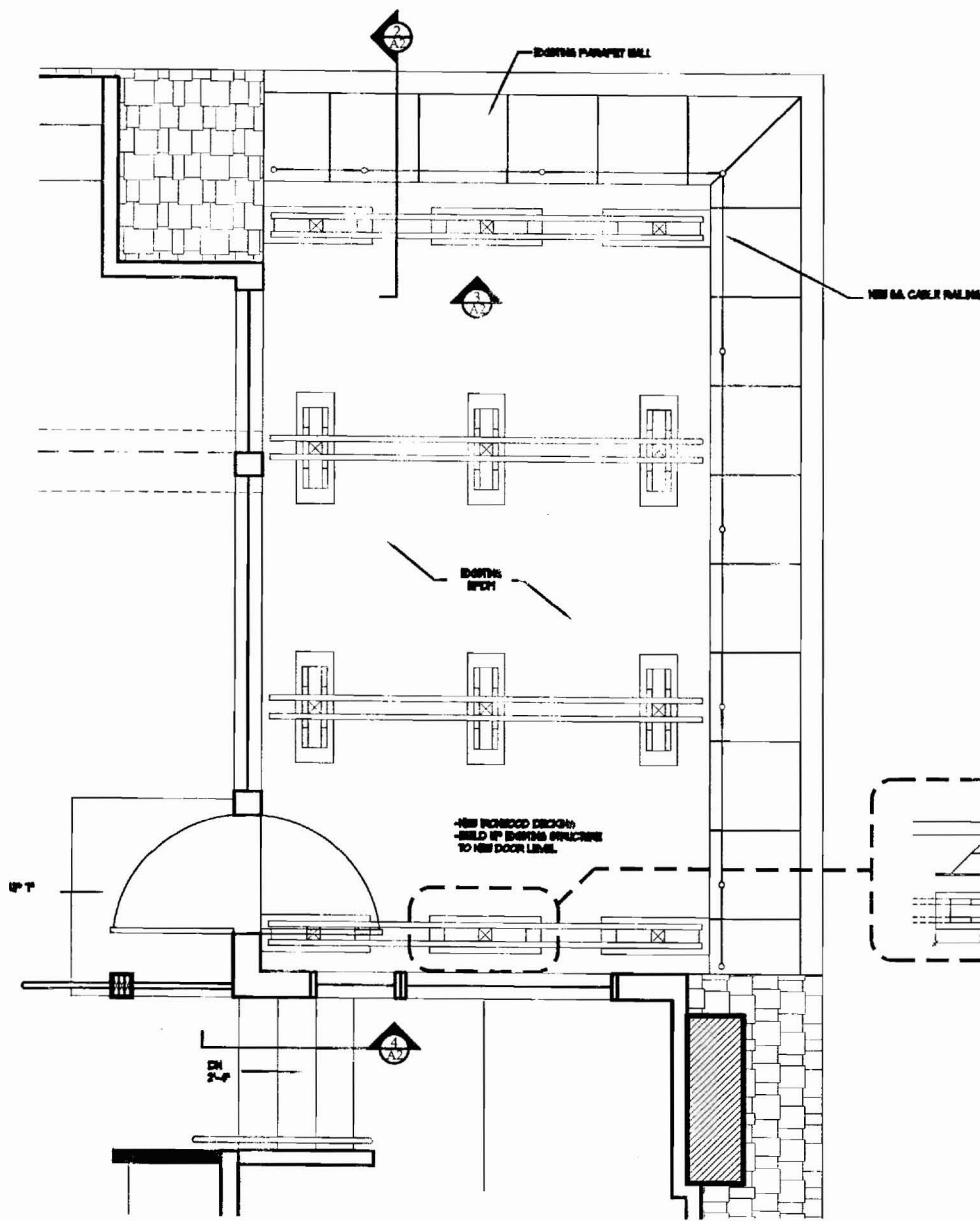


A

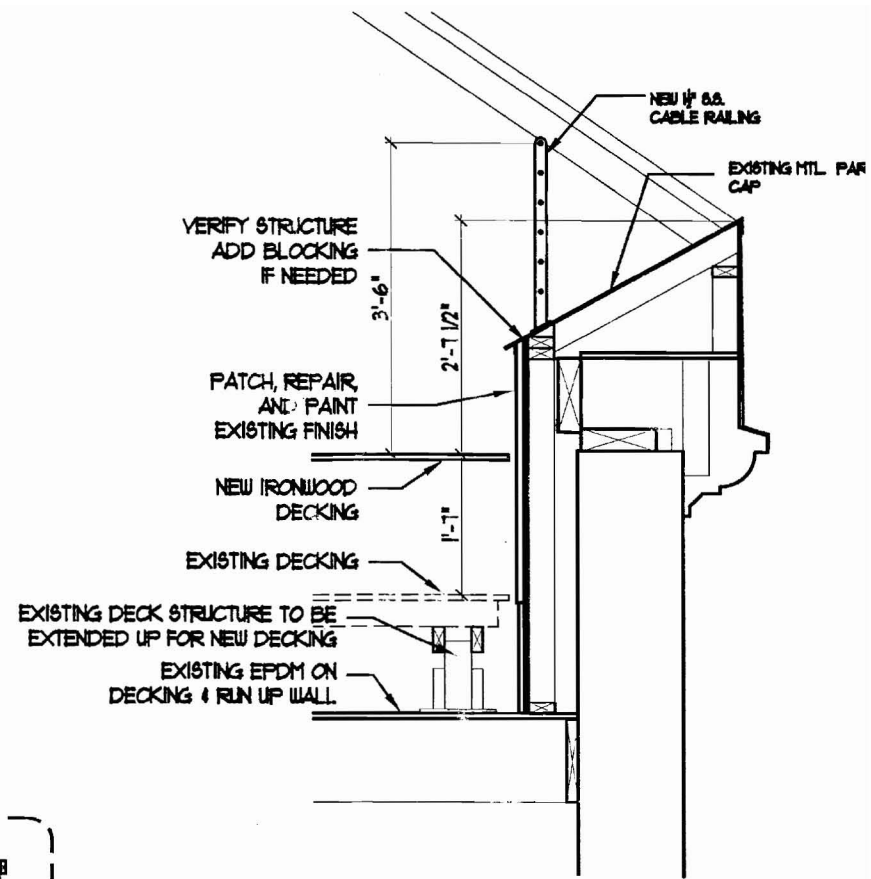
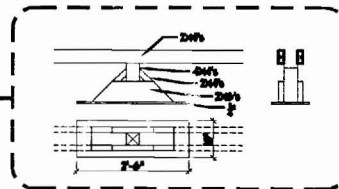
B

C

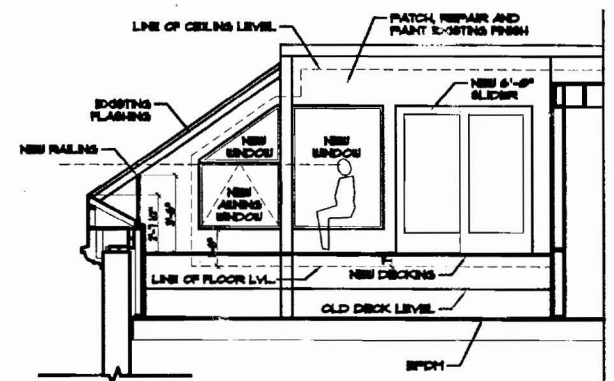
D



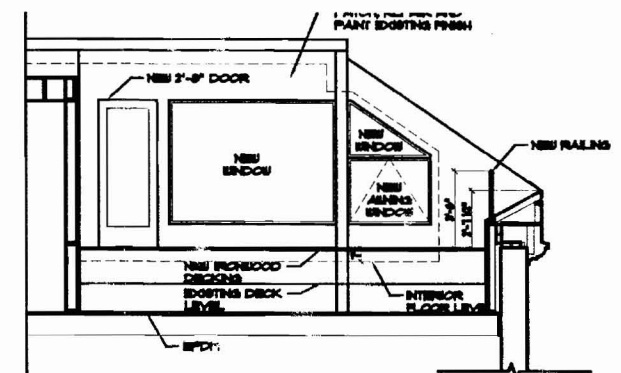
1 EXISTING DECK FRAMING
SCALE: 1/4"=1'-0"



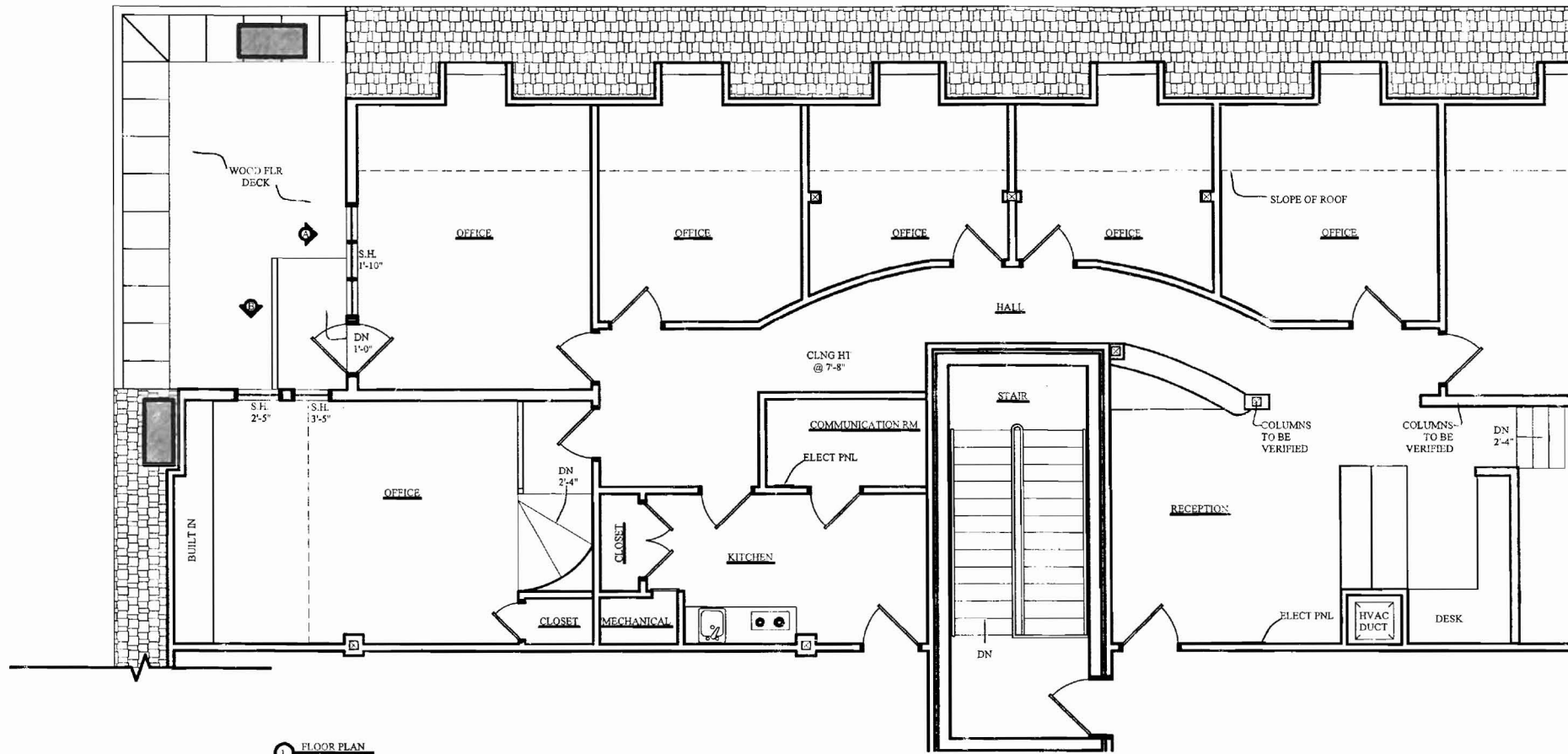
2 SECTION THROUGH PARAPET WALL
SCALE: 1/4"=1'-0"



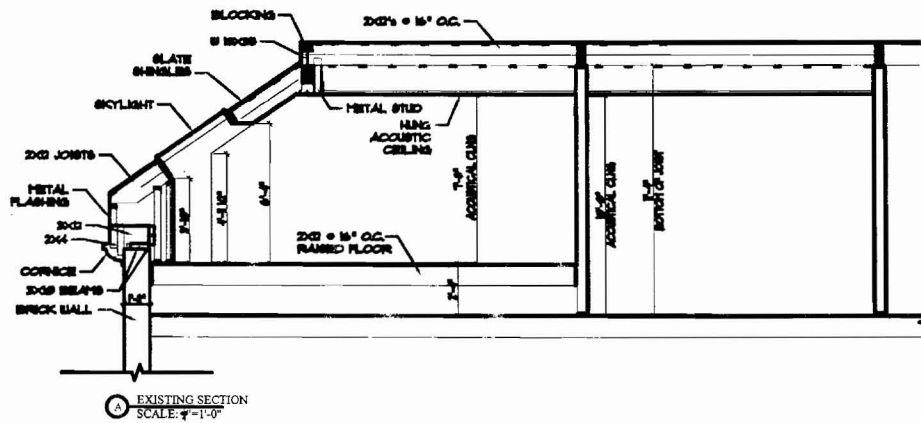
NEW ELEVATION A
SCALE: 1/4"=1'-0"



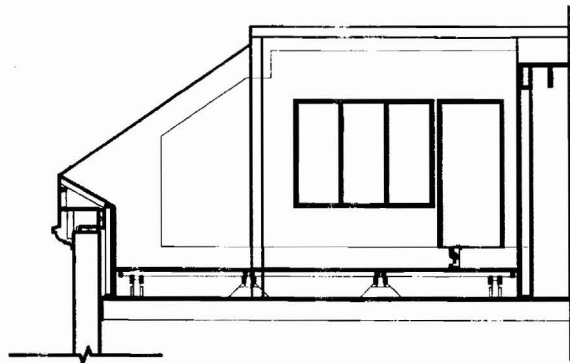
NEW ELEVATION C
SCALE: 1/4"=1'-0"



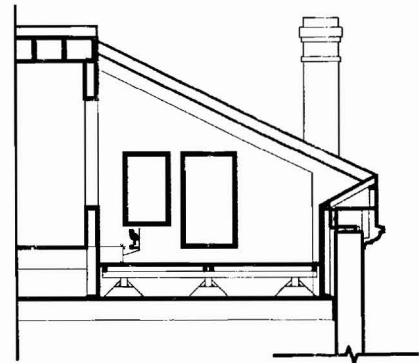
1 FLOOR PLAN
 SCALE: 1/4"=1'-0"
 INTERIOR SPACE: 2122 SQ FT
 DECK: 342 SQ FT



A EXISTING SECTION
 SCALE: 1/4"=1'-0"



A EXISTING ELEVATION A
 SCALE: 1/4"=1'-0"



B EXISTING ELEVATION B
 SCALE: 1/4"=1'-0"