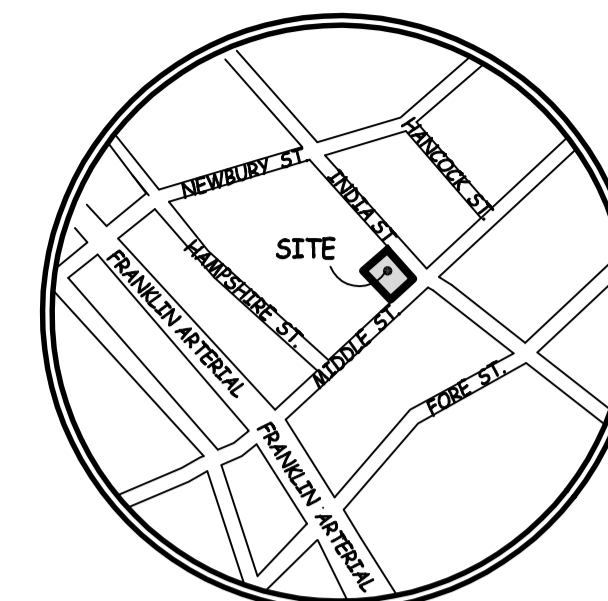




MAINE STATE PLANE COORDINATE SYSTEM MAINE WEST NAD-83

NOW OR FORMERLY INDIA NEWBURY RESIDENCES, LLC  
50 INDIA ST. DEED BOOK 32883 PAGE 140  
62 INDIA ST. DEED BOOK 31458 PAGE 109  
TM 28 LOTS 8, 9, 19, 20 AND 15



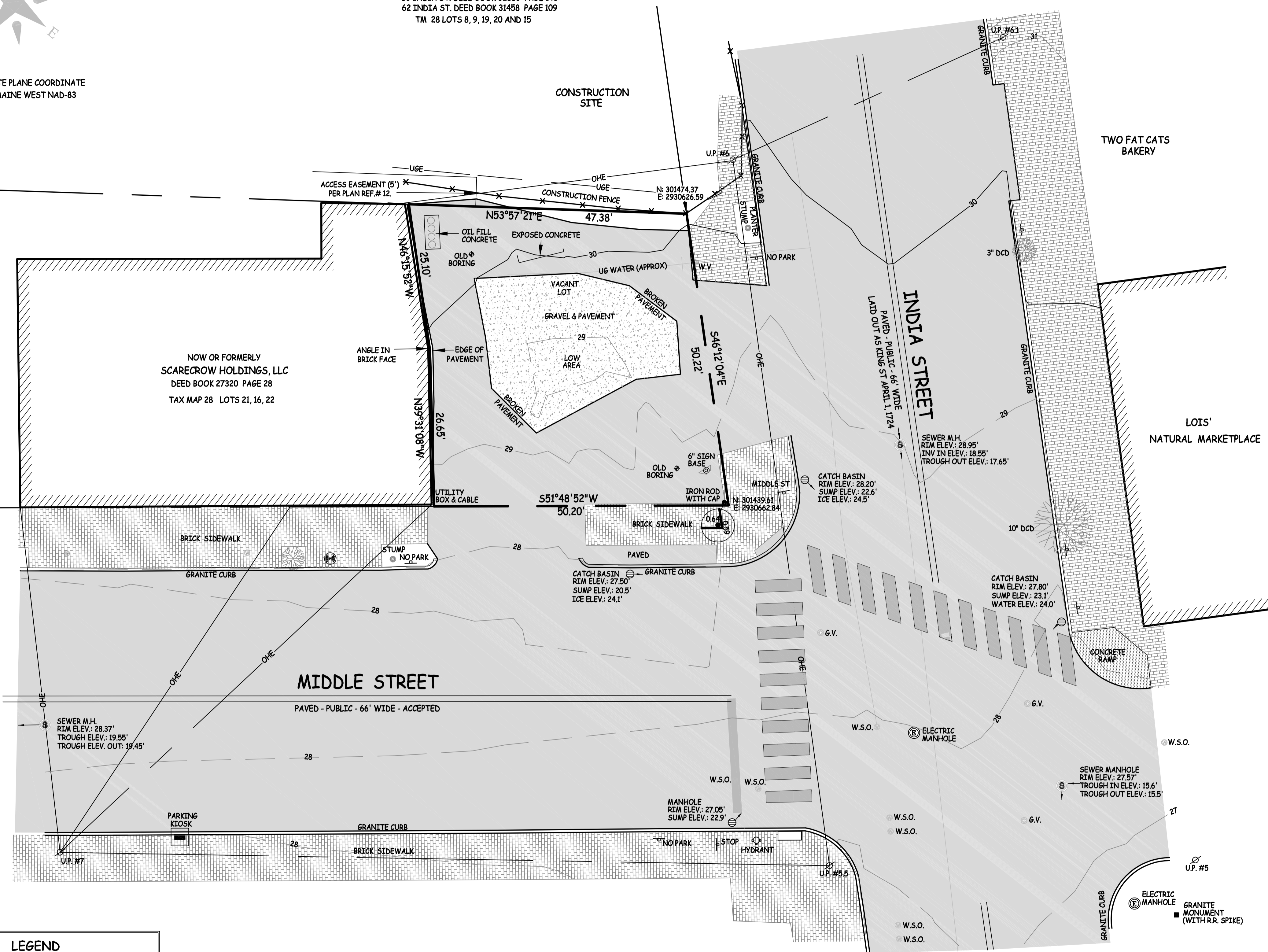
LOCATION MAP NOT TO SCALE

**SURVEY PLAN REFERENCES**

1. CITY OF PORTLAND TAX MAP 28 BLOCK P LOT 15.
2. SURVEY PLAN ON INDIA AND MIDDLE ST BY E.C. JORDAN DATED MAY 1917. NOT RECORDED.
3. SURVEY PLAN OF INDIA STREET BY E.C. JORDAN DATED NOVEMBER 1925. NOT RECORDED.
4. SURVEY PLAN OF MIDDLE STREET BY E.C. JORDAN DATED NOVEMBER 1925. NOT RECORDED.
5. ORIGINAL SURVEY FIELD NOTES OF LOT BY E.C. JORDAN DATED MARCH 18, 1938.
6. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR JENNEY MANUFACTURING CO. BY H.I. JORDAN C.E. DATED MARCH 1938.
7. UNTITLED PLAN OF MIDDLE ST AND JENNEY MANUFACTURING CO. BY E.C. JORDAN. NO DATE.
8. ALTA/ACSM LAND TITLE SURVEY OF JORDAN'S MEATS PROPERTY, PORTLAND, ME. BY SEBAGO TECHINICS DATED DEC. 4, 2009 AND RECORDED IN C.C.R.D. PLAN BOOK 210 PAGE 291.
9. REVISED BOUNDARY SURVEY AT 50 INDIA ST PORTLAND, ME FOR JOHN HARMON BY ROBERT T. GREENLAW PLS LAND SURVEYING, DATED FEBRUARY 9, 2012. RECORDED IN C.C.R.D. PLAN BOOK 216 PAGE 512.
10. AMENDED RECORDING PLAT 185 FORE STREET, PORTLAND, ME. FOR EAST INDIA LAND COMPANY, LLC BY OWEN HASKELL, INC. DATED APRIL 15, 2015 AND RECORDED IN C.C.R.D. PLAN BOOK 215 PAGE 457.
11. RECORDING PLAT 158 FORE STREET FOR PORTLAND NORWICH ACQUISITION LLC BY OWEN HASKELL, INC DATED JANUARY 12, 2017 RECORDED IN C.C.R.D. PLAN BOOK 216 PAGE 185.
12. SUBDIVISION PLAT OF 50-62 INDIA STREET FOR INDIA NEWBURY RESIDENCES, LLC BY SEBAGO TECHINICS REVISED THROUGH JULY 7, 2016 RECORDED IN C.C.R.D. PLAN BOOK 216 PAGE 431.
13. CITY PLAN RECORDED IN C.C.R.D. PLAN BOOK 5 PAGE 28.

**SURVEY NOTES**

1. OWNER OF RECORD: JOHN P. HARMON, PORTLAND, ME. PER C.C.R.D. DEED BOOK 33484 PAGE 17.
2. THE PROPERTY IS SHOWN AS LOT 15 ON PORTLAND'S TAX MAP 28.
3. THE PROPERTY IS IN THE CITY'S INDIA STREET FORM-BASED CODE ZONE DISTRICT. PLEASE REFER TO CITY OFFICIALS FOR CURRENT ZONING REQUIREMENTS.
4. DIGSMART MARKED A WATER STUB ON THE LOT AND WAS FOUND TO BE THE ONLY UNDERGROUND UTILITIES. THE UTILITIES WERE NOT MARKED IN THE STREET RIGHT OF WAYS AND SHOULD BE CONSIDERED AS APPROXIMATE UNTIL CONFIRMED IN THE FIELD. WE RECOMMEND ALL UTILITIES BE MARKED AND CONFIRMED PRIOR TO ANY SITE MODIFICATION. WE FURTHER RECOMMEND ALL INVERTS SHOWN TO BE CHECKED FOR ACCURACY AS MANY WERE UNMEASURABLE WITH TRAPS AND ICE.
5. THE SURVEY COORDINATE SYSTEM IS BASED ON GRID NORTH N.A.D. 83 MAINE WEST ZONE AND U.S. SURVEY FEET DERIVED FROM OBSERVATIONS OF CITY MONUMENTS #3032 AND #3033. THE VERTICAL DATUM IS BASED ON N.G.V.D. 1929 AND BENCHMARK U.S.C. & C.S. DISK AT 17 COMMERCIAL STREET (ELEVATION 14.50').
6. THE PROPERTY DOES NOT LIE WITHIN A FLOOD ZONE PER FIRM COMMUNITY PANEL NO. 230051 00148 DATED JULY 17, 1986.
7. AN EASEMENT BENEFITTING RIVERSIDE VENTURES, INC AND SCARECROW HOLDINGS, LLC PREMISES IS SHOWN ALONG A SECTION OF COMMON BOUNDARY WITH THE NORTHERLY BUTTER OF 50 INDIA ST AS SHOWN ON PLAN REFERENCE #12. THIS PROPERTY MAY HAVE RIGHTS TO USE THIS EASEMENT AND/OR THE PASSAGEWAY ALONG THE WESTERLY LINE OF 62 INDIA STREET CONNECTING WITH HAMPSHIRE STREET. SEE NOTE #8 ON PLAN REFERENCE #12.
8. THIS SURVEY WAS COMPLETED UNDER WINTER CONDITIONS WITH SNOW AND ICE COVER ON SOME PORTIONS OF THE LOT AND SIDEWALKS. THE PAVEMENT EXTENTS MAY VARY DUE TO SNOWBANKS AT THE TIME OF SURVEY.
9. A BOUNDARY AGREEMENT WITH THE SCARECROW HOLDINGS, LLC IS RECOMMENDED TO DEFINE THE COMMON BOUNDARY LINE. AN AGREEMENT WOULD ALLOW NEW DEED DESCRIPTIONS TO CLARIFY EXISTING DEEDS AND PLANS WITH APPROXIMATE DISTANCES ALONG THIS BOUNDARY.
10. LOT AREA: 2,424 SQUARE FEET (0.06 ACRE).
11. THE SUBJECT PROPERTY MAY HAVE ACCESS RIGHTS TO THE 5' EASEMENT SERVING SCARECROW HOLDINGS LLC & RIVERSIDE VENTURES AS SHOWN ON PLAN REFERENCE 12.



NOW OR FORMERLY SCARECROW HOLDINGS, LLC  
DEED BOOK 27320 PAGE 28  
TAX MAP 28 LOTS 21, 16, 22

TWO FAT CATS BAKERY

LOIS' NATURAL MARKETPLACE

**LEGEND**

	CATCH BASIN		BIKE RACK
	UTILITY POLE		ELECTRIC MANHOLE
	SEWER M.H.		BORING HOLE
	WATER VALVE SHUTOFF		MONUMENT FOUND
	STUMP		IRON ROD FOUND
	SIGN		CONTOUR LINE
	GAS VALVE		OVERHEAD ELECTRIC
	FIRE HYDRANT		DECIDUOUS TREE

**CITY OF PORTLAND APPROVED SITE PLAN**  
Subject to Conditions of Approval and Standard Conditions



**CERTIFICATION**

TO THE BEST OF OUR KNOWLEDGE THIS SURVEY CONFORMS WITH THE CURRENT STANDARDS FOR BOUNDARY SURVEY OF THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYS, EXCEPTING:

1. NO NEW DEED DESCRIPTION.
2. NO WRITTEN SURVEY REPORT.

DALE A. BREWER  
PROFESSIONAL LAND SURVEYOR #2348.

**BOUNDARY & TOPOGRAPHIC PROPERTY SURVEY**  
50 INDIA STREET, PORTLAND, ME.  
FOR  
**BLAIS CIVIL ENGINEERS**

**STATEWIDE SURVEYS, INC.**  
LAND SURVEYORS & SOIL SCIENTISTS  
35 EASTMAN ROAD, CAPE ELIZABETH, ME 04107  
PHONE: (207) 767-4200

DRAWN BY: ECB	DATE: MARCH 2017	JOB#: 170035
TRACE BY: ECB	SCALE: 1" = 10'	DRAWING#: ONE
CHECK BY: DAB		
FIELD BOOK: #43		