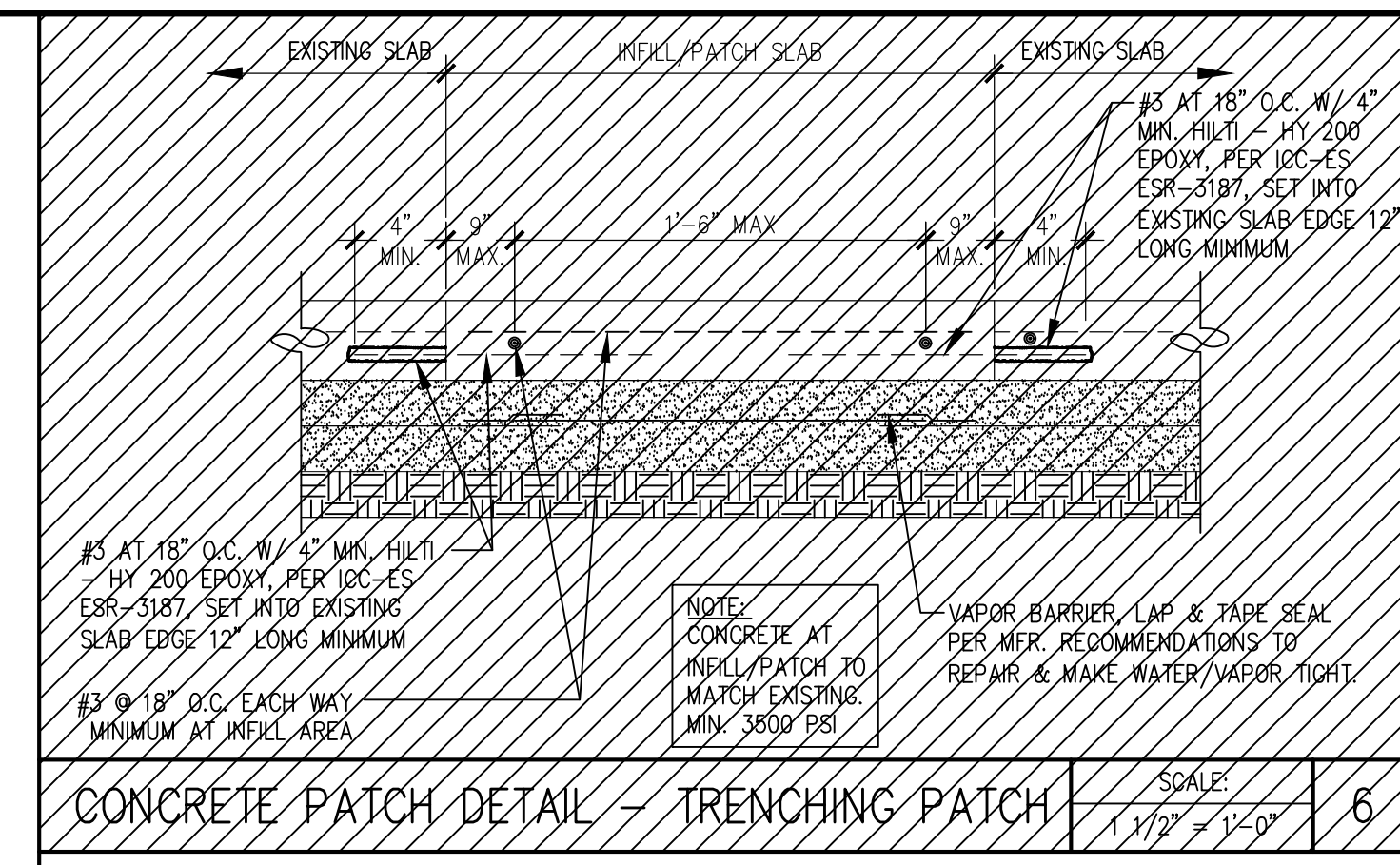


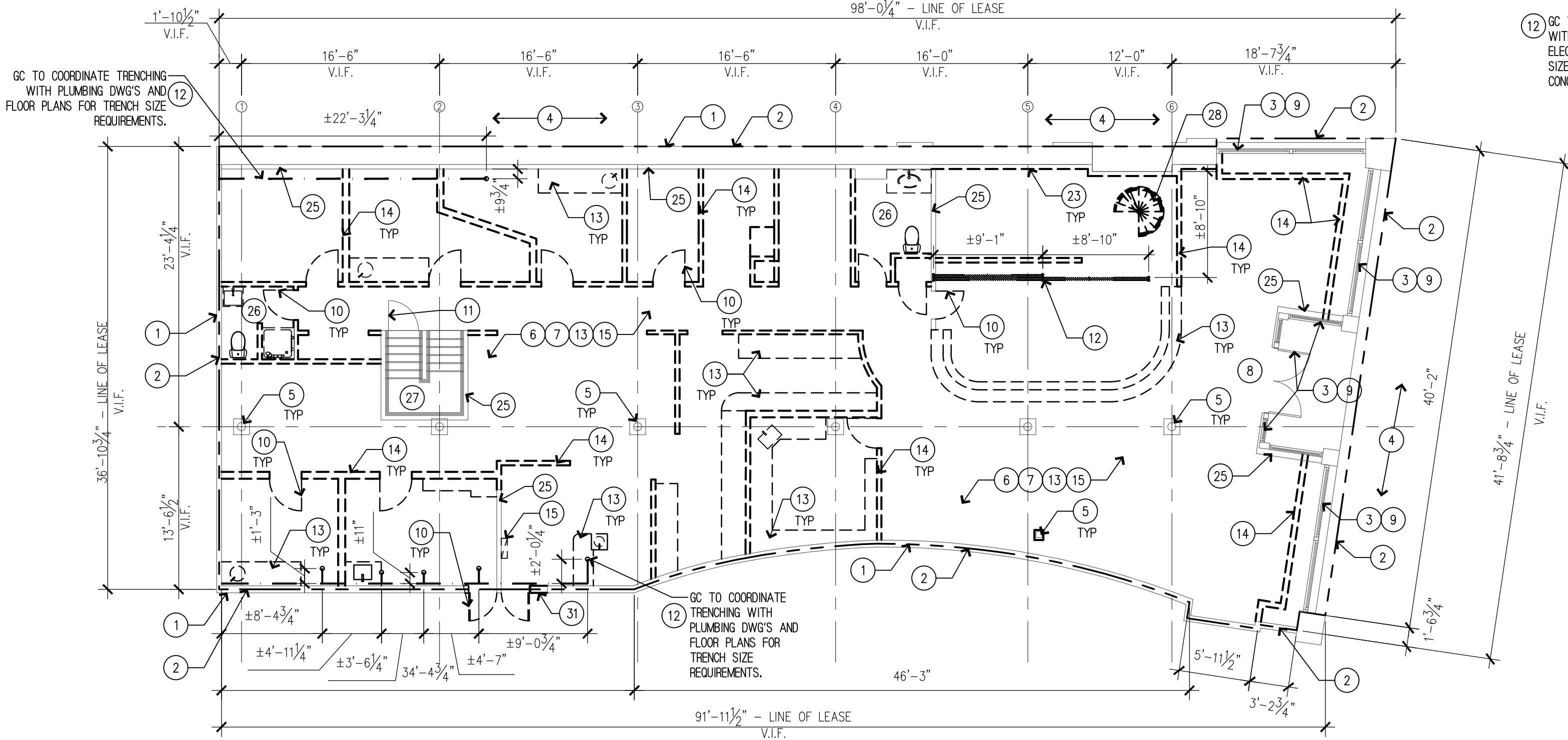
NOTE:
GC TO PROVIDE ADEQUATE SHORING FOR MEZZANINE FRAMING PRIOR TO REMOVING ANY PARTITIONS ADJACENT TO THE MEZZANINE. REFER TO A2-1 FOR FINAL MEZZANINE DIMENSIONS



NOTE: FIXTURES AND CEILING SHOWN FOR GRAPHIC REPRESENTATION ONLY. GC SHALL BE RESPONSIBLE FOR SITE OBSERVATION AND EXISTING QUANTITY TAKE OFF.

DEMOLITION REFLECTED CEILING PLAN

SCALE:
1/8" = 1'-0" 5



NOTE:
REFER TO A8-0 FOR ADDITIONAL DEMOLITION WORK AND BID ALT. FLOOR FRAMING PROBES ARE REQUIRED FOR MEZZANINE MODIFICATION.

NOTE:
GC TO IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES OR HIDDEN CONDITIONS ON SITE DURING DEMOLITION.

NOTE:
ALL NEW TRENCHING OR CORE DRILLING AS NECESSARY FOR NEW FIXTURES AND EQUIPMENT WILL BE DONE BY GC. GC IS TO COORDINATE WITH ARCHITECT FOR ANY DEMOLITION WORK NOT PERFORMED BY LANDLORD. STRUCTURAL ELEMENTS TO REMAIN UNTIL STRUCTURAL SURVEY VERIFIES THEY CAN BE REMOVED.

NOTE:
GC TO OBTAIN NECESSARY APPROVALS AND PERMITS FOR ALL DUMPSTERS THAT WILL REMAIN IN THE REAR PARKING LOT. COORDINATE LOCATION OF DUMPSTER WITH LANDLORD.

NOTE:
GC TO COORDINATE ANY DEMOLITION AND CONSTRUCTION HOURS WITH APPROVAL FROM BUILDING OWNER AND REQUIREMENTS/GUIDELINES FROM MUNICIPALITY.

DEMOLITION FLOOR PLAN

SCALE:
1/8" = 1'-0" 4

1	EXISTING DEMISING WALL - WALL TO REMAIN U.O.N.; MAINTAIN (E) FIRE RATING SEPARATION, TYP.	12	CORING - GC TO CORE AS REQUIRED FOR (N) CONDUIT @ CASHWRAP / BACKWRAP & (N) PLUMBING LINES @ (N) TOILET ROOMS; GC TO FIELD VERIFY ANY UNDER SLAB CONDITION PRIOR TO PROCEEDING WITH ANY TRENCHING, CORING OR BORING WORK IN THE EXISTING CONCRETE SLAB. GC TO COORDINATE WITH LL AS REQ'D. GC TO COORDINATE ALL CORING WITH FIXTURES PLAN.	22	HVAC - REMOVE ALL (E) DIFFUSERS, (E) SUPPLY REGISTERS, (E) HVAC RETURNS, AND (E) ACCESS PANELS. SEE MECH. DRAWINGS FOR FULL SCOPE OF DUCTWORK DEMOLITION.
2	LEASE LINE	13	FURNITURE AND FIXTURES - REMOVE & DISPOSE OF ALL (E) SALES FIXTURES, PLUMBING FIXTURES, FURNITURE, FITTING ROOMS, SHELVING, AND SUPPLIES, UNLESS OTHERWISE NOTED.	23	DEMISING WALL - GC TO REMOVE ANY (E) CLIPPING OR FINISHES AT TENANT SIDE OF WALL ONLY. LEAVE (E) DEMISING WALL FINISHES AS-IS. PROTECT FIREPROOFING.
3	STOREFRONT - (E) ALUMINUM STOREFRONT SYSTEM, GLAZING & ENTRY DOORS TO REMAIN	14	PARTITIONS - REMOVE ANY (E) INTERIOR PARTITIONS AND COLUMN BOX ODS, UNLESS OTHERWISE NOTED.	24	(E) GYP. BOARD CEILING AT ±15'-8" TO REMAIN. PATCH & REPAIR AS REQUIRED
4	EXTERIOR ELEMENTS - (E) SIDEWALK TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.	15	ELECTRICAL EQUIPMENT - REMOVE & DISPOSE OF ALL RECEPTACLES & JUNCTION BOXES AS INDICATED ON ELECTRICAL DRAWINGS. SEE ELECTRICAL DEMO SHEET FOR MORE INFO.	25	(E) GYP. BOARD PARTITION TO REMAIN. PATCH & REPAIR AS REQUIRED
5	STRUCTURAL COLUMN - (E) COLUMN TO REMAIN. REMOVE ANY REMAINING FINISHES, FURRING OR SHEATHING, PROTECT FIRE PROOFING.	16	CEILING - REMOVE & DISPOSE OF (E) GYP. BOARD CEILING OR ACT CEILING AND ASSOCIATED FRAMEWORK	26	PLUMBING - (E) PLUMBING FIXTURES, BATHROOM ACCESSORIES, UTILITY TUB, EWC, LAVATORIES AND RELATED ACCESSORIES TO BE REMOVED. ALL (E) WET PIPES AND SANITARY LINES TO THE MAIN DISCHARGE TO BE REMOVED, CAP OFF AS REQUIRED. PREP FLOOR AS REQUIRED TO RECEIVE NEW FINISHES
6	EXISTING CONCRETE - (E) CONCRETE SLAB TO REMAIN. GC TO REPAIR & LEVEL SLAB AS REQUIRED.	17	LIGHT FIXTURES / SUSPENDED SIGNAGE - REMOVE ALL (E) INTERIOR LIGHT FIXTURES & SIGNAGE U.O.N. REMOVE ALL (E) EXTERIOR LIGHT FIXTURES AT FRONT ENTRY. - SEE ELECTRICAL DEMO SHEET.	27	STAIRS - (E) STAIRS, HANDRAILS & FLOOR/ CEILING FINISHES TO REMAIN
7	FLOORING - REMOVE & DISPOSE OF ALL (E) TILE, (E) CARPET FLOORING, & (E) WOOD FLOORING UNLESS OTHERWISE NOTED.	18	CEILING EQUIPMENT - REMOVE ALL (E) AUDIO SPEAKERS, SUBWOOFERS, CAMERAS, TRAFFIC COUNTERS, AND ASSOCIATED MOUNTS AND CONDUITS.	28	SPIRAL STAIRCASE - REMOVE & DISPOSE OF (E) SPIRAL STAIRCASE
8	ENTRY - REMOVE & DISPOSE OF (E) ENTRY MAT, (E) EAS PEDESTALS, AND ANY OTHER REMAINING EQUIPMENT AT EXISTING ENTRY.	19	SPRINKLER - REMOVE & DISPOSE OF ALL (E) SPRINKLER HEADS, RE-ROUTE (E) SPRINKLER LINES FOR SPRINKLER LAYOUT. SEE FIRE SPRINKLER PLAN FOR MORE INFORMATION.	29	MEZZANINE FRAMING - REMOVE & DISPOSE OF (E) CEILING & FRAMING BELOW MEZZANINE WHERE NOTED. SHORE FRAMING AS REQUIRED.
9	BARRICADE - GC. TO PAPER STOREFRONT INTERIOR WITH WHITE BUTCHER PAPER WITH CLEAR TAPE ON SEAMS.	20	EXIT SIGNAGE - REMOVE (E) EXIT SIGNAGE, U.O.N.	30	MEZZANINE FRAMING - (E) MEZZANINE 2X8 WOOD FRAMING TO REMAIN. REMOVE & DISPOSE OF (E) CEILING FINISHES. SHORE PARTITION WALLS AS REQUIRED DURING DEMOLITION
10	DOOR/FRAME ASSEMBLY - REMOVE & DISPOSE OF (E) DOOR AND FRAME.	21	(E) GYP. BOARD CEILING IN FUTURE BOH AREA TO REMAIN. REFER TO A2-0 & A3-0 FOR BOH LOCATION	31	REMOVE & DISPOSE OF (E) DEMISING WALL AS REQUIRED FOR (N) DOOR. REFER TO A2-0 FOR DOOR LOCATION
11	DOOR/FRAME ASSEMBLY - (E) DOOR AND FRAME TO REMAIN. GC TO PREP FOR NEW HARDWARE.				

DEMOLITION KEYNOTES

SCALE:
1/8" = 1'-0" 3

DEMOLITION GENERAL NOTES

	EXISTING WALL / FIXTURE / DOOR TO BE REMOVED & DISPOSED OF
	EXISTING WALL / FIXTURE / DOOR TO REMAIN
	NOT IN CONTEXT / ADJACENT TENANT
	HATCH INDICATES TRENCHING/COREDRIILL
	PLUMBING TRENCHING
	PLUMBING STUB UP
	(E) ACT CEILING TO BE REMOVED

DEMOLITION LEGEND

ATHLETA

GAP INC.
CORPORATE ARCHITECTURE
1 HARRISON STREET
SAN FRANCISCO, CA 94105

STORE NO.: 7641

STORE NAME:
PORTLAND

STORE LOCATION:
152 MIDDLE STREET
PORTLAND, ME 04101

PROJ. I.D.: 0000053405

PROTOTYPE DATE: 09/4/15
PROTOTYPE VERSION 4.1

CONSULTANT INFO:

PROFESSIONAL STAMP:

ARCHITECT INFO:



HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN MY OFFICE AND UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH ALL LAWS, RULES, REGULATIONS AND ORDINANCES OF PORTLAND, ME RELATING TO STRUCTURES AND BUILDINGS.

ISSUE TYPE:

100% CD CHECKSET 5/20/16
PERMIT / BID
LL APPROVAL

DRAWN BY: NR

A&E JOB NO.: 16-5433

SHEET TITLE:
DEMOLITION PLANS

SHEET NUMBER:
A1-0