

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that BLOCKLLC RACKLEFF

Located At 131 MIDDLE

Job ID: 2011-03-541-ALTCOMM

CBL: 028 - - L - 007 - 001 - - - -



has permission to 2nd flr add four interior offices within ex space provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.  
PENALTY FOR REMOVING THIS CAR**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

**PERMIT ISSUED**  
 MAR 18 2011  
**CITY OF PORTLAND**

Job No: 2011-03-541-ALTCOMM	Date Applied: 3/7/2011	CBL: 028 - - L - 007 - 001 - - - - -	
Location of Construction: 129 MIDDLE ST- 2 <sup>nd</sup> floor	Owner Name: BLOCK LLC RACKLEFF	Owner Address: PO BOX 606 HIGGANUM, CT - CONNECTICUT 06441	Phone:
Business Name:	Contractor Name: Gagnon, Marc	Contractor Address: 415 Congress Suite 202 ST PORTLANDMAINE04112	Phone: 669-2572
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Retail on 1 <sup>st</sup> floor with offices above	Proposed Use: SAME: Retail on 1 <sup>st</sup> floor with offices above - To make alterations to 2 <sup>nd</sup> floor (CashStar)	Cost of Work: 17,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: 2
		Signature: CAPT. R. Souther	Signature: <i>[Signature]</i>
Proposed Project Description: 129 Middle -2nd floor		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		<b>Zoning Approval</b>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Mjn <input type="checkbox"/> MM Date: <i>OK with conditions 3/11/11</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Within <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>any exterior work requires a separate review &amp; approval</i>
<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

### 1. Electrical - Commercial

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.





# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-03-541-ALTCOMM

Located At: 131 MIDDLE

CBL: 028 - - L - 007 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
3. This property shall remain retail on the first floor with offices above. Any change of use shall require a separate permit application for review and approval.

### **Fire**

Fire Conditions:

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Fire extinguishers are required. Installation per NFPA 10.

All construction shall comply with City Code Chapter 10.

This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks.
2. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
3. All framing must be metal studs and all wiring must be MC cable.

Fire Conditions:

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Fire extinguishers are required. Installation per NFPA 10.

All construction shall comply with City Code Chapter 10.

This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

**Job Summary Report**  
**Job ID: 2011-03-541-ALTCOMM**

Report generated on Mar 8, 2011 8:30:22 AM

Page 1

<b>Job Type:</b>	Adds/Alter Commercial	<b>Job Description:</b>	129 Middle 2nd floor	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	Initiate Plan Review	<b>Pin Value:</b>	806	<b>Tenant Name:</b>	
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	17,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		BLOCK RACKLEFF		<i>Property Owner</i>	
		Landmark Construction - Marc Gagnon		<i>GENERAL CONTRACTOR</i>	

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
Job Valuation Fees	\$190.00		\$190.00						\$190.00

**Location ID: 3870**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
E00928	028 L 007 001		M				-70.25325	43.658778

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				131 MIDDLE STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
WHOLESALE		NOT APPLICABLE			Historic District		DISTRICT 2	CENTRAL BUSINESS DISTRICT

**Structure Details**

**Structure: Loc id 00003869 Alt id 000086**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Commerical Mixed Use	6	9496,08		131 MIDDLE STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property Value
0	0	M				

**Permit #: 20111709**

**Permit Data**

*in Que -*  
*Annex*







# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>129 MIDDLE ST, 2ND FLOOR, PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>300 SF +/- INTERIOR</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>28</u> Block# <u>L</u> Lot# <u>7</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>CASHSTAR, INC</u> Address <u>129 MIDDLE ST 2ND FL.</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>16,823.00</u> C of O Fee: \$ <u>      </u> Total Fee: \$ <u>168.23</u>
Current legal use (i.e. single family) <u>COMMERCIAL OFFICE</u> If vacant, what was the previous use? <u>      </u> Proposed Specific use: <u>SAME - NO CHANGE</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>      </u> Project description: <u>ADD FOUR INTERIOR PRIVATE OFFICES WITHIN EXISTING OPEN FLOOR PLAN SPACE. INCLUDES GWS ASSEMBLIES, MINOR ELECTRICAL AND ADDING ONE SPRINKLER HEAD. ALL CODE COMPLIANT</u>		
Contractor's name: <u>LANDMARC CONSTRUCTION</u> Address: <u>415 CONGRESS ST, SUITE 202</u> City, State & Zip <u>PORTLAND, ME 04112</u> Telephone: <u>207-699-2572</u> Who should we contact when the permit is ready: <u>MARC GAGNON</u> Telephone: <u>" " "</u> Mailing address: <u>415 CONGRESS ST, SUITE 202 PORTLAND, ME 04112</u>		

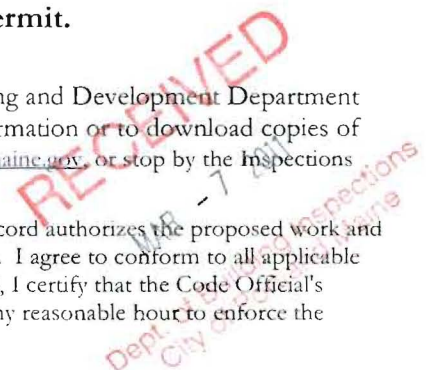
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov) or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

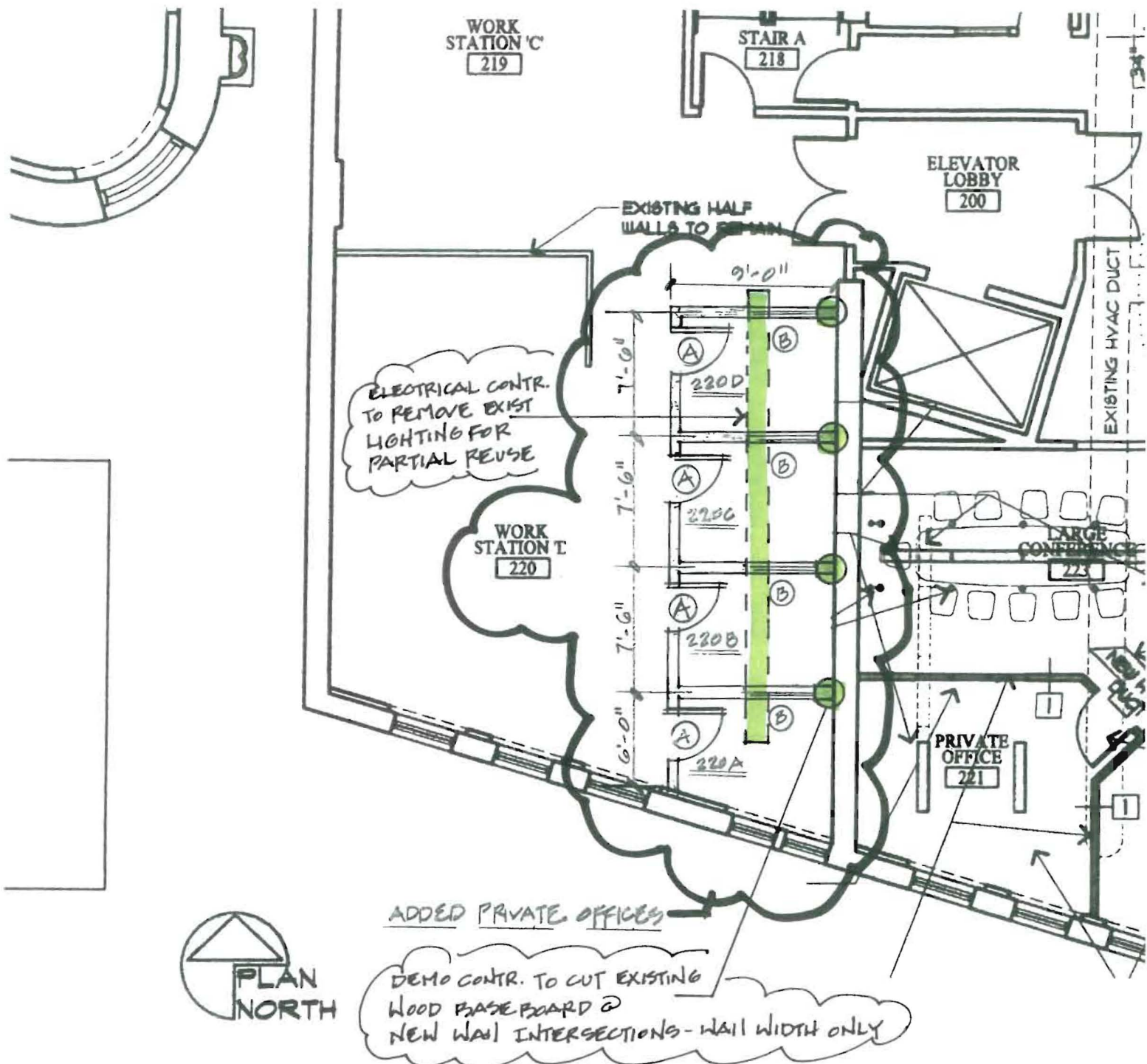
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/7/2011

This is not a permit; you may not commence ANY work until the permit is issue







DEMOLITION PLAN  
N.T.S.

CashStar Inc.  
129 Middle Street, Portland, ME 2/22/2011

Offices Expansion Project

 Landmarc  
Construction

2 of 7

WORK STATION 'C'  
219

STAIR A  
218

ELEVATOR LOBBY  
200

EXISTING HALF WALLS TO REMAIN

EXISTING HVAC DUCT

WORK STATION 'I'  
220

9'-0"

7'-0"

7'-6"

7'-6"

6'-0"

220D

220C

220B

220A

LARGE CONFERENCE  
223

PRIVATE OFFICE  
221

ADDED PRIVATE OFFICES



NOTE:  
EXISTING CEILING HEIGHT  
IS 12'-6"

FLOOR PLAN

N.T.S

CashStar Inc.

129 Middle Street, Portland, ME

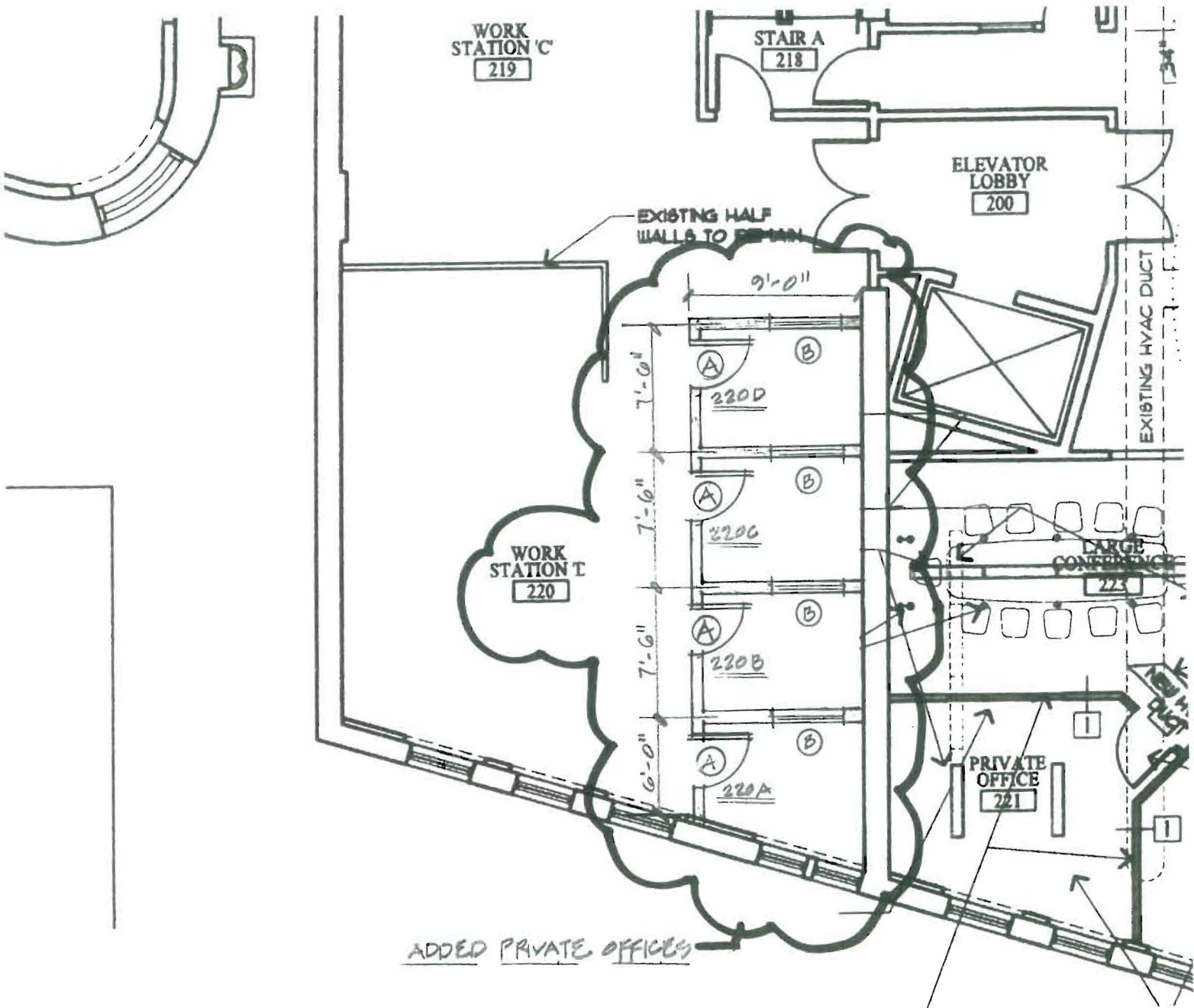
2/22/2011

Offices Expansion Project

Landmarc  
Construction

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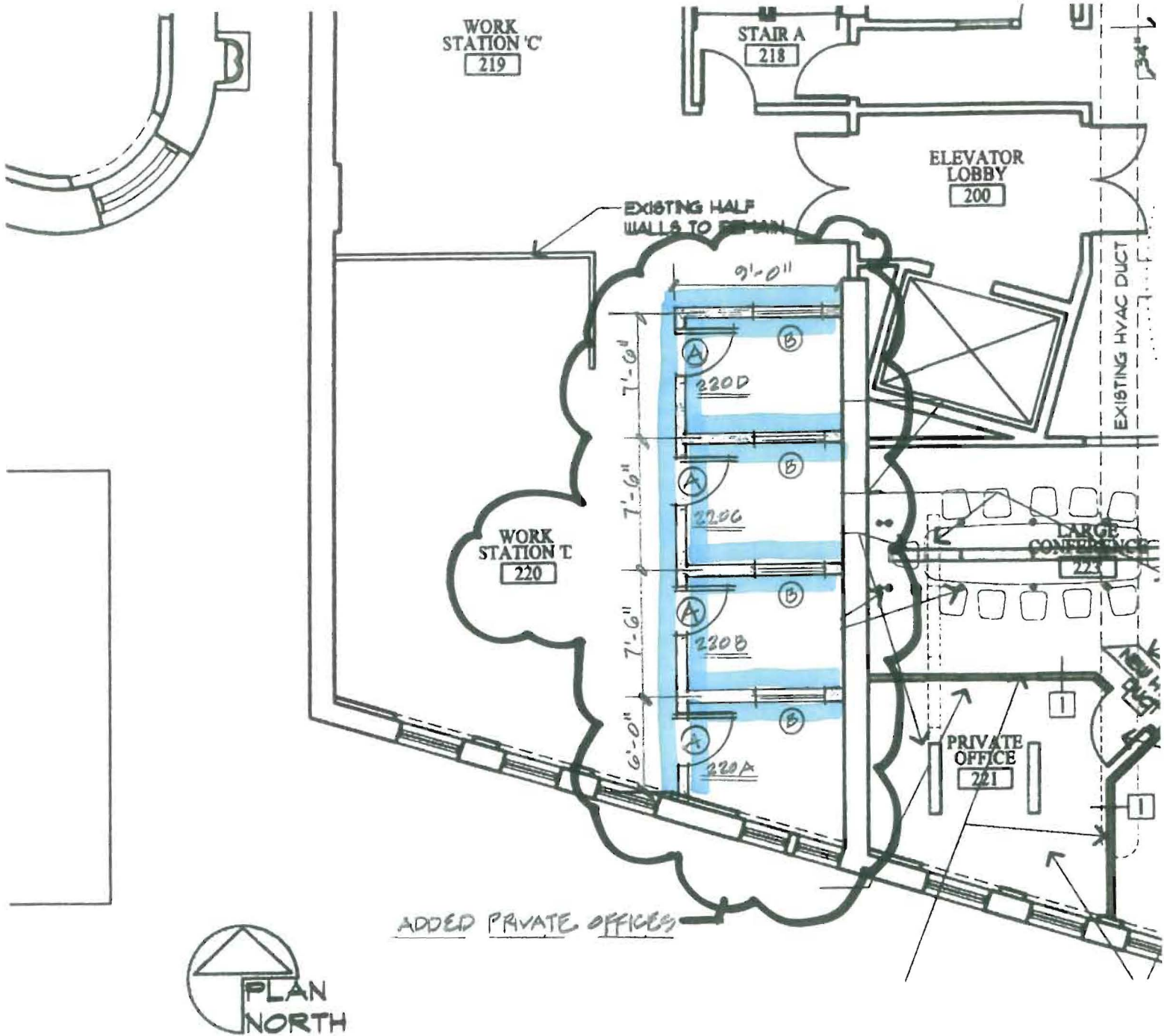
**Schedule**

**Door, Frames, Hardware and Borrowed light**


Label	Size	Frame	Notes
A	3'0" X 7'-0"	K.D.	Solid Wood Door w/Full Light Glass/Keyed Lockset
B	4'-0" X 2'-0"	K.D.	Borrowed Light w/Glass-Transom Height

CashStar Inc.  
 129 Middle Street, Portland, ME 2/22/2011

**Offices Expansion Project**



REFLECTED CEILING PLAN

 PATCH ACOUSTICAL CEILING WITHIN 2' PANEL

CashStar Inc.

129 Middle Street, Portland, ME

2/22/201

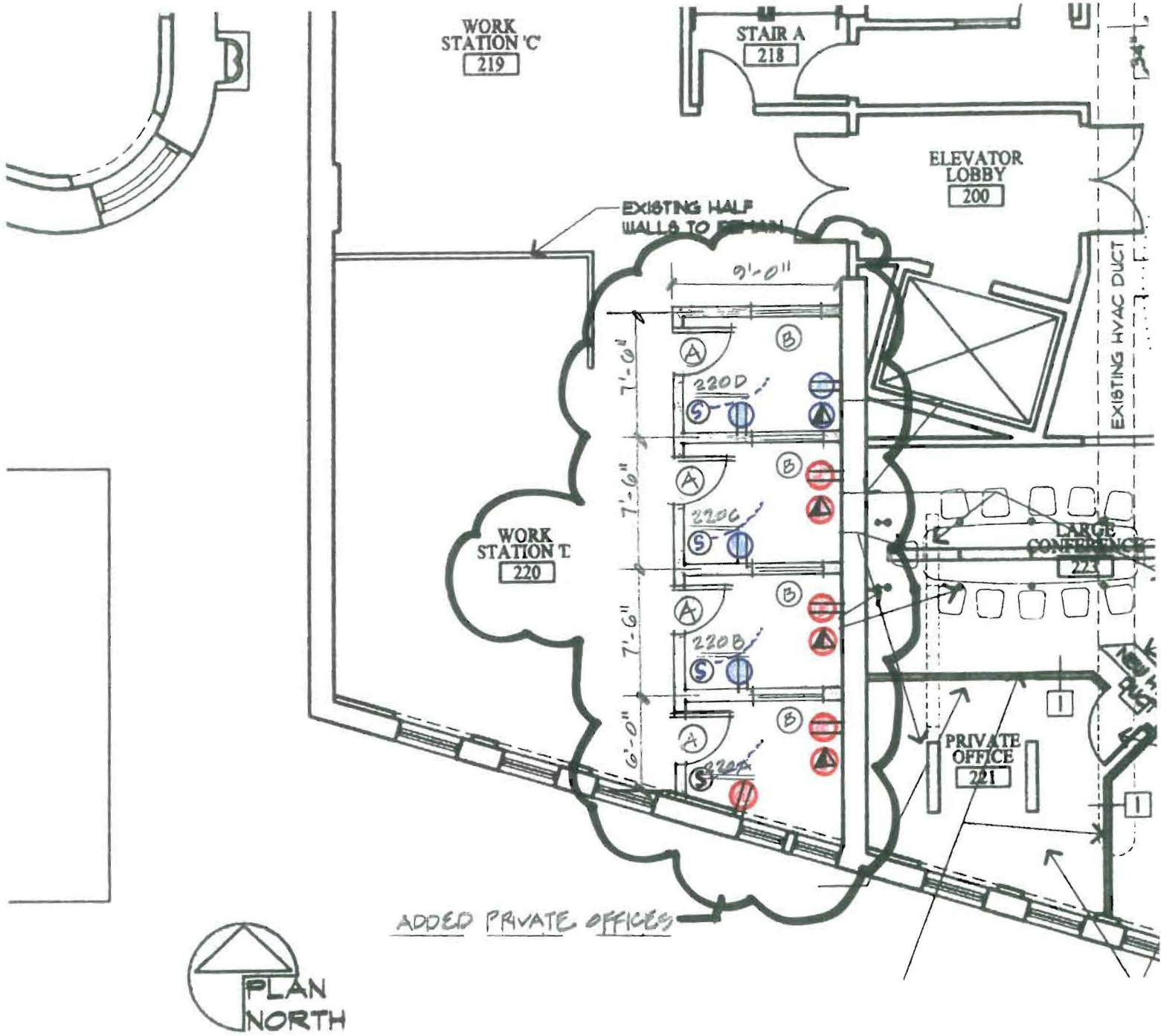
Offices Expansion Project



**Landmarc**  
Construction

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ELECTRICAL - POWER/TEL/DATA

**Legend**

-  Existing Power
-  New Power
-  Existing Tel/Data
-  New Tel/Data
-  New Single Pole Switch

CashStar Inc.

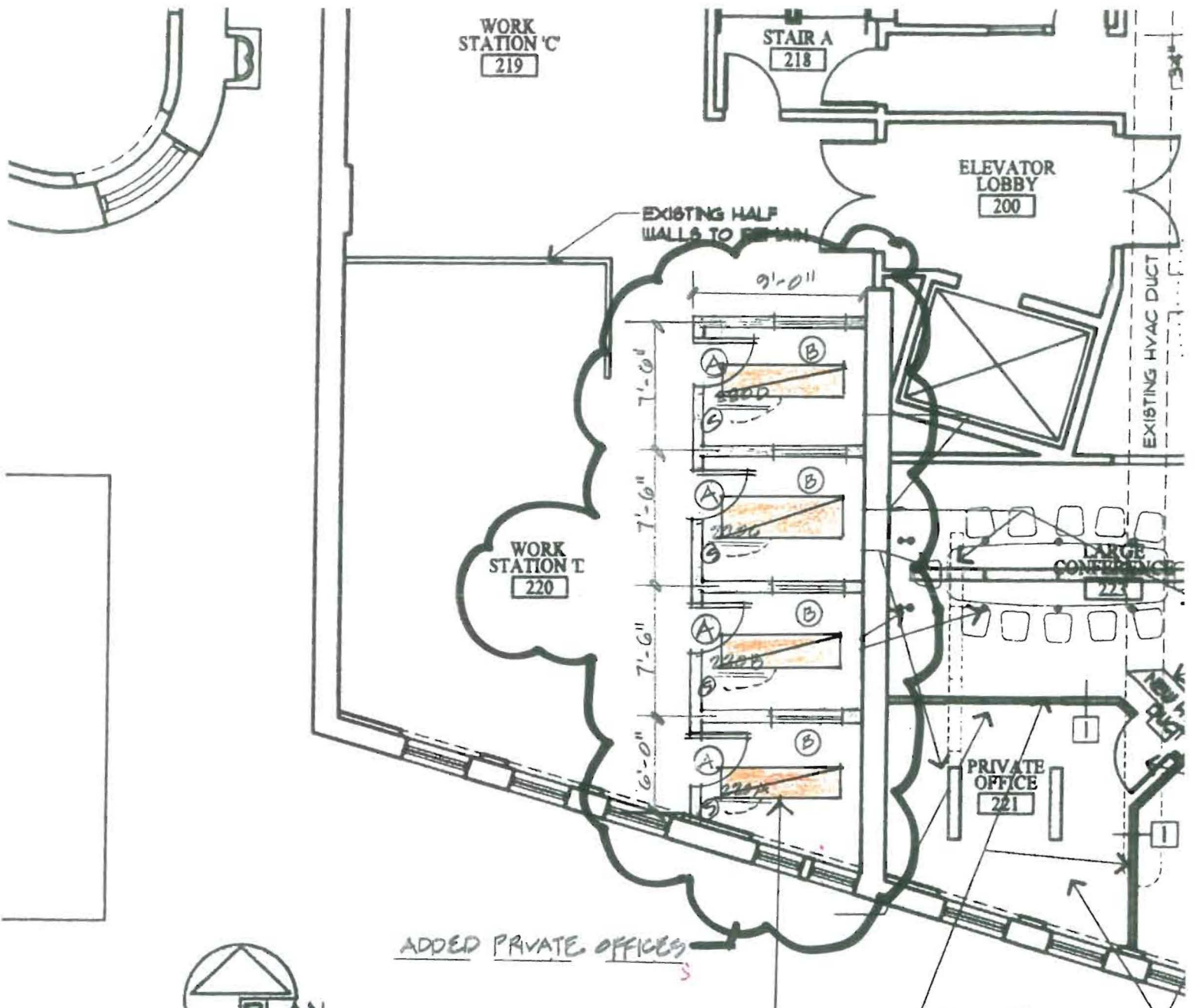
129 Middle Street, Portland, ME

2/22/201

Offices Expansion Project

 **Landmarc**  
Construction

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ELECTRICAL - LIGHTING  
N.T.S.

ONE (1) EIGHT (8) FOOT SUSPENDED LIGHT FIXTURE PER OFFICE. REUSE EXISTING. INSTALL REMAIN. LENGTHS W/ MATCHING. SWITCH LIGHT IN EACH OFFICE

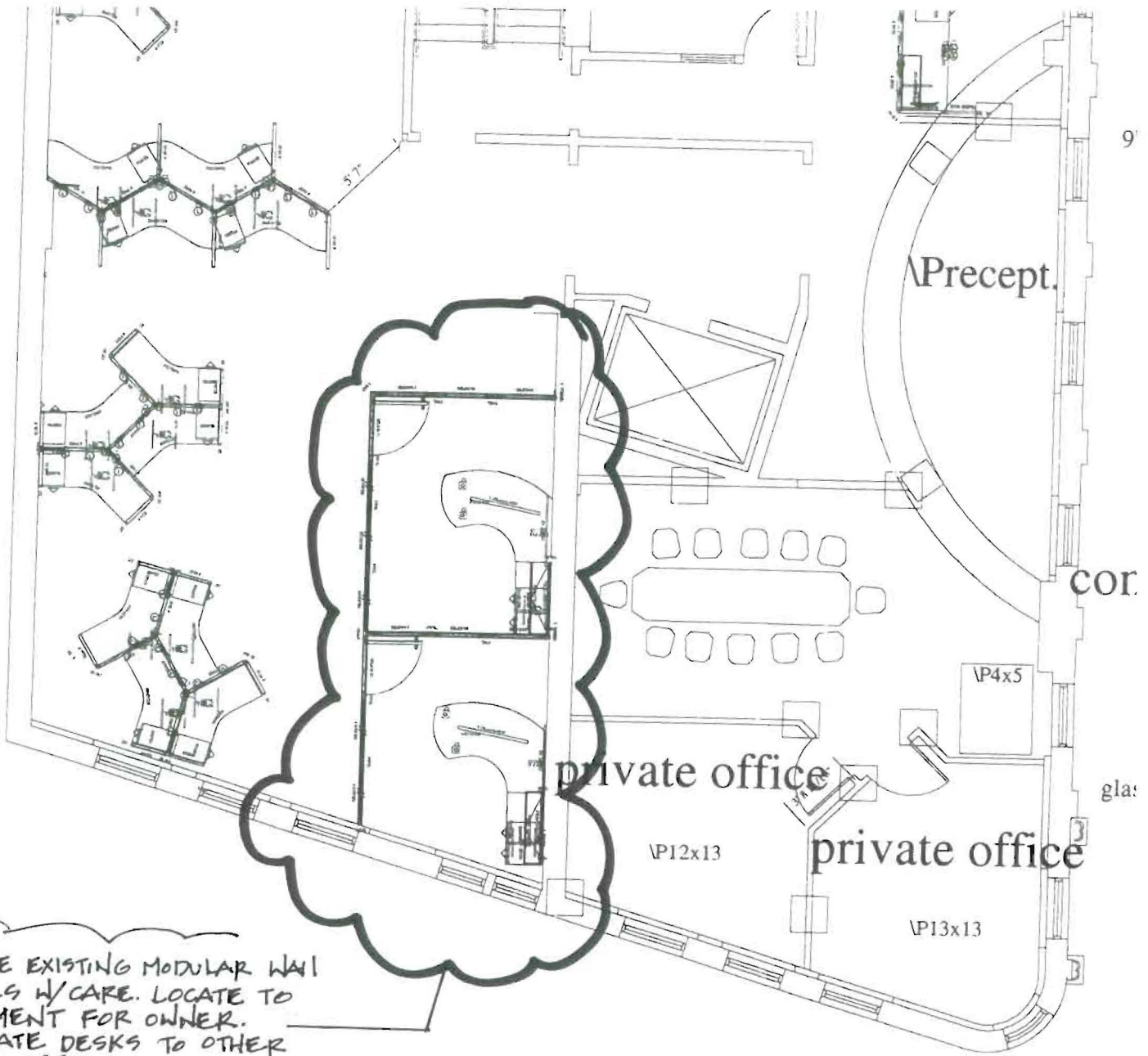
CashStar Inc.  
129 Middle Street, Portland, ME 2/22/2011

Offices Expansion Project



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EXISTING CONDITIONS PLAN

N.T.S.

**CashStar Inc.**

129 Middle Street, Portland, ME

2/22/2011

**Offices Expansion Project**

**Landmarc**  
Construction

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