

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		Permit No: 01-1199 <i>ACT 2 2001</i>	Issue Date: 2 2001	CBL: 028 K002001
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Location of Construction: 66 Pearl St	Owner Name: Soley Brothers Limited	Owner Address: 111 Commercial St <b>PORTLAND</b>	Phone: 207-775-2252
Business Name: n/a	Contractor Name: Woodbury, Ed	Contractor Address:	Phone
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Change of Use - Commercial	Zone: <b>B-3</b>

Past Use: Commercial / Vacant	Proposed Use: Commercial / Tenant fit up and change of use.	Permit Fee: \$144.00	Cost of Work: \$20,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>B</b> Type: <b>1B</b> <i>OCCA / PERMIT ISSUED WITH REQUIREMENTS</i>	

Proposed Project Description:  
Change of use from vacant to Hair Salon

Signature: *[Signature]* Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gg	Date Applied For: 09/25/2001	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/27/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>work requires a separate review</i>
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**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 011199	CBL: 028 K002001
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Location of Construction: 66 Pearl St	Owner Name: Soley Brothers Limited	Owner Address: 111 Commercial St	Phone: 207-775-2252
Business Name: n/a	Contractor Name: Woodbury, Ed	Contractor Address: CITY OF PORTLAND	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Change of Use - Commercial	Zone: B-3

Past Use: Commercial / Vacant	Proposed Use: Commercial / Tenant fit up and change of use.	Permit Fee: \$144.00	Cost of Work: \$20,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 1B	

Proposed Project Description: Change of use from vacant to Hair Salon	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 09/25/2001	<b>Zoning Approval</b>	
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**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DATE: 26 September 2001 ADDRESS: 66 Pearl Street CBL: 028-K-002

REASON FOR PERMIT: Change of use vacant To Hair Salon

BUILDING OWNER: Soley Brothers Limited

PERMIT APPLICANT: \_\_\_\_\_ CONTRACTOR Ed Woodbury

USE GROUP: B CONSTRUCTION TYPE: 1 B CONSTRUCTION COST: 29,000.00 PERMIT FEES: 144.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

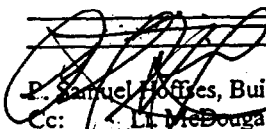
This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*24, \*25, \*30, \*31, \*37

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

- X 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- X 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- X 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *separate permits are required for any New Signage*
- 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 34. Bridging shall comply with Section 2305.16.
- 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

  
 P. Samuel Hoffes, Building Inspector  
 Cc: L. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )

\*\*\*\* ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\* CERTIFICATE OF OCCUPANCY FEE \$50.00

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

6-Permit 31

Location/Address of Construction: 151 MIDDLE ST. PORTLAND

Total Square Footage of Proposed Structure <u>2700</u>	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# <u>27</u> Block# <u>K</u> Lot# <u>2</u>	Owner: <u>SOLEY BROS. LLC</u>	Telephone: <u>775-2252</u>
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Lessee/Buyer's Name (If Applicable) <u>STUDIO ONE LTD.</u>	Applicant name, address & telephone: <u>774-5756</u> <u>EHREN DWORAK</u> <u>127 MIDDLE ST.</u> <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>20,000</u> Fee: \$ <u>141.00</u>
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Current use: VACANT

If the location is currently vacant, what was prior use: \_\_\_\_\_

Approximately how long has it been vacant: 7 MOS

Proposed use: HAIR & TANNING SALON

Project description:

Contractor's name, address & telephone: ED WOODBURY

Who should we contact when the permit is ready: EHREN DWORAK

Mailing address:

127 MIDDLE ST. PORTLAND, ME 04101 Phone: 774-5756

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Ehren C. Dworak</u>	Date: <u>9-25-01</u>
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**This is not a permit, you may not commence ANY work until the permit is issued**

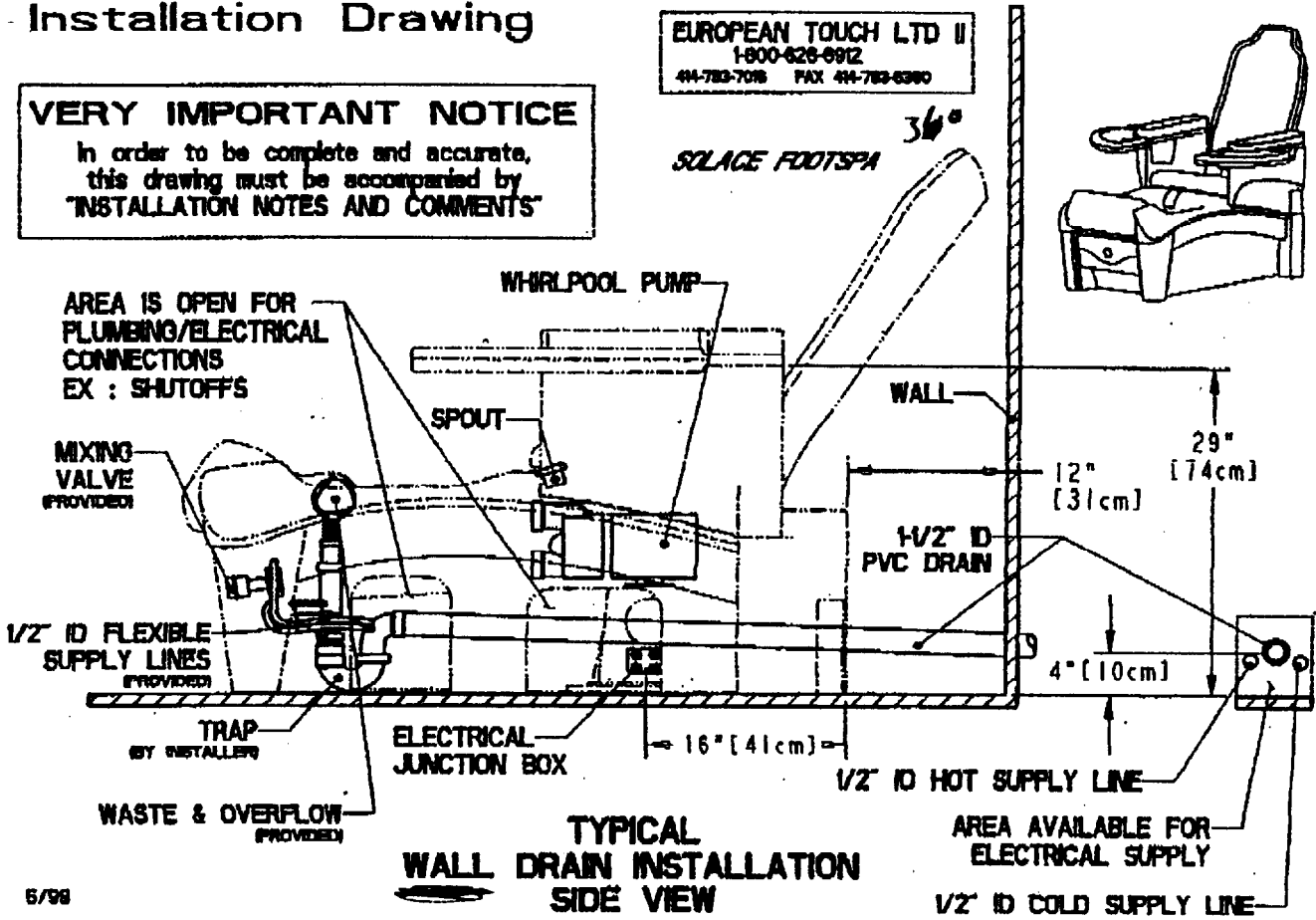
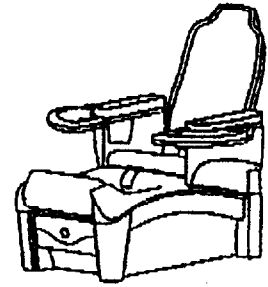


# Installation Drawing

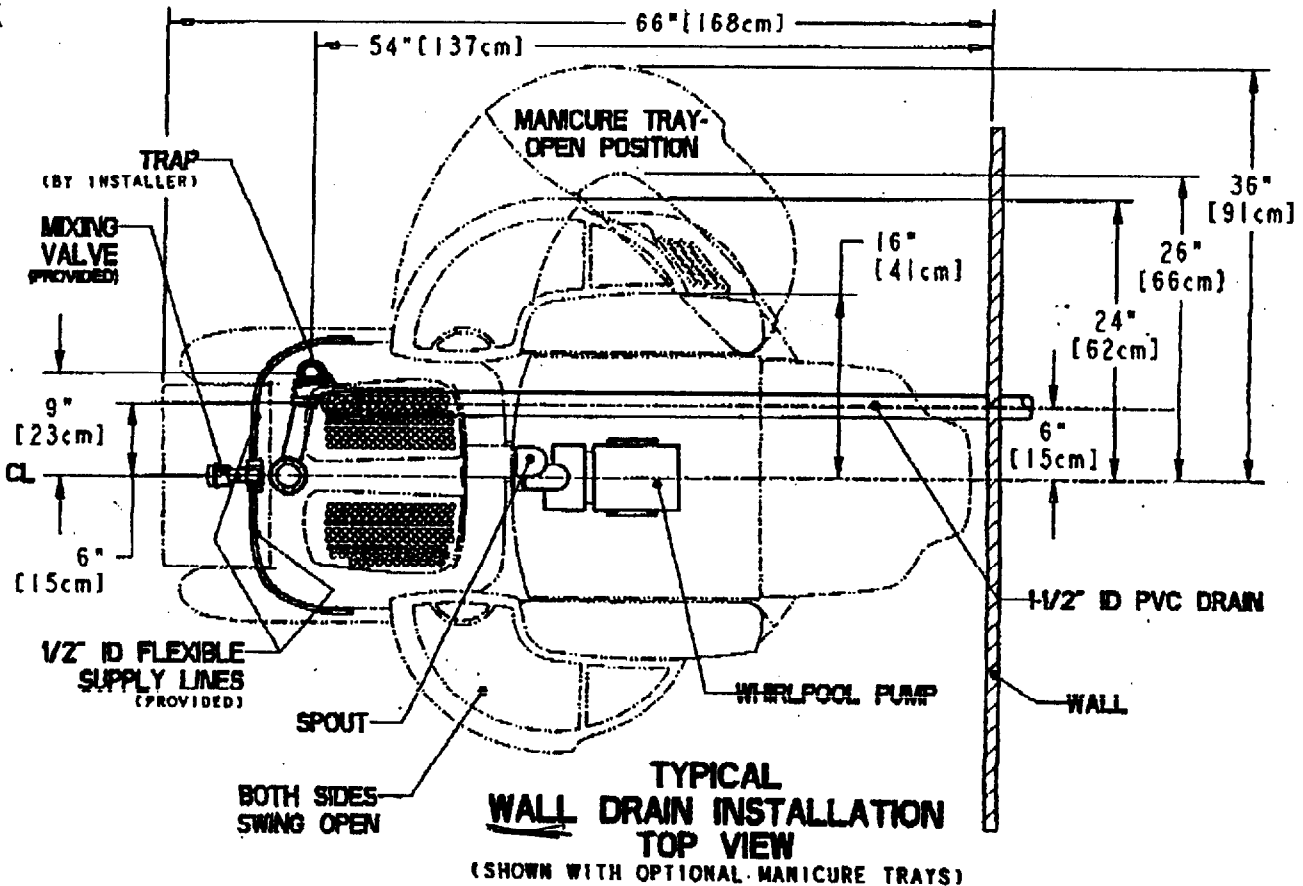
EUROPEAN TOUCH LTD II  
 1-800-626-6912  
 414-783-7016 FAX 414-783-6390

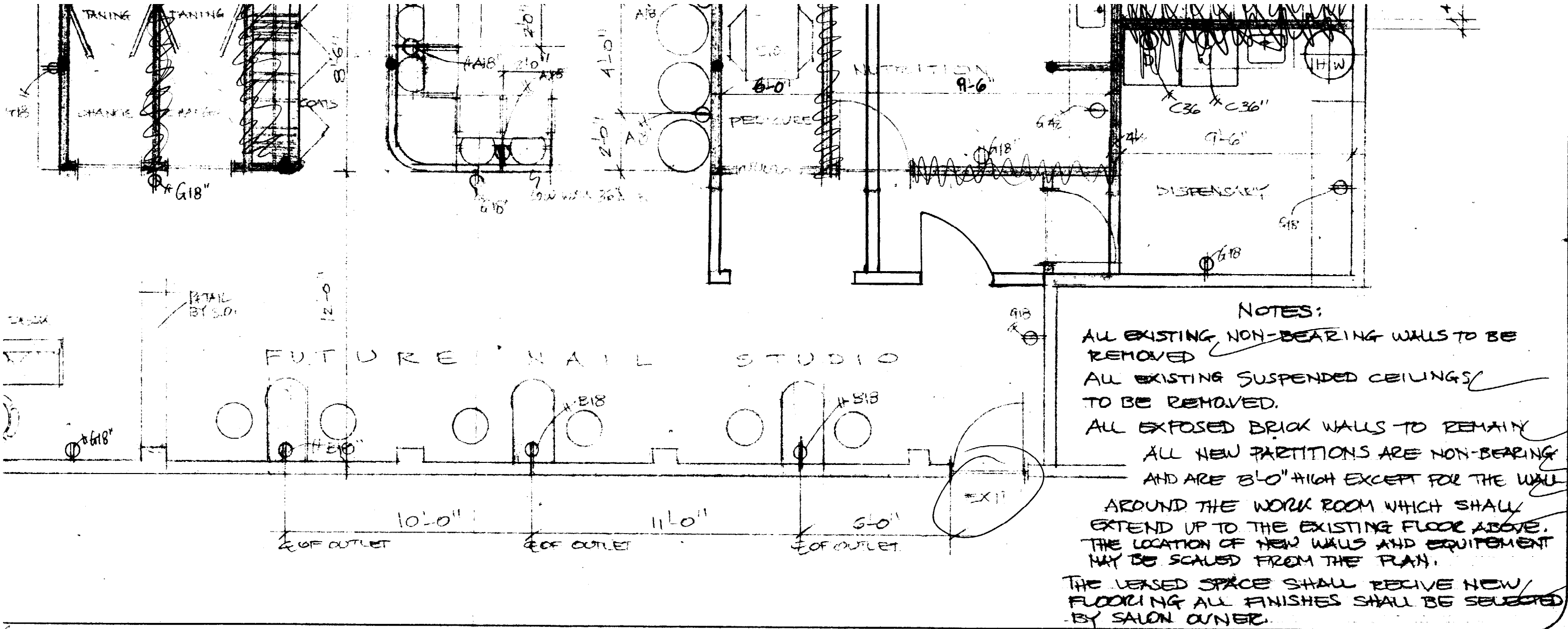
## VERY IMPORTANT NOTICE

In order to be complete and accurate, this drawing must be accompanied by "INSTALLATION NOTES AND COMMENTS"



5/98





**NOTES:**  
 ALL EXISTING NON-BEARING WALLS TO BE REMOVED  
 ALL EXISTING SUSPENDED CEILING TO BE REMOVED.  
 ALL EXPOSED BRICK WALLS TO REMAIN  
 ALL NEW PARTITIONS ARE NON-BEARING AND ARE 8'-0" HIGH EXCEPT FOR THE WALL AROUND THE WORK ROOM WHICH SHALL EXTEND UP TO THE EXISTING FLOOR ABOVE. THE LOCATION OF NEW WALLS AND EQUIPMENT MAY BE SCALED FROM THE PLAN.  
 THE LEASED SPACE SHALL RECEIVE NEW FLOORING ALL FINISHES SHALL BE SELECTED BY SALON OWNER.

AWING IS SUBMITTED TO YOU WITH UNDERSTANDING THAT YOU OR YOUR FACTOR MUST FIELD CHECK AND ALL MEASUREMENTS. YOU MUST TAKARA BELMONT IF ANY CHANGES DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND FIELD CONDITIONS. THESE DRAWINGS ARE NOT PREPARED BY AN ARCHITECTURAL FIRM, AND NO SUCH REPRESENTATION IS BEING MADE. IN ANY EVENT TAKARA BELMONT WILL ASSUME NO LIABILITY WHATSOEVER IN PROVIDING WITH THESE DRAWINGS.

**LEGEND**

	EXISTING WALLS TO REMAIN
	PROPOSED WALLS
	LOW WALL ___" HIGH
	EXISTING WALLS TO BE REMOVED
	ARCHWAY / SOFFIT
	CUTOUT OPENING IN WALL
	BLOCKING IN WALL

**LEGEND OF VENDORS**

TB	TAKARA BELMONT
SO	SALON OWNER
GC	GENERAL CONTRACTOR
E	ELECTRICIAN
P	PLUMBER
1	SUPPLIED BY
2	INSTALLED BY

DESIGNED FOR:  
 STUDIO ONE LTD.  
 151 MIDDLE STREET  
 PORTLAND, MAINE 04104

REVISIONS	BY	DATE	DRAWN BY	DATE
			DESIGN BY: CICI	01/20

SCALE: 1/4" = 1'-0"

DRAWING TITLE:  
 FINAL LAYOUT

DRAWING NO.: 01.179



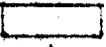






ALL ELECTRICAL WORK BY ELECTRICIAN • ALL PLUMBING BY PLUMBER • ALL MILLWORK BY WOODWORKERS • ALL WALLS, PROPOSED AND THOSE TO BE REMOVED, AND STRUCTURAL CHANGES BY GEN'L CONTRACTOR.  
 ALL DIMENSIONS ARE FINISHED DIMENSIONS • DIMENSIONS MARKED "HOLD" ARE CRITICAL AND MUST BE MAINTAINED • FOR QUESTIONS - OUT - OF - STATE USE OUR WATS LINE 800 - 283 - 3222



# ELECTRICAL SYMBOL LEGEND


















ALL MOUNTING HEIGHTS TO BE AS SHOWN UNLESS OTHERWISE NOTED

## LIGHTING FIXTURES

-  2'-0" x 2'-0" FLUORESCENT
-  2'-0" x 4'-0" FLUORESCENT
-  1'-0" x 4'-0" FLUORESCENT
-  DOWN LIGHT CEILING MOUNTED
-  DOWN LIGHT RECESSED MOUNTED
-  WALL MOUNTED SCORCE HT
-  TRACK WITH TRACK HEADS
-  EMERGENCY LIGHT - BATTERY UNIT
-  CEILING EXHAUST WITH LIGHT

## WIRING DEVICES

NOTE: ALL COVER PLATES IN CHROME, OUTLET IN BEIGE, SUPPLIED BY ELECTRICAL CONTRACTOR

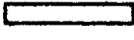

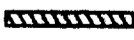
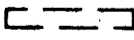
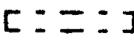
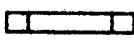

-  DUPLEX OUTLET 1 PER 20 AMP CIRCUIT, 120 VOLTS A.F.F. SUPPLIED & INSTALLED BY ELECTRICAL CONTRACTOR.
-  DUPLEX OUTLET 2 PER 20 AMP CIRCUIT, 120 VOLTS A.F.F. SUPPLIED & INSTALLED BY ELECTRICAL CONTRACTOR.
-  DUPLEX OUTLET 4 PER 20 AMP CIRCUIT, 120 VOLTS A.F.F. SUPPLIED & INSTALLED BY ELECTRICAL CONTRACTOR.
-  DUPLEX FLECT OUTLET, COMPUTER DEDICATED, 120 VOLTS, ISOLATED SUPPLIED & INSTALLED BY ELECTRICAL CONTRACTOR. AT: \_\_\_\_\_
-  DUPLEX OUTLET - OPERATED BY SWITCH, WALL MOUNTED A.F.F.
-  DUPLEX OUTLET - GROUND FAULT 2 PER 20 AMP, 120 VOLTS, A.F.F.
-  DUPLEX OUTLET 1 PER 20 AMP CIRCUIT 120 VOLT TO BE MOUNTED BY GC ON POST FROM CEILING A.F.F. LEAVE SLACK WIRE FROM CEILING. SEE SPEC.
-  FLOOR MOUNTED RECESSED DUPLEX FOR MOTORIZED CHAIR RATED 4 AMPS, 120 VOLT - 6'-0" LINE CORD - 3 PRONG
-  SURFACE MOUNTED JUNCTION BOX 4" A.F.F. TO HARD WIRES TO DUPLEX OUTLET LOCATED INSIDE MILL WORK AT THE TIME OF INSTALLATION 2 DUPLEX OUTLETS PER 20 AMP CIRCUIT LEAVE SLACK WIRE LENGTH \_\_\_\_\_
-  QUADRUPLX OUTLET - 110 VOLTS 20 AMPS. 2 PER 20 AMPS A.F.F.
-  DUPLEX OUTLET 2 PER 20 AMP CIRCUIT TO BE WIRED INTO MILLWORK AT THE TIME OF INSTALLATION, LEAVE SLACK WIRE \_\_\_\_\_ LONG
-  DUPLEX OUTLET, GENERAL USE, 15 AMPS. CIRCUIT AT 18" A.F.F.
-  TELEPHONE OUTLET, BY TECHNICIAN
-  DUPLEX OUTLET 205-220 VOLTS 20-30 AMP. FOR CLOTHES DRYER, ELEC. HEATER ETC. AT:
-  SHOCK DETECTORS AS PER CODE
-  LIGHT SWITCH
-  3-WAY LIGHT SWITCH

**TAKARA BELMONT**  
NEW ENGLAND DESIGN CENTER

346 VANDERBILT AVE.  
NORWOOD, MA 02062  
1-800-283-3222  
781-551-0222

THIS DRAWING IS SUBMITTED TO YOU WITH THE UNDERSTANDING THAT YOU OR YOUR CONTRACTOR MUST FIELD CHECK AND VERIFY ALL MEASUREMENTS. YOU MUST NOTIFY TAKARA BELMONT IF ANY CHANGES OR DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND FIELD CONDITIONS. THESE DRAWINGS ARE NOT PREPARED BY AN ARCHITECTURAL FIRM, AND NO SUCH REPRESENTATION IS BEING MADE. IN ANY EVENT, TAKARA BELMONT WILL ASSUME NO RESPONSIBILITY WHATSOEVER IN PROVIDING YOU WITH THESE DRAWINGS.

### LEGEND

-  EXISTING
-  PROPOSED
-  LOW VOLTAGE
-  EXISTING
-  ARCHITECTURAL
-  CUTOFF
-  BLOCK

IMPORTANT:

ALL ELECTRICAL WORK BY ELECTRICIAN • ALL PLUMBING BY PLUMBER

ALL DIMENSIONS ARE FINISHED DIMENSIONS • DIMENSIONS M

**NOTES:**

ELECTRICAL CONTRACTOR TO PROVIDE EXIT LIGHTING SIGNS, SMOKE DETECTORS, ACCORDING TO CODE. CHECK WITH SALON OWNER REGARDING NIGHT LIGHTING AND OUTSIDE SIGN. HOOK UP & A/C IF REQUIRED.  
 GENERAL CONTRACTOR TO PROVIDE SPRINKLER SYSTEM TO CODE. IF REQUIRED

ALL PRIVATE ROOMS TO BE SOUND PROOFED; WALLS ABOVE CEILING ~~REMOVE~~

WATER HEATER:

ELECTRICAL WATER HEATER SHALL BE "RHEEM" MODEL EG 12-4000/4000/4000, GAL. STORAGE CAPACITY - 33 1/3, 57 1/16" QTY 3-4 000 WATTS SIMULTANEOUS 208V/3/60 CY HEATING ELEMENT, 3 YEAR WARRANTY, TEMPERATURE SHALL BE SET AT 120°F.

GAS; SEE PLUMBING PLAN

LIGHTING: ALL LIGHTING TO BE SUPPLIED BY SALON OWNER, EXCEPT EMERGENCY LIGHTING, EXIT LIGHTING SIGNS, OUTDOOR LIGHTING, REST ROOMS, SMOKE DETECTORS BY: GENERAL CONTRACTOR, SUPPLIED AND INSTALLED.

PAINTING: ALL PAINTING ① PRIME, ② FINISH COATS BY GENERAL CONTRACTOR, COLOR TO BE SELECTED BY SALON OWNER.

SUSPENDED CEILING: SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. PROVIDE SAMPLES TO SALON OWNER.

COND

WATER

ALLS TO REMAIN  
 WALLS  
 \_\_\_\_\_" HIGH  
 ALLS TO BE REMOVED  
 SOFFIT  
 FINISHING IN WALL  
 WALL HEIGHT \_\_\_\_\_

**LEGEND OF VENDORS**

TB	TAKARA BELMONT
SO	SALON OWNER
GC	GENERAL CONTRACTOR
E	ELECTRICIAN
P	PLUMBER
1	SUPPLIED BY
2	INSTALLED BY
C.W.O. - CHECK WITH OWNER	

DESIGNED FOR:

REVISIONS	BY	DATE

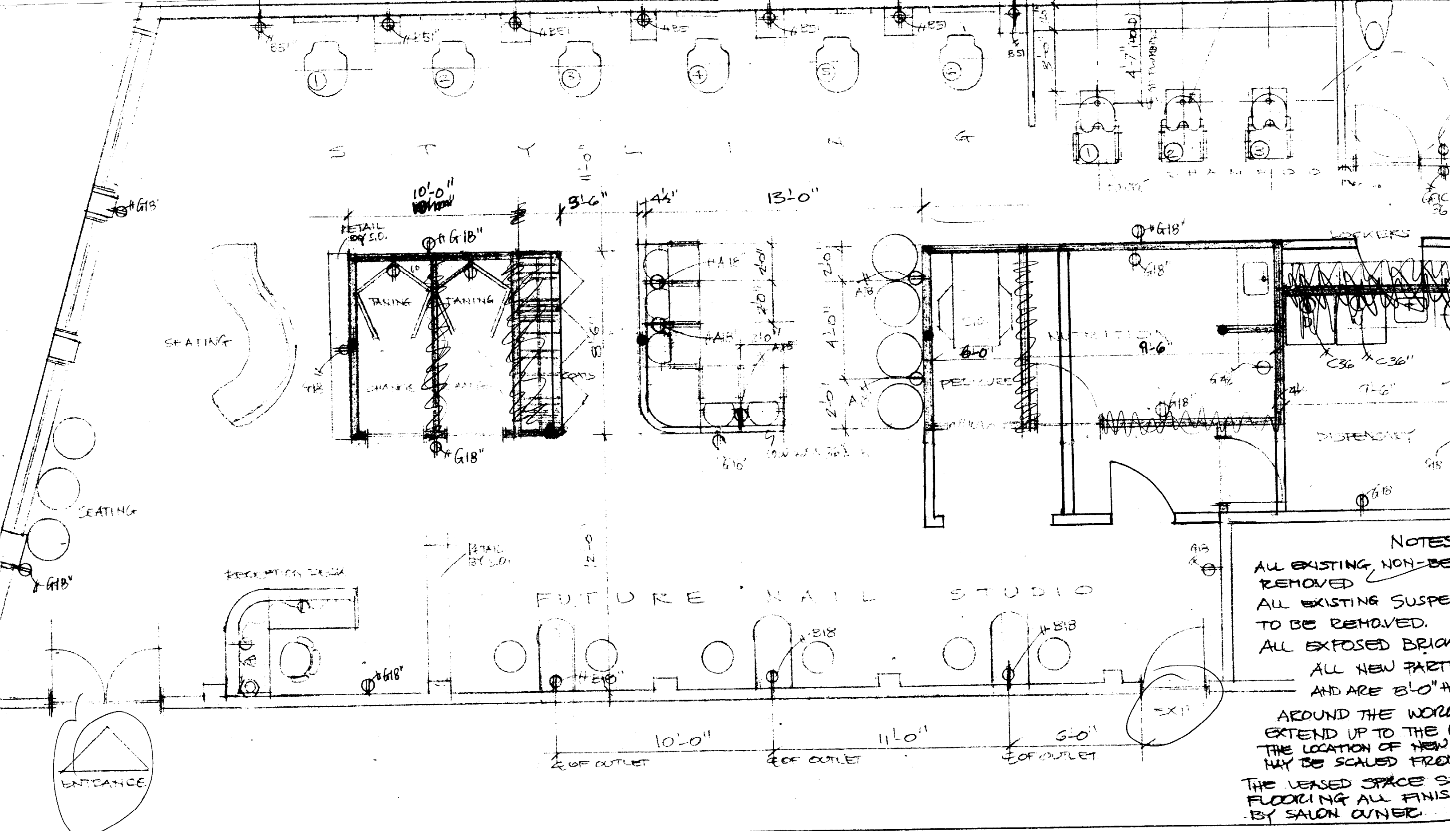
SCALE:

DRAWING TITLE:

DRAWN BY	DATE

DRAWING NO.:



ALL MILLWORK BY WOODWORKERS • ALL WALLS, PROPOSED AND THOSE TO BE REMOVED, AND STRUCTURAL CHANGES BY GEN'L CONTRACT.



**NOTES**  
 ALL EXISTING NON-BE REMOVED  
 ALL EXISTING SUSPE TO BE REMOVED.  
 ALL EXPOSED BRICK AND ARE 8'-0" AROUND THE WORK  
 EXTEND UP TO THE THE LOCATION OF NEW MAY BE SCALED FROM  
 THE LEASED SPACE'S FLOORING ALL FINIS BY SALON OWNER.

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**LEGEND**

	EXISTING WALLS TO REMAIN
	PROPOSED WALLS

**LEGEND OF VENDORS**

TB	TAKARA BELMONT
SO	SALON OWNER
GC	GENERAL CONTRACTOR

DESIGNED FOR:  
**STUDIO ONE LTD.**  
 151 MIDDLE STREET  
 PORTLAND, MAINE 04104