

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that 85 MARKET STREET LLC/ARCANA
HEALING ARTS

Located At 81 MARKET ST

CBL: 028- K-001-001

Job ID: 2012-02-3225-ALTCOMM

has permission to Renovate space for massage area in rear, remove wall, new walls for 2 rooms, existing retail jewelry front provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 2/27/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET-SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-02-3225-ALTCOMM	Date Applied: 2/6/2012	CBL: 028- K-001-001	
Location of Construction: 81 MARKET ST	Owner Name: 85 MARKET STREET LLC – Cathy-Ann Wirth	Owner Address: PO BOX 7225 PORTLAND, ME 04112	Phone:
Business Name: "Arcana"	Contractor Name: John Bolduc DBA Ultimate Builders	Contractor Address: 16 WELLMAN ST- LEWISTON MAINE 04240	Phone: 576-1677
Lessee/Buyer's Name: Kate Hebold – 448 Cumberland Ave, Portland	Phone: 210-0911	Permit Type: BLDG – Change of use	Zone: B-3
Past Use: Retail	Proposed Use: Retail and add personal services in rear - massage	Cost of Work: \$17,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. P. Stone 2/14/12</i>	Inspection: Use Group: <i>m/B</i> Type: <i>3B</i> <i>DBI-2009</i> Signature: <i>JMB</i>
Proposed Project Description: Remove & re-in walls and frame in exist retail		Pedestrian Activities District (P.A.D.)	<i>2/27/12</i>
Permit Taken By: Brad	Zoning Approval		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews

- Shoreland
- Wetlands
- Flood Zone
- Subdivision
- Site Plan

___ Maj ___ Min ___ MM
Date: *2/14/12*

CERTIFICATION

Zoning Appeal

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

Date:

Historic Preservation

- within*
- Not in Dist or Landmark
 - Does not Require Review
 - Requires Review
 - Approved
 - Approved w/Conditions

___ Denied
any exterior work requires A separate review & Approval
Date:

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2012-02-3225-ALTCOMM

Located At: 81 MARKET ST

CBL: 028- K-001-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
3. This property shall remain a retail use with personal services in the rear with the issuance of this permit and subsequent issuance of a certificate of occupancy. Any change of use shall require a separate permit application for review and approval.

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
4. Central Station monitoring for addressable fire alarm systems shall be by point.
5. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
6. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
7. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
8. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
9. All smoke detectors and smoke alarms shall be photoelectric.
10. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
11. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
12. Fire extinguishers are required per NFPA 10.
13. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
14. Any cutting and welding done will require a Hot Work Permit from Fire Department.

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Located At: 81 MARKET ST

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Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

2012-02-3225

Brad



General Building Permit Application

2012 40591

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>81 Market Street</u>			Total Square Footage of Proposed Structure/Area <u>1,400 sq. ft.</u>			Square Footage of Lot		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>28 - 10 - 1</u>			Applicant *must be owner, Lessee or Buyer* Name <u>KATE HEBOLD</u> Address <u>448 Cumberland Ave.</u> City, State & Zip <u>Portland, ME</u>			Telephone: <u>(207)</u> <u>210.0911</u> <u>arkinahhealingarts@gmail.com</u>		
Lessee/DBA (If Applicable) <u>Kate Hebold</u> <u>"AYCANA"</u>			Owner (if different from Applicant) Name <u>Cathy-Ann Worth</u> Address <u>85 Market Street, LLC</u> City, State & Zip <u>PO. Box 7225, ODS</u> <u>Portland, ME 04112</u>			Cost Of Work: \$ <u>16,500.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>190.00</u>		
Current legal use (i.e. single family) <u>Retail</u> If vacant, what was the previous use? <u>Retail Sales</u> Proposed Specific use: <u>50% Retail Sales in Healing Arts</u> <u>in room/massage - Reiki</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Remove 13' of existing (non load bearing) 2x10 wall</u> <u>Frame new 2x4 KD walls - approx 60' attach dry wall & finish</u> <u>Frame in new ceilings in 2 rooms wood Vmatch finish</u>								
Contractor's name: <u>JOHN BOLDUC DBA ULTIMATE BUILDERS</u> Address: <u>16 Wellman St.</u> City, State & Zip <u>Lewiston, ME 04240</u> Telephone: <u>576.1677</u> Who should we contact when the permit is ready: <u>John</u> @ Telephone: <u>576.1677</u> Mailing address: <u>16 Wellman Street, Lewiston, ME 04240</u>								

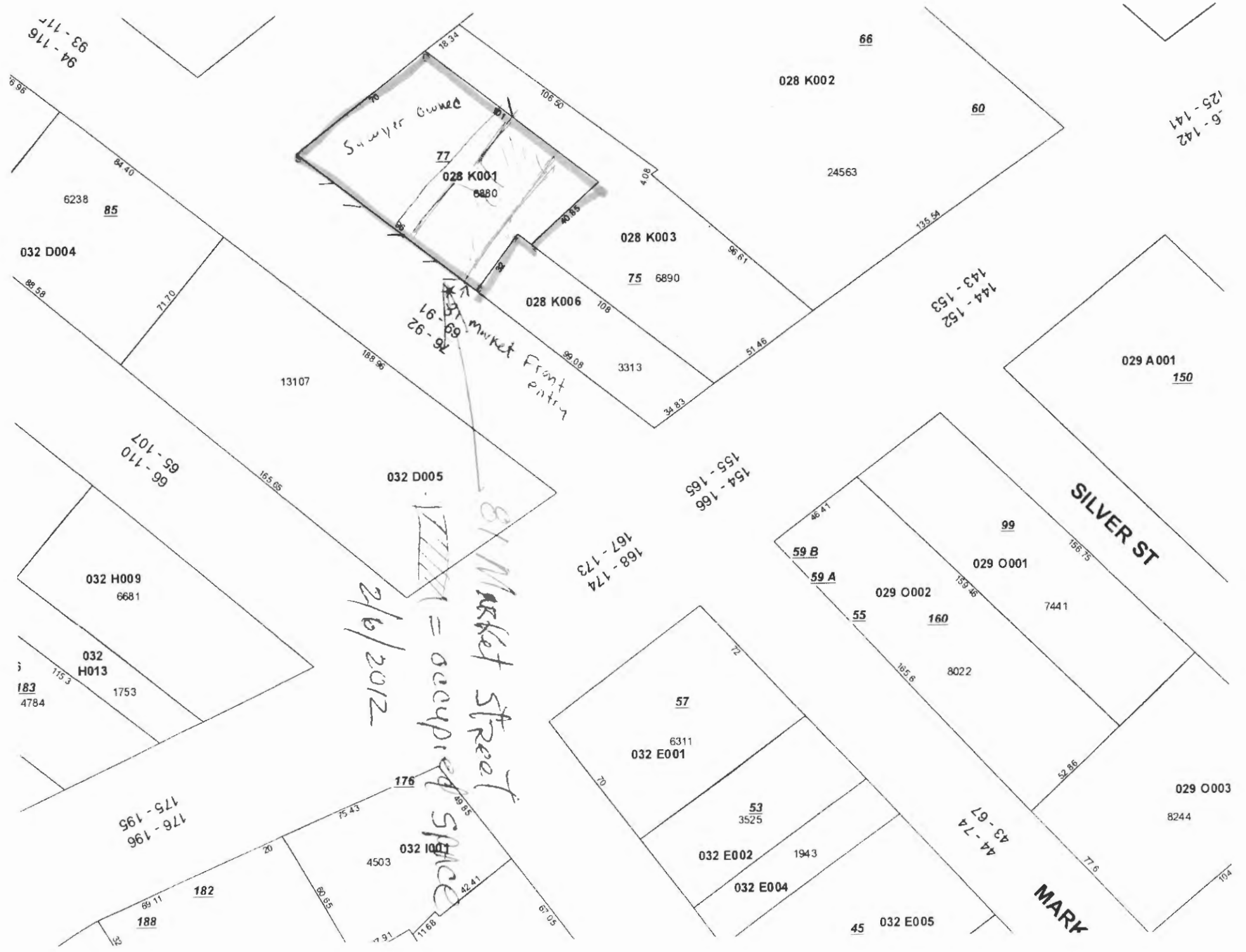
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: John BolducDate: Feb. 3rd. 2012

This is not a permit; you may not commence ANY work until the permit is issue



94-116
93-117

125-141
-6-142

Supplier Owned

77

028 K001

6880

028 K002

66

60

24563

028 K003

75 6890

028 K006

3313

144-152
143-153

029 A001

150

032 D004

6238

85

Market Front Entry

13107

66-110
65-107

032 D005

154-166
155-165

168-174
167-173

SILVER ST

99

029 O001

7441

029 O002

160

8022

59 B

59 A

55

2/6/2012

81 Market Street
171 = occupied space

032 H009

6681

032
H013

1753

183
4784

57

032 E001

6311

029 O003

8244

53

3525

032 E002

1943

032 E004

44-74
43-67

MARK

176-196
175-195

176

032 I000

4503

182

188

45

032 E005

Black: - - - - - = New wall construction

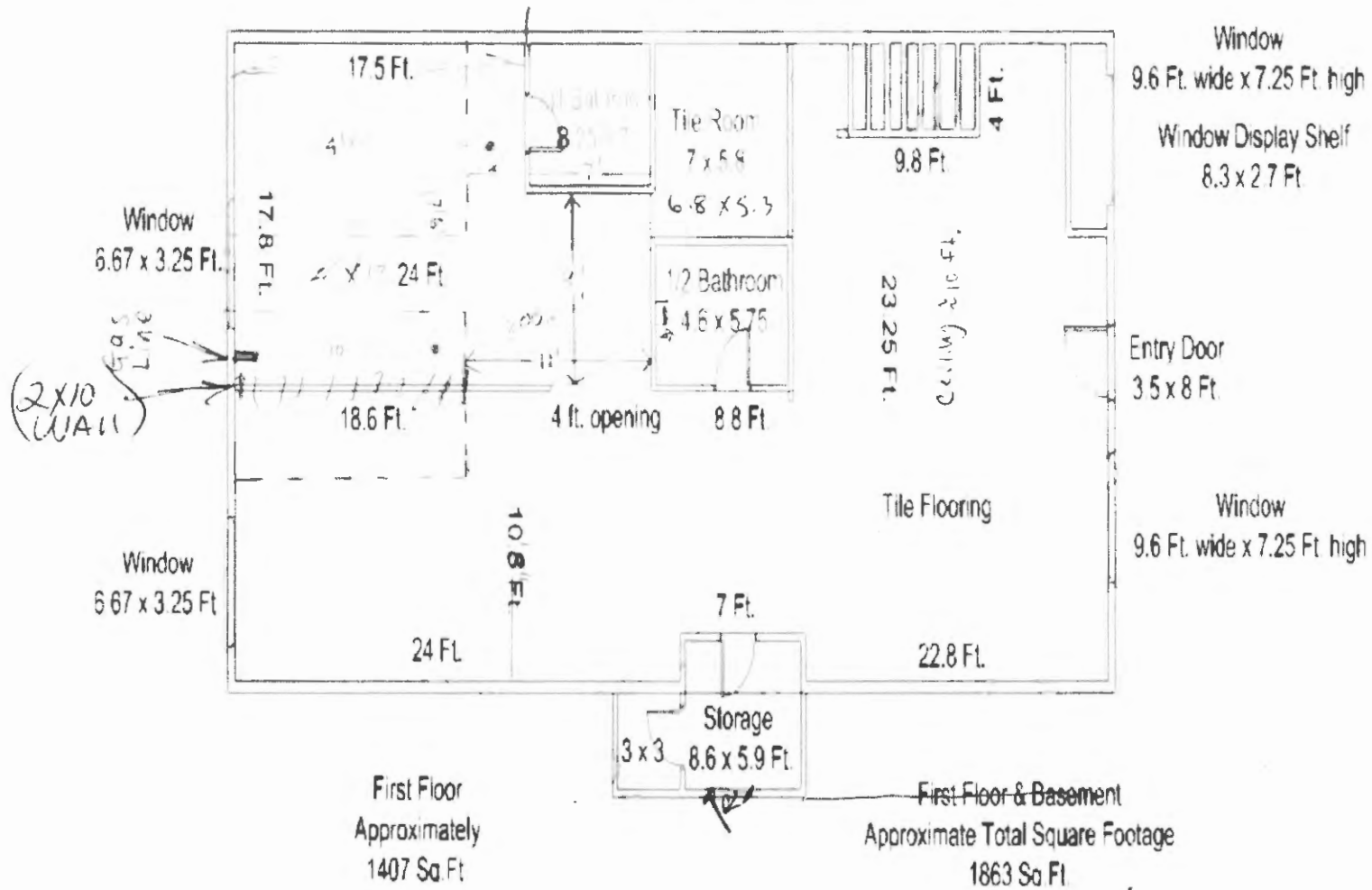
Red: ||| ||| = Wall being removed

81 Market Street

Current floor map

Feb. 6th - 2012

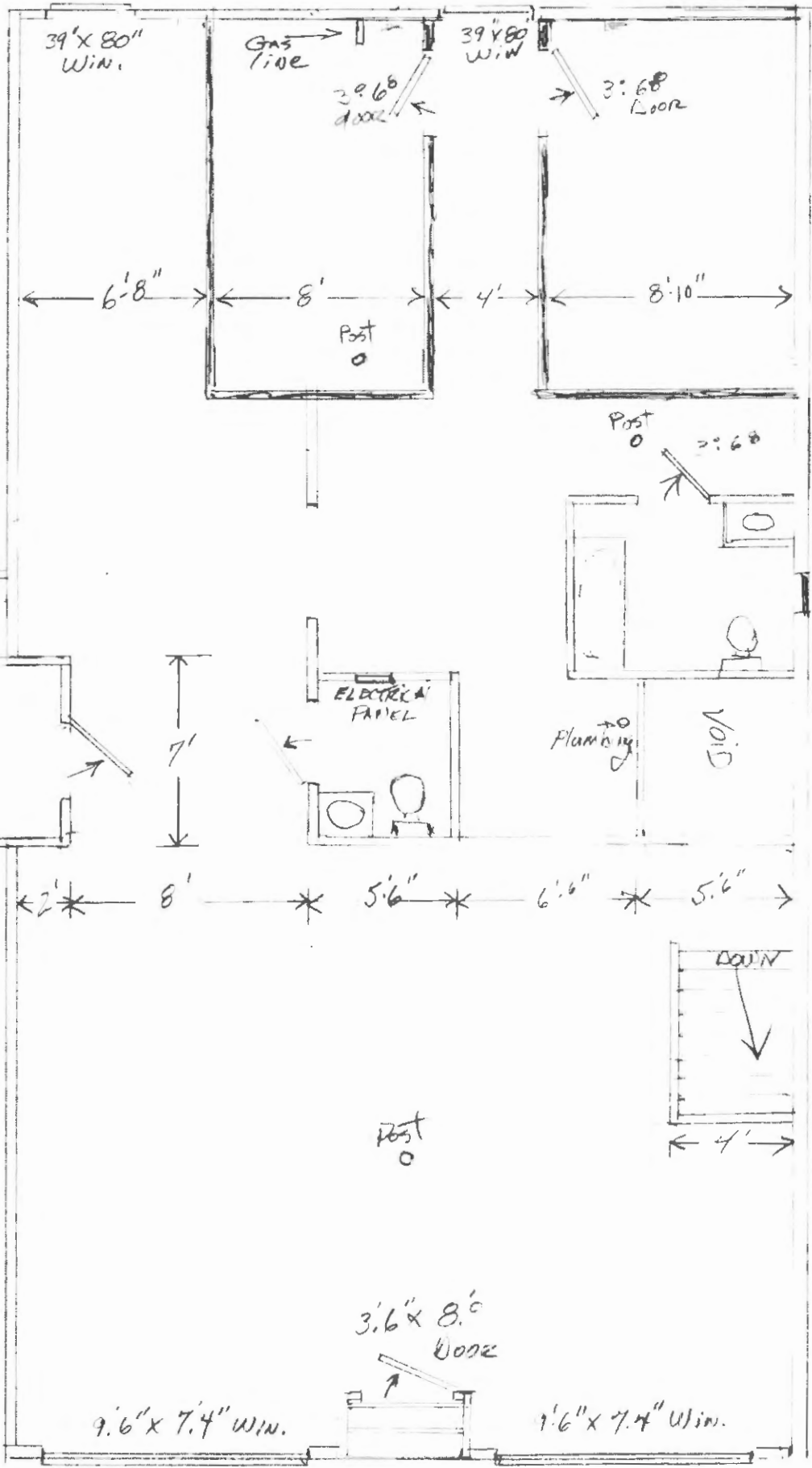
EXISTING FLOOR PLAN



First Floor
Approximately
1407 Sq. Ft.

First Floor & Basement
Approximate Total Square Footage
1863 Sq. Ft.

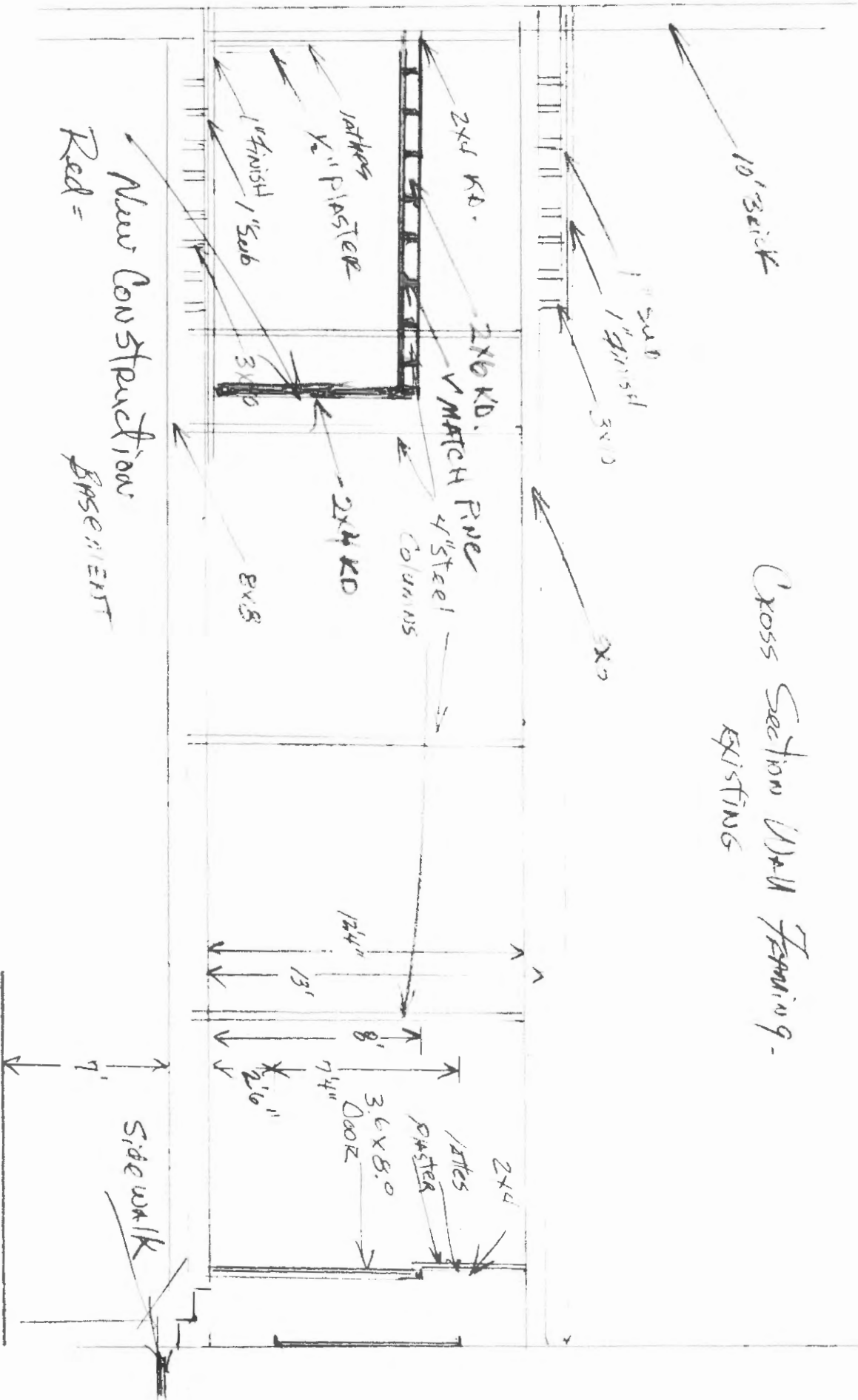
electrical box



2/3/2012
 Drawn by:
 John Bolduc
 Scale: 3/16" = 1'
 13'6"
 81 MARKET ST.
 PORTLAND, ME
 FLOOR PLAN
 Red = New
 ↑ WALLS
 3'6"
 1.6' x 2.2" 6.4" Win.
 6'
 5"
 22.8"

81 MacKet Street.
 DRAWN: J.M. Feb. 3. 2012
 By: John. Bolduc
 Scale. $\frac{3}{16}'' = 1'$

Cross Section Wall Framing -
EXISTING



New Construction
 Red = BRICKMERT

Side work

12'4"
 13'
 8'
 7'4"
 2'6"
 3.6 x 8.0
 PASTER
 1/2" LATHES

2x4 KD.
 1/2" PASTER
 1" FINISH
 1" Sub
 3x10
 2x6 KD.
 MATCH PINE
 4" Steel
 Columns
 2x4 KD
 8x8

10' Brick
 1" sub
 1" finish
 3x10
 2x2

81 MARKET STREET

2/3/2012

DRAWN BY: JOHN BOLDUK

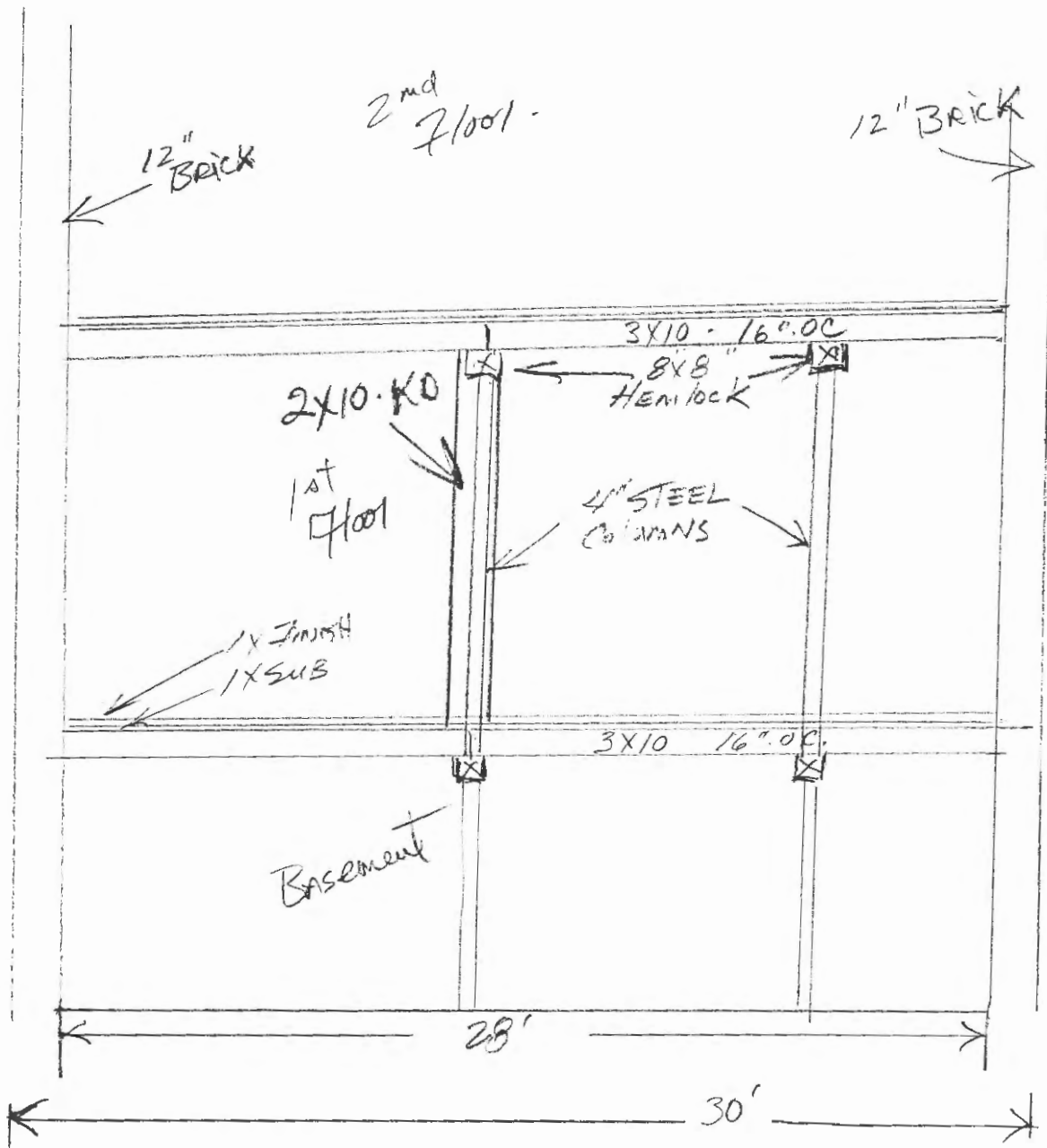
SCALE. $\frac{3}{8}'' = 1'$

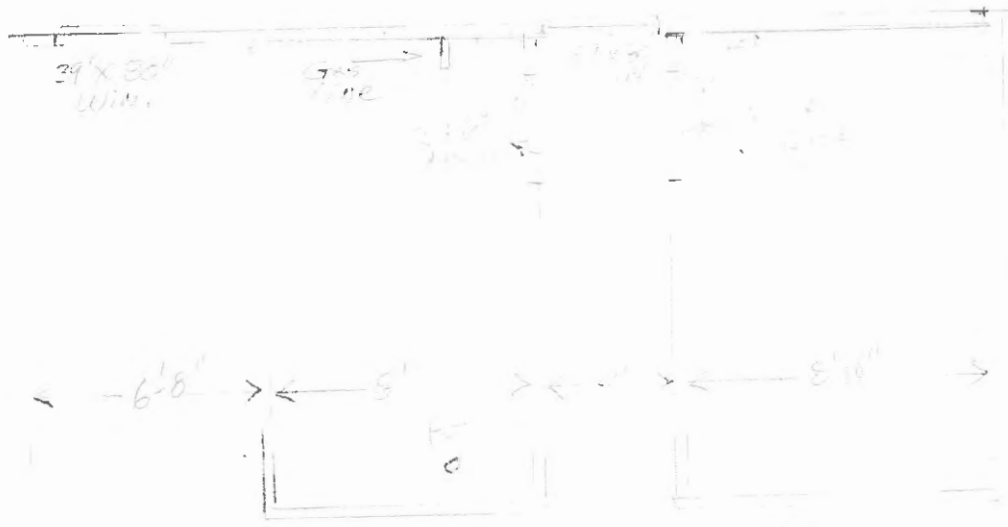
RECEIVED

FEB 06 2012

City of Dallas Inspections

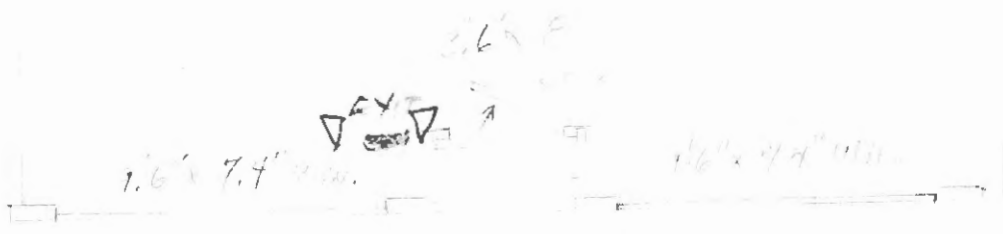
Cross Section Wall Framing - EXISTING





2/2/2012
 Drawing Copy:
 1. Mr. B. ...
 SALES ...

81 Market St
 Portland, ME
 Life Safety
 Plans





CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

2/6 2012

Received from Katz Hebold

Location of Work 81 Market St.

Cost of Construction \$ 17,000 Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 190.00

Building (I1) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 028 K001 001

Check #: Charge 874452 Total Collected \$ 190.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: (Signature)

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy