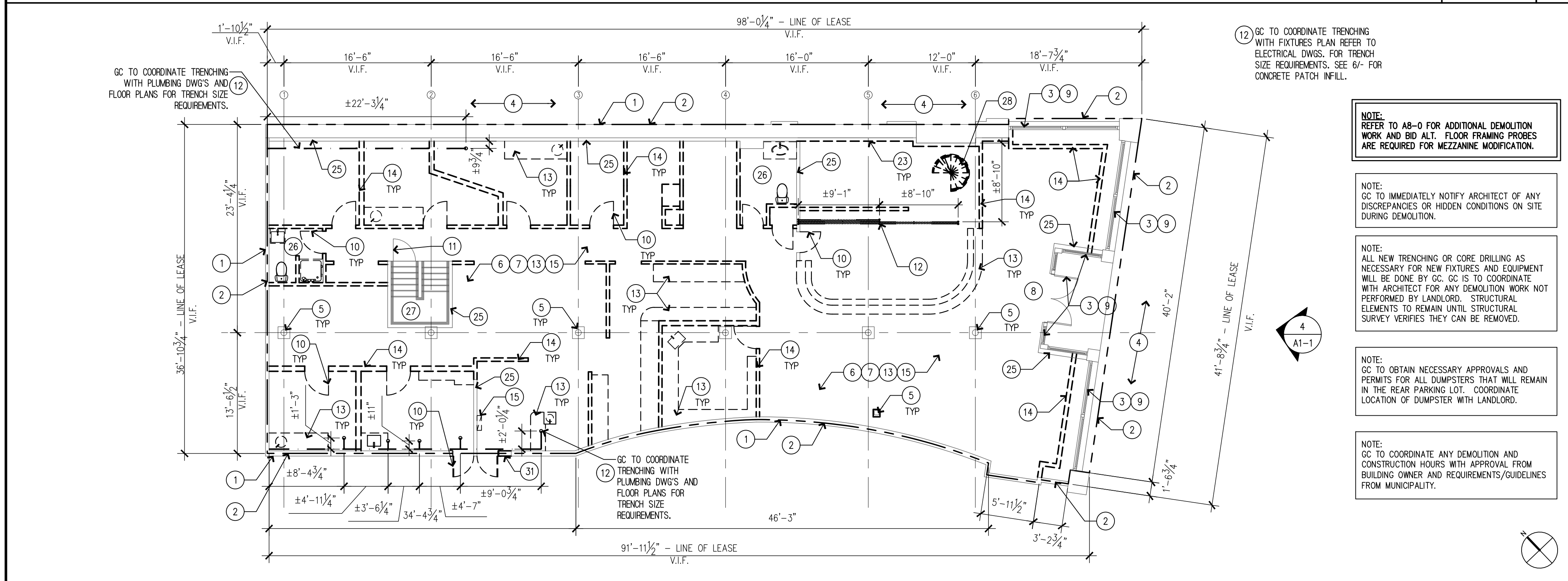


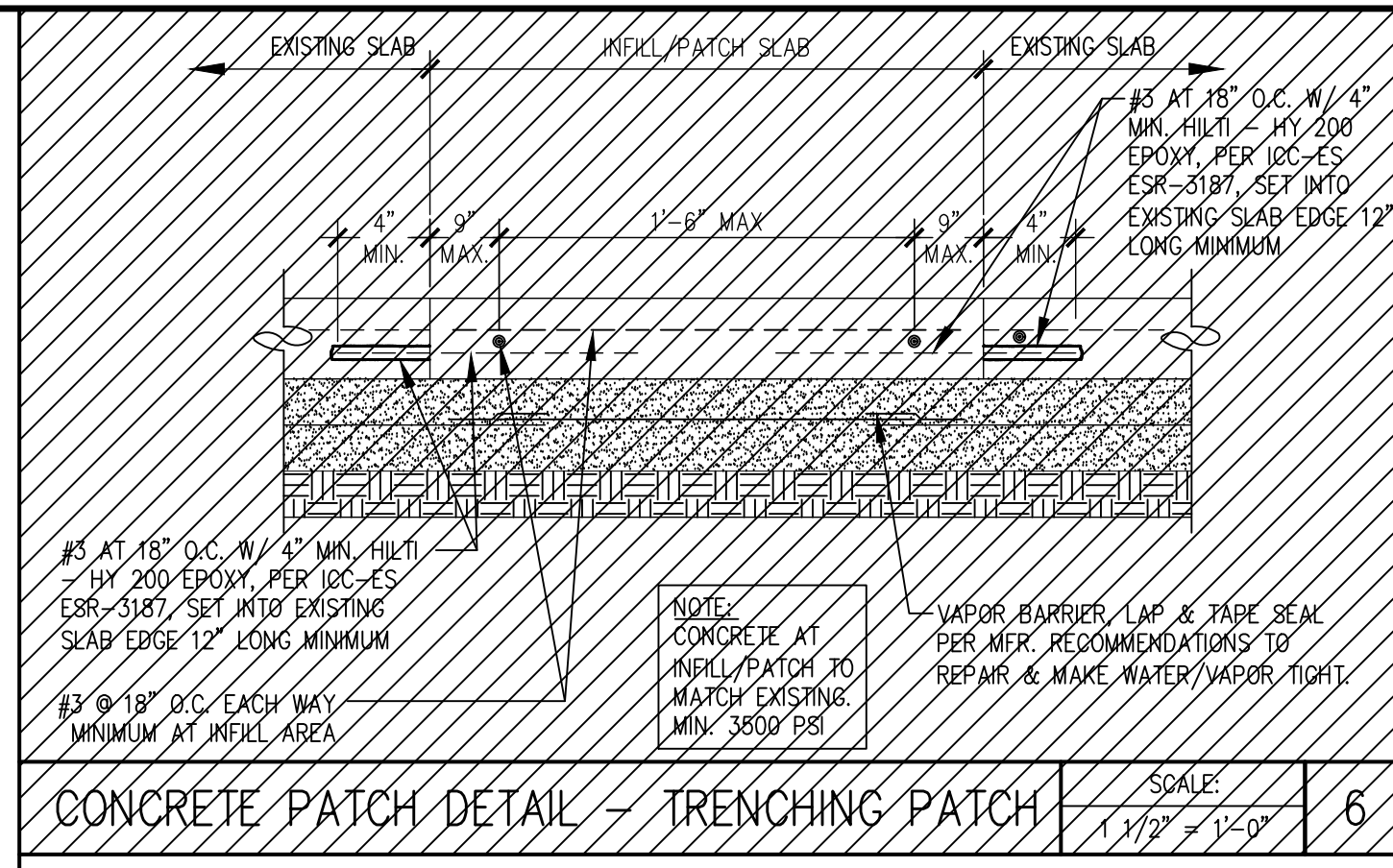
DEMOLITION REFLECTED CEILING PLAN



DEMOLITION FLOOR PLAN

KEYNOTE	DESCRIPTION
1	EXISTING DEMISING WALL - WALL TO REMAIN U.O.N.; MAINTAIN (E) FIRE RATING SEPARATION, TYP.
2	LEASE LINE
3	STOREFRONT - (E) ALUMINUM STOREFRONT SYSTEM, GLAZING & ENTRY DOORS TO REMAIN
4	EXTERIOR ELEMENTS - (E) SIDEWALK TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
5	STRUCTURAL COLUMN - (E) COLUMN TO REMAIN. REMOVE ANY REMAINING FINISHES, FURRING OR SHEATHING, PROTECT FIRE PROOFING.
6	EXISTING CONCRETE - (E) CONCRETE SLAB TO REMAIN. GC TO REPAIR & LEVEL SLAB AS REQUIRED.
7	FLOORING - REMOVE & DISPOSE OF ALL (E) TILE, (E) CARPET FLOORING, & (E) WOOD FLOORING UNLESS OTHERWISE NOTED.
8	ENTRY - REMOVE & DISPOSE OF (E) ENTRY MAT, (E) EAS PEDESTALS, AND ANY OTHER REMAINING EQUIPMENT AT EXISTING ENTRY.
9	BARRICADE - GC. TO PAPER STOREFRONT INTERIOR WITH WHITE BUTCHER PAPER WITH CLEAR TAPE ON SEAMS.
10	DOOR/FRAME ASSEMBLY - REMOVE & DISPOSE OF (E) DOOR AND FRAME.
11	DOOR/FRAME ASSEMBLY - (E) DOOR AND FRAME TO REMAIN. GC TO PREP FOR NEW HARDWARE.
12	CORING - GC TO CORE AS REQUIRED FOR (N) CONDUIT @ CASHWRAP / BACKWRAP & (N) PLUMBING LINES @ (N) TOILET ROOMS; GC TO FIELD VERIFY ANY UNDER SLAB CONDITION PRIOR TO PROCEEDING WITH ANY TRENCHING, CORING OR BORING WORK IN THE EXISTING CONCRETE SLAB. GC TO COORDINATE WITH LL AS REQ'D. GC TO COORDINATE ALL CORING WITH FIXTURES PLAN.
13	FURNITURE AND FIXTURES - REMOVE & DISPOSE OF ALL (E) SALES FIXTURES, PLUMBING FIXTURES, FURNITURE, FITTING ROOMS, SHELVING, AND SUPPLIES, UNLESS OTHERWISE NOTED.
14	PARTITIONS - REMOVE ANY (E) INTERIOR PARTITIONS AND COLUMN BOX ODS, UNLESS OTHERWISE NOTED.
15	ELECTRICAL EQUIPMENT - REMOVE & DISPOSE OF ALL RECEPTACLES & JUNCTION BOXES AS INDICATED ON ELECTRICAL DRAWINGS. SEE ELECTRICAL DEMO SHEET FOR MORE INFO.
16	CEILING - REMOVE & DISPOSE OF (E) GYP. BOARD CEILING OR ACT CEILING AND ASSOCIATED FRAMEWORK
17	LIGHT FIXTURES / SUSPENDED SIGNAGE - REMOVE ALL (E) INTERIOR LIGHT FIXTURES & SIGNAGE U.O.N. REMOVE ALL (E) EXTERIOR LIGHT FIXTURES AT FRONT ENTRY. - SEE ELECTRICAL DEMO SHEET.
18	CEILING EQUIPMENT - REMOVE ALL (E) AUDIO SPEAKERS, SUBWOOFERS, CAMERAS, TRAFFIC COUNTERS, AND ASSOCIATED MOUNTS AND CONDUITS.
19	SPRINKLER - REMOVE & DISPOSE OF ALL (E) SPRINKLER HEADS, RE-ROUTE (E) SPRINKLER LINES FOR SPRINKLER LAYOUT. SEE FIRE SPRINKLER PLAN FOR MORE INFORMATION.
20	EXIT SIGNAGE - REMOVE (E) EXIT SIGNAGE, U.O.N.
21	(E) GYP. BOARD CEILING IN FUTURE BOH AREA TO REMAIN. REFER TO A2-0 & A3-0 FOR BOH LOCATION
22	HVAC - REMOVE ALL (E) DIFFUSERS, (E) SUPPLY REGISTERS, (E) HVAC RETURNS, AND (E) ACCESS PANELS. SEE MECH. DRAWINGS FOR FULL SCOPE OF DUCTWORK DEMOLITION.
23	DEMISING WALL - GC TO REMOVE ANY (E) CLIPPING OR FINISHES AT TENANT SIDE OF WALL ONLY. LEAVE (E) DEMISING WALL FINISHES AS-IS. PROTECT FIREPROOFING.
24	(E) GYP. BOARD CEILING AT ±15'-8" TO REMAIN. PATCH & REPAIR AS REQUIRED
25	(E) GYP. BOARD PARTITION TO REMAIN. PATCH & REPAIR AS REQUIRED
26	PLUMBING - (E) PLUMBING FIXTURES, BATHROOM ACCESSORIES, UTILITY TUB, EWC, LAVATORIES AND RELATED ACCESSORIES TO BE REMOVED. ALL (E) WET PIPES AND SANITARY LINES TO THE MAIN DISCHARGE TO BE REMOVED, CAP OFF AS REQUIRED. PREP FLOOR AS REQUIRED TO RECEIVE NEW FINISHES
27	STAIRS - (E) STAIRS, HANDRAILS & FLOOR/ CEILING FINISHES TO REMAIN
28	SPIRAL STAIRCASE - REMOVE & DISPOSE OF (E) SPIRAL STAIRCASE
29	MEZZANINE FRAMING - REMOVE & DISPOSE OF (E) CEILING & FRAMING BELOW MEZZANINE WHERE NOTED. SHORE FRAMING AS REQUIRED.
30	MEZZANINE FRAMING - (E) MEZZANINE 2X8 WOOD FRAMING TO REMAIN. REMOVE & DISPOSE OF (E) CEILING FINISHES. SHORE PARTITION WALLS AS REQUIRED DURING DEMOLITION
31	REMOVE & DISPOSE OF (E) DEMISING WALL AS REQUIRED FOR (N) DOOR. REFER TO A2-0 FOR DOOR LOCATION

DEMOLITION KEYNOTES



CONCRETE PATCH DETAIL - TRENCHING PATCH

NOTE: FIXTURES AND CEILING SHOWN FOR GRAPHIC REPRESENTATION ONLY. GC SHALL BE RESPONSIBLE FOR SITE OBSERVATION AND EXISTING QUANTITY TAKE OFF.

- IT IS THE INTENT IN THESE DRAWINGS THAT THE GC SHOULD CLEAR THE ENTIRE SPACE OF ALL PARTITIONS, FIXTURES, FINISHES, AND SIGNAGE. THE REMAINING SPACE SHOULD CONSIST OF EXISTING PERIMETER WALLS, STRIPPED COLUMNS, CONCRETE FLOOR, STOREFRONT AND EXPOSED UNDERSIDE OF STRUCTURE U.O.N. COORDINATE WITH MECHANICAL DRAWINGS IF ANY EXISTING EQUIPMENT IS TO REMAIN. (E) SPRINKLER MAINS TO REMAIN.
- GC SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- GC SHALL PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE(S). ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, AND/OR INJURY.
- GC SHALL CEASE OPERATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF STABILITY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- GC SHALL PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D. BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
- GC SHALL ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
- GC SHALL PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, GC SHALL IMMEDIATELY REMOVE MATERIALS BEING DEMOLISHED FROM SITE.
- GC SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT PHASED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS. REQUIRE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
- GC SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- GC SHALL REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D., AT NO COST TO THE OWNER.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- GC SHALL COORDINATE ALL STORE DEMOLITION WORK WITH THE STORE MANAGER SO AS NOT TO DISRUPT STORE OPERATIONS. AREAS OF NEW CONSTRUCTION SHOULD BE CORDONED OFF TO PREVENT DEBRIS AND DUST FROM GOING INTO THE REMAINING SALES FLOOR. ACCESS TO STOCKROOM MUST BE MAINTAINED.
- GC SHALL REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. GC SHALL LEAVE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT.
- FOR STORES WITH SILENT WATCHMAN AND/OR ELECTRONIC ACTIVATION SYSTEM, GC PROJECT MANAGER TO CONTACT GAP LOSS PREVENTION DURING THE BID PERIOD IN ORDER TO DETERMINE THE CONDITION OF THE EXISTING ALARM SYSTEM AND IF IT SHOULD BE REUSED OR REMOVED.
- GC TO COORDINATE DISCONNECT OF EXISTING LANDLORD SECURITY SYSTEM PRIOR TO DEMOLITION.
- GC SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF EXISTING STRUCTURE AND ROOF TO REMAIN.
- GC IS NOT TO DEMO ANY UTILITIES, LL COMMON ENTITIES SERVICING ADJACENT TENANT OR ANY COMMON SPACE. VERIFY ELEMENTS W/ LL PRIOR TO DEMO & PROTECT SUCH ENTITIES DURING CONSTRUCTION

DEMOLITION GENERAL NOTES

SYMBOL	DESCRIPTION
[---]	EXISTING WALL / FIXTURE / DOOR TO BE REMOVED & DISPOSED OF
[---]	EXISTING WALL / FIXTURE / DOOR TO REMAIN
[---]	NOT IN CONTEXT / ADJACENT TENANT
[---]	HATCH INDICATES TRENCHING/COREDRIILL
[---]	PLUMBING TRENCHING
[---]	PLUMBING STUB UP
[---]	(E) ACT CEILING TO BE REMOVED

DEMOLITION LEGEND

ATHLETA

GAP INC.
CORPORATE ARCHITECTURE
1 HARRISON STREET
SAN FRANCISCO, CA 94105

STORE NO.: 7641

STORE NAME: PORTLAND

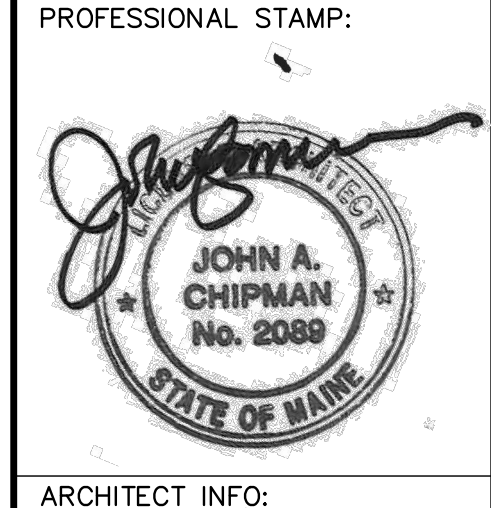
STORE LOCATION:
152 MIDDLE STREET
PORTLAND, ME 04101

PROJ. I.D.: 0000053405

PROTOTYPE DATE: 09/4/15

PROTOTYPE VERSION 4.1

CONSULTANT INFO:



ARCHITECT INFO:

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Architecture Inc.
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Des Moines, IA 50319
515-281-0200 • Fax: 515-281-0201

HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY MY OFFICE AND UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH ALL LAWS, RULES, REGULATIONS AND ORDINANCES OF PORTLAND, ME RELATING TO STRUCTURES AND BUILDINGS.

ISSUE TYPE:
100% CD CHECKSET 5/20/16
PERMIT / BID
LL APPROVAL

DRAWN BY: NR

A&E JOB NO.: 16-5433

SHEET TITLE:
DEMOLITION PLANS

SHEET NUMBER:
A1-0