

CONDITIONS FOR SIDEWALK OCCUPANCY PERMIT

Written consent and agreement relating to occupancy of the City of Portland sidewalk in the front, side, and/or rear of the building at:

43 Middle St.

in Portland, Maine, by the owner of the establishment being:

NORMAN + ANNA JABAR

doing business as: NORMS BAR-B-Q

hereby, to the fullest extent permitted by law, shall defend, indemnify and hold harmless the City, its officers and employees, from and against all claims, damages, losses and expenses, just or unjust, including, but not limited to costs of defense and attorney's fees, arising out of the establishment's occupancy of the sidewalk, provided that any such claims, damage, loss or expense (1) is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property including the loss of use therefrom, and (2) is caused in whole or in part by any negligent act or omission of the establishment, anyone directly or indirectly employed by it, or anyone for whose act it may be liable.

Signed and Acknowledged:

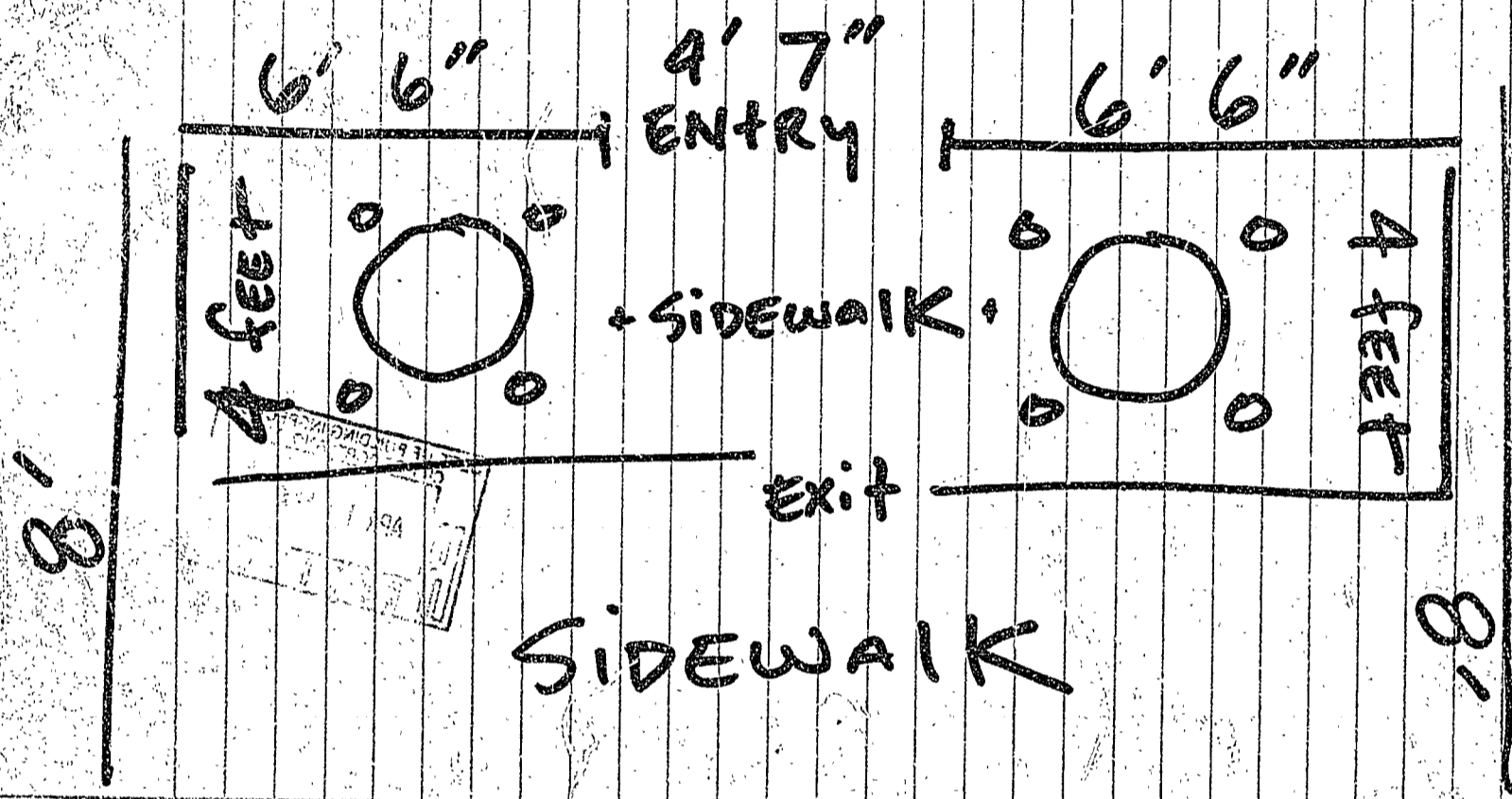
[Signature]
Establishment Owner

Dated:

4/8/90

OUTSIDE DIAGRAM

total outside seating: 8



ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)
4/ 8/1996

PRODUCER
(207) 839-2525
OLYMPIC INSURANCE ASSOC.
28 STATE ST.
GORHAM, ME 04038

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY LETTER A PEERLESS INSURANCE
- COMPANY LETTER B MAINE EMPLOYERS MUTUAL
- COMPANY LETTER C
- COMPANY LETTER D
- COMPANY LETTER E

INSURED
NORM'S BAR-B-QUE, INC.
PORTLAND'S FIRST
43 MIDDLE STREET
PORTLAND, MAINE 04101

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY				
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY	CPP433275	06/26/95	06/26/96	GENERAL AGGREGATE \$ 1,000,000 PRODUCTS-COMP/OP AGG \$ 1,000,000 PERSONAL & ADV. INJURY \$ 500,000 EACH OCCURRENCE \$ 500,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED. EXPENSE (Any one person) \$ 5,000
	CLAIMS MADE <input checked="" type="checkbox"/> OCCUR.				
	OWNERS & CONTRACTORS PROT.				
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	ANY AUTO				
	ALL OWNED AUTOS				
	SCHEDULED AUTOS				
	HIRED AUTOS				
	NON-OWNED AUTOS				
	GARAGE LIABILITY				
	EXCESS LIABILITY				EACH OCCURRENCE \$ AGGREGATE \$
	UMBRELLA FORM				
	OTHER THAN UMBRELLA FORM				
B	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY	1610032918	07/01/95	07/01/96	<input checked="" type="checkbox"/> STATUTORY LIMITS EACH ACCIDENT \$ 100,000 DISEASE - POLICY LIMIT \$ 500,000 DISEASE - EACH EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER
CITY OF PORTLAND
INSPECTIONS DEPARTMENT
CONGRESS STREET
PORTLAND, MAINE 04101

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
John R. Harvie

ACORD 25-S (7/60)

ACORD CORPORATION 1090



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Mary Conroy, Traffic Engineer
FROM: Marge Schmuckal, Asst. Chief of Code Enforcement
RE: 43 Middle Street, outside dining
DATE: April 17, 1988

We recently received an application for outside dining at the above location. If there is any complications please let the applicant know, or you can give me a call at X 8895.

attachments

45 Middle Street 28-P-16



SHAW-WALKER

#8503-3B

CERTIFICATE
OF
COMPLIANCE

March 28, 1980

CITY OF PORTLAND

Department of Neighborhood Conservation And Inspection Services
Housing Inspections Division
Telephone: 775-5451 - Extension 448 - 358

Roger Mathieu
120 Whitney Avenue
Portland, Maine

Re: Premises located at 45 Middle Street, Portland, Maine NCF-EE 28-P-16

Dear Mr. Mathieu:

A re-inspection of the premises noted above was made on March 18, 1980
by Housing Inspector A. Addato.

This is to certify that you have complied with our request to correct the violation
of the Municipal Codes relating to housing conditions as described in our "Notice of
Housing Conditions" dated May 7, 1979.

Thank you for your cooperation and your efforts to help us maintain decent, safe and
sanitary housing for all Portland residents.

In order to aid in the preservation of Portland's existing housing
inventory, it shall be the policy of this department to inspect
each residential building at least once every five years. Although
a property is subject to re-inspection at any time during the said
five-year period, the next regular inspection of this property is
scheduled for March 1985.

Sincerely yours,

Joseph E. Gray, Jr. Director
Neighborhood Conservation And
Inspection Services

By Lyle D. Hoynes
Lyle D. Hoynes
Housing Code Administrator

Inspector A. Addato
A. Addato

ADMINISTRATIVE HEARING DECISION

City of Portland
Department of Neighborhood Conservation
Housing Inspections Division
Telephone: 775-5451 - Ext. 448-- 358

OK
BY *Addato*
DATE 3/18/80

Date August 15, 1979

Roger Mathieu
120 Whitney Avenue
Portland, Maine

Re: Premises located at 45 Middle Street, Portland, Maine NCP-EE 28-P-16

Dear Mr. Mathieu:

You are hereby notified that a reinspection and your request for additional time

on 8/8/79 regarding our "Notice of Housing Conditions" at the above referred premises resulted in the decision noted below.

X Expiration time extended to 10/8/79 in order to complete the work in progress to correct the remaining 18 Housing Code Violations as shown on attached list.

Notice modified as follows _____

Please notify this office if all violations are corrected before the above mentioned dates, so that a "Certificate of Compliance" may be issued.

In Attendance:

Roger Mathieu

Inspector Addato

Roger Mathieu

Very truly yours,
Joseph E. Gray, Jr., Director
Neighborhood Conservation

By *Lyle D. Noyes*
Lyle D. Noyes,
Chief of Housing Inspections

dld

LOAN
NOTICE OF HOUSING CONDITIONS

City of Portland
Department of Neighborhood Conservation
Housing Inspections Division
Tel. 775-5451 - Ext. 358 - 448

DU 2

Ch.-Bl.-Lot: 45 Middle Street
Location: 28-P-16
Project: NCP-EE
Issued: May 7, 1979
Expired: Aug. 7, 1979

Mr. Roger Mathieu 772-2682
120 Whitney Avenue
Portland, Maine 04102

Dear Mr. Mathieu

An examination was made of the premises at 45 Middle Street, Portland, Maine, by Housing Inspector Addato. Violations of Municipal Codes relating to housing conditions were found as described in detail below.

In accordance with provisions of the above mentioned Codes, you are requested to correct these defects on or before Aug. 7, 1979. You may contact this office to arrange a satisfactory repair schedule if you are unable to make such repairs within the specified time. We will assume the repairs to be in progress if we do not hear from you within ten days from this date and, on reinspection within the time set forth above, will anticipate that the premises have been brought into compliance with Code Standards. Please contact this office if you have any questions regarding this notice.

Your cooperation will help this Department in its goal to maintain all Portland residents in decent, safe and sanitary housing.

Very truly yours,
Joseph E. Gray, Jr., Director
Neighborhood Conservation

Inspector A. Addato
A. Addato

By Lyle D. Noyes
Lyle D. Noyes,
Chief of Housing Inspections.

- EXISTING VIOLATIONS OF CHAPTER 307 - "MINIMUM STANDARDS FOR HOUSING" - Section(s)
- | | | |
|------|--|----|
| 3/18 | 1. OVERALL INTERIOR WALL - replace missing mortar. | 3b |
| 8/8 | 2. REAR EXTERIOR PORCHES - FIRST, SECOND & THIRD FLOORS - replace rotted platform, stairs, nails, joists, and support beams. | 3d |
| 10/9 | 3. SECOND FLOOR FRONT HALL - replace missing balusters. | 3a |
| 10/9 | 4. FIRST FLOOR FRONT HALL FLOOR - replace worn flooring. | 3b |
- At the time of the survey, we were unable to gain access to the cellar. We suggest that if there are any conditions which need correcting in the cellar that you make the repairs while doing the work on the rest of the structure.
- SECOND FLOOR
- | | | |
|------|---|----|
| 3/14 | 5. KITCHEN FLOOR - replace worn flooring. | 3b |
| 3/14 | 6. KITCHEN DOOR - repair worn latch. | 3c |
| 3/14 | 7. BATHROOM WALL - remove peeling paint. | 3c |
| 3/14 | 8. BATHROOM CEILING & WALL - remove peeling paint. | 3b |
| 3/14 | 9. BATHROOM TUB - correct the condition at the fixture that causes a cross-connection at the bathtub. | 6d |
| 3/8 | 10. BATHROOM FLOOR - replace worn flooring. | 3b |
| 10/9 | 11. LIVING ROOM WINDOW - repair loose sash. | 3c |
| 10/9 | 12. LIVING ROOM WINDOW - secure loose glass by replacing points and/or reglazing. | 3c |
- cont.

vw

continued May 4, 1979 45 Middle Street, Portland, Maine NCP-EE 28-P-16

SECOND FLOOR CONT.

- ~~8/8 13. LIVING ROOM CEILING - replace worn wiring. 3c~~
- ~~8/8 14. RIGHT FRONT BEDROOM CEILING - secure light fixture. 3c~~
- ~~3/14 15. BATHROOM - replace missing bathtub, flush toilet and lavatory. 6d~~
- ~~3/14 16. KITCHEN WALL - replace missing plaster. 6d~~
- ~~3/14 17. BATHROOM WALL - replace missing plaster. 3b~~

THIRD FLOOR

- ~~8/8 18. KITCHEN WINDOW - replace broken glass. 3c~~
- ~~10/9 19. KITCHEN CEILING - remove peeling paint. 3c~~
- ~~10/9 20. LIVING ROOM CEILING - remove peeling paint. 3b~~
- ~~8/8 21. RIGHT FRONT BEDROOM WINDOW - replace broken glass. 3b~~
- ~~8/8 22. RIGHT FRONT BEDROOM WINDOW - secure loose glass by replacing points and/or replacing. 3c~~
- ~~10/9 23. LEFT FRONT BEDROOM CEILING - remove peeling paint. 3c~~
- ~~10/9 24. BATHROOM CEILING - remove peeling paint. 3c~~

We suggest you contact the City of Portland Building Inspection Department, 389 Congress St., Tel. 775-5451 to determine if any of the items listed above require a building or alteration permit.

REINSPECTION RECOMMENDATIONS

LOCATION 45 Middle

INSPECTOR Adelstein

PROJECT MCP EE

OWNER Mattison

NOTICE OF HOUSING CONDITIONS		HEARING NOTICE		FINAL NOTICE	
Issued	Expired	Issued	Expired	Issued	Expired
<u>5/7/79</u>	<u>8/7/79</u>				

A reinspection was made of the above premises and I recommend the following action:

DATE		ALL VIOLATIONS HAVE BEEN CORRECTED Send "CERTIFICATE OF COMPLIANCE" <input checked="" type="checkbox"/>	POSTING RELEASE <input checked="" type="checkbox"/>
<u>3/18/80</u>	<u>aa</u>	Satisfactory Rehabilitation in Progress <u>1/28/80</u>	
<u>8/8/79</u>	<u>aa</u>	Time Extended To: <u>10/2/79 - WFX - 60</u> OTX <u>2/28/80 - 30</u>	
<u>10/9/79</u>	<u>aa</u>	Time Extended To: <u>11/9/79 - OTX - 30</u>	
<u>11/9/79</u>	<u>aa</u>	Time Extended To: <u>1/9/80 - OTX - 60</u>	
		UNSATISFACTORY Progress Send "HEARING NOTICE" _____	"FINAL NOTICE" _____
		"NOTICE TO VACATE" POST Entire _____ POST Dwelling Units _____	
		UNSATISFACTORY Progress "LEGAL ACTION" To Be Taken _____	
<u>6/29/79</u>	<u>aa</u>	INSPECTOR'S REMARKS: <u>RE/10E Job. in Progress.</u>	
<u>8/8/79</u>	<u>aa</u>	<u>RE/100 - Remains in progress. Awaiting</u>	
		<u>loan funds.</u>	
<u>10/9/79</u>	<u>aa</u>	<u>RE/100 - SP - WIP - X 30</u>	
<u>11/9/79</u>	<u>aa</u>	<u>RE/100 - SP - WIP - X 60</u>	
<u>1/25/80</u>	<u>aa</u>	<u>RE/100 - SP - OTX - 30</u>	
<u>3/18/80</u>	<u>aa</u>	<u>RE/100 - C.O.C</u>	
		INSTRUCTIONS TO INSPECTOR: _____	

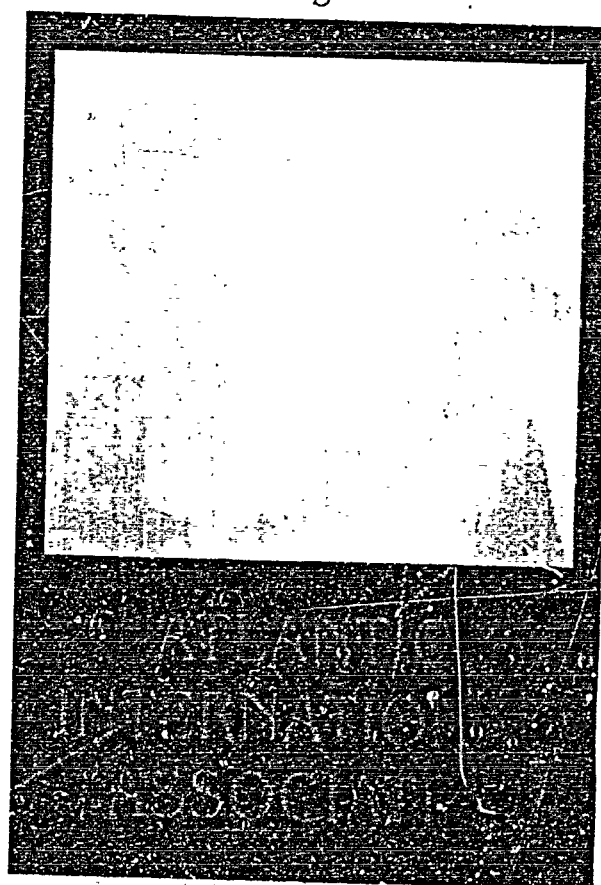
ACORD		CERTIFICATE OF INSURANCE			ISSUE DATE (MM/DD/YY)		12/10/93	
PRODUCER Pike-Conway-Dahl Insurance Ag 117 MAIN STREET FRYEBURG ME 04037- Code Sub-Code				THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CON- FERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.				
INSURER Atlantic Int L Adjustment Co 47 MIDDLE STREET Portland ME 04101-				COMPANIES AFFORDING COVERAGE COMPANY LETTER A SEACO INSURANCE CO.-189 COMPANY LETTER B WCIP-132 COMPANY LETTER C COMPANY LETTER D COMPANY LETTER E				
COVERAGES THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.								
CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF DATE	POLICY EXP DATE	LIMITS			
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMM GENERAL LIABILITY CLAIMS MADE X OCCUR <input type="checkbox"/> OWN'R'S & CONTRCTR'S PROT	BCP0011521-00-13	05/01/93	05/01/94	GENERAL AGGREGATE	\$		
					100-COMP/OPS AGGREGATE	\$		
					PERS & ADVERTISING INJ	\$		1000000
					EACH OCCURRENCE	\$		
					FIRE DAMAGE (ONE FIRE)	\$		
					MED EXPENSE (ONE PERSON)	\$		5000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY				COMBINED SINGLE LIMIT	\$		
					BODILY INJURY (PER PERS)	\$		
					BODILY INJURY (PER ACC)	\$		
					PROPERTY DAMAGE	\$		
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE	\$		
					AGGREGATE	\$		
	WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY				<input type="checkbox"/> STATUTORY LIMITS	\$		
					EACH ACCIDENT	\$		
					DISEASE-POLICY LIMIT	\$		
					DISEASE-EACH EMPLOYEE	\$		
	OTHER					\$		
						\$		
						\$		
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS RE: SIGN								
CERTIFICATE HOLDER CITY OF PORTLAND 389 CONGRESS STREET PORTLAND ME 04101-1280				CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Susan L. Simmons</i> SUSAN L. SIMMONS				
ACORD 25-S (7/90)							ACORD CORPORATION 1990	

A



INTERIOR - 1 SIDE BLACK PLEXI - 30" SQUARE

B

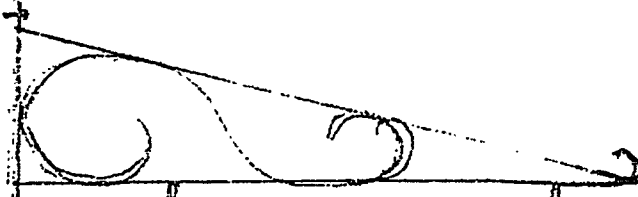


EXTERIOR - 2 SIDED MDO - 3' x 4'

SPURWINK SIGNS 207 772 2447 P.01

BRICK BLDG. SIGN BRACKET - GUY WIFE INTO MONTAGE.

DOUBLE SIDE, 3/4" MDO, PRIMED & PAINTED W/ VINYL GRAPHICS.



33 1/2" x 30"
TEXTURED PLEXI
ABOUT 1/4" AWAY FROM
SIGN FACE.

FAWN BK
DK GRAY SHADOW

BLACK W/ GRAY FRAME/LOOK
TOMATO RED COPY

4'

3'

FOR ATLANTIC INTERNATIONAL, 45 MIDDLE STREET, PORTLAND, ME

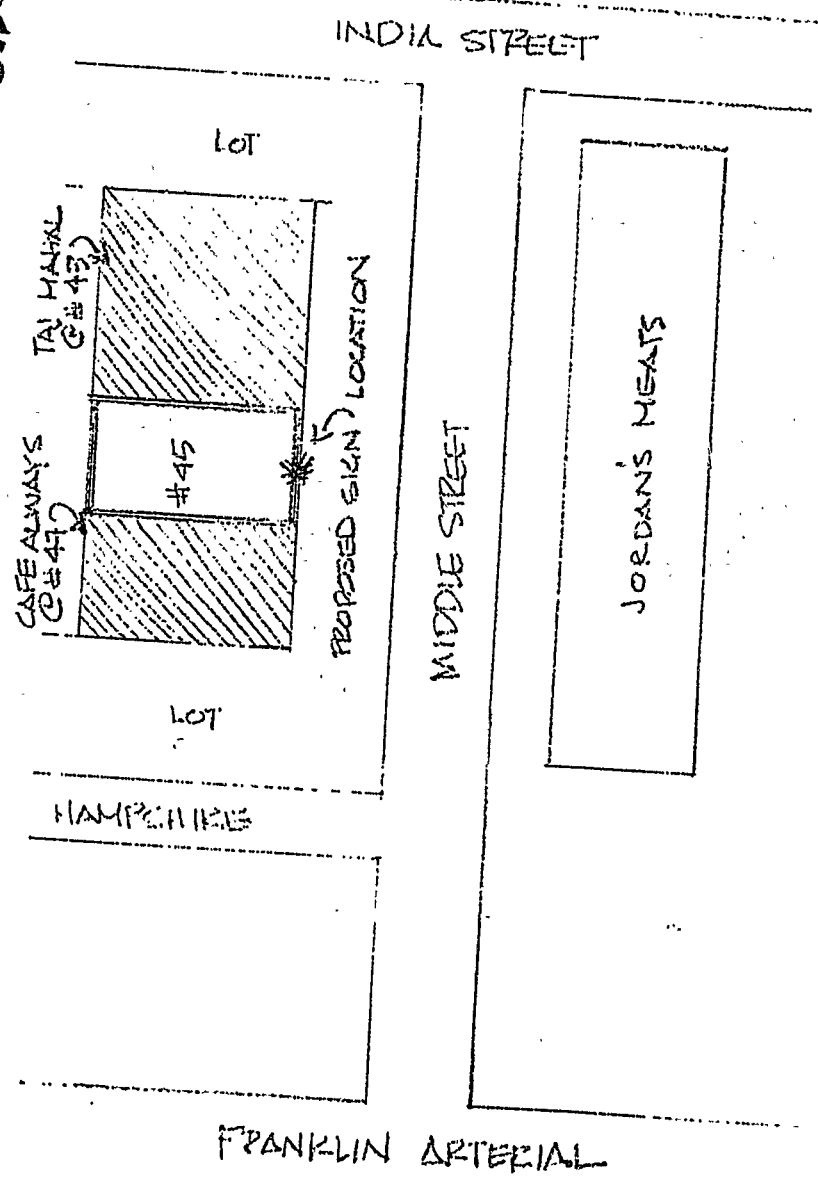


**SPURWINK
SIGNS**

PLOT PLAN FOR: ATLANTIC INTERNATIONAL

SCALE: 1" = 10'

- CUSTOM SIGNAGE
- SIGN DESIGN
- LOGO DESIGN
- COMPUTER GRAPHICS
- INTERIOR EXTERIOR SIGNAGE
- VINYL LETTERING
- BANNERS
- MAGNETICS
- ALUMINUM WOOD & PLASTIC LETTERS & SIGNS
- AC-
- DIRECTORIES
- SPONSOR PLACQUES
- ARCHITECTURAL SIGNAGE
- REAL ESTATE CONTRACTS BROKERS & DEVELOPERS
- SITE SIGNAGE
- VEHICLES
- ENGRAVING
- INSTALLATION



LOCAL 207-582-1820
 IN-STATE 1-800-461-6348
 FAX 207-582-0198

115 BRUNSWICK AVENUE
 GARDNER, MAINE 04345

City of Portland, Maine -- Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 43 Middle St		Owner: Joseph Malouf	Phone:	Permit No: 950608
Owner Address:	Leasee/Buyer's Name: Nora's Bar B Q 43 Middle St	Phone:	Business Name: 04101 774-6711	PERMIT ISSUED Permit issued: JUN 14 1995
Contractor Name:	Address:	Phone:		
Past Use: Restaurants	Proposed Use: Same w/int reno	COST OF WORK: \$ 1,000.00	PERMIT FEE: \$ 25.00	CITY OF PORTLAND Zone: CBL: 02B-P-074
Proposed Project Description: Construct Bar/Counter		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 03 Type: 30	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <input type="checkbox"/> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm
Permit Taken By: Mary Greuk	Date Applied For: 12 June 1995			Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH LETTER

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Anna M. Jabac* ADDRESS: DATE: **12 June 1995** PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: *6/13/95*

CEO DISTRICT: *[Signature]*

COMMENTS

8-16-95 Work is all complete

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 13, 1995

RE: 43 Middle St.

Norm's Bar BQ
43 Middle St.
Portland, ME 04101

Dear Sir:

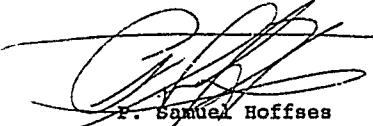
Your application to construct bar/counter has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. All commercial cooking equipment shall be installed in accordance with NFPA #96 and chapter 5 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
2. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
3. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the city's building code. (The BOCA National Building Code/1993)

If you have any questions regarding these requirements, please do not hesitate to contact this office.

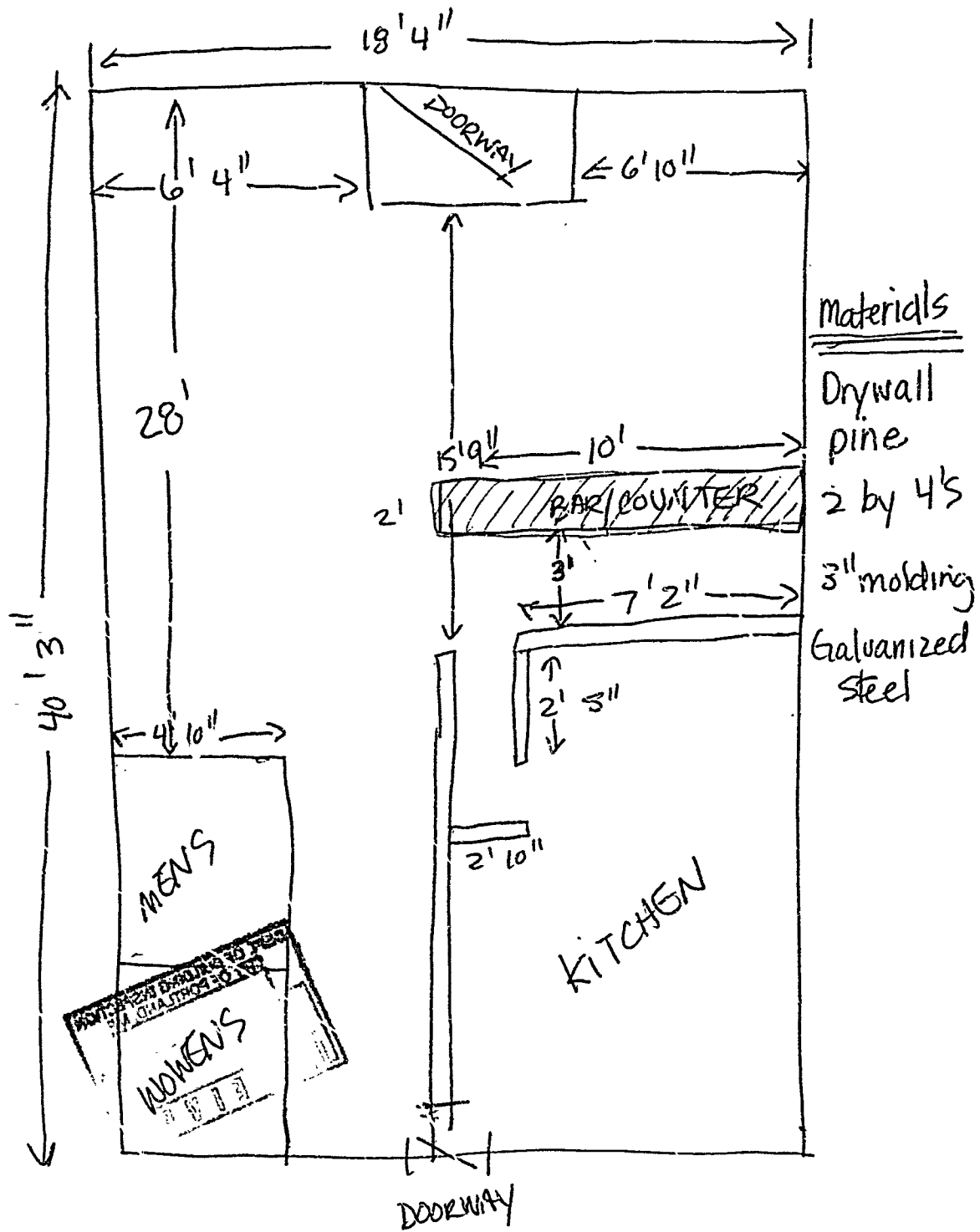
Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: LT. G. McDougall, Fire Prevention Officer

NORMS BAR BQ - 43 Middle St - FOR PERMIT
FOR BAR/COUNTER



PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation: 12 Middle St

Street Subdivision Lot #

PROPERTY OWNERS NAME

Last: JAZAR First: NEIL ALVIN

Applicant Name: DANIE THE PLUMBER

Mailing Address of Owner/Applicant (if Different): 107 Coarham Rd.

PORTLAND 5434 TOWN COPY

Date Permitted: 1/13/14 Fee Charged: 12.00

Samuel Hoffman
Local Plumbing Inspector Signature L.P.I. # 1234

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any false information is a violation of the Local Plumbing Inspector to deny a Permit.

[Signature]
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

W/O map - TM
Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

This Application Is for:

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY _____

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER / MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER

LICENSE # 1973

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hor abibb / Silcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
OR		Urinal	<u>2</u>	Sink
		inking Fountain		Wash Bas'n
HOOK-UP: to an existing surface wastewater disposal system.		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease / Oil Separator	<u>/</u>	Dish Washer
		Dental Cuspidor		Garbage Disposal
Number of Hook-Ups & Relocations		Bidet		Laundry Tub
Hook-Up & Relocation Fee		Other: _____		Water Heater
	OR		Fixtures (Subtotal) Column 2	Fixtures (Subtotal) Column 1
TRANSFER FEE (\$6.00)			Fixtures (Subtotal) Column 2	Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
			\$	Total Fixture Fee
			\$	Transfer Fee
			\$	Hook-Up & Relocation Fee
			\$	Permit Fee (Total)

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 43 Middle St		Owner: Joe Malone		Permit No: 960262	
Owner Address: Norman Jabar		Lease/Buyer's Name: Norm's Bar-B-Q		PERMIT ISSUED	
Contractor Name: Norman Jabar		Address: Same		APR 18 1996	
Past Use: Restaurant		Proposed Use: Same		CITY OF PORTLAND	
Proposed Project Description: Conduct Outside Dining		COST OF WORK: \$		Permit Issued: APR 18 1996	
Permit Taken By: Mary Gresik		Date Applied For: 11 April 1996		Zoning: B-2 CBL: 028-P-022	
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		Zoning Approval: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	
2. Building permits do not include plumbing, septic or electrical work.		Signature: [Signature]		Special zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Inspection: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

CERTIFICATION
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] Norman Jabar
ADDRESS: 43 Middle St.
DATE: 11 April 1996
PHONE: 774-6711

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: White-Permit Desk
Green-Assessor's Canary-D.P.W. Pink-Fublic File Ivory Card-Inspector
CEO DISTRICT: [Box with '1']
M. LOAR

