

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 030176

Please Read
Application And
Notes, If Any,
Attached

PERMIT

This is to certify that City Of Portland/City of Portland
has permission to Interior Partition Work/ Lighting Sprinkler/Ductwork Finishes to First Floor Office area
AT 109 Middle St L 028 N001001

provided that the person or persons in charge of the work on accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. GMM
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 3/17/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0176	Issue Date:	CBL: 028 N001001
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Location of Construction: 109 Middle St	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone: 233-0350
Business Name:	Contractor Name: City of Portland	Contractor Address: 389 Congress Street Portland	Phone: 2078748300
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Public Safety Building/Police	Proposed Use: Public Safety Building/Police	Permit Fee: \$0.00	Cost of Work:	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2C 3/2/03 <i>[Signature]</i>	

Proposed Project Description: Interior Partition Work/Lighting Sprinklers/Alarm/Ductwork/Finishes to First Floor Office area	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gad	Date Applied For: 03/11/2003	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>OK 3/11/03</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date:</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: <i>S</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0176	Date Applied For: 03/11/2003	CBL: 028 N001001
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Location of Construction: 101 Middle St	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone: () 233-0350
Business Name:	Contractor Name: City of Portland	Contractor Address: 389 Congress Street Portland	Phone (207) 874-8300
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Public Safety Building/Police Interior Partition Work/Lighting Sprinklers/Alarm/Ductwork/Finishes to First Floor Office area	Proposed Project Description: Interior Partition Work/ Lighting Sprinklers/ Alarm /Ductwork /Finishes to First Floor Office area
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 03/11/2003
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 03/17/2003
Note: **Ok to Issue:**

1) Separate permits are required for Fire Supression systems, electrical and Plumbing.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 03/12/2003
Note: **Ok to Issue:**

- 1) the sprinkler system and fire alarm system shall be tested in accordance with NFPA standards and the results submitted to the Portland Fire Department
- 2) the fire alarm system shall be maintained to NFPA 72 standards
- 3) the sprinkler system shall be installed in accordance with NFPA 13 standards



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: WINTON SCOTT ARCHITECTS

Address of Project: MIDDLE ST. PORTLAND

Nature of Project: PORTLAND PUBLIC SAFETY

BUILDING - INTERIOR RENOVATIONS

Date: 3/6/03

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)

Signature: [Handwritten Signature]

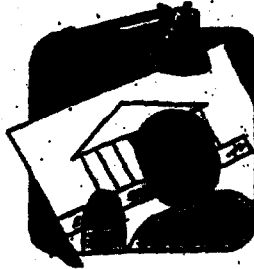
Title: Senior Project Architect

Firm: Winton Scott Architects

Address: 5 MILK ST.

PORTLAND, ME 04101

Telephone: 207-774-4811



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Winton Scott Architects
5 Milk St. Portland ME 04101

DATE: March 6, 2003

Job Name: Portland Public Safety Building - Interior Renovations

Address of Construction: Middle St., Portland

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth Edition

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) BUSINESS
Type of Construction 2C Bldg. Height 4 Stories Bldg. Sq. Footage 15,325 PER FL. +/-
Seismic Zone * N/A Group Class * N/A
Roof Snow Load Per Sq. Ft. * N/A Dead Load Per Sq. Ft. * N/A
Basic Wind Speed (mph) * N/A Effective Velocity Pressure Per Sq. Ft. * N/A
Floor Live Load Per Sq. Ft. * N/A

Structure has full sprinkler system? Yes No X (Partly) Alarm System? Yes X No No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No X
If mixed use, what subsection of 313 is being considered N/A

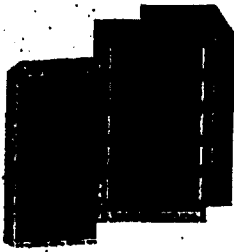
List Occupant loading for each room or space, designed into this Project.

* Not Applicable - No exterior or structural work undertaken in this project.

(Designer's Stamp & Signature)

PSH 6/07/2K

Winton Scott
WINTON SCOTT Architects



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Winton Scott Architects

RE: Certificate of Design

DATE: 3/5/03

These plans and/or specifications covering construction work on:

Interior Renovations to
Portland Public Safety Building

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition; and local amendments.

(SEAL)

Signature Agh Weahual

Title Senior Project Architect

Firm Winton Scott Architects

Address 5 Milk St, Portland, ME
04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



State of Maine
Department of Public Safety
Construction Permit



**Not
Reviewed
for Barrier
Free**

12959

**Sprinkled
Sprinkler Supervised**

PORTLAND PUBLIC SAFETY BUILDING RENOVATIONS

Located at: MIDDLE STREET

PORTLAND

Occupancy/Use: BUSINESS

Permission is hereby given to:

**CITY OF PORTLAND
C/O ANITA LACHANCE
389 CONGRESS STREET
PORTLAND, ME 04101**

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provisions of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the -01 th of July 2003

Dated the -01 th day of January A.D. 2003

Commissioner

Copy-2 Architect

Comments: FIRST FLOOR ONLY

**WINTON SCOTT ARCHITECTS
C/O WINTON SCOTT
5 MILK STREET
PORTLAND, ME 04101**

03-0176

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ¹⁰¹⁻¹⁰⁹ MIDDLE ST., PORTLAND		
Total Square Footage of Proposed Structure <i>INTERIOR</i> Renovation of ONE FLR. (15,325 sq ft)		Square Footage of Lot N/A
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 028 N 001	Owner: BOB LEHMAN, FOR CITY OF PORTLAND	Telephone: 233-0350
Lessee/Buyer's Name (if Applicable) N/A	Applicant name, address & telephone: BOB LEHMAN CITY OF PORTLAND 233-0350	Cost Of Work: \$ <u>Fee Waived</u> Fee: \$
Current use: <u>PUBLIC SAFETY BUILDING</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>CURRENT USE UNCHANGED</u>		
Project description: <u>INTERIOR PARTITION WORK, LIGHTING, SPRINKLERS, ALARM, DUCTWORK, FINISHES @ FIRST FLOOR OFFICE AREA.</u>		
Contractor's name, address & telephone: <u>CITY OF PORTLAND</u>		
Who should we contact when the permit is ready: <u>BOB LEHMAN - 233-0350</u>		
Mailing address: <u>389 CONGRESS ST. PORTLAND, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>233-0350</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date:

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

W I N T O N S C O T T A R C H I T E C T S

March 6, 2003

Winton F. Scott, Jr. *Principal*
Mark M. Wilcox *Principal*
Stephen W. Weatherhead *Associate*
Cordelia T. Pitman *Associate*

Mr. Michael Nugent
Inspection Services Manager
City of Portland
City Hall Rm. 315
389 Congress Street
Portland, ME 04101

RE: Construction Permit for Interior Renovations at the Portland Public Safety Building

Dear Mr. Nugent,

At the request of Bob Lehman, I have completed the enclosed permit application forms for the above referenced project.

I have also included a set of 11x17 Construction Drawings and a copy of the State Construction Permit issued by the Fire Marshal's office.

Please note that I previously sent a copy of the "City of Portland Accessibility Certificate" and "City of Portland Building Code Certificate" under separate cover. I had intended to send the entire package at once but inadvertently excluded the drawings and "All purpose Building Permit Application" from the original mailing. I have included in this package copies of the original certificates so the original mailing can be disregarded.

If you have any questions or concerns pertaining to this project, please feel free to give me a call.

Sincerely,



Stephen W. Weatherhead
Associate, Winton Scott Architects



State of Maine
Department of Public Safety
Construction Permit



**Not
Reviewed
for Barrier
Free**

12959

**Sprinkled
Sprinkler Supervised**

PORTLAND PUBLIC SAFETY BUILDING RENOVATIONS

Located at: MIDDLE STREET

PORTLAND

Occupancy/Use: BUSINESS

Permission is hereby given to:

CITY OF PORTLAND
C/O ANITA LACHANCE
389 CONGRESS STREET
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provisions of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 th of July 2003

Dated the 01 th day of January A.D. 2003

Commissioner

Copy-2 Architect

Comments: FIRST FLOOR ONLY

WINTON SCOTT ARCHITECTS
C/O WINTON SCOTT
5 MILK STREET
PORTLAND, ME 04101

PORTLAND PUBLIC SAFETY BUILDING

Interior Renovations Project

City of Portland
389 Congress Street

December 20, 2002

DRAWING LIST

Sheet Name	Number
Construction Logistics Plan	L 1
First Floor Demolition Plan	D 1
First Floor Plan	A 1
First Floor Reflected Ceiling Plan	A 2
Schedules	A 3
Interior Elevations & Details	A 4
First Floor Plumbing Plan	P 1
First Floor Mechanical Demolition	MD1
First Floor Mechanical Plan	M 1
Mechanical Details & Schedules	M 2
Electrical Details	E1
First Floor Power	E2
First Floor Lighting	E3

ARCHITECT:

Winton Scott Architects
5 Milk Street
Portland, Maine 04101

T. 207.774.4811
F. 207.774.3083

MECHANICAL ENGINEER:

Mechanical Systems Engineers
Royal River Center, Unit 10
10 Forest Falls Drive
Yarmouth, ME 04096

T. 207.865.9475
F. 207.865.1800

ELECTRICAL ENGINEER:

Bartlett Design
942 Washington Street
Bath, Maine 04530

T. 207.443.5447
F. 207.443.5560



City of Portland
PUBLIC SAFETY BUILDING
Interior Renovations Project

Winton Scott Architects
5 Milk Street
Portland, ME 04101

Mechanical Systems Engineers
10 Royal River Center
Yarmouth, Maine 04096

Bartlett Design
942 Washington St.
Bath, ME 04530

CONSTRUCTION
LOGISTICS PLAN

L1

Scale: 1/8" = 1'-0" Date: 12/20/02

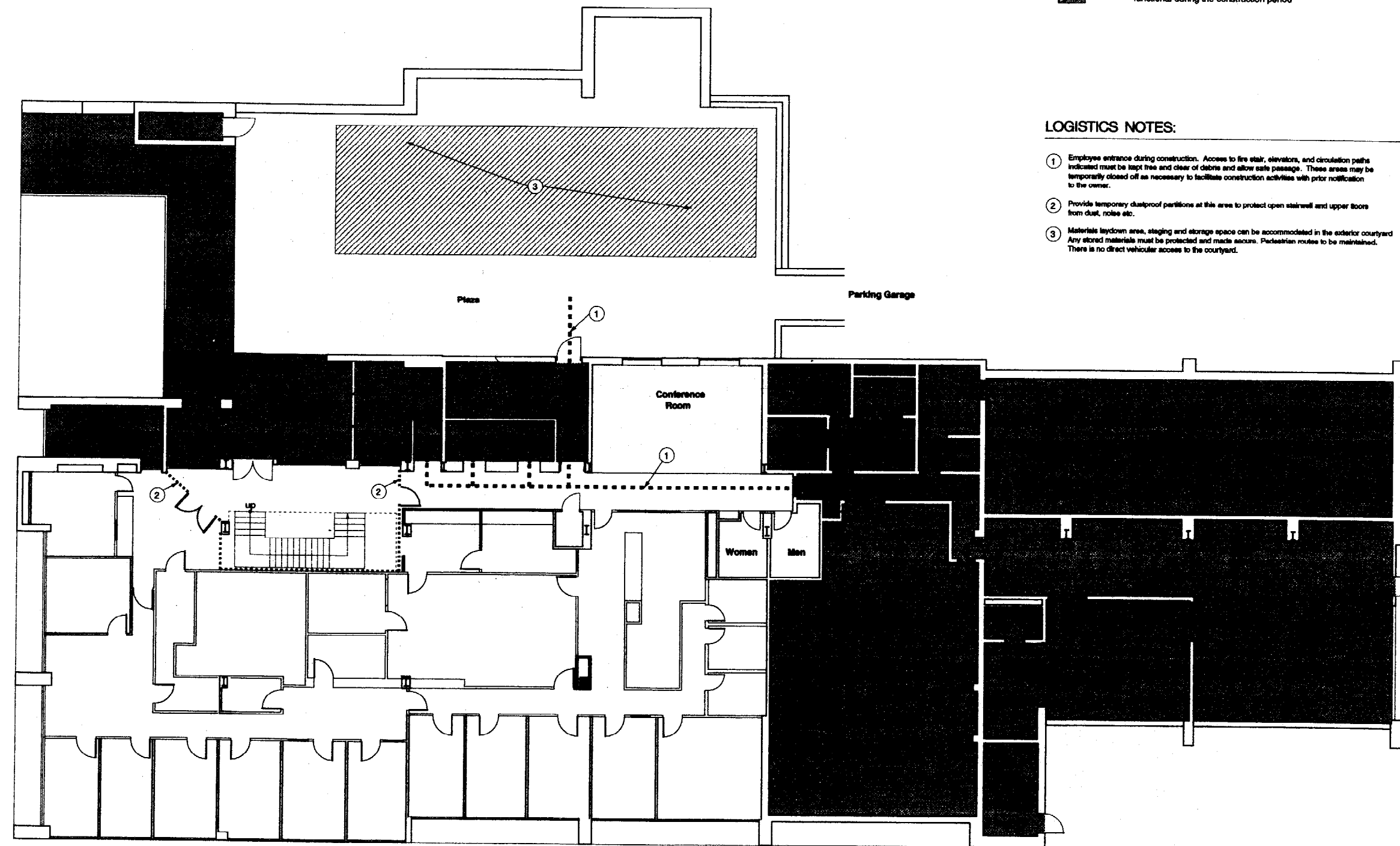
KEY



Shaded areas are areas of building to remain occupied and functional during the construction period

LOGISTICS NOTES:

- ① Employee entrance during construction. Access to fire stair, elevators, and circulation paths indicated must be kept free and clear of debris and allow safe passage. These areas may be temporarily closed off as necessary to facilitate construction activities with prior notification to the owner.
- ② Provide temporary dustproof partitions at this area to protect open stairwell and upper floors from dust, noise etc.
- ③ Materials laydown area, staging and storage space can be accommodated in the exterior courtyard. Any stored materials must be protected and made secure. Pedestrian routes to be maintained. There is no direct vehicular access to the courtyard.



FIRST FLOOR PLAN - Demolition

1/8" = 1'-0"



City of Portland
PUBLIC SAFETY BUILDING
Interior Renovations Project

Winton Scott Architects
5 Milk Street
Portland, ME 04101

Mechanical Systems Engineers
10 Royal River Center
Yarmouth, Maine 404096

Bartlett Design
942 Washington St.
Bath, ME 04530

FIRST FLOOR
DEMOLITION PLAN

D1

Scale: 1/8"=1'-0" Date: 12/20/02

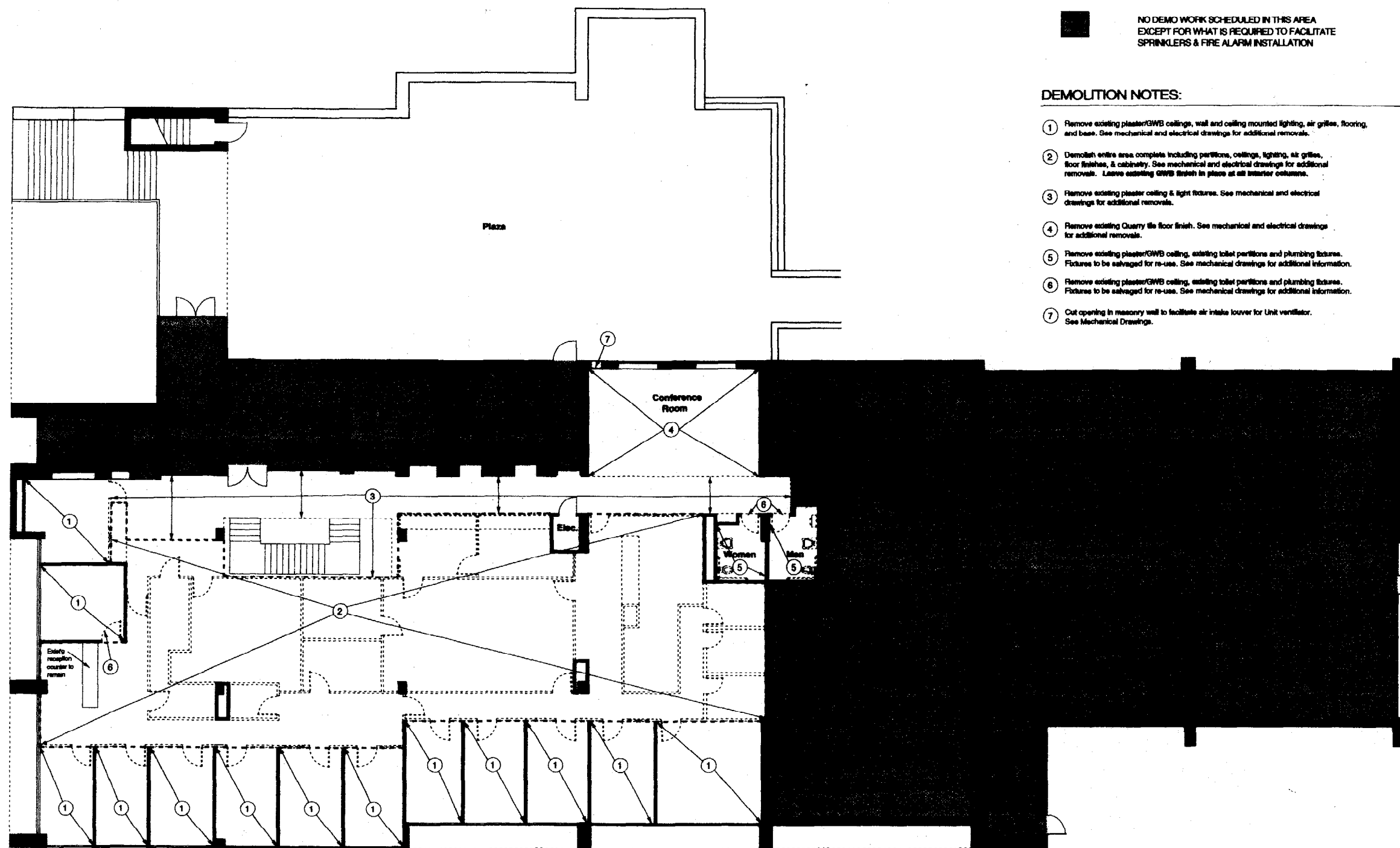
KEY

EXISTING WALL TO REMAIN

NO DEMO WORK SCHEDULED IN THIS AREA EXCEPT FOR WHAT IS REQUIRED TO FACILITATE SPRINKLERS & FIRE ALARM INSTALLATION

DEMOLITION NOTES:

- ① Remove existing plaster/GWB ceiling, wall and ceiling mounted lighting, air grilles, flooring, and base. See mechanical and electrical drawings for additional removals.
- ② Demolish entire area complete including partitions, ceilings, lighting, air grilles, floor finishes, & cabinetry. See mechanical and electrical drawings for additional removals. Leave existing GWB finish in place at all interior columns.
- ③ Remove existing plaster ceiling & light fixtures. See mechanical and electrical drawings for additional removals.
- ④ Remove existing Quarry tile floor finish. See mechanical and electrical drawings for additional removals.
- ⑤ Remove existing plaster/GWB ceiling, existing toilet partitions and plumbing fixtures. Fixtures to be salvaged for re-use. See mechanical drawings for additional information.
- ⑥ Remove existing plaster/GWB ceiling, existing toilet partitions and plumbing fixtures. Fixtures to be salvaged for re-use. See mechanical drawings for additional information.
- ⑦ Cut opening in masonry wall to facilitate air intake louver for Unit ventilator. See Mechanical Drawings.



FIRST FLOOR PLAN - Demolition

1/8" = 1'-0"



City of Portland
PUBLIC SAFETY BUILDING
 Interior Renovations Project

Winton Scott Architects
 5 Milk Street
 Portland, ME 04101

Mechanical Systems Engineers
 10 Royal River Center
 Yarmouth, Maine 04096




Bartlett Design
 942 Washington St.
 Bath, ME 04530

FIRST FLOOR PLAN

A1

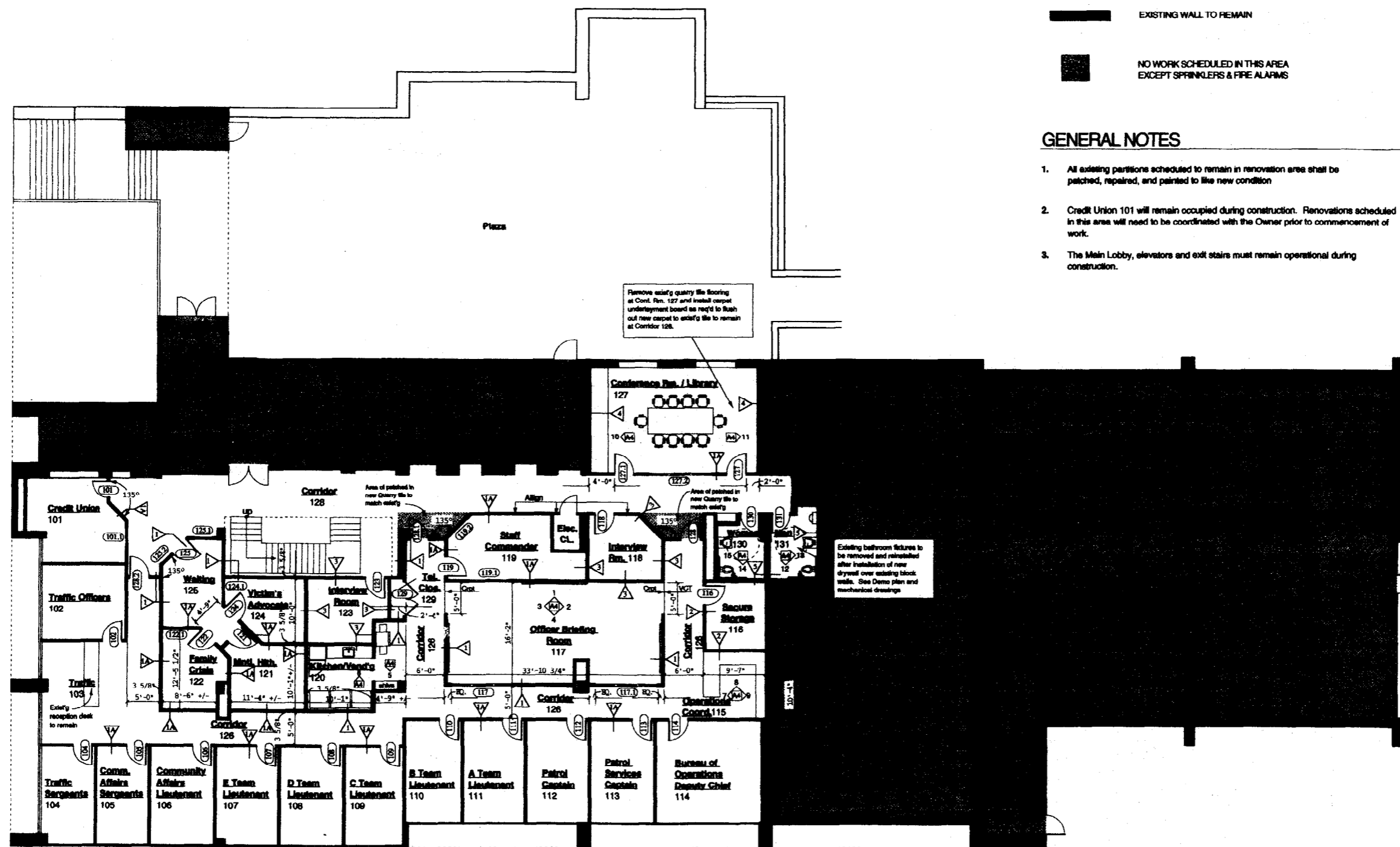
Scale: 1/8"=1'-0" Date: 12/20/02

KEY

-  NEW PARTITION
-  EXISTING WALL TO REMAIN
-  NO WORK SCHEDULED IN THIS AREA EXCEPT SPRINKLERS & FIRE ALARMS

GENERAL NOTES

1. All existing partitions scheduled to remain in renovation area shall be patched, repaired, and painted to like new condition.
2. Credit Union 101 will remain occupied during construction. Renovations scheduled in this area will need to be coordinated with the Owner prior to commencement of work.
3. The Main Lobby, elevators and exit stairs must remain operational during construction.



FIRST FLOOR PLAN

1/8" = 1'-0"



City of Portland
PUBLIC SAFETY BUILDING
 Interior Renovations Project

Winton Scott
 Architects
 5 Milk Street
 Portland, ME 04101

Mechanical
 Systems
 Engineers
 10 Royal River Center
 Yarmouth, Maine 04096

Bartlett Design
 942 Washington St.
 Bath, ME 04530

FIRST FLOOR
 REFLECTED CEILING
 PLAN

A2

Scale: 1/8"=1'-0" Date: 12/20/02

CEILING TYPES LEGEND

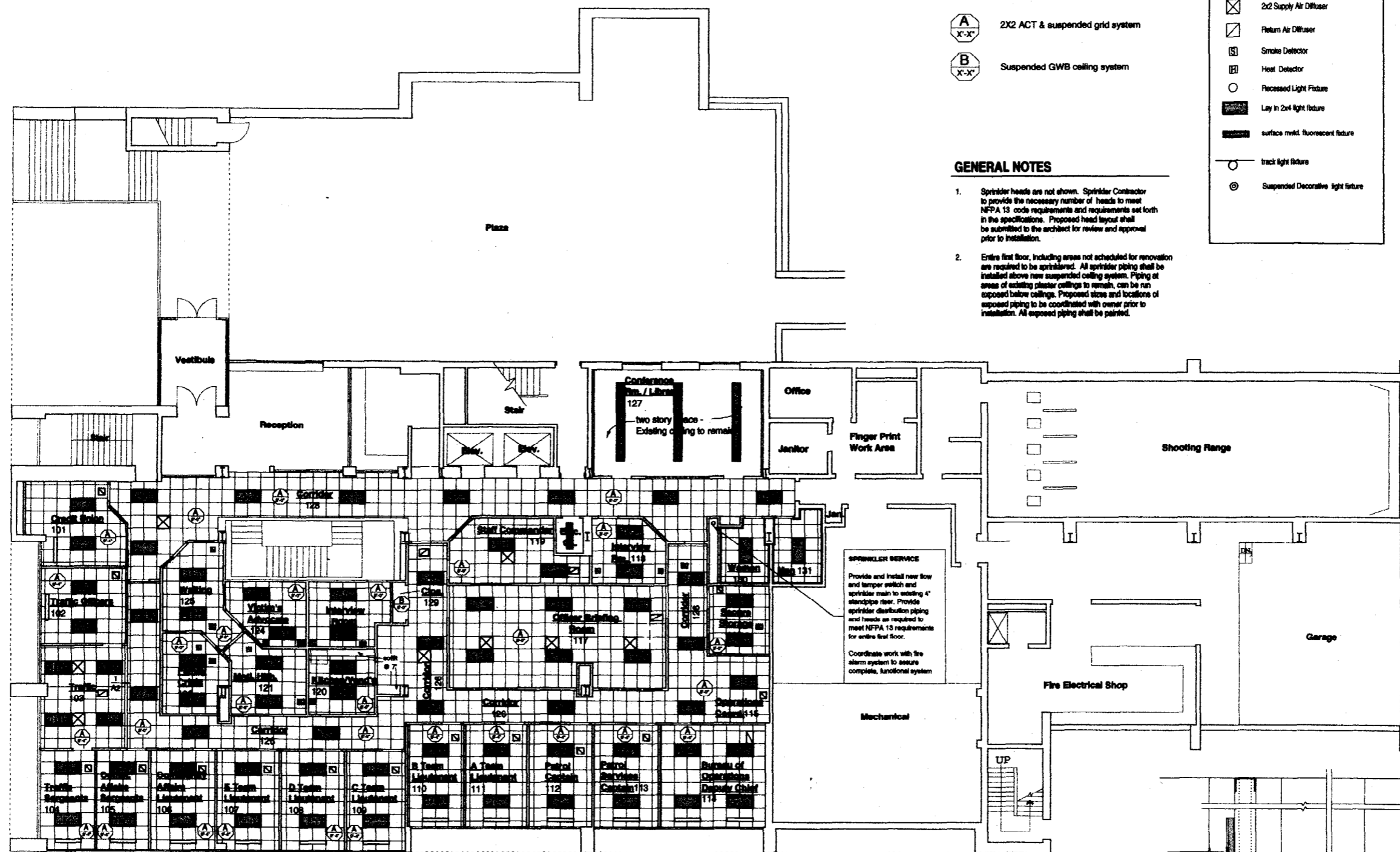
- 2X2 ACT & suspended grid system
- Suspended GWB ceiling system

SYMBOL KEY

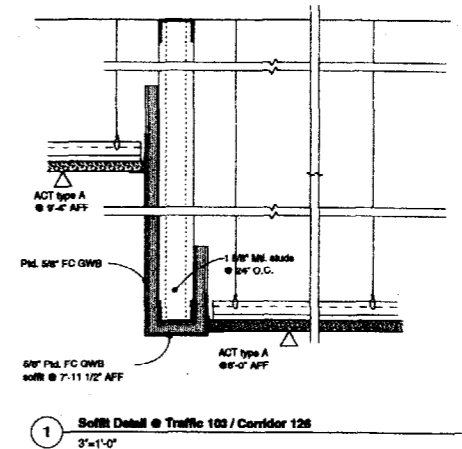
- 2x2 Supply Air Diffuser
- Return Air Diffuser
- Smoke Detector
- Heat Detector
- Recessed Light Fixture
- Lay in 2x4 light fixture
- surface mkt. fluorescent fixture
- track light fixture
- Suspended Decorative light fixture

GENERAL NOTES

1. Sprinkler heads are not shown. Sprinkler Contractor to provide the necessary number of heads to meet NFPA 13 code requirements and requirements set forth in the specifications. Proposed head layout shall be submitted to the architect for review and approval prior to installation.
2. Entire first floor, including areas not scheduled for renovation are required to be sprinklered. All sprinkler piping shall be installed above new suspended ceiling system. Piping at areas of existing plaster ceilings to remain, can be run exposed below ceilings. Proposed sizes and locations of exposed piping to be coordinated with owner prior to installation. All exposed piping shall be painted.



SPRINKLER SERVICE
 Provide and install new flow and temper switch and sprinkler main to existing 4" standpipe riser. Provide sprinkler distribution piping and heads as required to meet NFPA 13 requirements for entire first floor.
 Coordinate work with fire alarm system to assure complete, functional system.



FIRST FLOOR CEILING PLAN

1/8" = 1'-0"



City of Portland PUBLIC SAFETY BUILDING Interior Renovations Project

Winton Scott
Architects
5 Milk Street
Portland, ME 04101

Mechanical
Systems
Engineers
10 Royal River Center
Yarmouth, Maine 404096

Bartlett Design
942 Washington St.
Bath, ME 04530

SCHEDULES

A3

Scale: AS NOTED Date: 12/20/02

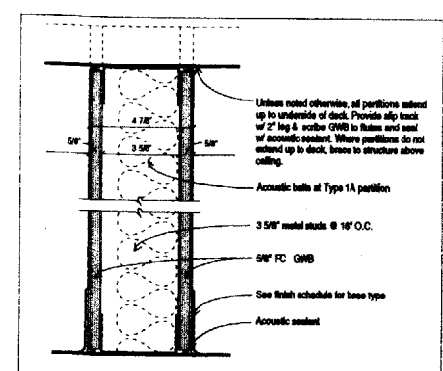
FINISH SCHEDULE

Room	Room Name	Floor	Base	Walls	Ceiling	Clg. Ht.	Remarks
101	Credit Union	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
102	Traffic Officers	Carpet	4" Vinyl	Edst. GWB	New susp. ACT 'A'	8'-4" +/-	
103	Traffic	VCT	4" Vinyl	Edst. GWB	New susp. ACT 'A'	8'-4" +/-	
104	Traffic Sergeants	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
105	Comm. Affairs Sgrts.	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
106	Comm. Affairs Ltms.	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
107	E Team Lieutenant	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
108	D Team Lieutenant	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
109	C Team Lieutenant	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
110	B Team Lieutenant	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
111	A Team Lieutenant	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
112	Patrol Captain	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
113	Patrol Services Captain	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
114	Ops. Deputy Chief	Carpet	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-4" +/-	
115	Operations Coord.	VCT	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-0"	
116	Secure Storage	VCT	4" Vinyl	Edst. New GWB	New susp. ACT 'A'	8'-0"	
117	Officer Briefing Room	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
118	Interview Room	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
119	Staff Commander	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
120	Kitchen / Vending	VCT	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
121	Mental Health Office	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
122	Family Crisis Office	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
123	Interview Room	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
124	Victim's Advocate Office	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
125	Waiting Area	Carpet	4" Vinyl	New GWB	New susp. ACT 'A'	8'-0"	
126	Corridor	VCT	4" Vinyl	Edst. / New GWB	New susp. ACT 'A'	8'-0"	
127	Conference Rm / Library	Carpet	4" Vinyl	Edst. / New GWB	Edst. susp. ACT Edst.		
128	Corridor	Edst. Q. Tile	4" Vinyl	Edst. / New GWB	New susp. ACT 'A'	8'-0"	
129	Telephone Closet	VCT	4" Vinyl	New GWB	New GWB	8'-0"	
130	Women's Room	VCT	4" Vinyl	New GWB	New susp. ACT 'B'	8'-0"	
131	Men's Room	VCT	4" Vinyl	New GWB	New susp. ACT 'B'	8'-0"	

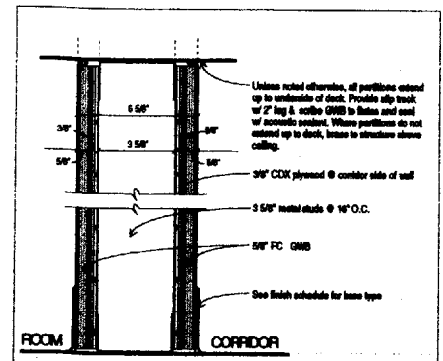
GROUND LEVEL

FINISH SCHEDULE / NOTES / DETAILS

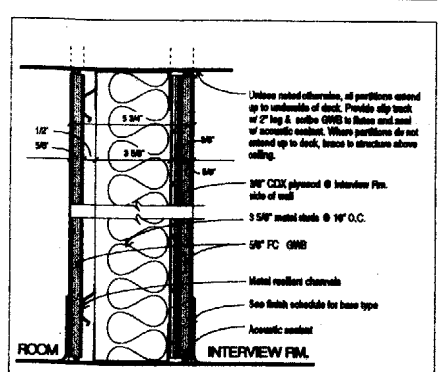
1/4" = 1'-0"



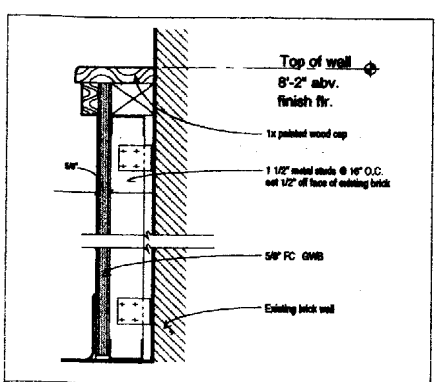
1 TYPE AS DRAWN WITH ACOUSTIC BATTS



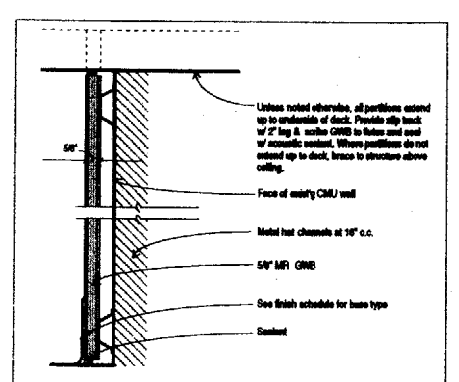
2 TYPE AS DRAWN



3 TYPE AS DRAWN



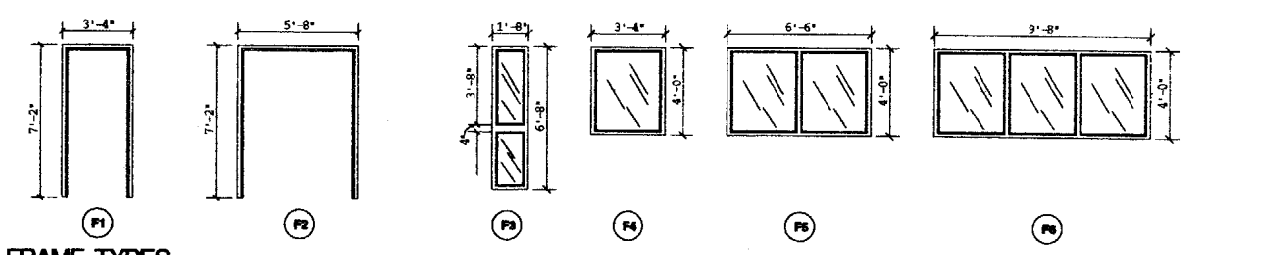
4 TYPE AS DRAWN



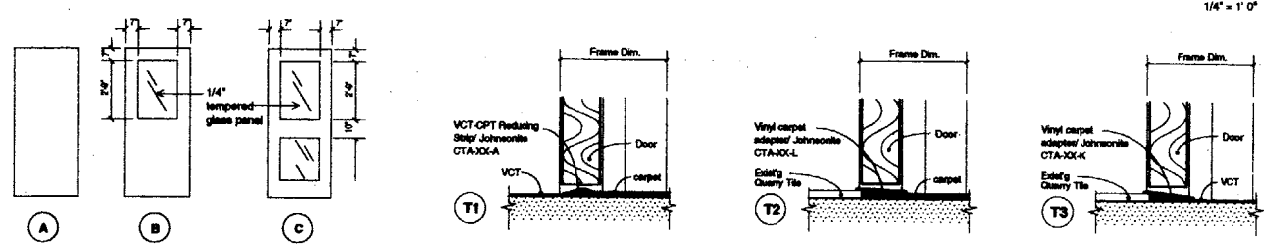
5 TYPE AS DRAWN

DOOR SCHEDULE

Door No.	Size	Thickness	Material	Finish	Type	Frame	Material	Finish	Type	Head	Jamb	Hardware	Threshold	Label	Notes
101	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	B	HM	Painted	F1	H1	J1	HW1	T2			
101.1			FIXED GLASS PANEL							F4	H4	J4			
102	3'-0" x 7'-0" +/-	1 3/4"	WOOD	NAT.	C	Edstg	Painted	*	*	*	HW1	T1			* New door in existing frame- field verify dimensions/ repaint frame
104	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
106	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
108	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
107	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
110	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
111	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
112	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
113	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
114	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
116	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	A	HM	Painted	F1	H2	J2	HW2				
117			FIXED GLASS PANEL			HM	Painted	F8	H4	J4					
117.1			FIXED GLASS PANEL			HM	Painted	F8	H4	J4					
118	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	A	HM	Painted	F1	H3	J3	HW1	T2			
119	3'-0" x 7'-0"	1 3/4"	WOOD	NAT.	C	HM	Painted	F1	H1	J1	HW1	T1			
119.1			FIXED GLASS PANEL			HM	Painted	F6	H4	J4					
119.2			FIXED GLASS PANEL			HM	Painted	F4	H4	J4					
121	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	C	HM	Painted	F1	H1	J1	HW1				
122	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	C	HM	Painted	F1	H1	J1	HW1				
122.1			FIXED GLASS PANEL			HM	Painted	F4	H4	J4					
123	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	A	HM	Painted	F1	H3	J3	HW1	T2			
124	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	C	HM	Painted	F1	H1	J1	HW1				
124.1			FIXED GLASS PANEL			HM	Painted	F4	H4	J4					
125	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	C	HM	Painted	F1	H1	J1	HW1	T2			
125.1			FIXED GLASS PANEL			HM	Painted	F4	H4	J4					
125.2			FIXED GLASS PANEL			HM	Painted	F3	H4	J4					
127	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	C	HM	Painted	F1	H1	J1	HW1	T2			
127.1	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	C	HM	Painted	F1	H1	J1	HW1	T2			
127.2			FIXED GLASS PANEL			HM	Painted	F6	H4	J4					
128	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	B	HM	Painted	F1	H1	J1	HW2	T3			Door to have electronic card reader supplied by owner. Coordinate hardware prep.
128.1	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	B	HM	Painted	F1	H1	J1	HW2	T3			Door to have electronic card reader supplied by owner. Coordinate hardware prep.
128.2	3'-0" x 7'-0"	1 3/4"	WOOD	NAT	B	HM	Painted	F1	H1	J1	HW2	T3			Door to have electronic card reader supplied by owner. Coordinate hardware prep.
129	PR 2'-8" x 7'-0"	1 3/4"	WOOD	NAT	A	HM	Painted	F2	H1	J1	HW3				
130	2'-8" x 7'-0" +/-	1 3/4"	WOOD	NAT	A	HM	Painted	*	*	*	HW4	T3			* New door in existing frame- field verify dimensions/ repaint frame
131	2'-8" x 7'-0" +/-	1 3/4"	WOOD	NAT	A	HM	Painted	*	*	*	HW4	T3			* New door in existing frame- field verify dimensions/ repaint frame

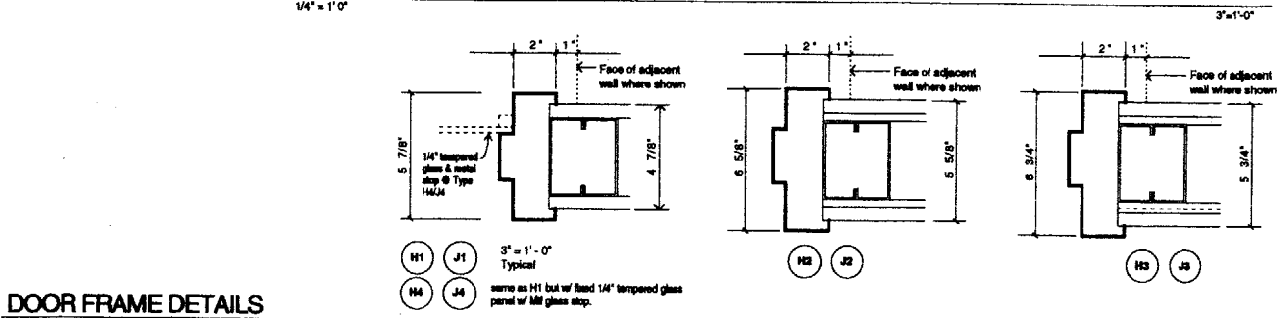


FRAME TYPES



DOOR TYPES

THRESHOLD TYPES



DOOR FRAME DETAILS

3" = 1'-0"



City of Portland
PUBLIC SAFETY BUILDING
Interior Renovations Project

Winton Scott Architects
5 Milk Street
Portland, ME 04101

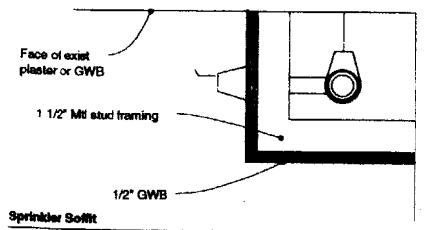
Mechanical Systems Engineers
10 Royal River Center
Yarmouth, Maine 404098

Bartlett Design
942 Washington St.
Bath, ME 04530

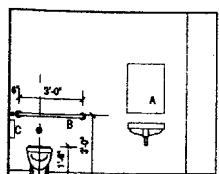
INTERIOR
ELEVATIONS & DTLS

A4

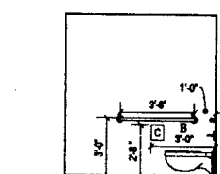
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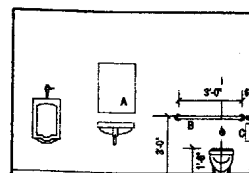
Sprinkler Soffit
3" = 1'-0"



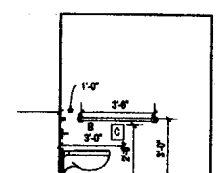
15 ELEVATION • Women's Rm 130
1/4" = 1'-0"



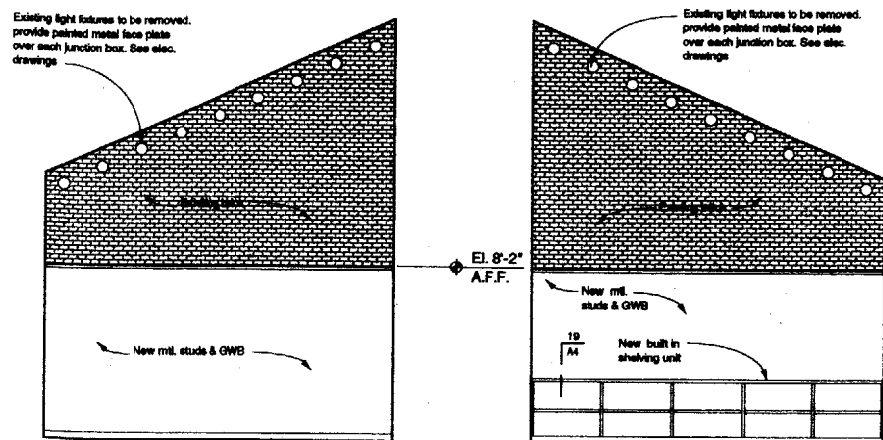
14 ELEVATION • Women's Rm 130
1/4" = 1'-0"



13 ELEVATION • Men's Room 131
1/4" = 1'-0"

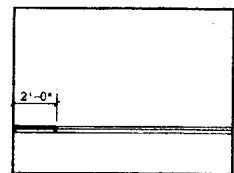


12 ELEVATION • Men's Room 131
1/4" = 1'-0"

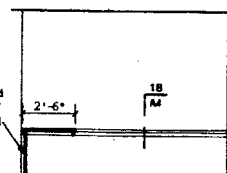


11 ELEVATION • Conference Room/Library 127
1/4" = 1'-0"

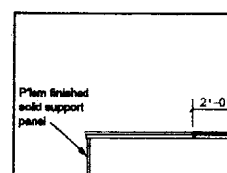
10 ELEVATION • Conference Room/Library 127
1/4" = 1'-0"



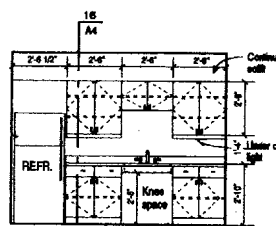
9 ELEVATION • Admin 115



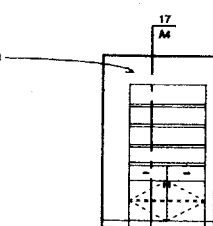
8 ELEVATION • Admin 115



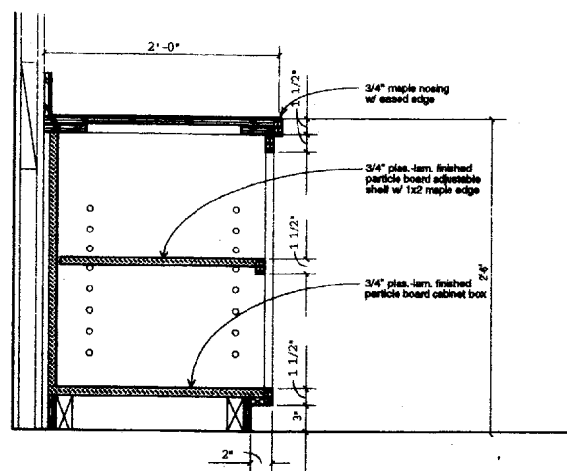
7 ELEVATION • Admin 115



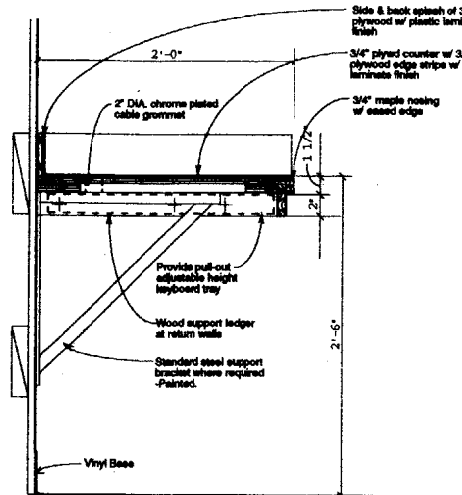
6 ELEVATION • Kitchen/Vending 120



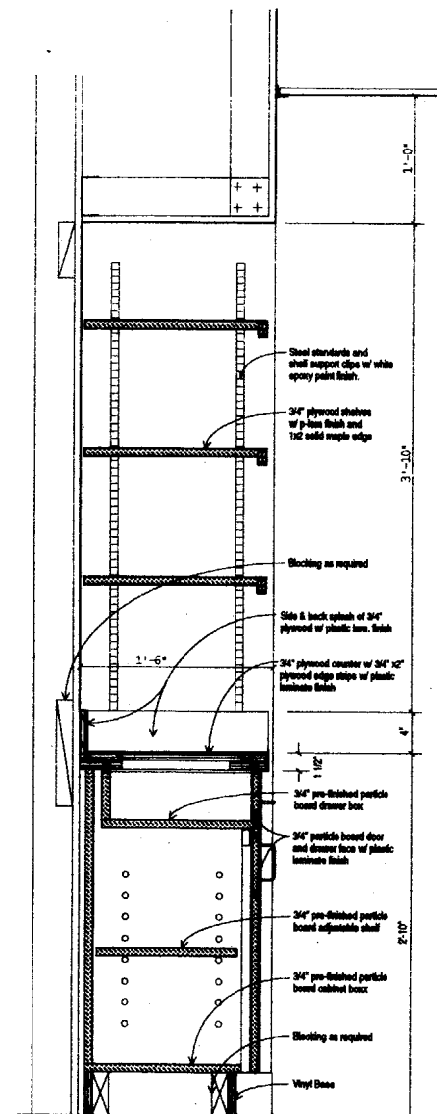
5 ELEVATION • Kitchen/Vending 120



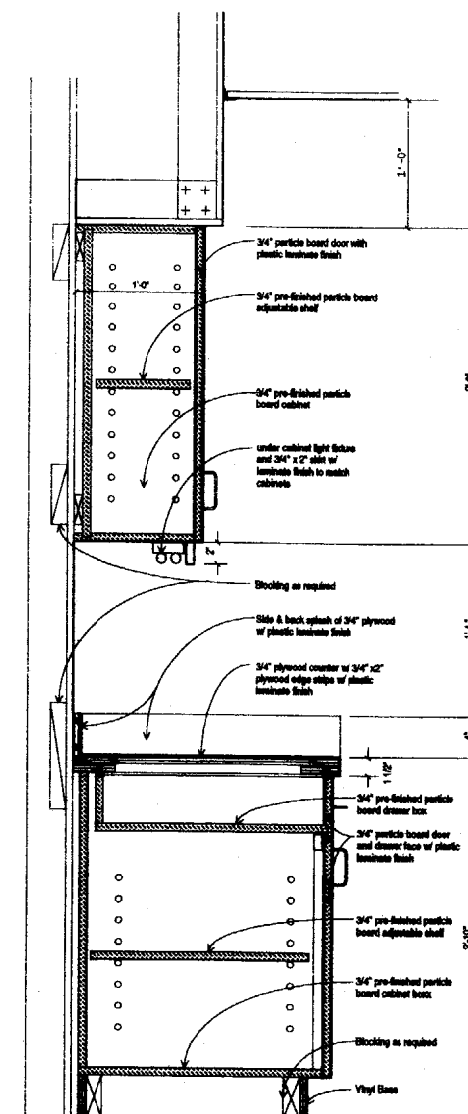
19 CONFERENCE ROOM BASE CABINET
1 1/2" = 1'-0"



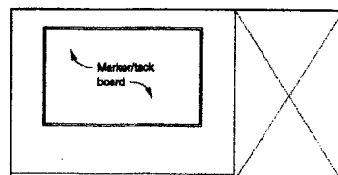
18 WORK STATION SECTION DETAIL
1 1/2" = 1'-0"



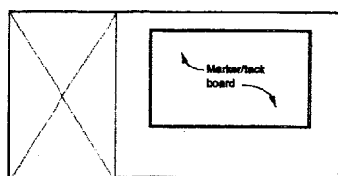
17 BASE CABINET SECTION DETAIL
1 1/2" = 1'-0"



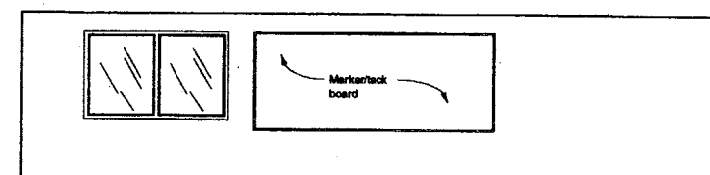
16 BASE CABINET SECTION DETAIL
1 1/2" = 1'-0"



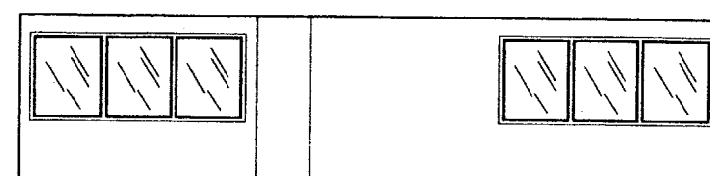
3 ELEVATION • Officer Briefing Room 117
1/4" = 1'-0"



2 ELEVATION • Officer Briefing Room 117
1/4" = 1'-0"

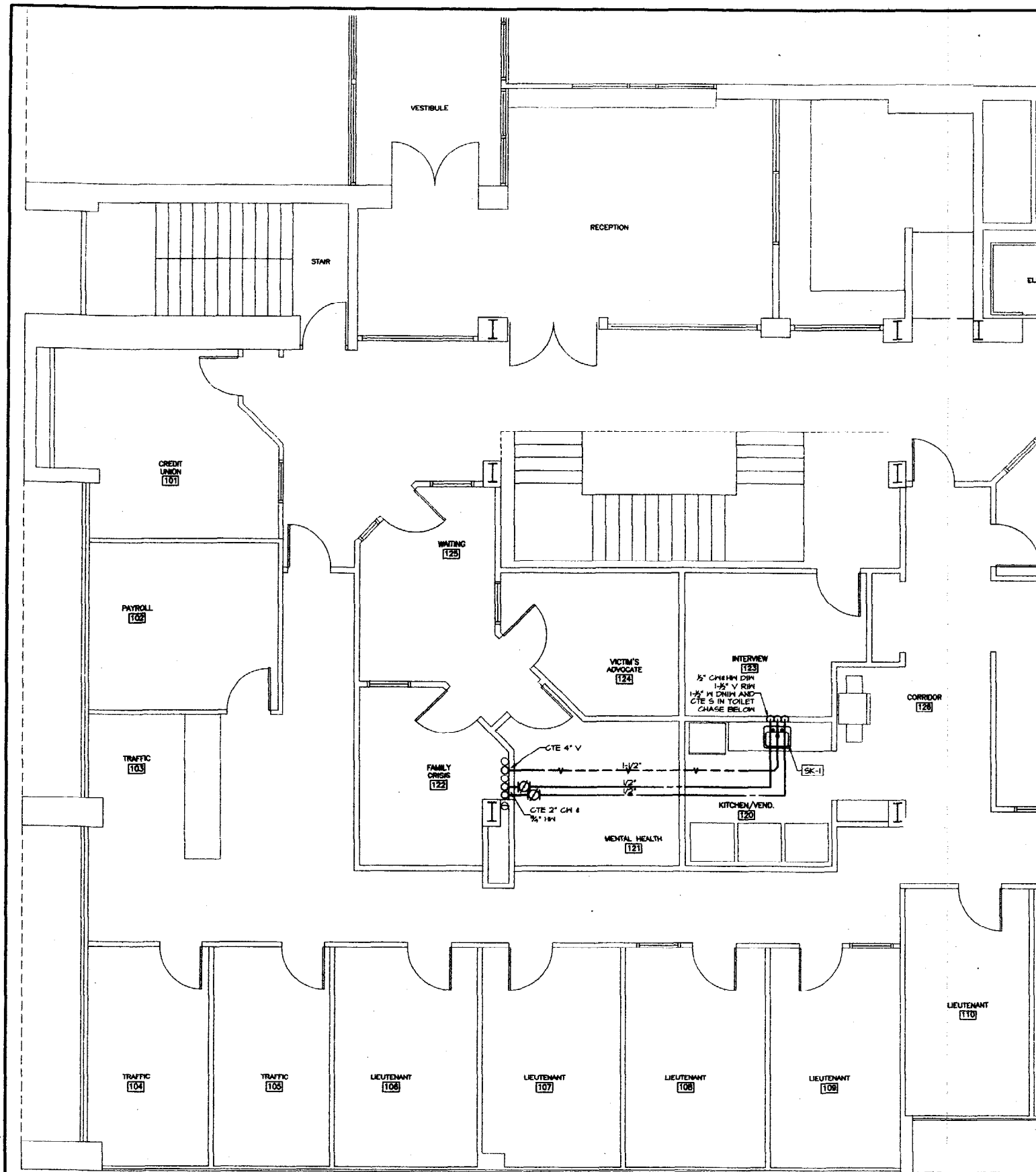


4 ELEVATION • Officer Briefing Room 117
1/4" = 1'-0"



1 ELEVATION • Officer Briefing Room 117
1/4" = 1'-0"

Dec. 23, 2002 - 10:21 am
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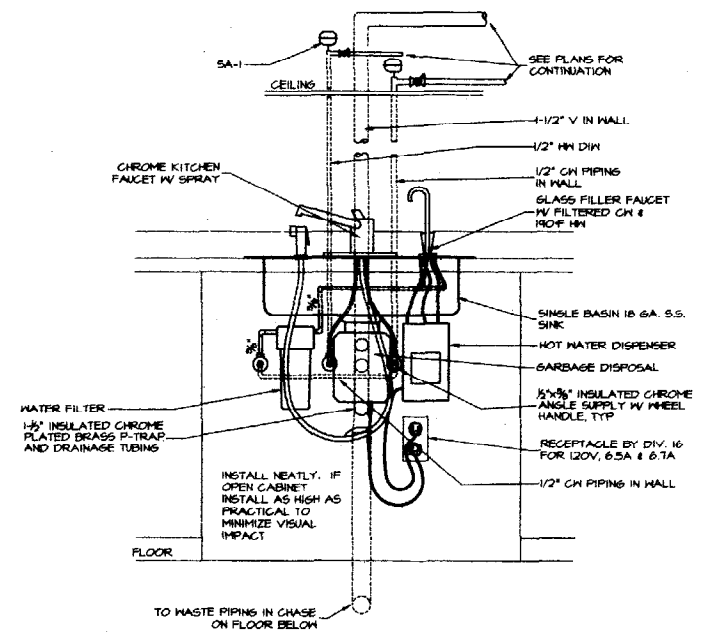


- ### GENERAL NOTES
1. All work shall be in accordance with the Maine State Plumbing Code, local codes and ordinances, or these plans or specifications, whichever is more strict.
 2. All drawings are schematic only, and are intended to indicate the intent, extent, and general arrangement of work. They are not meant to show every fitting, change of direction or every situation. Verify locations in the field. Work indicated shall be furnished complete to perform the function intended.
 3. All piping shall run concealed above ceilings, in walls, in soffits and in chases unless noted otherwise.
 4. No structural members shall be cut without approval of the Architect.
 5. All water piping shall be installed parallel to building lines and pitched to low points. Provide draw-offs at low points. Piping shall be run neatly grouped together when practical.
 6. All domestic water piping, unless buried or specified otherwise, shall be insulated.

ABBREVIATIONS & SYMBOLS

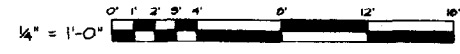
ADA AMERICANS WITH DISABILITIES ACT	----- VENT PIPING
CNTR COUNTER	===== COLD WATER PIPING
CH GOLD WATER	----- HOT WATER PIPING
CHM GOLD & HOT WATER	
DM DROP IN HALL	●--- BALL VALVE
DN DOWN	○--- DROPRISE IN LINE
DMH DOWN IN HALL	○--- LINE UP TO FLOOR ABOVE
GC GENERAL CONTRACTOR	--- TEE - DROP
HM HOT WATER	○--- SHOCK ABSORBER
HTG MOUNTING	
PC PLUMBING CONTRACTOR	
RM RISE IN HALL	
S SANITARY WASTE	
SA SHOCK ABSORBER	
SK SINK	
SS STAINLESS STEEL	
TYP TYPICAL	
V VENT	
VF VERIFY IN FIELD	
W WASTE	
WH WITH	

[123] FIXTURE/EQUIPMENT NUMBER TAG



KITCHEN SINK EQUIPMENT ELEVATION
SCALE: NONE

PLUMBING FIXTURE SCHEDULE							
SYMBOL	TAG	FIXTURE	CW	HW	WASTE	VENT	REMARKS
F	SK-1	50% BRASS BOWL, KITCHEN	1/2"	1/2"	1-1/2"	1-1/2"	22" x 22" x 10" 3 HOLE COUNTER MOUNTED, KITCHEN FAUCET, GARBAGE DISPOSAL, HOT WATER DISPENSER



MECHANICAL SYSTEMS ENGINEERS
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10 FOREST FALLS DRIVE
YARMOUTH, MAINE 04088
VOICE: (207) 848-1441
FAX: (207) 848-1443
mechsys@maine.rr.com

City of Portland
PUBLIC SAFETY BUILDING
Interior Renovations Project

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Portland, ME 04101

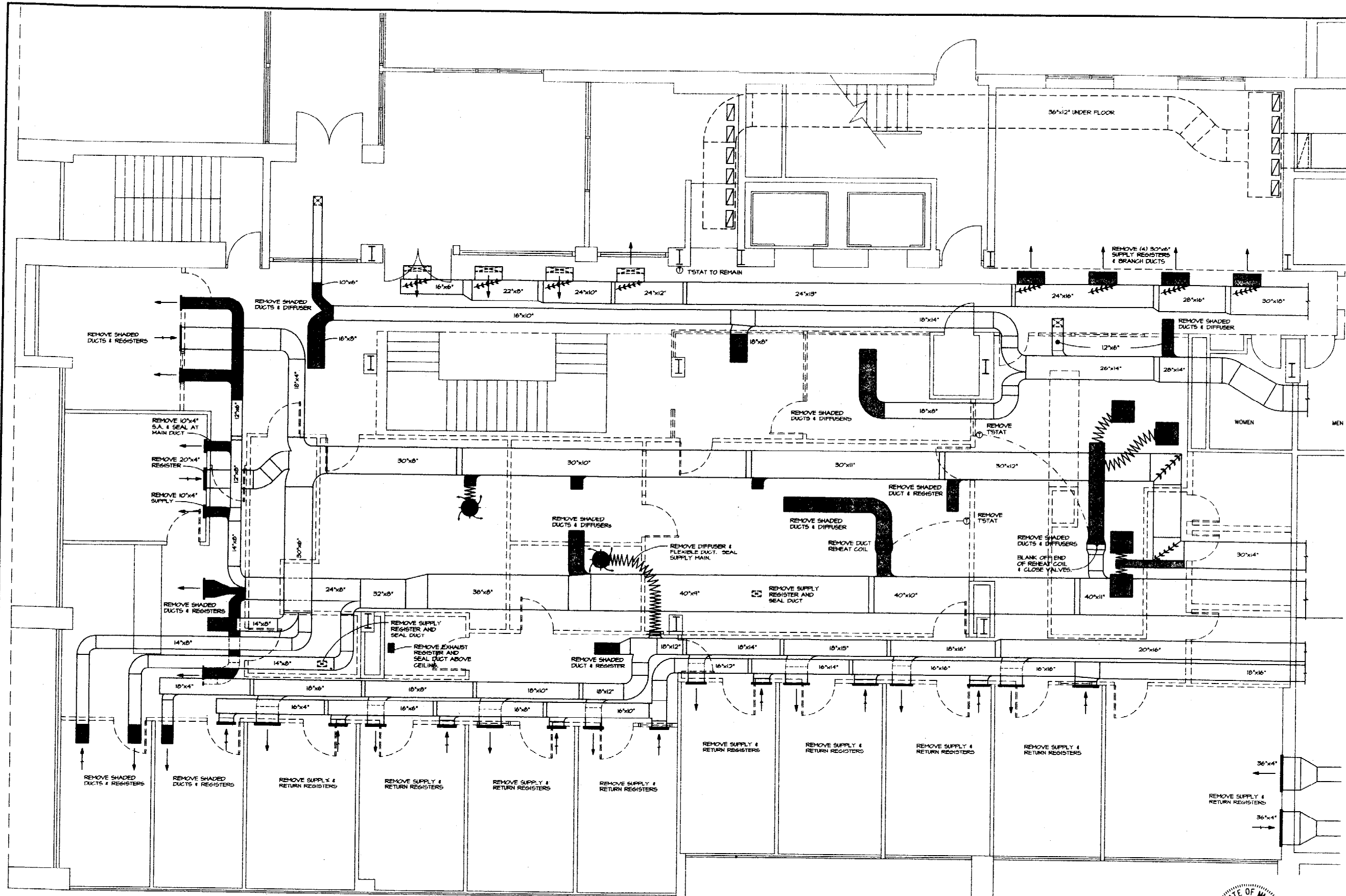
Mechanical
Systems
Engineers
Royal River Center, #10
10 Forest Falls Drive
Yarmouth, Maine 404096

Bartlett Design
942 Washington St.
Bath, ME 04530

FIRST FLOOR PLUMBING PLAN
P1

Scale: 1/4"=1'-0" Date: Dec. 20, 2002

Dec 23, 2002 - 10:03 am
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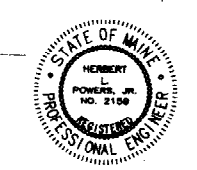


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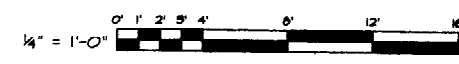
Winton Scott
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Portland, ME 04101

Mechanical
Systems
Engineers
Royal River Center, #10
10 Forest Falls Drive
Yarmouth, Maine 404096

Bartlett Design
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Bath, ME 04530

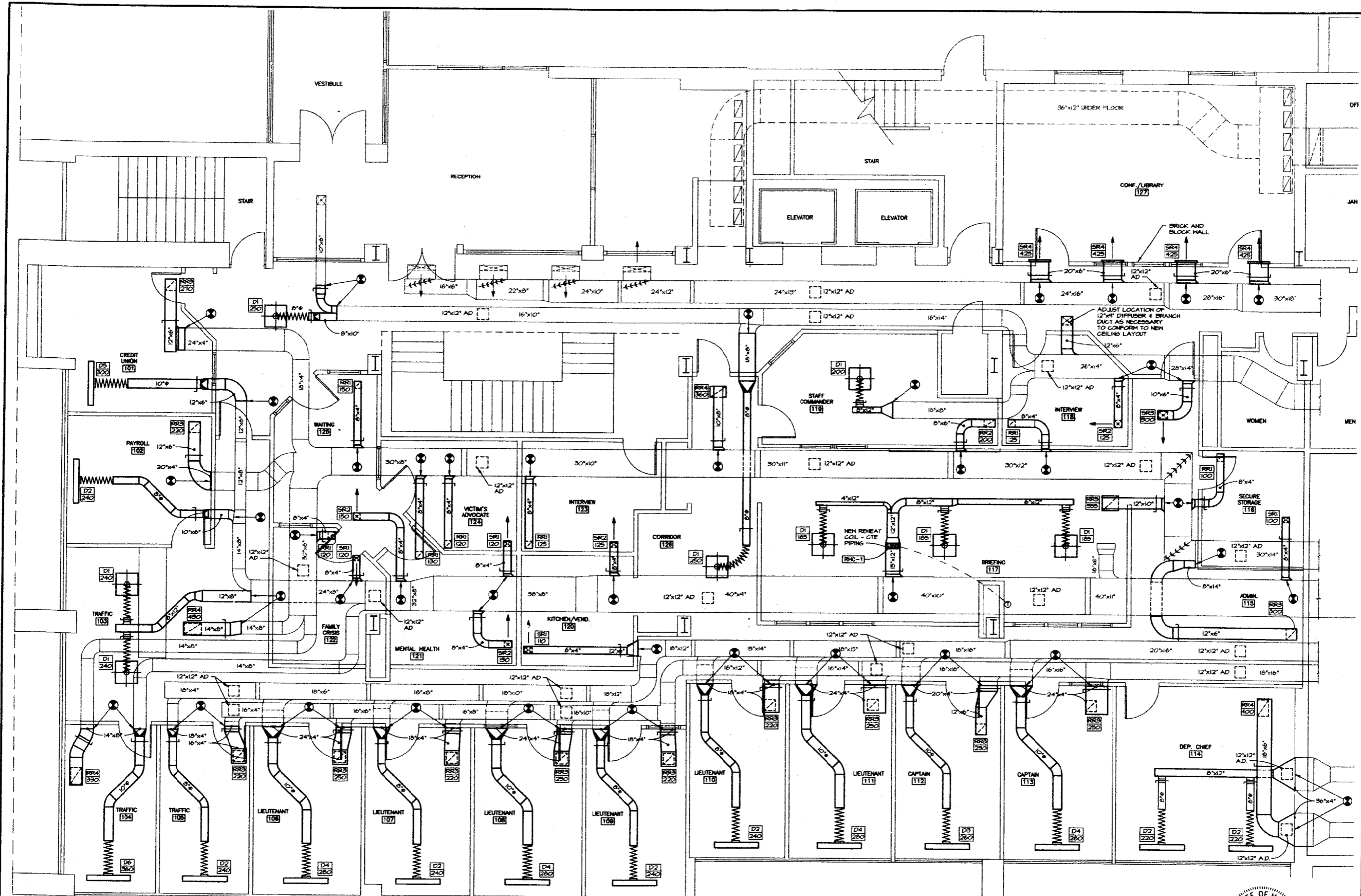


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FIRST FLOOR
MECHANICAL
DEMOLITION
MD1

M.S.E. Proj. 0226
Scale: 1/4"=1'-0" Date: Dec. 20, 2002



City of Portland
PUBLIC SAFETY BUILDING
 Interior Renovations Project

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FIRST FLOOR
MECHANICAL PLAN
M1

M.S.E. Proj. 0220
 Scale: 1/4"=1'-0" Date: Dec. 20, 2002

Dec 23, 2002 - 9:33 am
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DUCT REHEAT COIL SCHEDULE											
TAG	TYPE	SIZE	CFM	APD	EAT	LAT	EWT	MBH	GPM	WPD	REMARKS
DHC-1	HOT WATER SERPENTINE	15"x12"	555	0.07"	60	90	180	18.06	1.80	0.26'	SLIP-IN DUCT MOUNTING

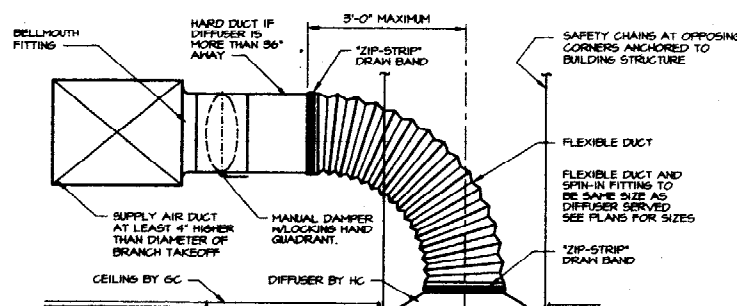
SYMBOLS AND ABBREVIATIONS

AC	AIR CONDITIONING	⊕	THERMOSTAT
AD	ACCESS DOOR	⊙	CONNECT TO EXISTING
AFF	ABOVE FINISH FLOOR	—	MANUAL DAMPER
APD	AIR PRESSURE DROP		FLEXIBLE DUCT
ATC	AUTOMATIC TEMP. CONTROL	⊕	LAY-IN DIFFUSER
CTE	CONNECT TO EXISTING	⊕	ROUND DIFFUSER
DIC	DOWN IN CORNER/CHASE	⊕	SUPPLY AIR DUCT
DIFF	DIFFUSER	⊕	RETURN / RELIEF AIR DUCT
DIH	DOWN IN HALL	⊕	
EAT	ENTERING AIR TEMPERATURE		
EWT	ENTERING WATER TEMPERATURE		
FV	FACE VELOCITY		
GC	GENERAL CONTRACTOR		
HC	HEATING CONTRACTOR		
HVAC	HEATING, VENTILATING AND AIR CONDITIONING		
LAT	LEAVING AIR TEMPERATURE		
MD	MANUAL DAMPER		
NTS	NOT TO SCALE		
R	RETURN		
RA	RETURN AIR		
RR	RETURN REGISTER		
S	SUPPLY		
SA	SUPPLY AIR		
SP	STATIC PRESSURE		
SR	SUPPLY REGISTER		
T	THERMOMETER		
TC	TEMPERATURE CONTROL		
T'STAT	THERMOSTAT		
TV	TURNING VANE		

AIR TERMINAL SCHEDULE

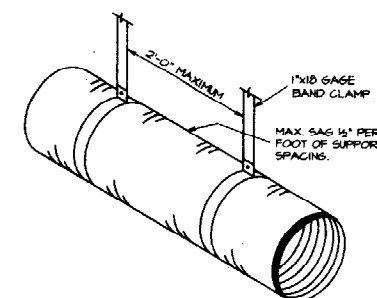
TAG	SIZE	MAX CFM	MAX NC	MAX SP	REMARKS
D1	8"	250	20	0.010"	8" ROUND IN LAY-IN PANEL
D2	(3) 3/4" SLOTS	240	20	0.030"	EXISTING 4" SLOT DIFFUSER - 9/16"x5" OVAL
D3	(3) 3/4" SLOTS	260	21	0.030"	EXISTING 4" SLOT DIFFUSER - 9/16"x5" OVAL
D4	(3) 3/4" SLOTS	280	25	0.030"	EXISTING 4" SLOT DIFFUSER - 9/16"x5" OVAL
D5	(2) 1" SLOTS	320	20	0.040"	4" SLOT DIFFUSER - 10" INLET
D6	(2) 1 1/2" SLOTS	480	20	0.030"	4" SLOT DIFFUSER - 10" INLET
RR1	8" x 8"	150	20	0.060"	RETURN REGISTER
RR2	12" x 8"	200	20	0.060"	RETURN REGISTER
RR3	12" x 12"	300	20	0.045"	RETURN REGISTER
RR4	18" x 12"	450	20	0.045"	RETURN REGISTER
RR5	18" x 18"	600	20	0.045"	RETURN REGISTER
SR1	8" x 6"	120	20	0.020"	DOUBLE DEFLECTION SUPPLY REGISTER
SR2	8" x 8"	150	20	0.030"	DOUBLE DEFLECTION SUPPLY REGISTER
SR3	10" x 8"	320	20	0.030"	DOUBLE DEFLECTION SUPPLY REGISTER
SR4	20" x 6"	425	20	0.030"	DOUBLE DEFLECTION SUPPLY REGISTER

EXISTING SLOT DIFFUSERS ARE TITUS MODEL ML-38. OWNER HAS 14 UNITS STORED IN THE BUILDING. THERE ARE ALSO (7) LINED AND (7) UNLINED DUCT BOOTS MADE TO FIT DIFFUSERS. THIS CONTRACTOR TO APPLY LINING TO THE UNLINED UNITS TO MATCH OTHERS OR PROVIDE NEW LINED BOOTS.



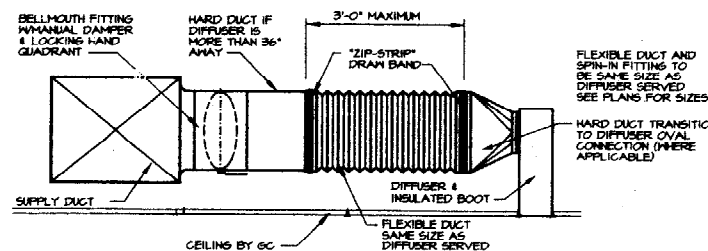
FLEXIBLE DUCT & DIFFUSER CONNECTION DETAIL

NO SCALE



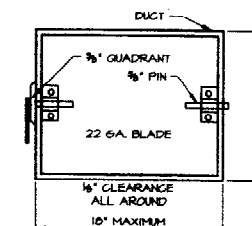
FLEXIBLE DUCT SUPPORT DETAIL

NO SCALE



FLEXIBLE DUCT & SLOT DIFFUSER CONNECTION DETAIL

NO SCALE



SHOP FABRICATED MANUAL DAMPER

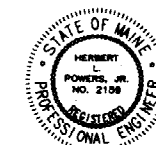
NO SCALE

City of Portland
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MECHANICAL
DETAILS AND
SCHEDULES

M2

M.S.E. Proj. 0220
Scale: NONE Date: Dec. 20, 2002