

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that RACKLEFF BLOCK LLC

Located At 131 MIDDLE ST

Job ID: 2011-12-2893-ALTCOMM

CBL: 028-L-007-001

has permission to Renovate the first floor for new tenant fit-up, business office rear & retail in front provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 1/23/12

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2893-ALTCOMM	Date Applied: 12/9/2011	CBL: 028- L-007-001	
Location of Construction: 131 MIDDLE ST	Owner Name: RACKLEFF BLOCK LLC	Owner Address: 111 FOX ST PORTLAND, ME 04101	Phone:
Business Name: Cashstar, Inc. (Janet)	Contractor Name: Marc Gagnon @ Landmarc Construction	Contractor Address: 415 Congress Suite 202 ST PORTLAND MAINE 04112	Phone: (207) 699-2572
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: B-3
Past Use: Retail on first floor with offices above	Proposed Use: New tenant fit-up on the 1 st floor with retail in front and offices in rear and with offices on 2 nd and 3 rd floor	Cost of Work: \$29,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: M/B Type: 3B IBC 2009 Signature: JMB
Proposed Project Description: Tenant fit-up		Pedestrian Activities District (P.A.D.) within PAD -meeting PAD requirements @ 90.39% - MES 12/21/11 ok with conditions	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Min ___ MM</p> <p>Date: <i>ok with condit</i> <i>12/21/11</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>12/21/11</i></p>	<p>Historic Preservation <i>with</i></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>Any exterior work requires a separate review & approval</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

1-23-12 DWM/BKL Josh (Nolan 212-48662)

wood Frame OK. scope reduced as noted on plans.



PORTLAND MAINE

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Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-12-2893-ALTCOMM

Located At: 131 MIDDLE ST

CBL: 028- L-007-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
4. This property shall remain a retail on the 1st floor in the front PAD (Pedestrian Activities District) with offices in the rear, and offices on the 2nd & 3rd floors. Any change of use shall require a separate permit application for review and approval.
5. This property is located in the Pedestrian Activities District (PAD) where first floor uses are limited. The current windows shall not be removed or blocked without special reviews.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

1. Occupancy remains mercantile.
2. All construction shall comply with City Code Chapter 10.
3. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
6. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 131 MIDDLE ST - PORTLAND		
Total Square Footage of Proposed Structure/Area 3,500 SF		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# 28 Block# L Lot# 7	Applicant * must be owner (Lessee or Buyer*) Name CASHSTAR, INC Address 129 MIDDLE ST - 2ND FL City, State & Zip PORTLAND, ME	Telephone: 207-321-3690
Lessee/DBA (If Applicable) SAME →	Owner (if different from Applicant) Name SAME Address City, State & Zip	Cost Of Work: \$ 22,304.00 C of O Fee: \$ 75.00 Total Fee: \$ 395.
Current legal use (i.e. single family) <u>RETAIL COMMERCIAL</u> If vacant, what was the previous use? <u>RETAIL</u> Proposed Specific use: <u>RETAIL SERVICES</u> Is property part of a subdivision? <u>no</u> If yes, please name <u>no</u> Project description: MINOR INTERIOR MODIFICATIONS FOR NEW RETAIL SERVICES. ADDED WALLS, DOORS, PAINT & TEL/DATA/POWER		
Contractor's name: _____ Address: LANDMARC CONSTRUCTION 415 CONGRESS STREET, SUITE 202 City, State & Zip: PORTLAND, ME 04112 Telephone: 207-699-2572 Who should we contact when the permit is ready: MARC GAGNON Telephone: SAME Mailing address: 415 CONGRESS ST, SUITE 202 PORTLAND, ME 04112		

11.9.11

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit. **DEC - 9 2012**

Dept. of Building Inspections
City of Portland Maine

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: **Marc Gagnon** Date: **12/8/2011**

This is not a permit; you may not commence ANY work until the permit is issued



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

12.7. 20 11

Received from Lambert

Location of Work 131 Middle

Cost of Construction \$ _____ Building Fee: 310

Permit Fee \$ _____ Site Fee: 75

Certificate of Occupancy Fee: _____

Total: 385

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 23-L-7

Check #: 2127 Total Collected \$ 385

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



Landmarc Construction

December 21, 2011

Marge Schmuckal
Zoning Administrator
City of Portland
Room 315
389 Congress Street
Portland, Maine 04101

RE: 131 Middle Street-028-L-7-B-3

Dear Marge,

It is my understanding that you met with Janet Acker of Cashstar, Inc. to address your issues with our previously issued building permit application per your letter dated December 16, 2011. Janet informed me yesterday that you both agreed on a solution which includes revising the existing submitted plan to the one attached.

Please let me know if you have any questions or require any additional information. We appreciate your cooperation and consideration in this regard and look forward to receiving notification of our approved building permit. Thank you again and Happy Holidays!

Sincerely,
LANDMARC CONSTRUCTION

Marc C. Gagnon
President

Copy: File
JA-Cashstar

RECEIVED

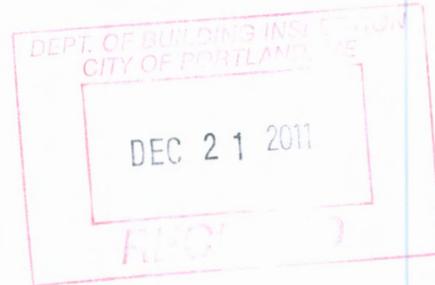
DEC 21 2011

Dept. of Building Inspections
City of Portland Maine

December 20, 2011

Planning Department
City of Portland, Maine

RE: 131 Middle Street



To whom it may concern:

As explanation for the proposed project, I submit the following:

CashStar is the preferred digital gifting and incentives partner for retailers nationwide. Its powerful platform delivers retailers high-margin sales, promotes online and in-store traffic and encourages customer loyalty by providing consumers with the most personal, compelling and convenient gifting experiences available. CashStar is the only company to successfully combine an on-demand digital gifting and incentives platform with innovative multichannel marketing strategies. More than 200 retail brands and partners are successfully partnering with CashStar to drive incremental sales, increase retention and boost profitability. Clients include, Best Buy, The Home Depot, Gap, William Sonoma, Coach, CVS, Dell, Regal and others.

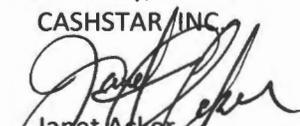
The office at 131 Middle Street will house new retail space for foot traffic customers as well as overflow offices from our primary operation on the second floor as we have outgrown that space as we continue to hire local talent.

The Middle Street end of the building, as shown in the drawing, will house 12-20 work stations where the public will be encouraged to come in and purchase gift cards from our 200+ retailers. There will be assistants on hand to help them through the process and to ensure they enjoy the experience.

If you have further questions, please contact Janet Acker, Office Manager, 321-3690.

Thank you for your consideration.

Sincerely,
CASHSTAR, INC.



Janet Acker
Office Manager



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Greg Mitchell - Acting Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator

December 16, 2011

Marc Gagnon
Landmarc Construction
416 Congress Street, Suite 202
Portland, ME 04112

RE: 131 Middle Street - 028-L-7 - B-3 Zone with PAD Overlay and Historic Overlay

*Notz: 12/21/11 I received
revised plans - Now
meets the PAD req.
6'*

Dear Marc,

I am in receipt of your application to change the use of the first floor from retail to retail and offices. Please note that your permit is denied because it is not meeting the Pedestrian Activities District requirements as listed in the B-3 Zone. Section 14-21(b)1 states that at least seventy-five (75) percent of the street level frontage of a building on a street located within the PAD overlay zone must be utilized, and, at a minimum, the floor area to be occupied shall be seventy-five (75) percent of the street level frontage multiplied by a twenty (20) foot depth."

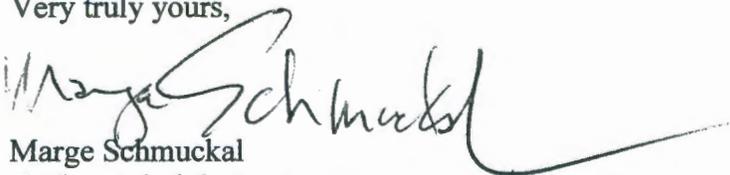
Please note that the building frontage of the property located on this lot is over forty feet in length. Based upon the submitted plans, only 65.2% of the first floor is meeting the requirements of the PAD district instead of the minimum 75%.

There is a provision in the Land Use Zoning Ordinance that allows a conditional use appeal to the planning staff if you can meet the criteria of 14-218(a)1. Or if you wish to revise your submittal to show that a minimum of 75% of the first floor level is meeting the PAD requirements, I will be glad to reevaluate your plans for compliance.

Please note that this permit is currently denied. If I do not receive any further information, your permit will be void six months after the date of your submittal. There are no further reviews at this time.

If you have any questions regarding this matter, please do not hesitate to contact me at 874-8695.

Very truly yours,


Marge Schmuckal
Zoning Administrator

- xi. Museums;
- xii. Libraries;
- xiii. Banks, financial and other business services, provided that only tellers and spaces primarily used for customer services shall be located in this area;
- xiv. Municipal or county uses;
- xv. Galleries and studios for artists and craftspeople including, but not limited to, carpenters, cabinetmakers and silkscreeners;
- xvi. Performing arts studios which attract and allow for public, pedestrian observation from the adjacent sidewalks (including dance studios, music conservatories, and the like);
- xvii. Other uses where the applicant can demonstrate to the zoning administrator that the proposed use will not differ substantially from a required ground floor retail use in its effect on the continuity of pedestrian-oriented use and that the proposal establishes a ground floor use that generates pedestrian interest and activity.

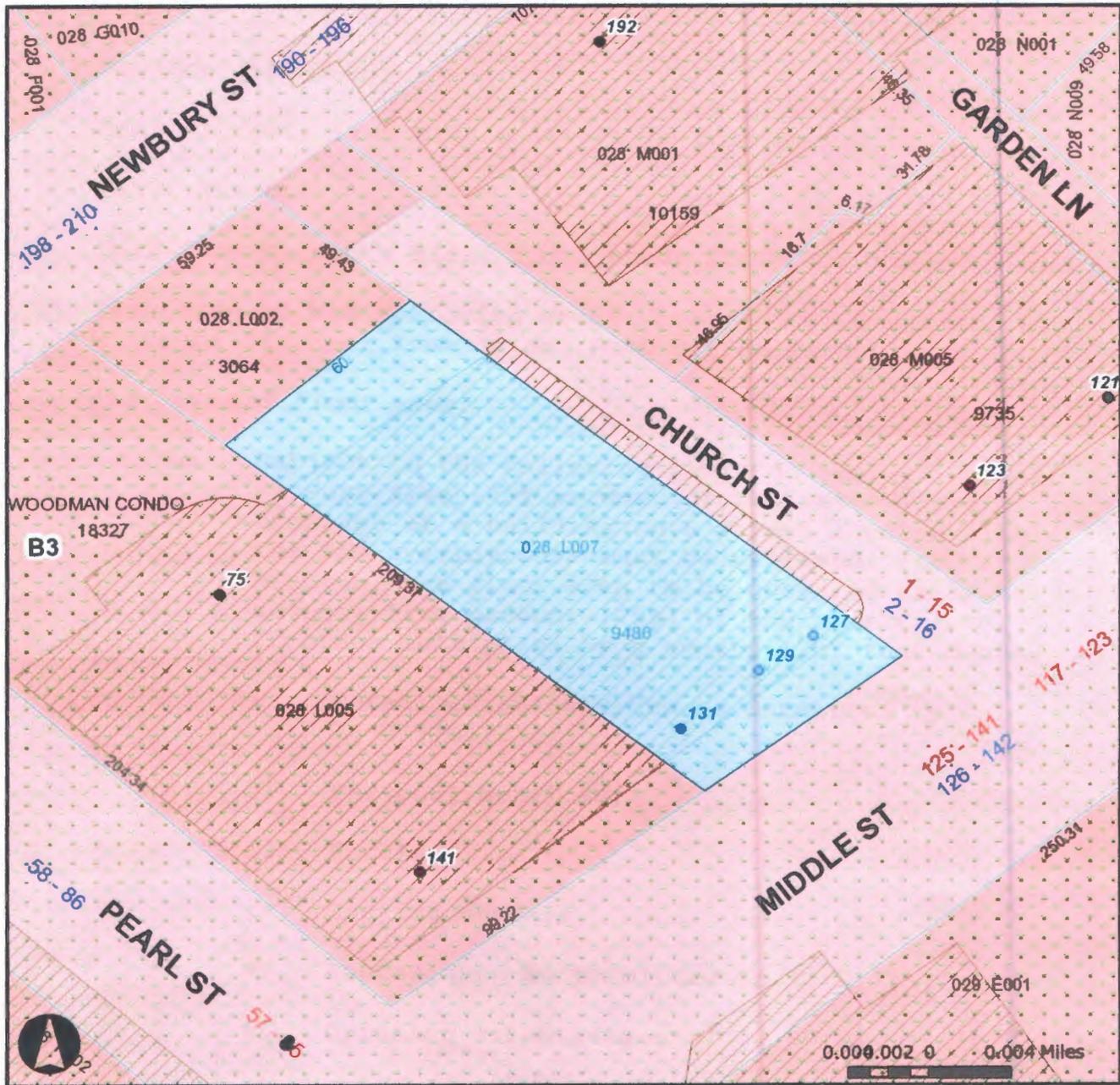
For those buildings which have frontage on more than one (1) street located within the PAD overlay zone, the street level area of each such frontage shall meet the above requirements.

- b. For those buildings which have forty (40) feet or less of frontage on a street within the PAD overlay zone, the above restrictions shall be reduced to fifty (50) percent of the frontage where required to accommodate a service entrance. For buildings which have frontage on more than one (1) street located within a PAD overlay zone, only one (1) such frontage shall be permitted to reduce the required retail area to fifty (50) percent of the frontage.

Does Not Appear

→ The entire Bldg is AG

Map



Parcels	Stream Overlay Zone	Zoning (continued)	Zoning (continued)
Parcel	Stream_protection	R2 Residential	C25
Interstate	Island Zoning	R3 Residential	C26
Streets	C43	R4 Residential	C27
Buildings	I-B	R5 Residential	C28
Building	I-TS	R6 Residential	C29
Out Building	I-R1	ROS Recreation Open Space	C30
	I-R2		C31

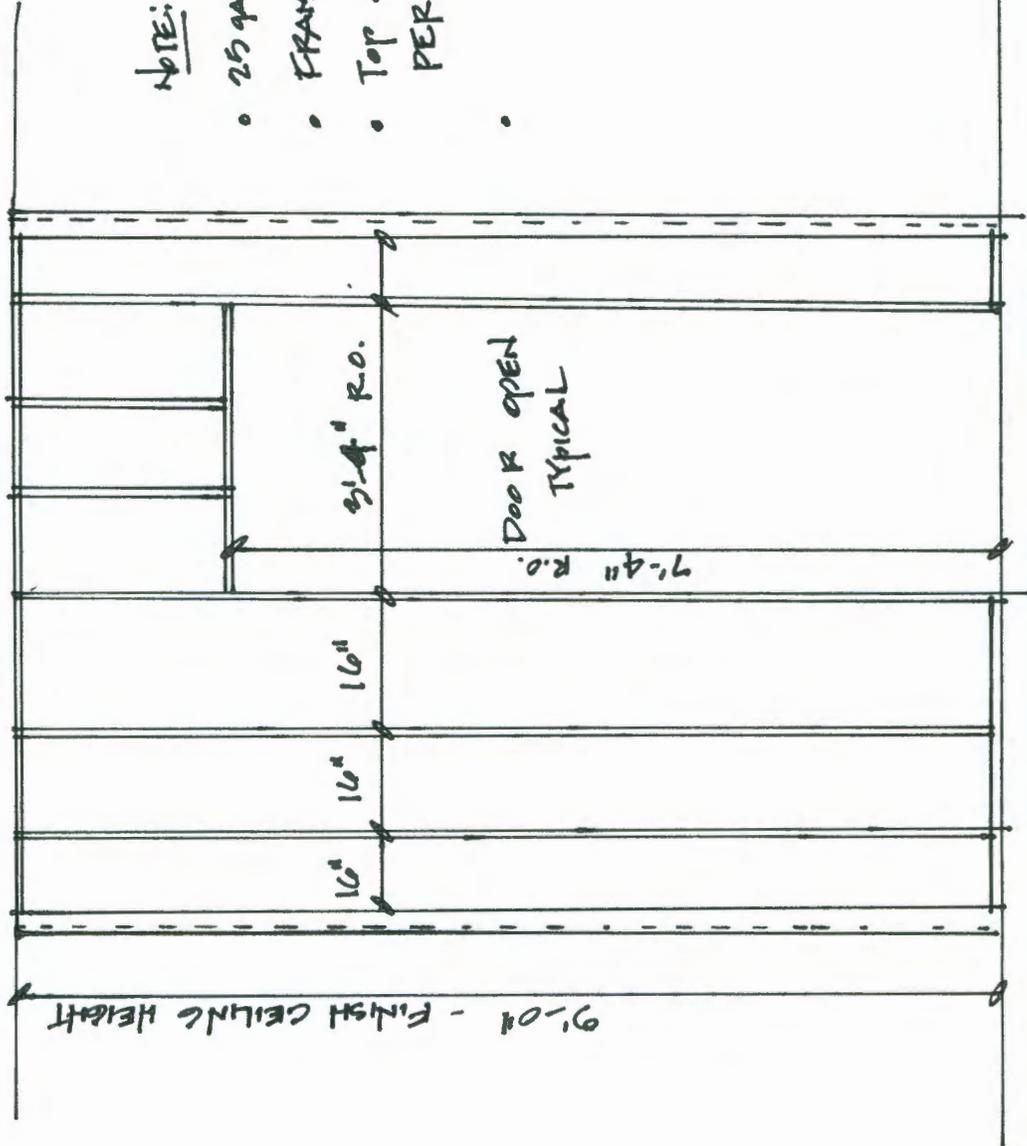
Dept. of Building Inspections
City of Portland Maine

177-5772

RECEIVED

NOTE:

- 25 GA LIGHT METAL FRAMING
- FRAMING MEMBERS - 16" O.C.
- TOP & BOTTOM TRACK FASTENED PER CODE OR 12" O.C. MIN



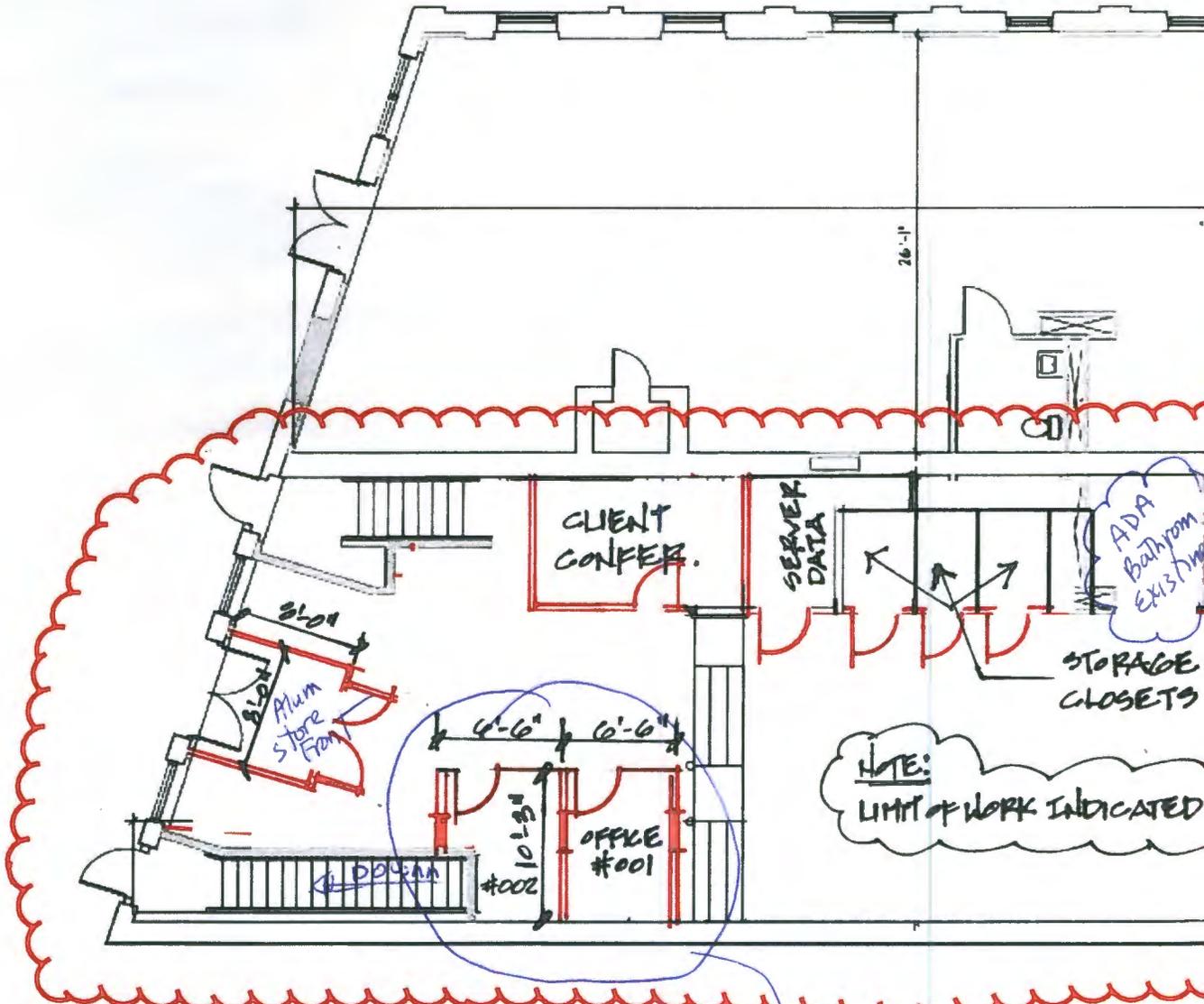
TYPICAL FRAMING ELEVATION

N.T.S.

131 MIDDLE ST
PORTLAND ME

LANDMARK CABTRUT.

JOFF / 12/9/2011



RECEIVED

DEC 21

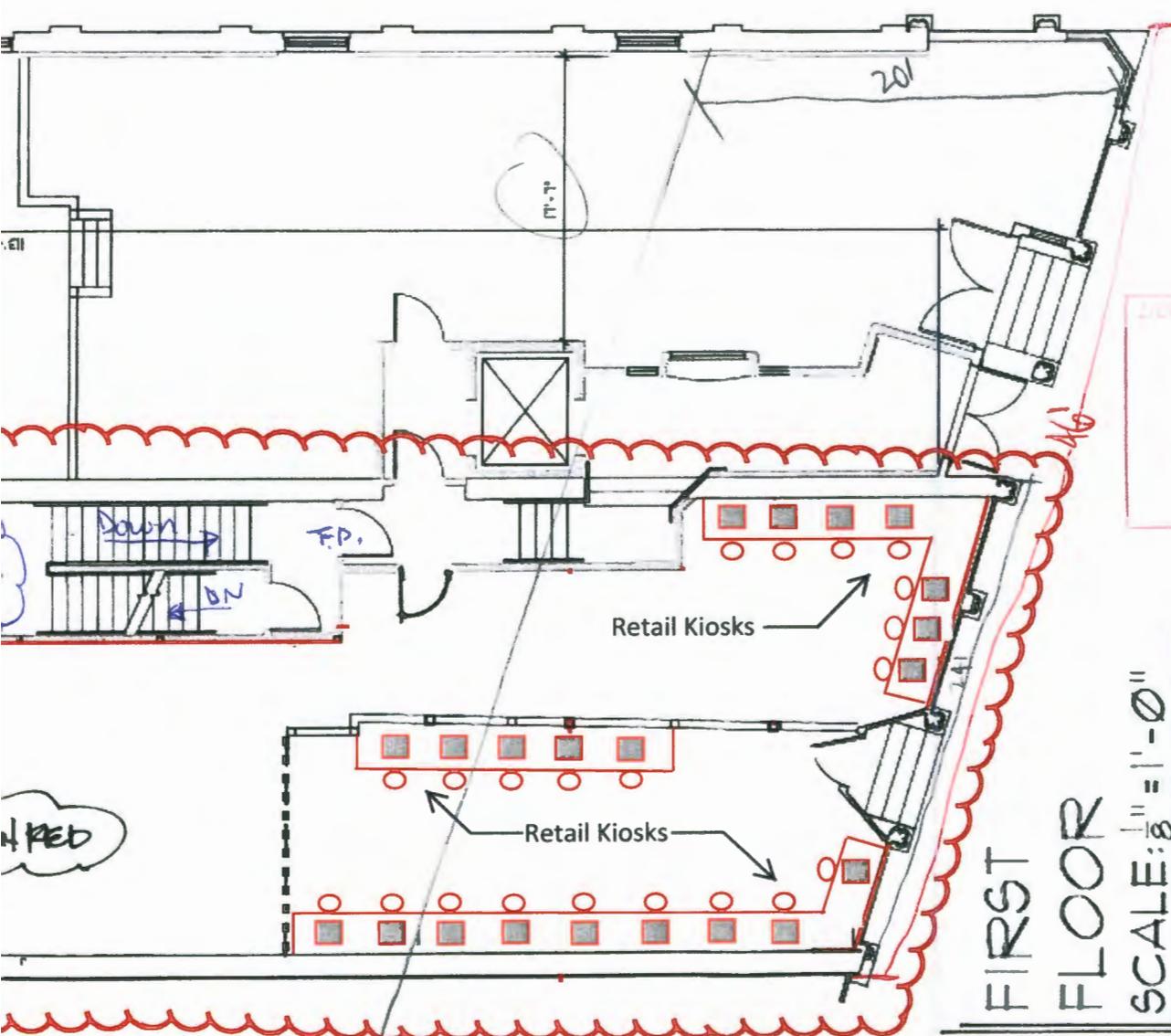
Dept. of Building Inspections
City of Portland Maine

1-23-12
DWM.
Not in
contract

CASH ST
131 MIDDLE
SALES &

$20 \times 46 = 920$
 $= 690$ MAX
 N needed
 $17.58 \times 20 = 351.6$
 $24 \times 20 = 480.0$
 831.6

$831.6 \div 920 = 90.39\%$
 meeting PAB



DEPT. OF BUILDINGS INSPECTION
 CITY OF PORTLAND, ME
 DEC 21 2011
 DEPT. 1

FIRST FLOOR
 SCALE: $\frac{1}{8}'' = 1'-0''$

AR, INC.
 STREET
 RETAIL

Landmarc
 Construction Services Corp
 415 Congress Street, Suite 202
 P.O. Box 460
 Portland, ME 04112

DWG. 1 of 1 | Revision 12/20/2011



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development

Building Inspections Division

Location: 131 MIDDLE ST

CBL: 028- L-007-001

Issued to: Rackliff Block, LLC

Date Issued: 3/16/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-12-2893-ALTCOMM, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

First Floor

APPROVED OCCUPANCY

Use Group M/B, Type 3B, IBC 2009

Approved:

3-16-12

(Date)

Don McPherson

Inspector

[Signature]

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.