

EMERY WATERHOUSE BLOCK

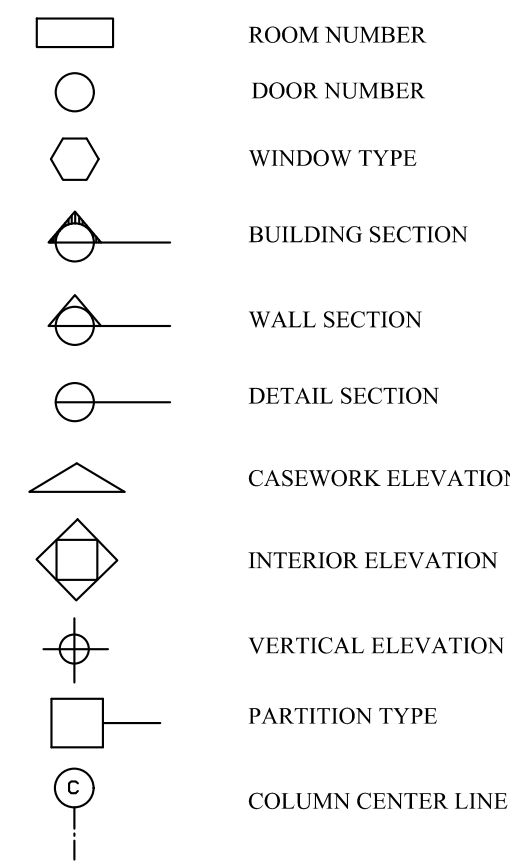
143-147 MIDDLE STREET - PORTLAND, MAINE

PROJECT DIRECTORY

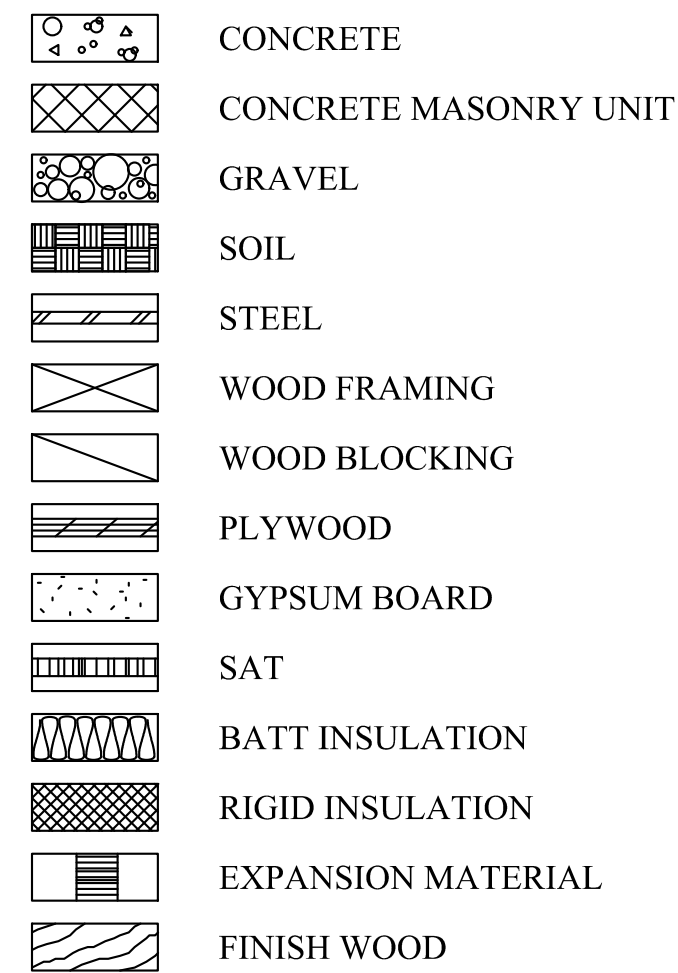
OWNER
LEADER PROPERTIES LLC
100 COMMERCIAL STREET
PORTLAND, MAINE 04102
P: 207.775.2252
E-MAIL: idominski@eastbrowncow.com

ARCHITECT
MARK MUELLER ARCHITECTS
100 COMMERCIAL STREET
SUITE #207
PORTLAND, MAINE 04101
P: 207.774.9057
F: 207.773.3851
E-MAIL: rfi@muellerarchitects.com

SYMBOLS



MATERIALS



DRAWING INDEX

T-1.1 COVER
T-1.2 GENERAL NOTES
SITE DRAWINGS
- -
ARCHITECTURAL DRAWINGS
EC-1.1 KEY PLANS
EC-1.2 EXISTING CONDITIONS & DEMOLITION
A-1.1 PROPOSED PLANS & ELEVATIONS
A-1.2 PROPOSED WALL SECTIONS

ABBREVIATIONS

AB	ANCHOR BOLT	FDKB	FIRE DEPARTMENT KEY BOX	MAX	MAXIMUM	S	SOUTH
AFF	ABOVE FINISH FLOOR	FDN	FOUNDATION	MECH	MECHANICAL	SAT	SUSPENDED ACOUSTICAL TILE CEILING
ALUM OR AL	ALUMINUM	FX	FIRE EXTINGUISHER	MFRG	MANUFACTURER	SC	SHOWER CURTAIN
BIT	BITUMINOUS	FFE	FINISH FLOOR ELEVATION	MIN	MINIMUM	SD	SOAP DISPENSER
BM	BENCH MARK	FIN	FINISH	MISC	MISCELLANEOUS	SCHED	SCHEDULE
BOT	BOTTOM	FIN FL OR FF	FINISH FLOOR	MRGB	MOISTURE RESISTANT GYPSUM BOARD	SECT	SECTION
BRG	BEARING	FL	FLOOR	MTL	METAL	SHT	SHEET
BRK	BRICK	FR	FIRE RATING	N	NORTH	SIM	SIMILAR
C	CARPET	FRMG	FRAMING	NA	NOT APPLICABLE	SND	SANITARY NAPKIN DISPOSAL
CAB	CABINET	FT	FEET (FOOT)	NIC	NOT IN CONTACT	SQ	SQUARE
CC	CENTER TO CENTER	FV	FIELD VERIFY	NO	NUMBER	STD	STANDARD
CL	CENTER LINE	GA	GAUGE	NOM	NOMINAL	STL	STEEL
CLG	CEILING	GALV	GALVANIZED	NTS	NOT TO SCALE	STRUCT	STRUCTURAL
CONC	CONCRETE	GB	GRAB BARS	OA	OVERALL	SV	SHEET VINYL
CONT	CONTINUOUS	GC	GENERAL CONTRACTOR	OC	ON CENTER	T	TEMPERED (GLASS)
DBL	DOUBLE	GWB	GYPSUM WALL BOARD	OD	OUTSIDE DIAMETER	THK	THICKNESS
DIA	DIAMETER	HC	HANDICAP	OPNG	OPENING	TO	TOP OF
DM	DIMENSION	HM	HOLLOW METAL	OPP	OPPOSITE	TOB	TOP OF BEAM
DNA	DOES NOT APPLY	HORZ	HORIZONTAL	P	PAINT	TOM	TOP OF MASONRY
DTL	DETAIL	HT	HEIGHT	PTD	PAINTED	TOW	TOP OF WALL
DWG	DRAWING	IF	INSIDE FACE	PL	PLATE	TP	TOILET PAPER DISPENSER
E	EAST	IN	INCHES	PLY WD	PLYWOOD	TUON	TYPICAL UNLESS OTHERWISE NOTED
EA	EACH	INSUL	INSULATION	PNL	PANEL	TYP	TYPICAL
EF	EACH FACE	INT	INTERIOR	PT	PRESSURE TREATED	VB	VAPOR BARRIER
EL	ELEVATION	JNT OR JT	JOINT	PTN	PARTITION	VCT	VINYL COMPOSITION TILE
ELEC	ELECTRICAL	LOC	LOCATION	RE	REFER	VERT	VERTICAL
ELEV	ELEVATOR			REF	REFRIGERATOR	W	WEST
EHO	ELECTRO-MAGNETIC HOLD OPEN			REINF	REINFORCED	W/	WITH
ETR	EXISTING TO REMAIN			REQD	REQUIRED	WC	WATER CLOSET
EQ	EQUAL			RM	ROOM	WD	WOOD
EW	EACH WAY			RO	ROUGH OPENING		
EXT	EXTERIOR						

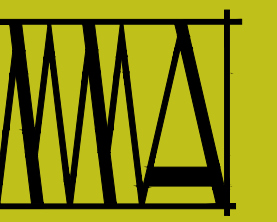
GENERAL NOTES

1. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, IECC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MPS.
2. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
3. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
4. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
5. ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
6. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN HOUSEKEEPING, UTILITY, STORAGE, SPRINKLER AND ALL OTHER HIGH HUMIDITY AREAS, INCLUDING UNIT BATHROOMS. MOISTURE RESISTANT FIRECODE G.W.B. @ ALL FIRE RATED WALLS COMMON WITH HOUSE UTILITY AND UNIT BATH ROOMS. SHOWERS ALL SIDES TO HAVE DURAROCK BACKING.
7. ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
8. INSTALL U.L. SLEEVE FIRE-STOPPING SYSTEM & FIRE RATED SEALANTS EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
9. FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING U.L. RATED PENETRATIONS. CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
10. CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, ELEVATOR, STAIRWELL WALLS, ETC.
11. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
12. PROJECT ASSUMES ALL EXISTING HAZARDOUS MATERIALS HAVE BEEN REMOVED PRIOR TO THE COMMENCEMENT OF WORK. ALL HAZARDOUS MATERIAL REMOVAL IS THE RESPONSIBILITY OF THE OWNER.
13. DESIGNATED EGRESS WINDOWS IN SLEEPING ROOMS SHALL MEET THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS OF 22" WIDE, 24" HIGH & 5.7 SF CLEAR OPENING. ALL BEDROOMS SHALL CONTAIN A MINIMUM OF (1) EGRESS OPENING.
14. WINDOW SAFETY GLAZING SHALL BE LOCATED AS FOLLOWS, BUT NOT LIMITED TO:
ALL WINDOWS WITHIN 60" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
15. BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY THROUGHOUT THE DRAWING SET. INSULATE ALL BATHROOM, LAUNDRY, MECH. ROOM WALLS, AND ROOF DRAINS THRU BUILDING.
16. BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT & OR ENGINEER PRIOR TO WORK.
17. ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.

PROJECT NOTES

1. SCOPE OF WORK: SHALL INCLUDE THE CONSTRUCTION OF A NEW MIDDLE STREET ENTRY VESTIBULE.
2. HISTORIC PRESERVATION APPROVAL HAS BEEN OBTAINED.
3. ALL NEW WORK SHALL CONFORM TO THE CITY OF PORTLAND INSPECTIONS, FIRE, ZONING & HISTORIC PRESERVATION OFFICES.
4. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: STREET CLOSINGS, ELECTRICAL, MECHANICAL, SPRINKLER ETC.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE EXTERIOR, INTERIOR & SITE WORK; INCLUDING ALL EXTERIOR FINISHES. WORK SHALL ALSO INCLUDE:
 - a. NFPA 13 SPRINKLER SYSTEMS PER THE FLOOR PLANS.
 - b. MECHANICAL SYSTEMS (HVAC)
 - c. ELECTRICAL
 - d. PLUMBING
 MECHANICAL/ ELECTRICAL INSTALLATIONS ARE TO BE PERFORMED ON A DESIGN-BUILD BASIS. ALL SYSTEMS SHALL BE ENGINEERED AND CERTIFIED BY A STATE OF MAINE PROFESSIONAL ENGINEER.
6. ANY REQUIRED FIRE ALARM WORK SHALL BE INSTALLED ACCORDINGLY TO MEET NFPA 72, CITY OF PORTLAND & STATE FIRE MARSHAL REQUIREMENTS.
7. ALL FIRE RATED WALL PENETRATIONS SHALL BE UL APPROVED.
8. VERIFY EXISTING SPRINKLER HEAD COVERAGE FOR NEW VESTIBULE AREA. ADD NEW SPRINKLER HEAD AS REQUIRED PER NFPA 72.
9. CONTACT THE ARCHITECT PRIOR TO WORK SHOULD DISCREPANCIES BE DISCOVERED DURING THE BUILDING PROCESS.

CODE NOTES



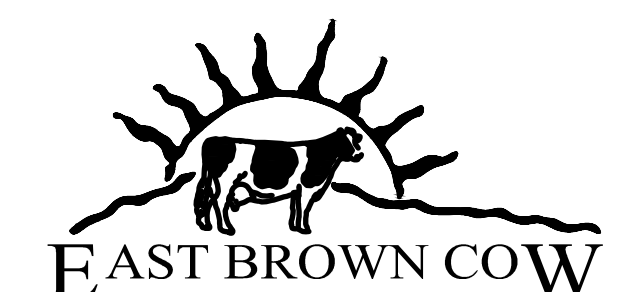
MARK MUELLER ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.9057
Email:
rfi@muellerarchitects.com

© COPYRIGHT 2018
MARK MUELLER ARCHITECTS

ENTRY DOOR VESTIBULE:
BERRY SHOE BLOCK
66 PEARL STREET
PORTLAND, MAINE

GENERAL NOTES

REVISIONS
DATE
JAN 2018
PROJECT
66 PEARL ENTRY
DRAWN BY
MRP
CHECK BY
MAM



BUILDING PERMIT SET: JANURAY 11, 2018

T-1.2