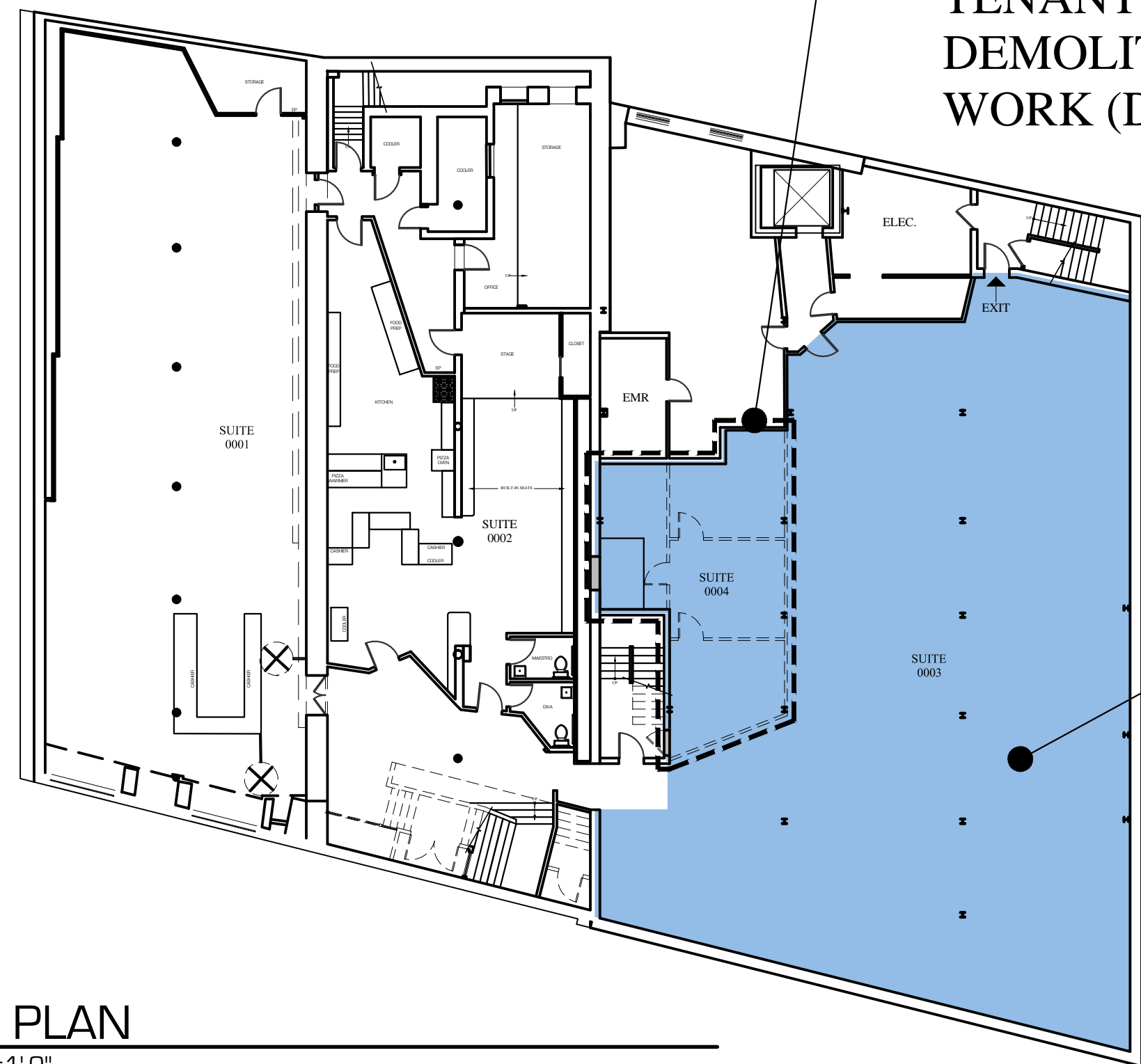


AREA OF EXISTING TENANT SPACE DEMOLITION WORK (DASHED)



AREA OF EXISTING TENANT SPACE (SHADED)

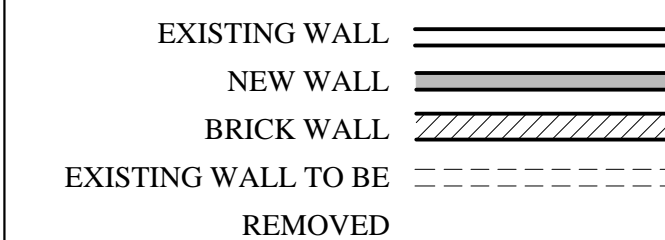
DEMOLITION NOTES:

1. ALL WALLS AS SHOWN TO BE REMOVED. G.C. TO FIELD VERIFY & REPORT ANY DISCREPANCIES OR LOAD BEARING WALLS TO THE ARCHITECT.
2. ELECTRIC POWER TO THE TENANT SPACE ONLY SHALL BE DISCONNECTED PRIOR TO DEMOLITION. VERIFY WATER SHUT-OFF W/ BUILDING OWNER. EXISTING DUCT WORK TO REMAIN SHALL BE SEALED. SPRINKLER SYSTEMS, WHERE APPLICABLE, SHALL REMAIN OPERATIONAL UNLESS PERMITTED BY THE CITY BUILDING INSPECTOR. FIRE ALARM SYSTEMS TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.
3. DUST BARRIER PARTITIONING SHALL BE INSTALLED @ TENANT SEPARATIONS.
4. ALL DEMOLITION SHALL BE REMOVED FROM THE REAR OF THE BUILDING ONLY.
5. REMOVE EXISTING CEILINGS IN THEIR ENTIRETY.
6. ALL FIRE PROTECTION, GYPSUM DRYWALL &/ OR FIRESPRAY ON STRUCTURAL MEMBERS; INCLUDING BEARING WALLS, FIRE SEPARATION WALLS, BEAMS, COLUMNS & FIRE RATED FLOOR/ CEILING ASSEMBLIES SHALL NOT BE REMOVED.
7. PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN.
8. DIMENSIONS INDICATED +/- ARE EXISTING CONDITION DIMENSIONS TO BE VERIFIED IN FIELD.
9. REMOVE EXISTING PLUMBING FIXTURES IF ANY AS NOTED, VENTING AND ASSOCIATED EXHAUST FANS. CAP PLUMBING FLUSH WITH FLOOR.
10. G.C. TO VERIFY WITH 'DIG SAFE' PRIOR TO ANY SITE WORK IF SHOWN.

PROJECT NOTES

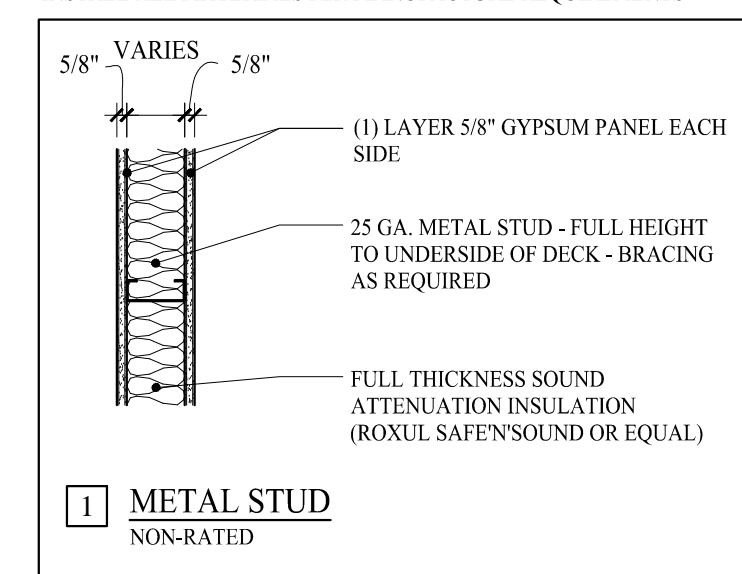
1. THE CONSTRUCTION TYPE NOTED WITHIN IS LIMITED TO THE SCOPE OF WORK FOR THE PROJECT AS SHOWN AND OUTLINED IN THE CONSTRUCTION DOCUMENTS. CONSTRUCTION TYPE AND USE BEYOND THIS SCOPE OF WORK SHALL BE OUTSIDE THE RESPONSIBILITY OF THE ARCHITECT.
2. SCOPE OF WORK: THE PROJECT INCLUDES THE TENANT FIT-UP OF INTERIOR WALLS FOR "BULL MOOSE MUSIC" (NO CHANGE OF USE).
3. ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70. ALL LIFE SAFETY INTEGRATION W/ THE EXISTING SHALL MEET NFPA 72 & CITY OF PORTLAND FIRE DEPARTMENT.
4. ALL NEW INTERIOR FINISHES SHALL MEET: WALLS & CEILINGS: CLASS A OR B - FLOOR FINISHES: NOT LESS THAN CLASS II.
5. FURNITURE, FIXTURES AND EQUIPMENT: SHALL BE FLAME RESISTANT & MEET NFPA 701, STANDARD METHODS OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES & FILMS.
6. SPRINKLER SYSTEM - NEW HEADS PER PLAN.
7. ALL EXISTING EGRESS COMPONENTS SHALL REMAIN AS SHOWN ON DRAWINGS.
8. HVAC - VERIFY EXISTING HVAC SYSTEM & DUCT WORK WITH PROPOSED PLAN.
9. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.

WALL LEGEND



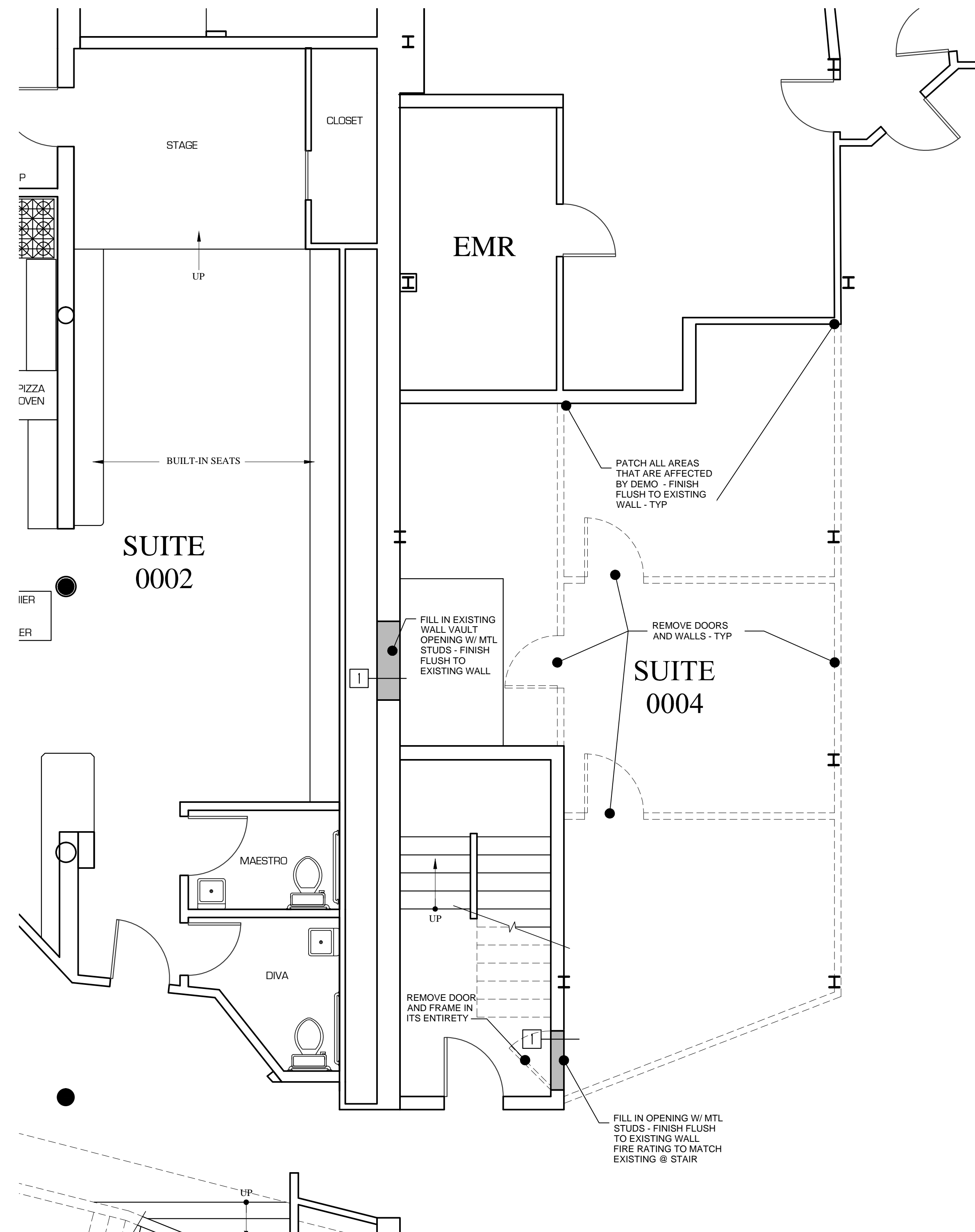
KEY PLAN
1/16"=1'-0"

* INSTALL ALL MATERIALS PER MANUFACTURE REQUIREMENTS

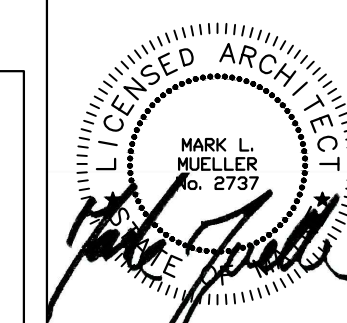


| NFPA ICI 2009 & 220 2006 CODE DATA | |
|--|---------------------------|
| USE GROUP CLASSIFICATION | MERCANTILE |
| TYPE OF CONSTRUCTION | 3200 (SEE NOTE #0) |
| EXISTING BUILDING AREA | EXISTING TO REMAIN |
| PROPOSED BUILDING AREA | EXISTING TO REMAIN |
| TOTAL AREA OF WORK | 656 SF |
| BUILDING HEIGHT (STORES/ FEET) | 3 STORES |
| BUILDING AREA LIMITATION - SQ FT | EXISTING TO REMAIN |
| BUILDING HEIGHT LIMITATION - STORES | EXISTING TO REMAIN |
| TRAVEL COMMON PATH LIMIT (ALLOWABLE/ ACTUAL) | 100/ NONE |
| TRAVEL DEAD-END LIMIT (ALLOWABLE/ ACTUAL) | 50/ NONE |
| TRAVEL EXIT ACCESS TRAVEL DISTANCE LIMIT (ALLOWABLE/ ACTUAL) | 300/ 423 |
| FIRE SUPPRESSION SYSTEM | YES |
| NUMBER OF REQUIRED EXITS | TWO (AT TENANT SPACE) |
| EXIT ACCESS FIRE RATINGS | |
| FIRE WALLS/ BARRIERS | |
| OCCUPANCY SEPARATION | ETR |
| PARTY WALLS | |
| STAR ENCLOSURES | ETR |
| SHAFTS | ETR |
| EXIT ACCESS CORRIDORS | ETR |
| FIRE PROTECTION OF STRUCTURE | |
| COLUMNS | ETR |
| BEAMS, GIRDERS, TRUSSES & ARCHES | ETR |
| LOAD BEARING WALLS - EXTERIOR | ETR |
| LOAD BEARING WALLS - INTERIOR | ETR |
| NON-LOAD BEARING WALLS - EXTERIOR | ETR |
| NON-LOAD BEARING WALLS - INTERIOR | ETR |
| FLOOR CONSTRUCTION | ETR |
| ROOF CONSTRUCTION | ETR |
| OCCUPANT LOAD | |
| MERCANTILE AT AREA OF WORK | 656 SF 30 SF/ PERSON = 22 |
| GENERAL NOTES | See Note 1) |

| IBC 2009 CODE DATA | |
|--|---------------------------|
| USE GROUP CLASSIFICATION | MERCANTILE |
| TYPE OF CONSTRUCTION | 3B (SEE NOTE #0) |
| EXISTING BUILDING AREA | EXISTING TO REMAIN |
| PROPOSED BUILDING AREA | EXISTING TO REMAIN |
| TOTAL AREA OF WORK | 656 SF |
| BUILDING HEIGHT (STORES/ FEET) | 3 STORES |
| BUILDING AREA LIMITATION - SQ FT (TABLE 503) | EXISTING TO REMAIN |
| BUILDING HEIGHT LIMITATION - STORES (TABLE 503) | EXISTING TO REMAIN |
| INCREASE STREET FRONTAGE (50% AREA) - SQ FT | - |
| INCREASE AUTOMATIC SPRINKLER SYSTEM AREA (200% AREA) - SQ FT | - |
| INCREASE AUTOMATIC SPRINKLER SYSTEM HEIGHT (1 STORY) | N/A |
| TRAVEL COMMON PATH LIMIT (ALLOWABLE/ ACTUAL) | 100/ NONE |
| TRAVEL DEAD-END LIMIT (ALLOWABLE/ ACTUAL) | 50/ NONE |
| TRAVEL EXIT ACCESS TRAVEL DISTANCE LIMIT (ALLOWABLE/ ACTUAL) | 300/ 423 |
| FIRE SUPPRESSION SYSTEM | YES |
| NUMBER OF REQUIRED EXITS | TWO (AT TENANT SPACE) |
| EXIT ACCESS FIRE RATINGS | |
| FIRE WALLS/ BARRIERS | |
| OCCUPANCY SEPARATION | ETR |
| PARTY WALLS | ETR |
| STAR ENCLOSURES | ETR |
| SHAFTS | ETR |
| EXIT ACCESS CORRIDORS | ETR |
| FIRE PROTECTION OF STRUCTURE | |
| PRIMARY STRUCTURAL FRAME | ETR |
| SECONDARY STRUCTURAL FRAME | ETR |
| LOAD BEARING WALLS - EXTERIOR | ETR |
| LOAD BEARING WALLS - INTERIOR | ETR |
| NON-LOAD BEARING WALLS - EXTERIOR | ETR |
| NON-LOAD BEARING WALLS - INTERIOR | ETR |
| FLOOR CONSTRUCTION | ETR |
| ROOF CONSTRUCTION | ETR |
| OCCUPANT LOAD | |
| MERCANTILE AT AREA OF WORK | 656 SF 30 SF/ PERSON = 22 |
| GENERAL NOTES | See Note 1) |



SUITE 0004 DEMO PLAN - BASEMENT FLOOR
1/4"=1'-0"



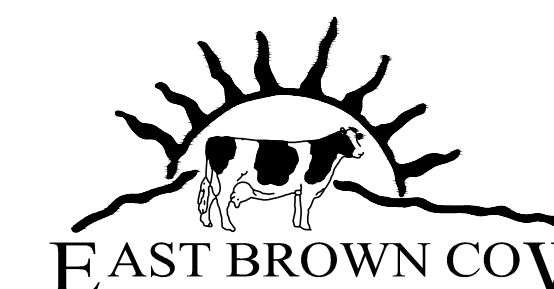
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MARK MUELLER ARCHITECTS

BULL MOOSE MUSIC
66 PEARL STREET
PORTLAND, MAINE

TENANT RENOVATION

| | |
|----------|-----------|
| DATE | JULY 2015 |
| PROJECT | BASEMENT |
| DRAWN BY | TJD |
| CHECK BY | MJM |



REVISED: SEPTEMBER 24, 2015
BUILDING PERMIT SET: JULY 28, 2013

A-1.1