

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 081031

This is to certify that CITY OF PORTLAND / HE llahan Construction Co.

has permission to Renovate including roof work approximately 6,000 sq ft Space into Crime Lab

AT 109 MIDDLE ST 028 N001001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or service closed-in 4 HOUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Carole Rowe 9/30/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

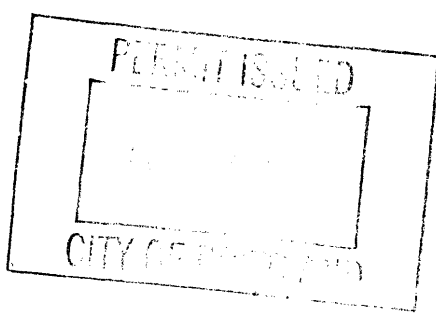
Permit No: 08-1031	Issue Date:	CBL: 028 N001001
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Location of Construction: 109 MIDDLE ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: HE Callahan Construction Co.	Contractor Address: 664 Turner Rd Auburn	Phone: 2077846927
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: B-3

Past Use: City of Portland Police Dept Gym <i>Public Safety Bldg</i>	Proposed Use: City of Portland Police Dept Crime Lab - Renovate including roof work approximately 6,000 sq ft Space into Crime Lab	Permit Fee: <i>fee waived see memo from</i>	Cost of Work: \$1,320,000.00	CEO District: 1
Proposed Project Description: Renovate including roof work approximately 6,000 sq ft Space into Crime Lab		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>2B</i> <i>IBC-2003</i>	
		Signature: <i>Greg Cass</i>	Signature: <i>AMB 9/30/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: <i>Not in</i> Date:				

Permit Taken By: Idobson	Date Applied For: 08/27/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>will apply for an exemption</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/27/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Not in</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1031	Date Applied For: 08/27/2008	CBL: 028 N001001
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Location of Construction: 109 MIDDLE ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: HE Callahan Construction Co.	Contractor Address: 664 Turner Rd Auburn	Phone (207) 784-6927
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: City of Portland Police Dept Crime Lab - Renovate including roof work approximately 6,000 sq ft Space into Crime Lab	Proposed Project Description: Renovate including roof work approximately 6,000 sq ft Space into Crime Lab
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/27/2008
Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/30/2008
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 09/02/2008
Note: **Ok to Issue:**

- 1) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 2) Non- combustable construction of this structure requires all construction to be Non-combustable.
- 3) All means of egress to remain accessible at all times
- 4) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 6) The fire alarm system shall comply with NFPA 72
- 7) The sprinkler system shall be installed in accordance with NFPA 13.
- 8) Application requires State Fire Marshal approval.

Comments:

8/27/2008-ldobson: Per Penny Littell Fees waived for this project E-mail dated 8/22/08

8/27/2008-mes: Called David LePage @ H.E. Callahan Construction to apply for a site plan exemption concerning this work. The footprint is not being enlarged but the envelope of the building is being bumped out on the third floor to add more space. I gave Alex Jaegerman's number to David L. HOLD PERMIT UNTIL PLANNING SIGNS OFF.

Location of Construction: 109 MIDDLE ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: HE Callahan Construction Co.	Contractor Address: 664 Turner Rd Auburn	Phone (207) 784-6927
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

9/11/2008-gg: received granted site exemption on 9/8/08. Gg filed with permit (Tammy)

9/18/2008-jmb: Left a voicemail with Steve W. At Winton Scott for details on the energy compliance certification, statement of special inspections and stairwell windows 3-4 and 3-5 to be tempered.

9/22/2008-jmb: Steve W. Called back and will submit revisions

9/25/2008-jmb: Revisions and details submitted, Jeanie was out of the office until 9/30/08



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>109 MIDDLE STREET PORTLAND, MAINE</u>		
Total Square Footage of Proposed Structure/Area <u>SEE ATTACHED</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>CITY OF PORTLAND MAINE</u> Address <u>389 CONGRESS STREET</u> City, State & Zip <u>PORTLAND, MAINE 04101</u>	Telephone: <u>207-874-8699</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,320,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>FREE WAIVED</u>
Current legal use (i.e. single family) <u>PUBLIC SAFETY BUILDING</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>RENOVATE GYM INTO CRIME LAB - change size</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>4200 sq ft = 84' x 50'</u>		
Contractor's name: <u>H.E. CALLAHAN CONSTRUCTION</u> AUG 27 2008		
Address: <u>2664 TURNER ROAD</u>		
City, State & Zip <u>AVBURY, MAINE 04212</u>		Telephone: <u>784-6927</u>
Who should we contact when the permit is ready: <u>DAVID LEPALE</u>		Telephone: <u>784-6927</u>
Mailing address: <u>PO BOX 677 AVBURY, MAINE 04212</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

H.E. CALLAHAN CONSTRUCTION

Signature: David Lepale CHIEF ESTIMATOR Date: AUGUST 25, 2008

This is not a permit; you may not commence ANY work until the permit is issued

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

Project: City of Portland Public Safety Building – Crime Lab Project
109 Middle Street, Portland

Architect: Stephen Weatherhead, Winton Scott Architects

RECEIVED
AUG 22 2008

2006 NFPA CODE SUMMARY

8.20.08

B-3 65' max Bldg height
not on 2nd floor existing

Background Information:

General Building Description:

The existing building, built in 1973, is five stories with approximately 15,325 sq. ft. per floor. The original building had sprinkler coverage at the lower level parking and mechanical rooms. The rest of the building was served by a fire pump and standpipe system with hose cabinets at every level. A 2003 interior renovation added sprinkler coverage for the entire first floor.

Renovation Scenario:

The building currently includes a gymnasium space with a floor area of approximately 6,000 s.f. The proposed renovation adds an additional floor level within the gym and renovates both levels to create new office and lab space for the police department. Both levels of the renovation area will be sprinklered. An existing exit stair currently serving the gym will be extended to serve the new upper level. Also, the space currently occupied by the crime lab will be renovated into office and conference space.

More Volume
11/20/08

Square Footage:

Second floor: 5,993 s.f. , Third floor: 7,220 s.f. = 13,213 s.f. total

Occupancy Classification:

Business Use - B (IBC and NFPA)

Construction Type:

Type II–unprotected. The original building was Type II –protected with fireproofing or rated plaster enclosures on steel beams and columns. Over the years, rated plaster ceilings that once provided protection for floor beams have been removed to facilitate maintenance and renovations in many areas. At the time of the 2003 renovations, this issue was discussed with then Portland CEO Mike Nugent. It was decided that the building should be considered to be Type II – unprotected construction. Due to the number of stories, this would mean that the building would be required to be sprinklered under current codes. It was agreed that the renovation area being reviewed at the time and all subsequent

NO 21 12

areas of renovation should be sprinklered to bring the building toward complete compliance.

Occupancy Loads: Calculated: (Total = 133)
100 s.f./person ; 13,213 s.f. per flr = 133 people

Applicable Requirements:

Egress Capacity Factors: *Stairs .3"/person Existing stairs provide sufficient capacity to serve occupant load*

Doors: .2"/person; 32" min. clr. door opening. 28" door leaf allowed in exist'g buildings. Requirement Met

Travel Distance Limits: *Common Path Limit: 100' (sprinklered) Requirement Met*
Dead-end Corridor: 50' (sprinklered) Requirement Met
Travel Distance: 300' (sprinklered) Requirement Met

Required Fire Resistance Rating: *(8.6.5) 2 hour rating required for enclosure of floor openings connecting more than 4 stories when enclosure is new construction. Existing and new enclosures are 2 hour rated.*

Fire Alarm System: *(38.3.4.1) Required for any business use in a building that is two or more stories above level of exit discharge. Fire Alarm and Sprinkler Systems will be installed as part of proposed renovations.*

Emergency Lighting: *(38.2.9) Emergency Lighting shall be provided if building is two or more stories in height above level of exit discharge. Emergency lighting will be installed as part of proposed renovations.*



Certificate of Design Application

Architect Designer:

DAN BURNE P.E. / BECKER STRUCTURAL ENGINEERS

Date:

8/21/08

Job Name:

PORTLAND PUBLIC SAFETY - CRIME LAB PROJECT

Address of Construction:

109 MIDDLE ST.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

PER CITY-APPROVED WAIVER (4/4/08)

Building Code & Year: 2006 IBC Use Group Classification (s): B - BUSINESS

Type of Construction: TYPE II - UNPROTECTED

Does the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC? YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) N/A

Emergency alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Considerations

COMPLETE Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor or live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>LAB MEZZANE</u>	<u>100 PSF</u>
<u>STAIRS</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

METHOD 2 Design option utilized (1609.1.1, 1609.6)

100 MPH Basic wind speed (1809.3)

1.15 Building category and wind importance Factor, I_w (Table 1604.5, 1609.5)

B Wind exposure category (1609.4)

±0.18 Internal pressure coefficient (ASCE 7)

27 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)

21 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Seismic design data (1613.1.5, 1614-1623) (UPGRADE NOT REQUIRED)

EQUIV. FORCE Design option utilized (1614.1)

IV Seismic use group ("Category")

0.254, 0.087 Spectra response coefficients, S_D & S_1 (1615.1)

C Site class (1615.1.5)

N/A Live load reduction

19 Roof live loads (1603.1.2, 1607.11)

50 PSF + DRIFT Roof snow loads (1603.7.3, 1608)

60 Ground snow load, P_g (1608.2)

50 PSF + DRIFT If $P_g > 10$ psf, flat-roof snow load P_f

0.9 If $P_g > 10$ psf, snow exposure factor, C_e

1-2 If $P_g > 10$ psf, snow load importance factor, I_s

1-1 Roof thermal factor, C_t (1608.4)

50 PSF Sloped roof snowload, P_s (1608.4)

C Seismic design category (1616.3)

0BF, 0MF Basic seismic force resisting system (1617.6.2)

3.0, 3.0 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)

EQUIV. FORCE Analysis procedure (1616.6, 1617.5)

132k @ MEZZ WING Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

N/A Partition loads (1607.5)

N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

*Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director*

April 4, 2008

Becker Structural Engineers, INC
Attn. Daniel S. Burne, P. E.
75 York Street
Portland, ME 04101

RE: Mezzanine Addition City of Portland Public Safety Building – 109 Middle Street
CBL: 028 N001001

Dear Mr. Burne,

Thank you for your request for waiver received March 20, 2008. The request is to utilize the 2006 version of the International Building Code (IBC) for the structural design.

The following are the facts:

1. The City of Portland is currently working under the IBC 2003. State Law does not allow the City to adopt the IBC 2006.
2. The Seismic Spectral Values used for the seismic design of buildings have been updated in the 2006 Edition of the IBC Code. The updated values based on the 2004 Edition of the National Earthquake Hazard Reduction Program (NEHRP) for recommendations for Seismic Regulations and FEMA supersedes the 1998 version, which is the basis of the 2003 Edition of the IBC.
3. These guidelines are based on newer, more recent data provided by the United States Geological Survey (USGS), and represent the latest science and data in the structural engineering field.
4. The portions of IBC 2006 that are less restrictive than the IBC 2003 are the Seismic requirements. The other portions of Chapter 16, IBC 2006 are either procedural modifications or are generally more restrictive than the requirements of the IBC 2003.

The Waiver Request is approved by this office to utilize the IBC 2006 for seismic design on the above mentioned project. This justification is based on the latest scientific research, and the inability of the City to adopt this code.

Yours truly,

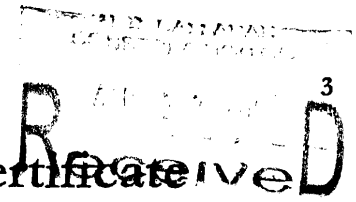
Jeanie Bourke
Inspections Division Director

Cc. Mike Nugent

RECEIVED
AUG 22 2008
Received



Accessibility Building Code Certificate



Designer: WINTON SCOTT ARCHITECTS

Address of Project: PORTLAND PUBLIC SAFETY BLDG, 109 MIDDLE ST.

Nature of Project: INTERIOR RENOVATION TO PROVIDE
ADDITIONAL OFFICE & LAB SPACE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: Winton Scott

Title: PRESIDENT

Firm: WINTON SCOTT ARCHITECTS

Address: S MILK ST.
PORTLAND, ME 04101

Phone: 774-4811

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

AUG 22 2008
Received



Certificate of Design

Date: AUGUST 20, 2008

From: WINTON SCOTT ARCHITECTS

These plans and / or specifications covering construction work on:

PORTLAND PUBLIC SAFETY BLDG., 109 MIDDLE ST.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

(STRUCTURAL DESIGN PER 2006 I.B.C. - SEE ATTACHED WAIVER)

Signature: Winton Scott

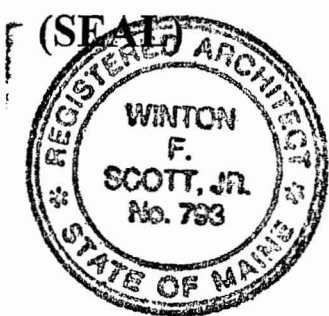
Title: PRESIDENT

Firm: WINTON SCOTT ARCHITECTS

Address: 5 MILK ST.

PORTLAND, ME 04101

Phone: 774-4811



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

17902

Sprinkled
Sprinkler Supervised

CITY OF PORTLAND PUBLIC SAFETY BLDG-RENO-CRIME LAB

Located at: 109 MIDDLE ST.

PORTLAND

Occupancy/Use: BUSINESS

Permission is hereby given to:

CITY OF PORTLAND
ATTN: BOB LEEMAN, DIRECTOR PUBLIC BLDG.
389 CONGRESS ST.
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.
No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.
Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 10 th of February 2009

Dated the 11 th day of August A.D. 2008

Commissioner

Copy-2 Architect

Comments:

WINTON SCOTT
5 MILK ST.
PORTLAND, ME 04101

H. E. CALLAHAN
CONSTRUCTION CO.
AUG 22 2008
Received

CALLAHAN

H. E. CALLAHAN CONSTRUCTION CO.



LETTER OF TRANSMITTAL

TO:

City of Portland, Maine
 Inspections Office
 389 Congress Street
 Portland, Maine 04101

Date:	26-Aug-08	HEC Job No.:	J-08-031
Attention :			
Owner/Architect Job #:			
Re:	Public Safety Building		
	Portland Crime Lab		
Submittal:			
Transmittal No.			

WE ARE SENDING YOU

ATTACHED

UNDER SEPARATE COVER VIA _____ THE FOLLOWING ITEMS:

Shop Drawings

Prints

Plans

Specifications

Copy of Letter

Change Order

Samples

COPIES	DATE	NO.	DESCRIPTION
1 each			General Building Permit Application
1 each			Wintom Scott Architects Code Summary
1 each			Certificate of Design Application
1 each			Letter from Jeanie Bourke, Inspections Division Director re: Building Code
1 each			Accessibility Building Code Certificate
1 each			Certificate of Design
1 each			State of Maine Construction Permit
1 each			Drawing A1 and A2 Life Safety Plans
1 set			Contract Plans, Specifications, and addenda, hard copy
1 each			Contract Plans, Specifications, and addenda, CD, PDF files

THESE ARE TRANSMITTED as checked below:

For Approval

Approved as Submitted

Resubmit _____ Copies for Approval

For Your Use

Approved as Noted

Submit _____ Copies for Distribution

As Requested

Returned for Corrections

Return _____ Corrected Prints

For Review & Comment

Prints Returned

Final for Distribution

FOR BIDS DUE

REMARKS: Please call with any questions or comments that you have.

COPIES TO:

File _____
 Field _____

SIGNED:

David J. LePage, Chief Estimator

IF ENCLOSURES ARE NOT AS NOTED, KINDLY NOTIFY US AT ONCE.

From: Penny Littell
To: Lannie Dobson
Date: 8/22/2008 12:09:54 PM
Subject: Crime Lab

Fees may be waived for this project.



ASBESTOS BUILDING DEMOLITION NOTIFICATION

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION
Lead & Asbestos Hazard Prevention Program
17 State House Station, Augusta, Maine 04333



Maine law requires the filing of the ASBESTOS BUILDING DEMOLITION NOTIFICATION with the Department prior to demolition of any building except a single-family home.

Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is **not** required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also **not** required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. **Demolition** means the tearing down or intentional burning of a building or part of a building.

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.maine.gov for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that **municipalities** have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-6220. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were regulated asbestos-containing building materials found? yes no

property address: Portland Police Station Middle Street Portland, Maine	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other: Commercial - Gymnasium and Bathroom Only
asbestos survey/inspection performed by: (name & address) Mark P. Coleman Environmental Safety & Hygiene Associates, Inc. Westbrook, Maine telephone: 207.854.2711	asbestos abatement contractor NOT APPLICABLE - NOT ASBESTOS IN RENO AREA telephone:
property owner: (name & address) City of Portland 389 Congress Street Portland, Maine telephone:	demolition contractor: (name & address) City of Portland Facilities Management Services Bob Leeman 233-0350 telephone:
demolition start date: (mm/dd/yy) 9/18/08	demolition end date: (mm/dd/yy) 4/1/09

This demolition notification does not take the place of the Asbestos Project Notification if applicable

City of Portland		I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT	
Print Name: Owner/Agent	Public Buildings	Signature	
Bob Leeman	Title Director		
Telephone # 233-0350	FAX # 207-874-8473	Date	9/18/08

OFFICE OF ASBESTOS INSPECTION
CITY OF PORTLAND, ME
SEP 18 2008



EMSL Analytical, Inc.

107 Haddon Ave., Westmont, NJ 08106

Phone: (856) 858-4800 Fax: (856) 858-4860 Email: westmont@emsl.com

Attn: **Mark Coleman**
Environmental Safety & Hygiene Assoc.
5 Delta Drive
Westbrook, ME 04092

Fax: Phone: (207) 854-2711
Project: **PORTLAND POLICE STATION**

Customer ID: ESH50
Customer PO:
Received: 08/11/08 10:30 AM
EMSL Order: 040823734

EMSL Proj:
Analysis Date: 9/12/2008
Report Date: 9/12/2008

Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Location	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
B1A 040823734-0001	CRIME LAB GYM	White/Brown Fibrous Heterogeneous	90% Cellulose	10% Non-fibrous (other)	None Detected
B1B 040823734-0002	CRIME LAB GYM	White/Brown Fibrous Heterogeneous	90% Cellulose	10% Non-fibrous (other)	None Detected
B1C 040823734-0003	CRIME LAB GYM	White/Brown Fibrous Heterogeneous	90% Cellulose	10% Non-fibrous (other)	None Detected
B1D 040823734-0004	CRIME LAB GYM	White/Brown Fibrous Heterogeneous	90% Cellulose	10% Non-fibrous (other)	None Detected
B1E 040823734-0005	CRIME LAB GYM	White/Brown Fibrous Heterogeneous	90% Cellulose	10% Non-fibrous (other)	None Detected
B2A 040823734-0006	FIRE RANGE BATHROOM	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
B2B 040823734-0007	FIRE RANGE BATHROOM	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
B2C 040823734-0008	FIRE RANGE BATHROOM	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected

Analyst(s)

Debra Beard (14)

Stephen Siegel, CIH, Laboratory Manager
or other approved signatory

Due to magnification limitations inherent in PLM, asbestos fibers in dimensions below the resolution capability of PLM may not be detected. The limit of detection as stated in the method is 1%. The above test report relates only to the items tested and may not be reproduced in any form without the express written approval of EMSL Analytical, Inc. EMSL's liability is limited to the cost of analysis. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. Samples received in good condition unless otherwise noted. This report must not be used to claim product endorsement by NVLAP or any agency of the U.S. Government.

Analysis performed by EMSL Westmont (NVLAP #101046-0), NY ELAP 10872



EMSL Analytical, Inc.

107 Haddon Ave., Westmont, NJ 08108

Phone: (856) 858-4300 Fax: (856) 358-4660 Email: westmontashlab@EMSL.com

Attn: **Mark Coleman**
Environmental Safety & Hygiene Assoc.
5 Delta Drive
Westbrook, ME 04092

Fax: **PORTLAND POLICE STATION** Phone: (207) 854-2711

Customer ID: ESH50
Customer PO:
Received: 09/11/08 10:30 AM
EMSL Order: 040823734
EMSL Proj:
Analysis Date: 9/12/2008
Report Date: 9/12/2008

Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Location	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
B3A 040823734-0009	FIRE RANGE BATHROOM	Brown/Gray Fibrous Heterogeneous	5% Cellulose	95% Non-fibrous (other)	None Detected
B3B 040823734-0010	FIRE RANGE BATHROOM	Brown/Gray Fibrous Heterogeneous	5% Cellulose	95% Non-fibrous (other)	None Detected
B3C 040823734-0011	FIRE RANGE BATHROOM	Gray Fibrous Homogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
B4A 040823734-0012	FIRE RANGE BATHROOM	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
B4B 040823734-0013	FIRE RANGE BATHROOM	White Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
B4C 040823734-0014	FIRE RANGE BATHROOM	White Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected

MAINE CERT. #BA-0100

Analyst(s)

Debra Beard (14)

Stephen Siegel, CIH, Laboratory Manager
or other approved signatory

Due to magnification limitations inherent in PLM, asbestos fibers in dimensions below the resolution capability of PLM may not be detected. The limit of detection as stated in the method is 1%. The above test report relates only to the items tested and may not be reproduced in any form without the express written approval of EMSL Analytical, Inc. EMSL's liability is limited to the cost of analysis. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. Samples received in good condition unless otherwise noted. This report must not be used to claim product endorsement by NVLAP or any agency of the U.S. Government.

Analysis performed by EMSL Westmont (NVLAP #101048-0), NY ELAP 10872

PLM-1

THIS IS THE LAST PAGE OF THE REPORT.



Chain of Custody

Asbestos Lab Services

EMSL Analytical, Inc.
107 Haddon Avenue
Westmont, NJ 08108

Phone: (856) 858-4800
Fax: (856) 858-4960
(856) 427-1608
<http://www.emsl.com>

Please print all information legibly.

040823734

Company:	Environmental Safety & Hygiene	Bill To:	Environmental Safety & Hygiene
Address1:	5 Delta Drive	Address1:	5 Delta Drive
Address2:		Address2:	
City, State:	Westbrook, Maine	City, State:	Westbrook, Maine
Zip/Post Code:	04092	Zip/Post Code:	04092
Country:	USA	Country:	USA
Contact Name:	Mark Coleman	Att:	Mark Coleman
Phone:	207.854.2711	Phone:	207.854.2711
Fax:		Fax:	
Email:	mpc@esha.net	Email:	mpc@esha.net
EMSL Rep:	Rob Demalo	P.O. Number:	
Project Name/Number:	<i>PORTLAND POLICE STATION</i>		

MATRIX			TURNAROUND			
<input type="checkbox"/> Air	<input type="checkbox"/> Soil	<input type="checkbox"/> Micro-Vac	<input type="checkbox"/> 3 Hours	<input type="checkbox"/> 6 Hours	<input type="checkbox"/> Same Day or 12 Hours*	<input checked="" type="checkbox"/> 24 Hours (1 day)
<input checked="" type="checkbox"/> Bulk	<input type="checkbox"/> Drinking Water		<input type="checkbox"/> 48 Hours (2 days)	<input type="checkbox"/> 72 Hours (3 days)	<input type="checkbox"/> 96 Hours (4 days)	<input type="checkbox"/> 120 Hours (5 days)
<input type="checkbox"/> Wipe	<input type="checkbox"/> Wastewater		<input type="checkbox"/> 144+ hours (6-10 days)			

TEM AIR, 3 hours, 6 hours, Please call ahead to schedule. There is a premium charge for 3-hour est. please call 1-800-220-3675 for price prior to sending samples. You will be asked to sign an authorization form for this service.

*12 hours (must arrive by 11:00a.m. Mon - Fri). Please Refer to Price Quote

PCM - Air <input type="checkbox"/> NIOSH 7400(A) Issue 2- August 1994 <input type="checkbox"/> OSHA w/TWA <input type="checkbox"/> Other:	TEM Air <input type="checkbox"/> AHERA 40 CFR, Part 763 Subpart E <input type="checkbox"/> NIOSH 7402 <input type="checkbox"/> EPA Level II	TEM WATER <input type="checkbox"/> EPA 100.1 <input type="checkbox"/> EPA 100.2 <input type="checkbox"/> NYS 198.2
PLM - Bulk <input checked="" type="checkbox"/> EPA 600/R-93/116 <input type="checkbox"/> EPA Point Count <input type="checkbox"/> NY Stratified Point Count <input type="checkbox"/> PLM NOB (Gravimetric) NYS 198.1 <input type="checkbox"/> NIOSH 9002 <input type="checkbox"/> EMSL Standard Addition:	TEM BULK <input type="checkbox"/> Drop Mount (Qualitative) <input type="checkbox"/> Chatfield SOP - 1988-02 <input type="checkbox"/> TEM NOB (Gravimetric) NYS 198.4 <input type="checkbox"/> EMSL Standard Addition:	TEM Microvac/Wipe <input type="checkbox"/> ASTM D 5755-95 (quantitative method) <input type="checkbox"/> Wipe Qualitative
SEM Air or Bulk <input type="checkbox"/> Qualitative <input type="checkbox"/> Quantitative	PLM Soil <input type="checkbox"/> EPA Protocol Qualitative <input type="checkbox"/> EPA Protocol Quantitative <input type="checkbox"/> EMSL MSD 9000 Method fibers/gram	XRD <input type="checkbox"/> Asbestos <input type="checkbox"/> Silica NIOSH 7500 OTHER <input type="checkbox"/>

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

September 22, 2008

Ms. Genie Bourke
Code Enforcement Officer
City of Portland
389 Congress Street
Portland, ME 04101

RE: Building Permit Application – City of Portland Public Safety Building- Crime Lab Project

Dear Genie,

In response to your request regarding building permit application for the above referenced project, please find the following items attached to this letter:

- Statement of Special Inspections
- Energy Compliance Certification
- Contractor Change Request that provides tempered glass at stairwell windows

Please let me know if you need any additional information or if you have any questions regarding the enclosed materials.

Best Regards,



Steve Weatherhead, Associate
Winton Scott Architects

SEP 25 2008



COMcheck Software Version 3.5.3

Envelope Compliance Certificate

2003 IECC

Report Date: 09/22/08

Data filename: C:\Program Files\Check\COMcheck\0811 Crime Lab.cck

Section 1: Project Information

Project Type: **New Construction**

Project Title : Portland Police Crime Lab

Construction Site:
Portland, ME

Owner/Agent:

Designer/Contractor:
Mechanical Systems Engineers
10 Forest Falls Drive
Unit 10
Yarmouth, ME

Section 2: General Information

Building Location (for weather data): **Portland, Maine**
Climate Zone: **15**
Heating Degree Days (base 65 degrees F): **7378**
Cooling Degree Days (base 65 degrees F): **268**

Building Type

Police/Fire Station

Floor Area

2564

Section 3: Requirements Checklist

Envelope PASSES: Design 31% better than code.

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: Metal Roof with Thermal Blocks	1292	0.0	30.0	0.032	0.053
Exterior Wall 1: Other, HC 1.0	7249	---	---	0.108	0.075

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

- 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
- 2. Windows, doors, and skylights certified as meeting leakage requirements.
- 3. Component R-values & U-factors labeled as certified.
- 4. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
- 5. Stair, elevator shaft vents, and other dampers integral to the building envelope are equipped with motorized dampers.
- 6. Cargo doors and loading dock doors are weather sealed.
- 7. Recessed lighting fixtures are: (i) Type IC rated and sealed or gasketed; or (ii) installed inside an appropriate air-tight assembly with a 0.5 inch clearance from combustible materials and with 3 inches clearance from insulation material.
- 8. Building entrance doors have a vestibule and equipped with closing devices.

Exceptions:

Building entrances with revolving doors.

Doors that open directly from a space less than 3000 sq. ft. in area.

9. Vapor retarder installed.

Section 4: Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 2003 IECC requirements in COMcheck Version 3.5.3 and to comply with the mandatory requirements in the Requirements Checklist.

KURT MAGNUSSON, P.E.
Name - Title


Signature

9/22/08
Date

PROPOSAL REQUEST NO. 2
SEPTEMBER 22, 2008

WINTON SCOTT ARCHITECTS
5 Milk Street Portland, Maine 04101

PROJECT: City of Portland Public Safety Building - CRIME LAB

OWNER: City of Portland

TO: Dave LePage
H.E. Callahan Construction

CC: Bob Leeman
City of Portland

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to the proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED
HEREIN

Description:

PLEASE PROVIDE A PRICE TO DO THE FOLLOWING WORK:

Windows 3-4, and 3-5 are required to be glazed with tempered glass per code

Attachments:

None

ISSUED:

BY Stephen Weatherhead
Winton Scott Architects
Architect

ACCEPTED:

BY
Contractor



Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

2008-0132

1. Applicant Information

CITY OF PORTLAND

Applicant/Owner

389 CONGRESS ST., PORTLAND 04101

Mailing Address

STEVE WEATHERHEAD,
WINTON SCOTT ARCHITECTS

Consultant/Agent

774-4811 / 774-3083 /

Phone

Fax

Cell

2. Project Information

8/28/08

Application Date

CITY OF PORTLAND PUBLIC SAFETY BLDG -
CRIME LAB PROJECT

Project Name/Description

109 MIDDLE ST., PORTLAND

Address of Proposed Site

28-N-001001

Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development:

CONVERSION OF EXISTING GYMNASIUM WITHIN THE POLICE STATION TO
2 FLOORS OF BUSINESS USE SPACE INCLUDING LOCKER RM, WORKOUT RM,
OFFICES, CRIME LAB FACILITIES, & STORAGE.

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>YES</u>	<u>✓</u>
b) Footprint Increase Less Than 500 sq. ft.	<u>YES</u>	<u>✓</u>
c) No New Curb Cuts, Driveways, Parking Areas	<u>YES</u>	<u>✓</u>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>YES</u>	<u>✓</u>
e) No Additional Parking/No Traffic Increase	<u>YES - (SEE ATTACHED)</u>	<u>✓</u>
f) No Known Stormwater Problems	<u>YES</u>	<u>✓</u>
g) Sufficient Property Screening Exists	<u>YES</u>	<u>SEP - 8 2008</u> <u>✓</u>
h) Adequate Utilities	<u>YES</u>	<u>✓</u>

Planning Division Use Only

Exemption Granted X Partial Exemption Exemption Denied

Planner's Signature Barbara Barchydt Date Sept. 6, 2008

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW**

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

August 28, 2008

Mr. Alex Jaegerman
Director of Planning, City of Portland
389 Congress Street
Portland, ME 04101

Re: Police Crime Lab Project – Parking impact.

Dear Alex,

I am writing to address item e of the Application for Exemption from Site Plan Review regarding parking/traffic increases resulting from the proposed renovations to the Public Safety Building.

The space we are renovating is currently a gymnasium with a floor area of approximately 5,500 s.f. When the gym was active it was utilized by many outside groups including Parks & Rec., and various community leagues. The renovations will convert the gym floor and add a second floor producing a total area of 11,000 s.f. of business use. However, the proposed uses for the lower floor are made up almost entirely of uses that are being relocated from other parts of the building (Officer's Locker Room, Workout Room, Records dept.). The officer's locker room and work out room are currently located in the basement and will be converted to storage space.

If I remove the square footage of spaces in the renovated area that already exist elsewhere in the building and will be converted to storage, the new area available as business use as a result of the renovation is 7,500 s.f.

Based on the parking requirements listed in Article 20 of the Zoning Ordinance the original gym would have required one parking space per 100 s.f. (Assembly Use) which equals $5,500/100 = 55$ parking spaces. If this is compared with a parking requirement of one space per 400 s.f. (Business Use) for the renovated space it equals $7,500/400 = 19$ spaces. Even if there is no "crediting" of spaces that currently exist in the building, the total renovated space of 11,000 s.f. yields a requirement for 28 parking spaces. Either scenario is significantly lower than what the gym use would generate.

From a traffic standpoint, the only increase of cars coming to the site will be those people coming from other municipalities to use the shared Crime Lab facility. It is our contention that this increase is more than offset by the deactivation of the gymnasium.

Based on this analysis, it is my opinion that the project meets the requirements of item e in the Application for Exemption from Site Plan review. If you have any questions or need any additional information, please do not hesitate to call.

Regards,



Stephen Weatherhead, Associate
Winton Scott Architects

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- The final report of Special Inspections shall be submitted prior to the final inspection or issuance of the Certificate of Occupancy

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



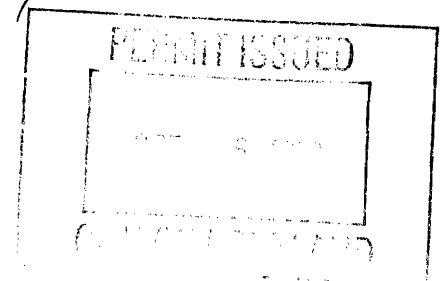
Signature of Applicant/Designee

Date



Signature of Inspections Official

Date



B E C K E R
structural engineers, inc

Statement of Special Inspections

City of Portland
Public Safety Building – Crime Lab Project
Portland, Maine
September 18, 2008

Statement Prepared by
Structural Engineer of Record
Becker Structural Engineers, Inc.
75 York Street
Portland, ME 04101
207. 879. 1838

Owner
City of Portland
Portland, ME

Architect of Record
Winton Scott Architects
5 Milk St.
Portland, ME 04101
207. 774. 4811

Contractor
H.E. Callahan Construction Co.
PO Box 677
Auburn, ME 04212
207. 784. 6927

Special Inspections – Exhibit A

Statement of Special Inspections
List of Agents
Final Report of Special Inspections
Special Inspector/Agent Report

Statement of Special Inspections - Exhibit A

Project: *Public Safety Building -Crime Lab Project*

Location: *109 Middle St., Portland, Maine*

Owner: *City of Portland, Maine*

This *Statement of Special Inspections* encompass the following discipline:

Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

Design Professional in Responsible Charge: *Daniel S. Burne, P.E.*

Firm Name: *Becker Structural Engineers, Portland, ME*

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

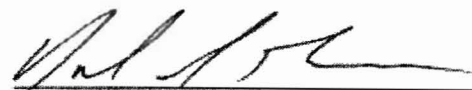
Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

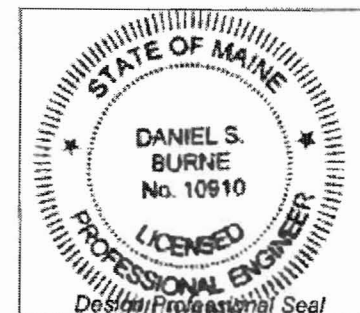
Prepared by:

Daniel S. Burne, P.E.

(type or print name of the Structural Registered Design Professional in Responsible Charge)


 Signature

9-18-08
 Date



Owner's Authorization:

Building Code Official's Acceptance:

Signature

Date

Signature

Date

Statement of Special Inspections (Continued) - Exhibit A

List of Agents

Project: *Public Safety Building -Crime Lab Project*

Location: *109 Middle St., Portland, Maine*

Owner: *City of Portland, Maine*

This *Statement of Special Inspections* encompass the following discipline:

- Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Cold-Formed Steel Framing |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Wood Construction | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Structural Special Inspection Coordinator (SSIC)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com</i>
2. Special Inspector (SI 1)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com</i>
3. Special Inspector (SI 2)	<i>N/A</i>	
4. Testing Agency (TA 1)	<i>To Be Determined</i>	
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Statement of Special Inspections (Continued) - Exhibit A

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: *Public Safety Building -Crime Lab Project*

Location: *109 Middle St., Portland, Maine*

Owner: *City of Portland, Maine*

Owner's Address: *City Hall
Portland, Maine*

Architect of Record: *Steve Weatherhead* *Winton Scott Architects*
(name) (firm)

Structural Registered Design

Professional in Responsible Charge: *Daniel S. Burne, P.E.* *Becker Structural Engineers*
(name) (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date

Licensed Professional Seal

Statement of Special Inspections (Continued) - Exhibit A
Special Inspector's/Agent's Final Report

Project: *Public Safety Building -Crime Lab Project*
 Special Inspector
 or Agent:

Designation: TAI

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
 Special Inspector or Agent:

 (Type or print name)

 Signature

 Date

SEAL NOT REQUIRED FOR
 TESTING AGENCY

Licensed Professional Seal
 or
 Certification Number

Special Inspections – Exhibit B

Qualifications of Inspectors and Test Agency

List of Minimum Qualifications

Schedule of Structural Inspections

Schedule of Special Inspections - Exhibit B

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
----------	----------------------------

Other

Schedule of Special Inspections – Exhibit B
CONCRETE CONSTRUCTION

©Becker Structural Engineers, Inc. 2005

Project: Public Safety Building -- Crime Lab Project
 Date Prepared: 09/18/2008

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.4							
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318: 3.5, 7.1-7.7	SII	PE/SE or EIT		
2. Inspection of reinforcing steel welding in accordance with Table 1704.3, Item 5B	N		Welding of Reinf Not Allowed	TAI	AWS-CWI		
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased	N	C	IBC 1912.5	SII	PE/SE or EIT		
4. Verifying use of required design mix	Y	P	ACI 318: Ch 4, 5.2-5.4	SII	PE/SE or EIT		
5. At time fresh concrete is sampled to fabricate specimens for strength test, perform slump and air content test and temperature	Y	C	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	TAI	ACI-CFTT or ACI-STT		
6. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	SII	PE/SE or EIT		
7. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	SII	PE/SE or EIT		
8. Inspection of Prestressed Concrete							
a. Application of prestressing force.	N	C	ACI 318: 18.20	SII	PE/SE or EIT		
b. Grouting of bonded prestressing tendons in seismic force resisting system	N	C	ACI 318: 18.18.4	SII	PE/SE or EIT		
9. Erection of precast concrete members	N	P	ACI 318: Ch 16	SII	PE/SE or EIT		
10. Verification of in-situ concrete strength, prior to stressing of tendons in post-tensioned concrete and prior to removal of shores and forms beams and structural slabs	N	P	ACI 318: 6.2	TAI	ACI-STT		

Concrete Construction has been reviewed in accordance with section 1704.4 of the IBC Code

Special Inspector _____

Date _____

Page of _____

Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: Public Safety Building – Crime Lab Project
Date Prepared: 09/18/2008

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
1. Material verification of high-strength bolts, nuts and washers:							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material specifications; AISC 335, Section A3.4; AISC LRFD, Section A3.3	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT		
2. Inspection of high-strength bolting							
a. Bearing-type connections.	Y	P	AISC LRFD Section M2.5	TAI	AWS/AISC-SSI		
b. Slip-critical connections.	Y	C or P (method dependent)	IBC Sect 1704.3.3	TAI	AWS/AISC-SSI		
3. Material verification of structural steel (IBC Sect 1708.4):							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
b. Manufacturers' certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
4. Material verification of weld filler materials:							
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector _____

Date _____

Page of _____

Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: Public Safety Building – Crime Lab Project
Date Prepared: 09/18/2008

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project	Y	S	AWS D1.1	SII	PE/SE or EIT		
6. Inspection of welding (IBC 1704.3.1):							
a. Structural steel:							
1) Complete and partial penetration groove welds.	Y	C	AWS D1.1	TA1	AWS-CWI		
2) Multipass fillet welds.	Y	C		TA1	AWS-CWI		
3) Single-pass fillet welds > 5/16"	Y	C		TA1	AWS-CWI		
4) Single-pass fillet welds < 5/16"	Y	P		TA1	AWS-CWI		
5) Floor and Roof deck welds.	Y	P	AWS D1.3	TA1	AWS-CWI		
b. Reinforcing steel (IBC Sect 1903.5.2):							
1) Verification of weldability of reinforcing steel other than ASTM A706.	N		Welding of Reinforcement not permitted	N/A			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	N	C	AWS D1.4 ACI 318. 3.5.2	TA1	AWS-CWI		
3) Shear reinforcement.	N	C		TA1	AWS-CWI		
4) Other reinforcing steel.	N	P		TA1	AWS-CWI		
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:							
a. Details such as bracing and stiffening.	Y	P		SII	PE/SE or EIT		
b. Member locations.	Y	P		SII	PE/SE or EIT		
c. Application of joint details at each connection.	Y	P		SII	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector

Date

Page of

Schedule of Special Inspection Services – Exhibit B
FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

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Project: Public Safety Building – Crime Lab Project
 Date Prepared: 09/18/2008

VERIFICATION AND INSPECTION IBC Section 1704.2	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. AISC or SSFNE Certification	Y	S	Fabricator shall submit one of the two qualifications	SII	PE/SE or EIT		
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	SII	PE/SE or EIT		

Fabricator Qualifications have been reviewed in accordance with section 1704.2 of the IBC Code

Special Inspector _____

Date _____

Page of _____

Special Inspections – Exhibit C

Quality Assurance for Seismic Resistance Seismic Checklist
Quality Assurance for Seismic Resistance Wind Checklist
Schedule of Inspections

Quality Assurance Plan – Exhibit C

Page C1

QUALITY ASSURANCE FOR SEISMIC RESISTANCE CHECK LIST [IBC 1705]

Project: Public Safety Building – Crime Lab Project

Date Prepared: 09/18/2008

SEISMIC DESIGN CATEGORY: C

QUALITY ASSURANCE PLAN REQUIREMENTS

(A Quality Assurance Plan, enacted through the Special Inspections requirements for this project, are in place for the following systems)

FOR SEISMIC DESIGN CATEGORY C OR HIGHER:

Structural:

- The seismic-force-resisting systems
- Steel Braced Frames and associated connections/anchorage
 - Steel Moment Frames and associated connections
 - Shear walls: CMU Wood Concrete Diaphragms: Floor Roof
 - Other:

SER

Mechanical/Piping:

- Heating, ventilating and air-conditioning (HVAC) ductwork containing hazardous materials and anchorage of such ductwork
- Hazardous Material:
- Hazardous Material:
- Piping systems and mechanical units containing flammable, combustible or highly toxic materials
- Material:
- Material:

MER

Electrical:

- Anchorage of electrical equipment used for emergency or standby power systems
- Equipment:
- Equipment:
- Equipment:

EER

ADDITIONAL SYSTEMS FOR SEISMIC DESIGN CATEGORY D OR HIGHER:

Architectural:

- Exterior wall panels and their anchorage
 - Precast Concrete
 - Brick
 - Stone:
 - Other:
- Suspended ceiling systems and their anchorage
- Access floors and their anchorage
- Steel storage racks and their anchorage
 - Retail Storage Racks
 - High Density Files
 - Other:
- Life-safety component required to function after an earthquake:
 - Engineered Egress Stairs
 - Fire Protection Sprinkler System
 - Other:
 - Other:
 - Other:

RAR

NOT REQ'D - SDC C

ADDITIONAL SYSTEMS FOR SEISMIC DESIGN CATEGORY D OR HIGHER:

Electrical:

- Electrical equipment

EER

Structural Engineer of Record (SER):

Registered Architect of Record (RAR):

Signature _____ Date _____
Mechanical Engineer of Record (MER):

Signature _____ Date _____
Electrical Engineer of Record (EER):

Signature _____ Date _____
Building Code Official's Acceptance:

Signature _____ Date _____

Signature _____ Date _____

Quality Assurance Plan – Exhibit C

Page C2

QUALITY ASSURANCE FOR WIND REQUIREMENTS CHECK LIST [IBC 1706]

Project: Waynflete Arts Center Phase II, Portland, ME

Date Prepared: 09/17/2007

Wind Exposure: B

REQUIRED	NOT REQUIRED	NOT APPLICABLE	QUALITY ASSURANCE PLAN REQUIREMENTS (A Quality Assurance Plan is required where indicated below)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In wind exposure Categories A and B, where the 3-second-gust basic wind speed is 120 miles per hour (mph) (52.8 <i>m/sec</i>) or greater.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	In wind exposure Categories C and D, where the 3-second-gust basic wind speed is 110 mph (49 <i>m/sec</i>) or greater.

Prepared by:

Building Code Official's Acceptance:

Signature

Date

Signature

Date

Schedule of Special Inspections – Exhibit C
SEISMIC RESISTANCE - STRUCTURAL

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Project: Public Safety Building – Crime Lab Project
 Date Prepared: 09/18/2008

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1707							
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following:			Seismic Design Category: C				
a. The seismic-force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	Y	P	IBC 1707.1	SI	PE/SE or EIT		
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	N	P	IBC 1707.2	TAI	AWS-CWI		
3. Structural wood:							
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system.	Y	C	IBC 1707.3	SI	PE/SE or EIT		
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including drag struts, braces and hold-downs	Y	P	IBC 1707.3	SI	PE/SE or EIT		
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including struts, braces, and hold-downs	N	N	CFSF for this project not part of the primary seismic-force resisting system				
4. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	N	N	IBC 1707.8 Seismic isolators not used				

Structural Seismic Resistance has been reviewed in accordance with section 1707 of the IBC Code

Special Inspector _____

Date _____

Page X of X

Special Inspections – Exhibit D

Contractor's Statement of Responsibility

Fabricator's Certificate of Compliance – Exhibit D

Each approved fabricator that is exempt from Special Inspection of shop fabrication and implementation procedures per section 1704.2 of the International Building Code must submit a *Fabricator's Certificate of Compliance* at the completion of fabrication.

Project:

Fabricator's Name:

Address:

Certification or Approval Agency:

Certification Number:

Date of Last Audit or Approval:

Description of structural members and assemblies that have been fabricated:

I hereby certify that items described above were fabricated in strict accordance with the approved construction documents.

Signature

Date

Title

Attach copies of fabricator's certification or building code evaluation service report and fabricator's quality control manual

Contractor's Statement of Responsibility –Exhibit D

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. Make additional copies of this form as required.

Project:

Contractor's Name:

Address:

License No.:

Description of designated building systems and components included in the Statement of Responsibility:

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

Signature

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

End of Statement of Special Inspections

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

September 29, 2008

Ms. Genie Bourke
Code Enforcement Officer
City of Portland
389 Congress Street
Portland, ME 04101

028-N-001

OCT 3 2008

RE: Building Permit Application – City of Portland Public Safety Building- Crime Lab Project

Dear Genie,

I am in receipt of a Building Permit status report issued by the City to the contractor for the above named project. There are 8 review comment items listed under the Fire Dept. review section completed by Captain Cass. I am writing to address these to assure that the permit can be issued as soon as possible.

1) *Walls in structure are to be labeled according to fire resistance rating. ie; 1 hr. / 2 hr. / smoke proof*

Answer: See attached plans.

2) *Non-combustible construction of this structure requires all construction to be non-combustible.*

Answer: All construction is made of noncombustible materials with the following exceptions:

- Blocking in walls for toilet accessories, grab bars etc.
- Plywood nailing surface at sloped wall to allow for attachment of metal roofing.
(Plywood is outboard of metal decking) Sheet A7.
- Roof insulation/membrane
- Rigid foam insulation at new exterior walls

Per I.B.C.

OK JMB

PLEASE ADVISE:

Per 2003 IBC -Section 603 "Combustible Material in Type I & Type II Construction, allowable materials listed include wood blocking; roofing assemblies consisting of foam insulation and EPDM membrane that achieve a Class A,B, or C rating (per Chapter 26 - Plastic); foam thermal insulation placed between two layers of noncombustible materials without an intervening air space provided that the foam has a flame spread rating not more than 100; Combustible exterior wall coverings.

I believe we have met the requirements of IBC because wood blocking is allowed; the plywood at the sloped roof is outboard of the metal decking (See sheet A7) so I would classify it as a combustible exterior covering; The roofing insulation and membrane achieve a Class A rating; and the rigid foam insulation at the new exterior walls is sandwiched between non-combustible materials- gypsum sheathing and metal siding.

I am not aware of any detailed requirements addressing this issue in NFPA.

Please advise me if you think I have misunderstood these requirements or if you are aware of other requirements set forth in NFPA that may be more restrictive.

3) *All means of egress to remain accessible at all times.*

Answer: All means of egress within the existing building will remain accessible at all times during the construction period with the exception of the existing stair at the gymnasium. This stair serves only the existing gymnasium so it has no impact on the occupied portion of the building. The gym stair will remain clear during the construction period except for when construction activities within the stair related to its vertical expansion prevent or limit its use by construction workers. A temporary partition and exit door leading into the existing building corridor will be accessible at all times to provide construction workers with access to means of egress within the occupied part of the building at all times.

4) *Occupancies with an Occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.*

Answer: PLEASE ADVISE. Per 2006 NFPA 7.2.1.7 Panic Hardware and Fire Exit Hardware, Business Occupancies are not listed as being required to have panic hardware. Is this a City requirement? Or is it described elsewhere in the code? *not Req - per Greg C.*

5) *The Fire Alarm & Sprinkler Systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.*

Answer: The sprinkler & Fire alarm contractors are required by the project specifications to submit to the State Fire marshal's office and the Portland Fire Department for review and approval, shop drawings and a complete description of all system components and hydraulic calculations confirming complete compliance with NFPA requirements.

6) *The Fire Alarm System shall comply with NFPA 72.*

Answer: In the project specifications, on page 1 of section 16721–Intelligent Reporting Fire Detection System, Article B states that the system installed shall comply with NFPA Standard No. 72 for Protected Premises Signaling Systems.

7) *The Sprinkler System shall be installed in accordance with NFPA 13.*

Answer: In the project specifications, on page 2 of section 15710 –Fire Sprinklers, it states that the contractor is required to install a system that meets the standards of the most recent edition of the NFPA's NFPA 13 – Standard for the Installation of Sprinkler Systems.

8) *Application requires State Fire Marshal approval.*

Answer: The project has been reviewed by the Fire Marshal and a permit has been issued. A copy of this permit was forwarded to your office in my last correspondence to you dated 9/22/08.

I am not clear on Items 2 and 4 above and need to have additional direction from Captain Cass's office to determine what changes to the project are required to best address these issues. It is my understanding that Captain Cass will be out of the office for the next two weeks. As these issues relate to construction activities that will not commence for quite some time, I'm hoping that the building permit can be released as soon as possible with the understanding that the items identified by Captain Cass will be addressed to his satisfaction.

Best Regards,

A handwritten signature in black ink, appearing to read "Steve Weatherhead". The signature is fluid and cursive, with the first name "Steve" written in a stylized, somewhat abbreviated manner, and the last name "Weatherhead" written in a more standard cursive script.

Steve Weatherhead, Associate
Winton Scott Architects

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1031	Date Applied For: 08/27/2008	CBL: 028 N001001
-----------------------	---------------------------------	---------------------

Location of Construction: 109 MIDDLE ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: HE Callahan Construction Co.	Contractor Address: 664 Turner Rd Auburn	Phone (207) 784-6927
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: City of Portland Police Dept Crime Lab - Renovate including roof work approximately 6,000 sq ft Space into Crime Lab	Proposed Project Description: Renovate including roof work approximately 6,000 sq ft Space into Crime Lab
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/27/2008

Note:**Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building**Status:** Pending**Reviewer:****Approval Date:****Note:****Ok to Issue:** **Dept:** Fire**Status:** Approved with Conditions**Reviewer:** Capt Greg Cass**Approval Date:** 09/02/2008**Note:****Ok to Issue:**

- 1) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 2) Non- combustable construction of this structure requires all construction to be Non-combustable.
- 3) All means of egress to remain accessible at all times
- 4) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 6) The fire alarm system shall comply with NFPA 72
- 7) The sprinkler system shall be installed in accordance with NFPA 13.
- 8) Application requires State Fire Marshal approval.

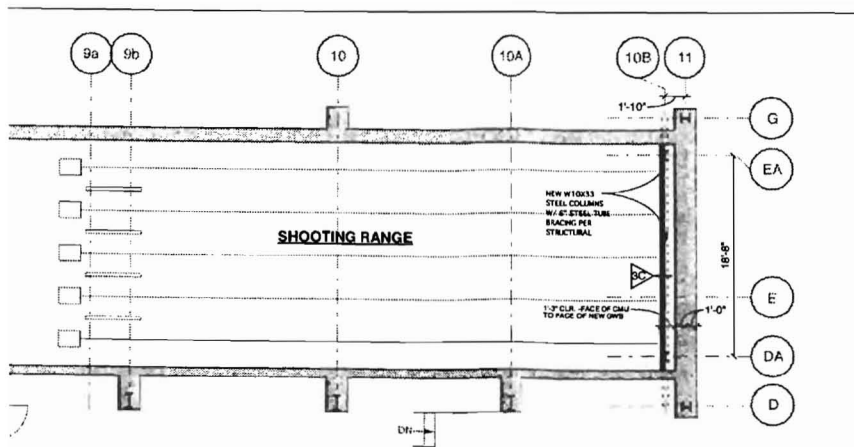
Greg Cass
- 874-8405 -

Comments:

8/27/2008-ldobson: Per Penny Littell Fees waived for this project E-mail dated 8/22/08

8/27/2008-mes: Called David LePage @ H.E. Callahan Construction to apply for a site plan exemption concerning this work. The footprint is not being enlarged but the envelope of the building is being bumped out on the third floor to add more space. I gave Alex Jaegerman's number to David L. HOLD PERMIT UNTIL PLANNING SIGNS OFF.

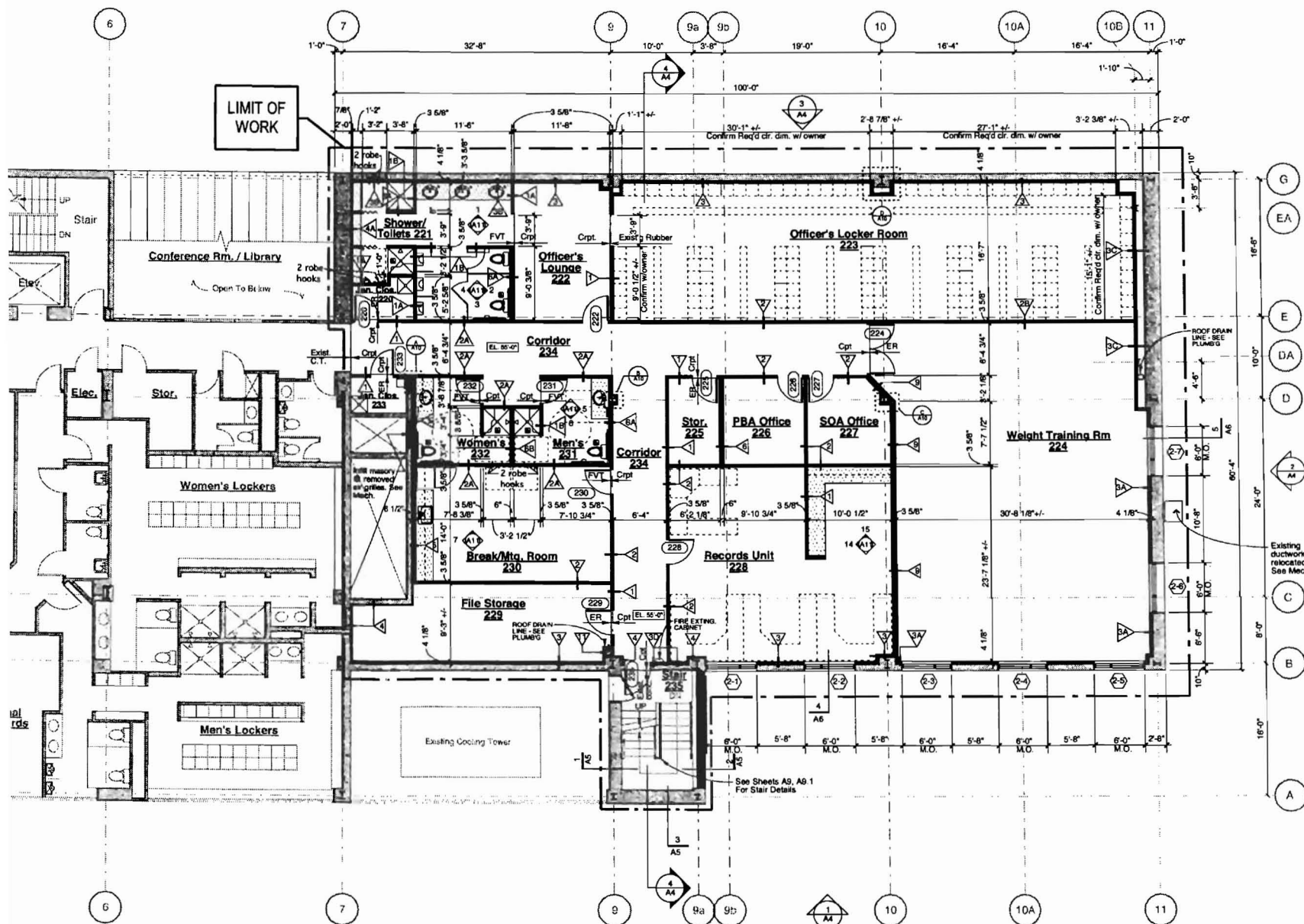
9/11/2008-gg: received granted site exemption on 9/8/08. Gg filed with permit (Tammy)



LEGEND

- INDICATES NEW PARTITION
- INDICATES NEW PARTITION WITH 2 HOUR RATING
- INDICATES EXIST'G WALL TO REMAIN
- INDICATES FURNITURE AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY OWNER
- INDICATES NEW BUILT-IN CABINETS
- DOOR NUMBER
- WINDOW NUMBER

PARTIAL FIRST FLOOR CONSTRUCTION PLAN



SECOND FLOOR CONSTRUCTION PLAN



City of Portland
PUBLIC SAFETY BUILDING
 Crime Lab Project

Winton Scott Architects
 5 Milk Street
 Portland, ME 04101

Becker Structural Engineers, Inc.
 75 York Street
 Portland, Maine 04101








Mechanical Systems Engineers
 10 Royal River Center
 Yarmouth, Maine 04096

Bartlett Design
 942 Washington St.
 Bath, ME 04530

SECOND FLOOR
 CONSTRUCTION PLAN

A1

LEGEND

-  INDICATES NEW PARTITION
-  INDICATES NEW PARTITION WITH 2 HOUR RATING
-  INDICATES EXIST'G WALL TO REMAIN
-  INDICATES FURNITURE AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY OWNER
-  INDICATES NEW BUILT-IN CABINETRY
-  DOOR NUMBER
-  WINDOW NUMBER



**City of Portland
PUBLIC SAFETY BUILDING
Crime Lab Project**

**Winton Scott
Architects**
5 Milk Street
Portland, ME 04101

**Becker Structural
Engineers, Inc.**
75 York Street
Portland, Maine 04101

**Mechanical
Systems
Engineers**
10 Royal River Center
Yarmouth, Maine 04096

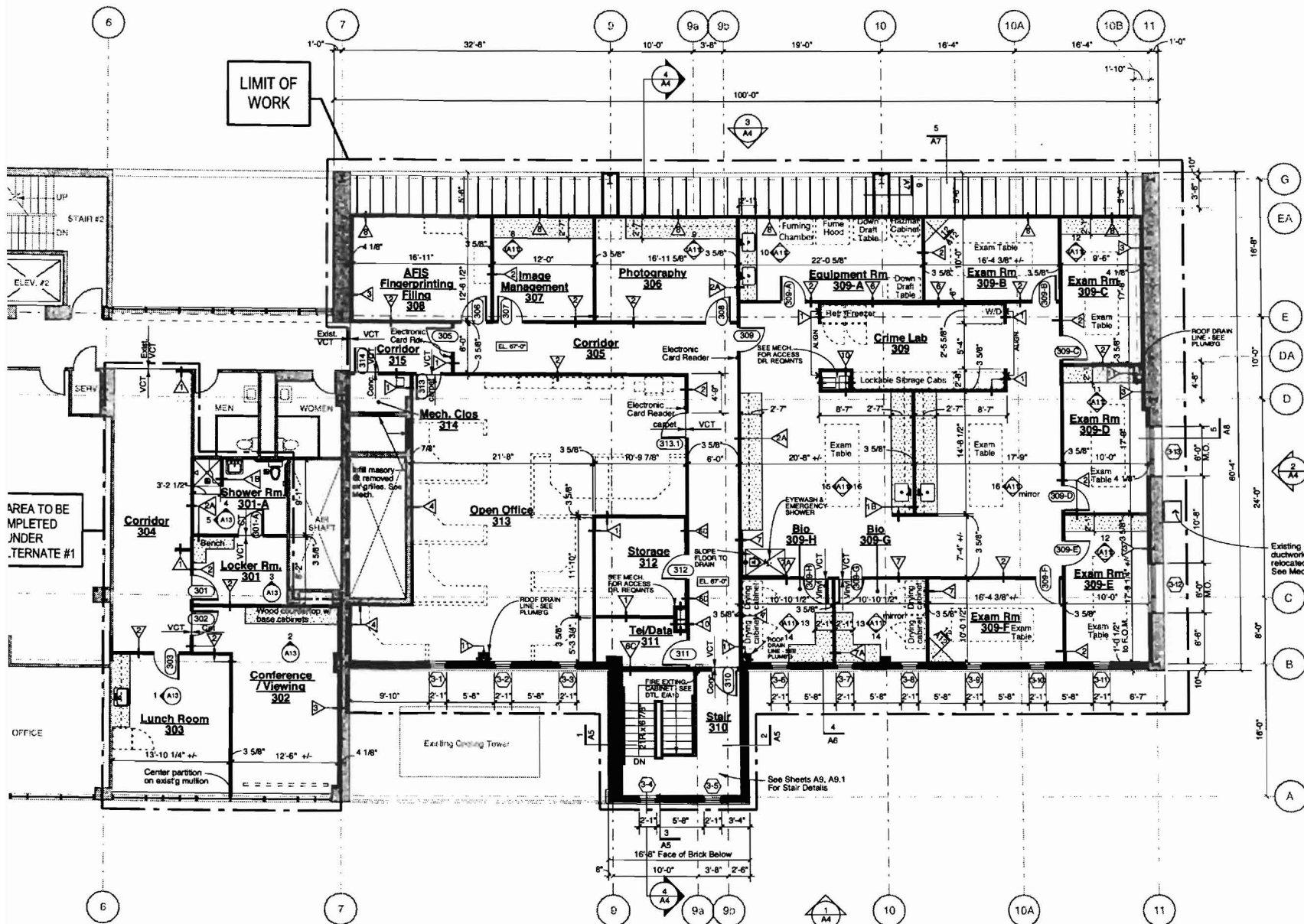
Bartlett Design
942 Washington St.
Bath, ME 04530

THIRD FLOOR
CONSTRUCTION PLAN

A2

Scale: 1/8"=1'-0"

Date: 6.16.08



THIRD FLOOR CONSTRUCTION PLAN





City of Portland
PUBLIC SAFETY BUILDING
 Crime Lab Project

Winton Scott Architects
 5 Milk Street
 Portland, ME 04101

Becker Structural Engineers, Inc.
 75 York Street
 Portland, Maine 04101

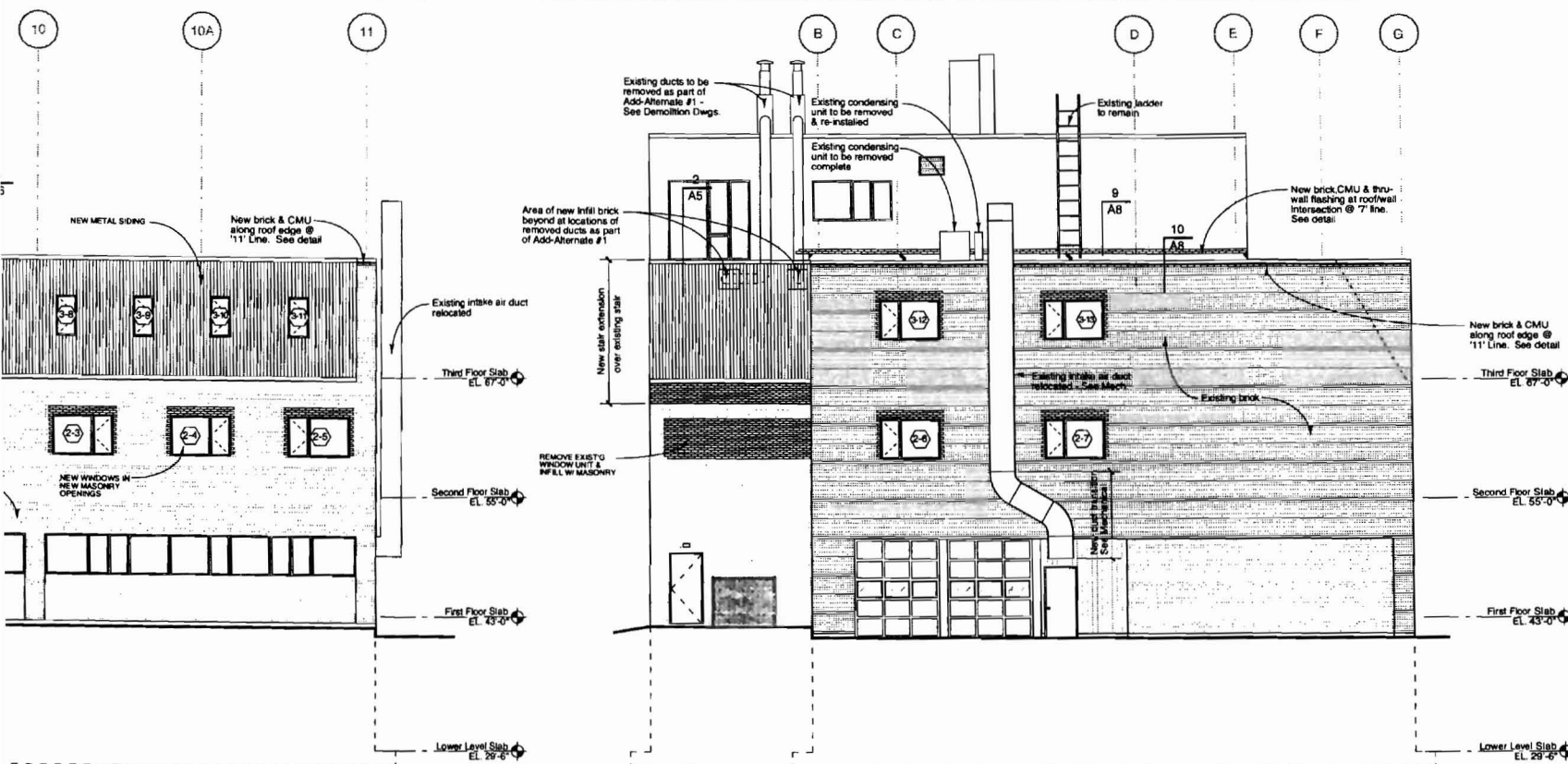
Mechanical Systems Engineers
 10 Royal River Center
 Yarmouth, Maine 04096

Bartlett Design
 942 Washington St.
 Bath, ME 04530

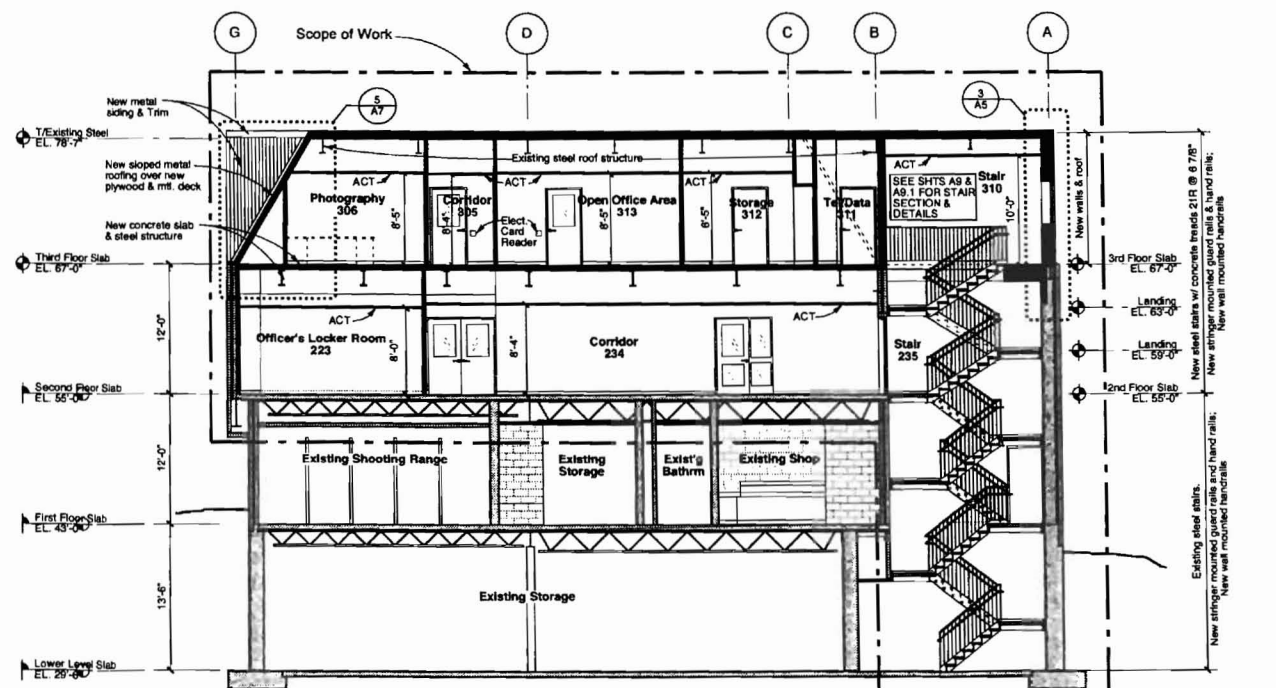
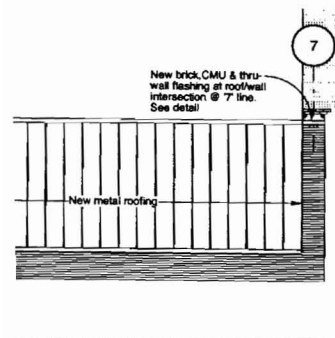
EXTERIOR ELEVATIONS
 BUILDING SECTION
 & WINDOW SCHEDULE

A4

Scale: 1/8" = 1'-0" Date: 6.16.08



2 West Elevation
 1/8" = 1'-0"



4 Building Section
 1/8" = 1'-0"

