

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

## PERMIT

Permit Number: 040799

PERMIT ISSUED  
JUN 24 2004  
CITY OF PORTLAND

This is to certify that Malone Joseph M &/Owner  
has permission to Outdoor seating for restaurant tables & chairs  
AT 41 Middle St 028 P022001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. THIS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-0799	<b>Date Applied For:</b> 06/14/2004	<b>CBL:</b> 028 P022001
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<b>Location of Construction:</b> 41 Middle St	<b>Owner Name:</b> Malone Joseph M &	<b>Owner Address:</b> 30 Highland St	<b>Phone:</b> ( ) 772-2422
<b>Business Name:</b>	<b>Contractor Name:</b> Owner	<b>Contractor Address:</b> 30 Highland St Portland	<b>Phone:</b> (207) 772-2422
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Outdoor Seating	

<b>Proposed Use:</b> outdoor seating	<b>Proposed Project Description:</b> Outdoor seating for restaurant-4 tables & 8 chairs
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/17/2004

**Note:** **Ok to Issue:**

- 1) All outdoor seating is subject to adjustment at any time from the City's traffic engineer who ensures that the City sidewalk is open and cleared for pedestrian use.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 06/23/2004

**Note:** **Ok to Issue:**

- 1) The outdoor seating MUST NOT block any means of egress from any abutting buildings.

**Dept:** Fire      **Status:** Approved      **Reviewer:** Lt. MacDougal      **Approval Date:** 06/17/2004

**Note:** **Ok to Issue:**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-0799	<b>Date Applied For:</b> 06/14/2004	<b>CBL:</b> 028 P022001
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<b>Location of Construction:</b> 41 Middle St	<b>Owner Name:</b> Malone Joseph M &	<b>Owner Address:</b> 30 Highland St	<b>Phone:</b> ( ) 772-2422
<b>Business Name:</b>	<b>Contractor Name:</b> Owner	<b>Contractor Address:</b> 30 Highland St Portland	<b>Phone:</b> (207) 772-2422
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Outdoor Seating	

<b>Proposed Use:</b> outdoor seating	<b>Proposed Project Description:</b> Outdoor seating for restaurant-4 tables & 8 chairs
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/17/2004  
**Note:** **Ok to Issue:**

1) All outdoor seating is subject to adjustment at any time from the City's traffic engineer who ensures that the City sidewalk is open and cleared for pedestrian use.

2) This permit is being approved on the basis of plans submitted. **Any** deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Pending      **Reviewer:**      **Approval Date:**      **Note:** **Ok to Issue:**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 04-0799	Issue Date: JUN 24 2004	BL: 028 P022001
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Location of Construction: 41 Middle St	Owner Name: Malone Joseph M &	Owner Address: 30 Highland St	Phone: 772-2422
Business Name:	Contractor Name: Owner	Contractor Address: 30 Highland St Portland	Phone: 2077722422
Lessee/Buyer's Name	Phone:	Permit Type: Outdoor Seating	Zone: B-3
Past Use: <i>none Restaurant use (Rebollettas)</i>	Proposed Use: outdoor seating	Permit Fee: \$75.00	Cost of Work: \$0.00
Outdoor seating for restaurant-4 tables & 8 chairs		CEO District: 1	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>BOCA 1999</i> Type: <i>Sign</i>
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
		Signature:	Date:

Permit Taken By: jodinea	Date Applied For: 06/14/2004	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
		Date: <i>ok 6/17/04</i>		Date: <i>[Signature]</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

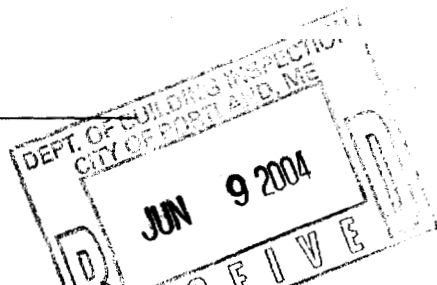
# Outdoor Seating Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>RIBOLLITA, 41 MIDDLE ST. PORTLAND</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & lot Number		Owner:	Telephone#:
Chart#	Block#	Lot#	
		<u>Kevin Quist - RIBOLLITA</u>	<u>774-2972</u>
		<u>JOE MALONE - BUILDING</u>	<u>772-2422</u>

Lessee/Buyer's Name (If Applicable) <u>Kevin Quist</u>	Owner's/Purchaser/Lessee Address: <u>Commercial St.</u>	Cost Of Work: \$ <u>0</u>	Fee: <u>\$75.00</u>
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Current use: Restaurant  
 If the location is currently vacant, what was prior use: \_\_\_\_\_  
 Approximately how long has it been vacant: \_\_\_\_\_  
 Proposed use: \_\_\_\_\_  
 Project description: outside seating  
 How many chairs 8      How many tables 4



Contractor's Name, Address & Telephone:  
 Applicants Name, Address & Telephone:  
 Who should we contact when the permit is ready: Kevin Quist  
 Telephone: 774-2972  
 If you would like the permit mailed, what mailing address should we use:

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED.  
 AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>[Signature]</u>	Date: <u>6-10-04</u>
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C/B/L: \_\_\_\_\_

## CONDITIONS FOR SIDEWALK OCCUPANCY PERMIT

Written consent and agreement relating to occupancy of the City of Portland sidewalk in the front, side, and or rear of the building at the stated location: 41 Middle Street; in Portland, Maine, by the owner of the establishment being: Jo Malone / Kevin Ouel, doing business as: Ribollita Restaurant, hereby, to the fullest extent permitted by law, shall defend, indemnify and hold harmless the City of Portland, its officers and employees, from and against all claims, damages, losses and expenses, just *or* unjust, including, but not limited to costs of defense and attorney's fees, arising out of the establishment's occupancy of the sidewalk, provided that any such claims, damage, loss or expense (1) is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property including the loss of use therefrom, and (2) is caused in whole or in part by any negligent act or omission of the establishment, anyone directly or indirectly employed by it, or anyone for whose act it may be liable.

Signed and acknowledged: \_\_\_\_\_

W. J. K.  
Establishment owner

Date: 6-10-04

PRODUCER  
**Turner Barker Insurance**  
One India Street  
Portland ME 04101  
Phone: 207-773-8156 Fax: 207-773-6647

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED  
**Ribollita Inc**  
Kevin Quiet  
41 Middle Street  
Portland ME 04101

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: <b>One Beacon Insurance</b>	<b>20621</b>
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> <b>Liquor</b>	YM1U03267	01/07/04	01/07/05	EACH OCCURRENCE \$ <b>1000000</b>
					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>100000</b>
					MED EXP (Any one person) \$ <b>5000</b>
					PERSONAL & ADV INJURY \$ <b>1000000</b>
	GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				GENERAL AGGREGATE \$ <b>2000000</b>
					PRODUCTS - COMP/OP AGG \$ <b>2000000</b>
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					EA ACC \$
					OTHER THAN AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> YES, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/ LOCATIONS (VEHICLES) / EXCLUSIONS ADDED BY ENDORSEMENT/ SPECIAL PROVISIONS  
**Restaurant - Naming the City of Portland as additional insured as respect general liability.**

CERTIFICATE HOLDER  
**CITY OF P**  
**City of Portland**  
City Hall  
389 Congress St  
Portland ME 04101

CANCELLATION  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE  
*Laurie Willetts*

## **IMPORTANT**

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION  WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

## **DISCLAIMER**

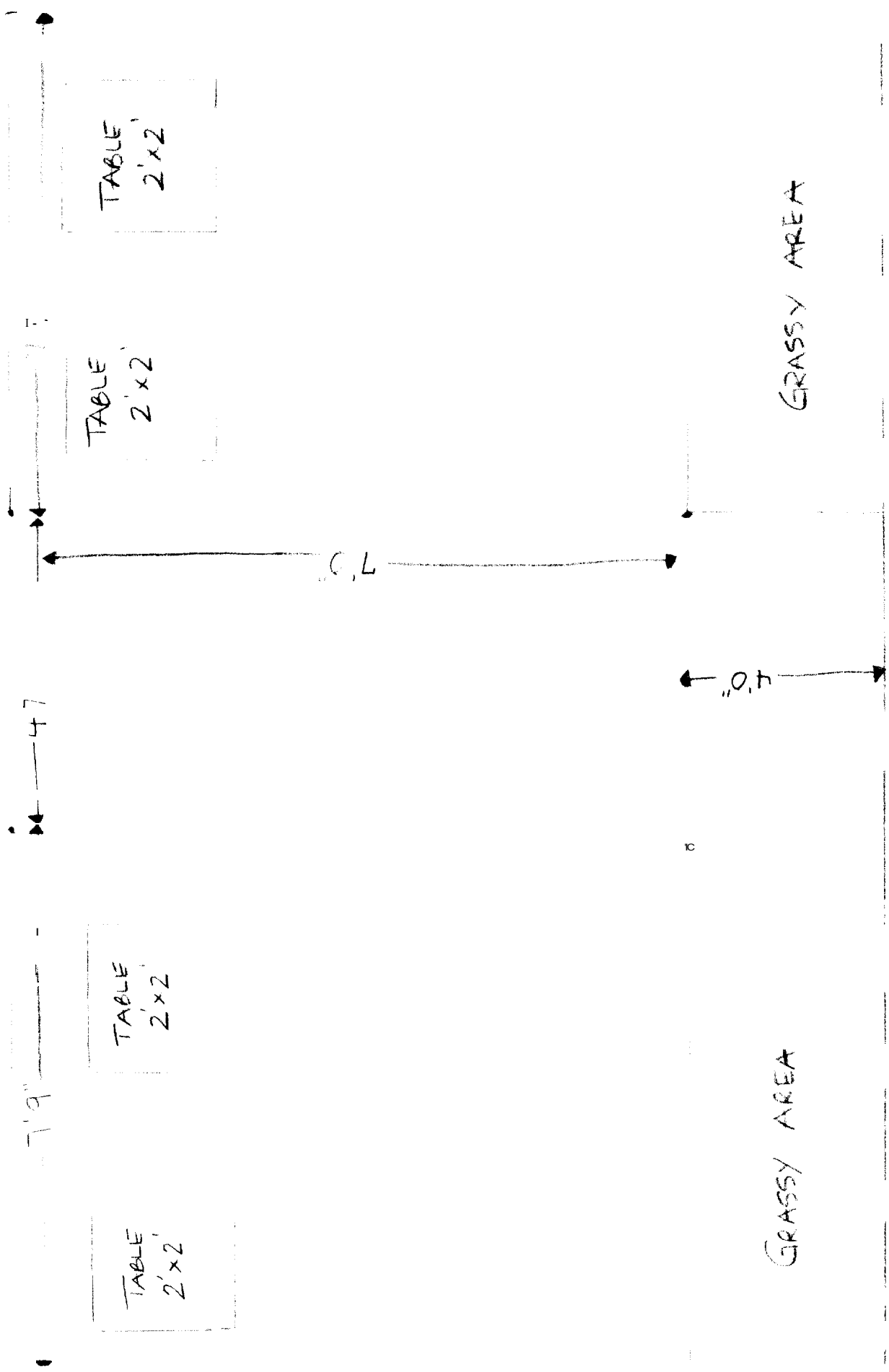
The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.



KIBOLLITA  
ENTRANCE  
WAY

RIBOLLITA  
RESTAURANT

RIBOLLITA  
RESTAURANT



IDLE STREET