

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 090623

Please Read
Application And
Notes, If Any,
Attached

This is to certify that WHOLLY COW LLC / Burr Sighas permission to Commercial - Retail - "Eco-Electronics" - install a hanging signAT 75 MARKET ST

CB 0028-K003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise occupied-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PERMIT ISSUED

JUL 6 2009

CITY OF PORTLAND

Chris M 6/24/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0623		Issue Date: 6/26/09		CBL: 028 K003001					
Location of Construction: 75 MARKET ST (157 Middle St)		Owner Name: WHOLLY COW LLC		Owner Address: 100 COMMERCIAL ST		Phone:			
Business Name: Eco-Elegance		Contractor Name: Burr Signs		Contractor Address: 50 DownEast Drive Yarmouth		Phone: 2077991183			
Lessee/Buyer's Name		Phone:		Permit Type: Signs - Permanent			Zone: B-3		
Past Use: Commercial - Retail - "Key City Redux"		Proposed Use: Commercial - Retail - "Eco-Elegance" - install a hanging sign - two panels - 9" x 36" & 14" x 23"		Permit Fee: \$71.50		Cost of Work: \$71.50		CEO District: 1	
Proposed Project Description: Commercial - Retail - "Eco-Elegance" - install a hanging sign - two panels - 9" x 36" & 14" x 23"				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: B/m Type: Signage IBC-2003			
				Signature:		Signature: [Signature]			
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:					
Permit Taken By: Ldobson		Date Applied For: 06/6/2009		Zoning Approval					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/24/09 [Signature]		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:		Historic Preservation Yes <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 6/24/09 [Signature]	
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 7/6/09

Date

Signature of Inspections Official

Date

City of Portland, Maine - Building or Use Permit 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716		Permit No: 09-0623	Date Applied For: 06/17/2009	CBL: 028 K003001
Location of Construction: 75 MARKET ST (157 Middle)	Owner Name: WHOLLY COW LLC	Owner Address: 100 COMMERCIAL ST		Phone:
Business Name: Eco-Elegance	Contractor Name: Burr Signs	Contractor Address: 50 DownEast Drive Yarmouth		Phone (207) 799-1183
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent		
Proposed Use: Commercial - Retail - "Eco-Elegance" - install a hanging sign - two panels: 9" x 36" & 23" X 14"		Proposed Project Description: Commercial - Retail - "Eco-Elegance" - install a hanging sign - two panels: 9" x 36" & 23" X 14"		
Dept: Historic Status: Approved with Conditions Reviewer: Deborah Andrews Approval Date: 06/24/2009 Note: Ok to Issue: <input checked="" type="checkbox"/> 1) * Application does not include any proposed lighting. If sign ighting is proposed, lighting must be reviewed and approved separately.				
Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 06/24/2009 Note: The use is a wedding consignment store & rental store. Ok to Issue: <input checked="" type="checkbox"/> 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.				
Dept: Building Status: Approved with Conditions Reviewer: Chris Hanson Approval Date: 06/26/2009 Note: Ok to Issue: <input checked="" type="checkbox"/> 1) Signage Installation to comply with Chapter 31 of the IBC 2003 building code.				

Comments: 6/25/2009-gg: received permit from historic as of 6/24/09. /gg
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Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>157 Middle St, Portland ME 04101</u>		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>028-K-003-001</u>	Owner: <u>WHOLLY LOW LLC</u> <u>100 COMMERCIAL ST</u> <u>PORTLAND, ME</u>	Telephone: <u>207 775 2252</u>
Lessee/Buyer's Name (If Applicable) <u>Eco-Elegance, LLC</u>	Contractor name, address & telephone: <u>N/A</u>	Total s.f. of signage x \$2.00 <u>3.28</u> Per s.f. plus \$30.00/\$65.00 For H.D. signage= Total Fee: \$ _____ Awning Fee= cost of work _____ Total Fee: \$ _____
Who should we contact when the permit is ready: <u>April Randolph</u> phone: <u>352 514 7347</u>		
Tenant/allocated building space frontage (feet): Length: <u>38.25'</u> Height: <u>13'</u> Lot Frontage (feet) <u>214.2</u> Single Tenant or Multi Tenant Lot <u>Multi</u>		
Current Specific use: <u>Vacant</u>		
If vacant, what was prior use: <u>CLAY CITY REDUX Store (with sign)</u>		
Proposed Use: <u>ECO-ELEGANCE Wedding Consignment & Rental Store</u>		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes _____ No <u>X</u> Dimensions proposed: _____ Height from grade: _____ Bldg. wall sign? (attached to bldg) Yes <u>X</u> No _____ Dimensions proposed: <u>30" x 36"</u>		
Proposed awning? Yes _____ No <u>X</u> Is awning backlit? Yes _____ No _____ Height of awning: _____ Length of awning: _____ Depth: _____ Is there any communication, message, trademark or symbol on it? Yes _____ No _____ If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes _____ No <u>X</u> Dimensions: _____ Bldg. wall sign? (attached to bldg) Yes <u>X</u> No _____ Dimensions: _____ Awning? Yes _____ No <u>X</u> Sq. ft. area of awning w/communication: _____		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		

Please submit all of the information outlined in the Sign/Awning Application Checklist.
Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>April Randolph</u>	Date: <u>6/16/2009</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

OLD PORT RETAIL

MIDDLE STREET - PORTLAND

LOCATION
OF
SIGN →
(ECO-ELEGANCE SIGN
TO REPLACE CLAY
CITY SIGN. 9'
CLEARANCE



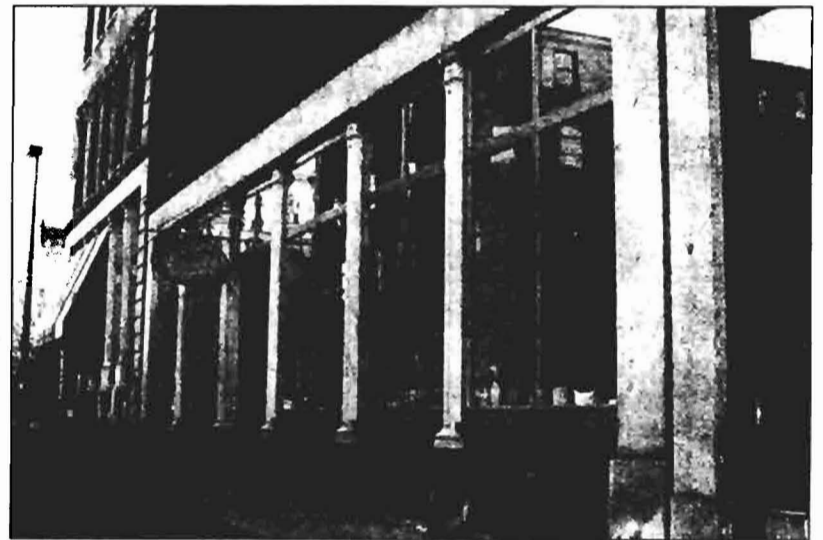
13'

38.25'

1,409± SF retail space featuring huge windows and granite facade is available now. Exceptional location near the corner of Market and Middle Streets next to David Wood. This space is part of the 5-story 75 Market building.

For further information and to
see this property contact:

Peter Harrington
(207) 772-2422
peter@malonecb.com



MALONE
Commercial and Investment Real Estate

Malone Commercial Brokers, Inc.
5 Moulton Street
Portland, Maine 04101

Tel (207) 772-2422

ENCLOSURE (3 a)



157 Middle Street's Old Port location is central to an area that includes City Hall, both federal and state courthouses, professional offices, banking, restaurants and shopping. It is only a few steps to the park at Middle & Exchange Streets (shown at right).



Malone Commercial Brokers, Inc.
5 Moulton Street
Portland, Maine 04101



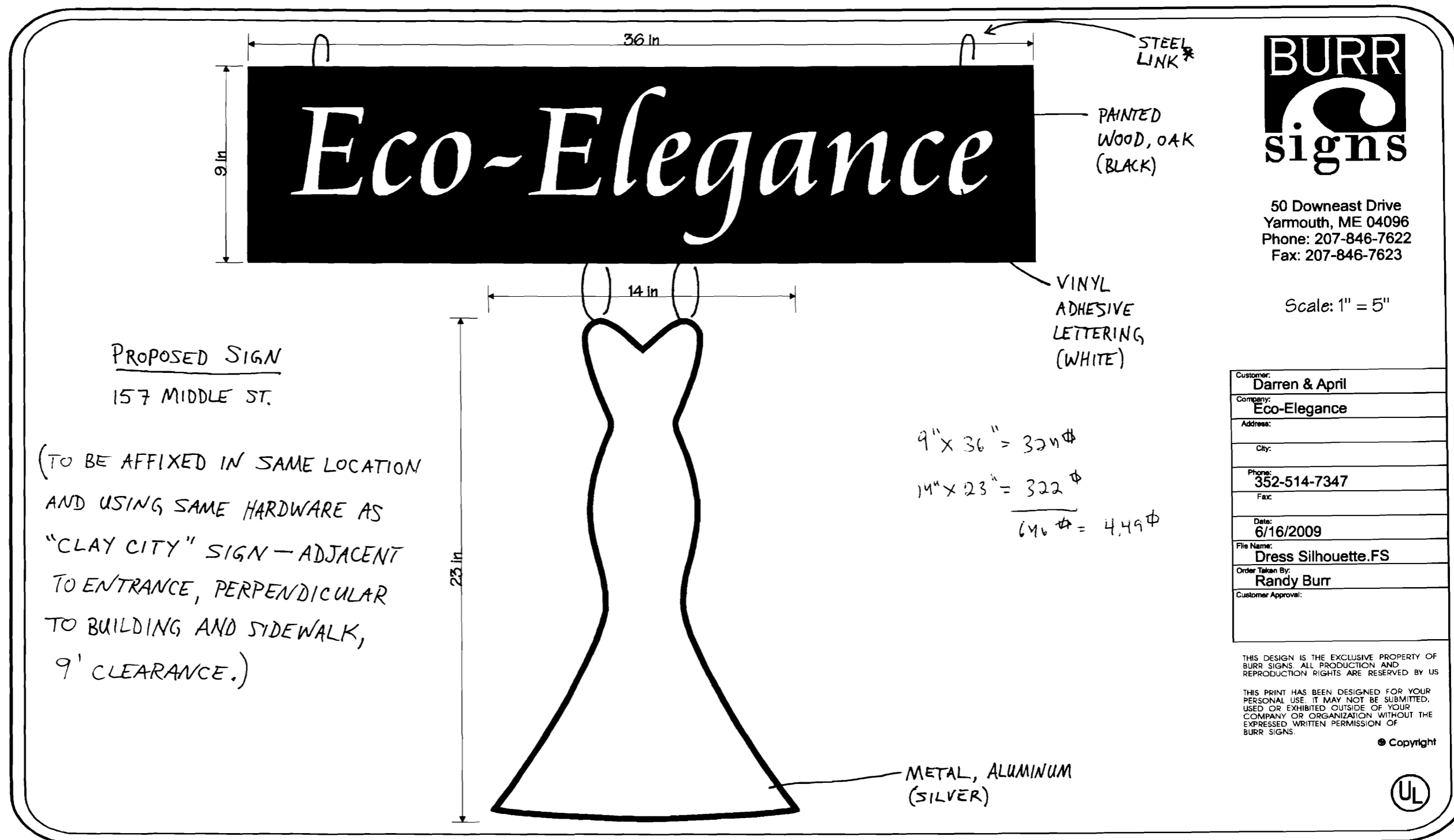
Broker:
Peter Harrington
(207) 772-2422
peter@malonecb.com
www.malonecb.com

SEE DEPICTION ABOVE FOR LOCATIONS

- a. "Building Frontage" (38.25')
(Eco-Elegance location, 157 Middle St.)
- b. "Street Frontage" (214.2')
- c. Silver Street (opposite side of street and next block over.)

ENCLOSURE (3b)

ENCLOSURE (4)



*SIGN WILL BE FASTENED USING 3/16" STEEL LINKS.
(SAME AS EXISTING "CLAY CITY" SIGN.)

Wholly Cow LLC
75 Market Street
Portland ME 04101
207-775-2252

June 11, 2009

City of Portland
Planning & Development Department
389 Congress Street
Portland ME 04101

Dear Sir/Madam:

Eco-Elegance has permission to install signage per attached application at 157 Middle Street, Portland, Maine.

If you need further assistance, please do not hesitate to call.

Yours truly,


J. Tim Soley

Wholly Cow LLC
By
Authorized Signer

ENCLOSURE (2)

ACORD CERTIFICATE OF LIABILITY INSURANCE						DATE (MM/DD/YYYY) 6/16/2009	
PRODUCER (207) 774-6257 FAX: (207) 774-2994 Clark Associates 2385 Congress Street P O Box 3543 Portland ME 04104				THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.			
INSURED ECO-ELEGANCE LLC 75 MARKET ST STE G2 PORTLAND ME 04101-5031				INSURERS AFFORDING COVERAGE		NAIC #	
				INSURER A: One Beacon Insurance		20621	
				INSURER B:			
				INSURER C:			
				INSURER D:			
				INSURER E:			
COVERAGES THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.							
INSR LTR	ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	PM2U14835	6/1/2009	6/1/2010	EACH OCCURRENCE	\$ 2,000,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000
						MED EXP (Any one person)	\$ 5,000
						PERSONAL & ADV INJURY	\$ 2,000,000
						GENERAL AGGREGATE	\$ 4,000,000
						PRODUCTS - COMP/OP AGG	\$ 4,000,000
		GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
							\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU-TORY LIMITS	OTH-ER
						E.L. EACH ACCIDENT	\$
						E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$
		OTHER					
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS							
CERTIFICATE HOLDER City of Portland 389 Congress Street Portland, ME 04101				CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE Johanna Kerry/BLAO			
				Johanna C. Kerry			

ACORD 25 (2001/08)
INS 0025 (11/00) 001

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ENCLOSURE (1)