

# Edward Jones



Reviewed for Code Compliance  
Permitting and Inspections Department  
Approved with Conditions

10/25/2018



1821 WALDEN OFFICE SQUARE, SUITE 510  
SCHAUMBURG, ILLINOIS 60173  
PHONE | 630-227-0202 FAX | 630-227-1212



SITE ADDRESS  
145 NEWBURY ST  
PORTLAND ME,  
04101-4261

BRANCH ID#  
**45699**

SITE STATUS  
GOODKNIGHT-UNWIND

CHECKED BY:	DRAFT	AL
	PM	LP
	APP	LP

ISSUES/REVISION		
NO.	DATE	DESCRIPTION

SHEET TITLE

COVER SHEET

SHEET NUMBER

**A0.1**

**638825**



ELECTRIC METER

LEASE SPACE

\*\*ALL LOCATIONS OF ROOMS AND UTILITIES ARE APPROXIMATE\*\*



AERIAL VIEW  
N.T.S.

APPROXIMATE SURVEYED SQUARE FOOTAGE: 874 SF

ALL DIMENSIONS TO BE FIELD VERIFIED

DO NOT SCALE DRAWINGS

5

4

3

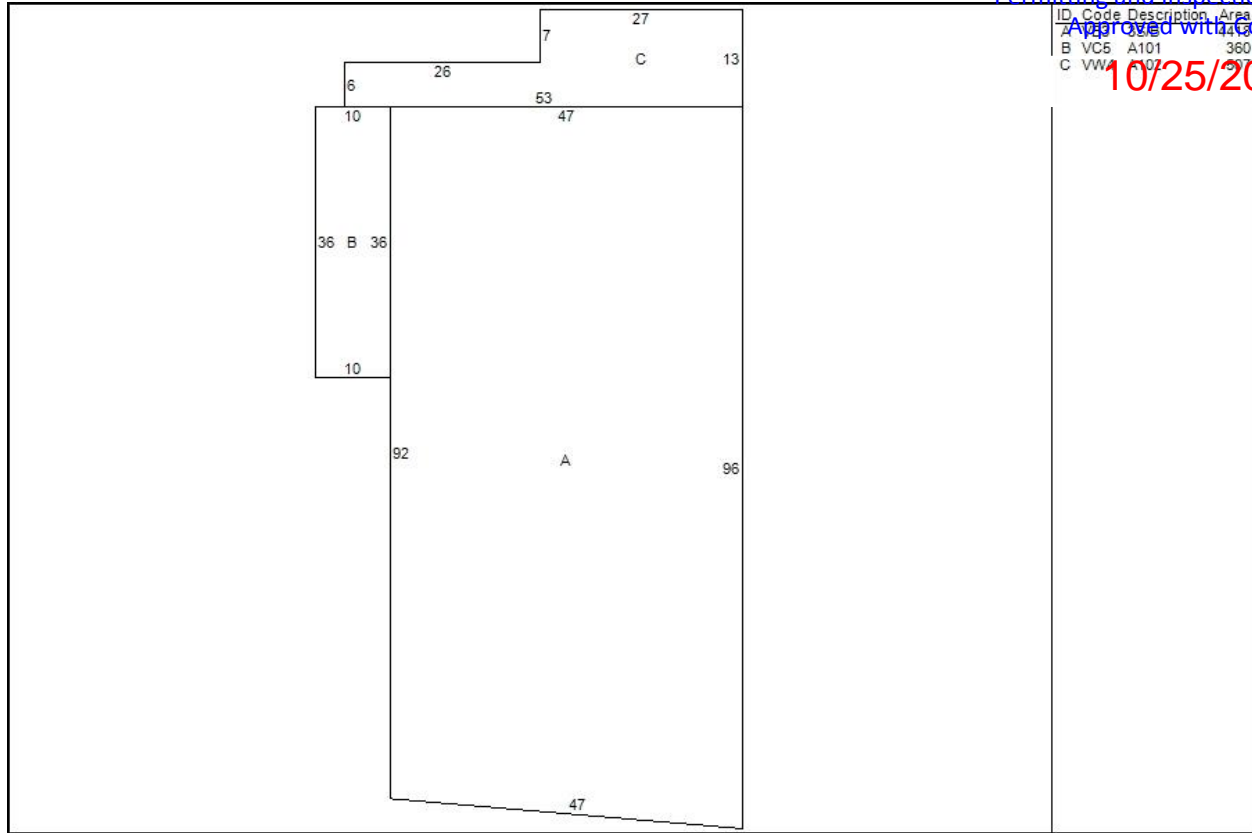
2

1



Key Plan- 145 Newbury Street, Portland, ME

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ID	Code	Description	Area
A	VC5	A101	360
B	VC5	A101	360
C	VW	A101	97

10/25/2018

EGRESS CAPACITY AT EXIT DOORS

0.2" PER OCC



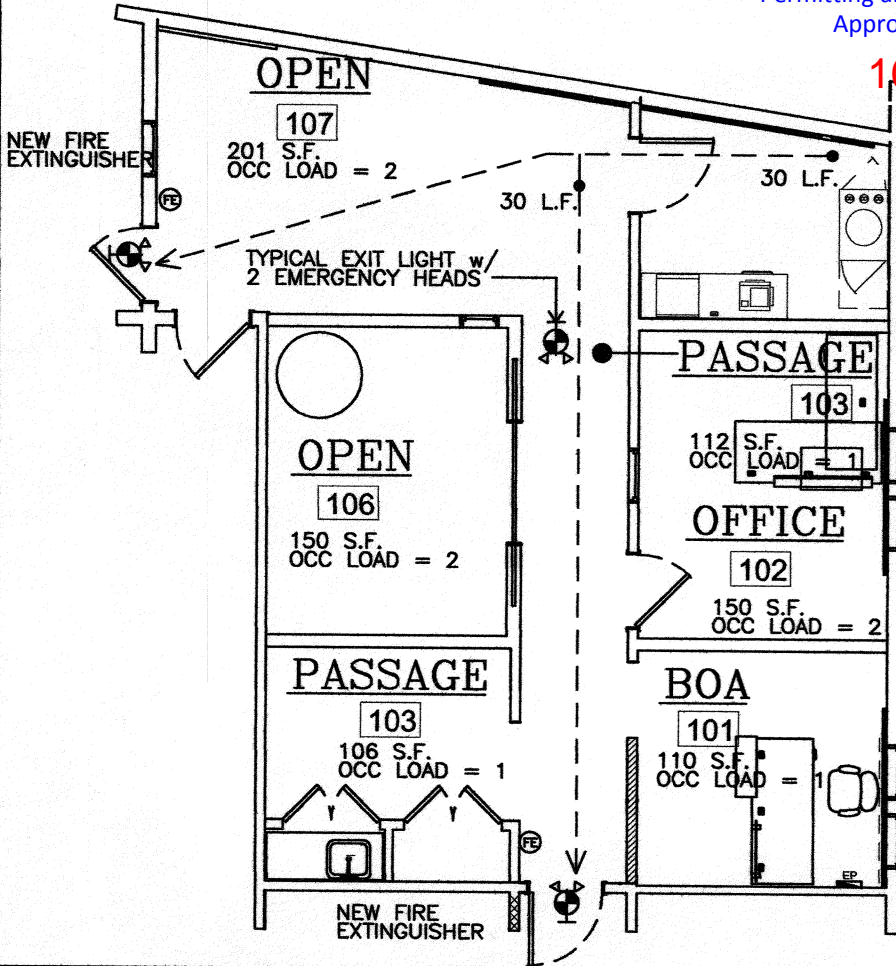
# LIFE SAFETY PLAN

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10/25/2018

**EQUIP/  
SUPP.**

104  
81 S.F.  
OCC LOAD = 1



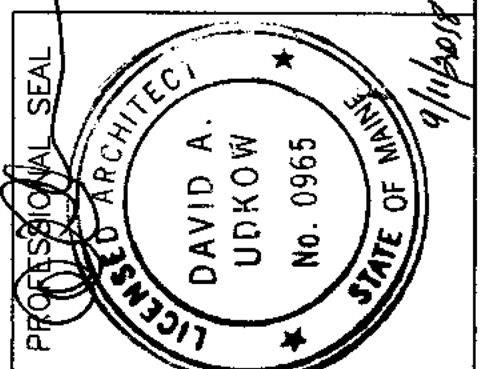


# Edward Jones

PORTLAND, MAINE — OFFICE #45699

Reviewed for Code Compliance  
Permitting and Inspections Department  
Approved with Conditions  
10/25/2018

**DAVID A. UDKOW ARCHITECT**  
11881 NORTH 113th WAY • SCOTTSDALE, AZ 85259  
REG.# AN865 E/MAIL: DAVIDA@UDKOW.COM  
IN ASSOCIATION WITH  
**KB Design Group, Inc.**  
113 West Jersey Ave. • Pitman, NJ 08071  
856-589-3110 STORE CONCEPT fax 856-589-1770



SCALE AS NOTED  
DATE 08-17-2018  
DRAWN BY T. Perez  
CHECKED BY  
DO NOT SCALE DRAWINGS  
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. DIMENSIONS AND CONDITIONS TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS.

## GENERAL NOTES

- THESE DRAWINGS AND THE LEASE EXHIBIT REPRESENT THE SCOPE OF WORK TO BE PERFORMED BY THE T.G.C.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO READ THE LEASE EXHIBIT AND VERIFY EXTENT OF WORK TO BE PERFORMED.
- IT IS THE INTENT THAT THE WORK SHALL BE COMPLETE IN EVERY RESPECT AND THAT ANY MATERIAL OR WORK NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS BUT NECESSARY TO FULLY COMPLETE THE WORK SHALL BE PROVIDED.
- THE LOCATION OF SOME ITEMS SHOWN ON THE DRAWINGS MAY BE APPROXIMATE AND THE OWNER SHALL HAVE THE RIGHT TO MAKE MINOR REVISIONS BEFORE THE WORK IS INSTALLED WITHOUT ADDITIONAL COST.
- ALL NOTES ON THIS DRAWING APPLY FOR THE ENTIRE PROJECT WHETHER OR NOT REPEATED ON THE OTHER DRAWINGS.
- T.G.C. GUARANTEES THAT THE WORK WHICH T.G.C. IS REQUIRED TO PERFORM BY WAY OF CONSTRUCTION PURSUANT TO THE TERMS OF THIS LEASE SHALL BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER AND THAT THE MATERIAL AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING ORDER AND ANY SUCH WORK, EQUIPMENT OR FACILITIES WHICH DO NOT CONFORM WITH THIS GUARANTEE SHALL BE, AT THE COST AND EXPENSE OF T.G.C., CORRECTED, OR IF NECESSARY, REPLACED PROMPTLY UPON WRITTEN DEMAND BY TENANT WITHIN (1) ONE YEAR FROM THE COMMENCEMENT DATE OF LEASE.
- DELETED.
- IT IS THE RESPONSIBILITY OF THE T.G.C., HIS SUPERVISOR AND/OR SUBCONTRACTOR TO GUARANTEE THE SAFETY OF ALL MATERIALS SUPPLIED BY THE OWNER FOR THE CONSTRUCTION/FIXTURING OF THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO COMPLETE CHECK OF ALL ITEMS RECEIVED AND NOTIFICATION WITHIN 48 HOURS OF ANY SHORTAGES OR DAMAGES, AS WELL AS SECURITY FROM LOSS OR DAMAGE AFTER RECEIPT. ALL SHORTAGES/OR DAMAGES NOT REPORTED TO OWNER WITHIN SAID 48 HOURS WILL BE REPLACED WITH IDENTICAL QUALITY MATERIAL AT THE SOLE EXPENSE OF T.G.C.
- EACH SUBCONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL HIS WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM INJURY OR LOSS ARISING FROM HIS WORK. SUB-CONTRACTOR SHALL MAKE GOOD SUCH DAMAGE, INJURY OR LOSS ARISING FROM HIS WORK, EXCEPT SUCH AS MAY BE DIRECTLY DUE TO CAUSES BEYOND HIS CONTROL AND NOT TO HIS FAULT OR NEGLIGENCE. SUB-CONTRACTOR(S) SHALL ADEQUATELY PROTECT ADJACENT PROPERTY AS WELL.
- EACH SUBCONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK AS DRAWN OR SPECIFIED. IF A SUBCONTRACTOR OBSERVES THAT THE DRAWINGS AND/OR SPECIFICATIONS ARE AT A VARIANCE, HE SHALL PROMPTLY NOTIFY THE GENERAL CONTRACTOR AND THE LANDLORD IN WRITING. IF ANY SUBCONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO LAWS, ORDINANCES, RULES AND REGULATIONS AND WITHOUT GIVING SUCH NOTICE, THE SUBCONTRACTOR SHALL BEAR ALL COSTS ARISING THEREFROM.
- EACH SUBCONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THEIR EMPLOYEES ON THE WORK AND SHALL COMPLY WITH ALL PROVISIONS OF THE FEDERAL, STATE AND LOCAL BUILDING CODES AND SAFETY LAWS TO PREVENT ACCIDENTS OR INJURY TO PERSONS ON OR ADJACENT TO THE PREMISES WHERE THE WORK IS BEING PERFORMED. EACH SUBCONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED TO PROTECT HIMSELF, OWNER AND TENANT FOR THE DURATION OF THE WORK AGAINST PROPERTY DAMAGE AND PUBLIC LIABILITY.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY COMPETENT WORKMEN AND EXECUTED IN A NEAT AND WORKMANLIKE MANNER. WORK SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. UPON COMPLETION, THE INSTALLATION SHALL BE THOROUGHLY CLEANED AND ALL DEBRIS PRESENT AS A RESULT OF THIS CONTRACT SHALL BE REMOVED FROM THE PREMISES.
- A PROFESSIONAL CLEANING SERVICE MUST BE RENDERED BY T.G.C. PRIOR TO TURNOVER OF STORE TO OWNER.
- ALL MATERIALS AND WORKMANSHIP TO BE GUARANTEED FROM ANY DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF STORE OPENING. WARRANTY MUST BE EXTENDED ON BEHALF OF TENANT.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURERS, AND UNLESS OTHERWISE SPECIFIED SHALL BE NEW, AND FREE FROM ANY DEFECTS. ALL LIKE MATERIALS USED SHALL BE OF THE SAME MANUFACTURER AND QUALITY UNLESS OTHERWISE SPECIFIED.
- NOTWITHSTANDING ANYTHING TO THE CONTRARY CONTAINED WITHIN THESE PLANS, AND UNLESS OTHERWISE SET FORTH IN THE EXECUTED LEASE, THE TENANT ACCEPTS THE PREMISES AND ALL HVAC, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION SYSTEMS "AS IS" AND THERE IS NO LANDLORD WORK.
- TENANT'S G.C. SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS.

## ARCHITECT'S GENERAL NOTES

**NOTE TO CLIENT/FRANCHISEE AND/OR GENERAL CONTRACTOR:** ALL MEASUREMENTS ARE SUBJECT TO PHYSICAL VERIFICATION & ANY DEVIATIONS MUST BE CALLED TO THE ATTENTION OF KB DESIGN GROUP, INC. AND/OR ARCHITECT. ELECTRICAL OUTLETS ARE SHOWN ONLY TO FACILITATE GENERAL LOCATIONS OF POWER SOURCES PLACED FOR EQUIPMENT OR LIGHTING PERTINENT TO THE DECORATIVE AND FURNITURE LAYOUT. FIELD VERIFY ALL EQUIPMENT SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. WE ACCEPT NO RESPONSIBILITY FOR ANY WORK DONE BY SAID CLIENT/FRANCHISEE AND/OR CONTRACTOR THAT IS A REVISION OR CHANGE OF WHAT IS EXPRESSED ON PLANS, AND WILL STAND NO EXPENSE FOR CHARGES MADE NECESSARY BY SUCH DEVIATIONS, AS WELL AS ANY OTHER CHANGES REQUIRED BY LOCAL BUILDING OR HEALTH DEPARTMENT CODES, NATIONAL, STATE, AND/OR LOCAL CODES/ORDINANCES OR STRUCTURAL/FIELD CONDITIONS AT THE JOB SITE.

**NOTE TO FIXTURE OR FURNITURE MANUFACTURER:** WHERE THE FABRICATION REQUIRES VERIFICATION BY PHYSICAL MEASUREMENT, SUCH MEASURE IS THE OBLIGATION OF THE CONTRACTOR AND/OR MANUFACTURER & WE WILL STAND NO EXPENSE FOR REPAIR OR RE-FABRICATION IF THERE IS ANY DEVIATION FROM ACTUAL MEASUREMENT. NO PLANS ARE TO EVER BE SCALED FOR ACCURACY/OR FABRICATION. NOTWITHSTANDING ANY OMISSIONS, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR &/OR MANUFACTURER TO DETERMINE ACTUAL CONSTRUCTION DETAILS & FABRICATE SAID DESIGN IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE & PROCEDURE & TO LET KB DESIGN GROUP, INC. AND/OR ARCHITECT KNOW AT THE TIME OF BIDDING IF SAID PLAN IS NOT PRACTICAL OR STRUCTURALLY SOUND FOR ITS INTENT AND PURPOSE.

**GENERAL NOTE:** ANY ERRORS, AMBIGUITIES AND/OR OMISSIONS IN DRAWINGS & SPECIFICATIONS SHALL BE REPORTED TO KB DESIGN GROUP, INC. AND/OR ARCHITECT FOR CORRECTION BEFORE ANY PART OF THE WORK IS STARTED, UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE CLIENT/FRANCHISEE, CONTRACTOR &/OR MANUFACTURER'S FAVOR BY VIRTUE OF ERRORS, AMBIGUITIES, AND/OR OMISSIONS ON PLANS WHICH SHOULD HAVE BEEN DISCOVERED DURING THE PREPARATION OF BID ESTIMATE & DIRECTED TO KB DESIGN GROUP, INC.'S AND/OR ARCHITECT'S ATTENTION IN A TIMELY MANNER.

## CONSTRUCTION NOTES

- ALL CUTTING, PATCHING AND RESTORING OF ROOFING TO BE DONE BY LANDLORDS GENERAL CONTRACTOR ALL MAINTENANCE WORK AND REPAIR OF DAMAGES TO THE ROOF SHALL BE PERFORMED BY THE CONTRACTOR AT TENANT EXPENSE.
- METHODS OF ATTACHING TENANT WORK TO BASE BUILDING STRUCTURE SHALL BE IN ACCORDANCE WITH PORTLAND, ME STANDARDS
- G.C. IS RESPONSIBLE FOR ALL REINFORCING (WHEREVER REQUIRED).
- TENANT SHALL PROVIDE ACCESS PANELS WHERE REQUIRED AS PER PLANS, SPECIFICATIONS OR INSTRUCTIONS.
- G.C. IS REQUIRED TO REMOVE ALL DEBRIS AND LEAVE JOB BROOM CLEAN, INCLUDING SERVICE AREAS.
- G.C. IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH LANDLORD.
- ALL DIMENSIONAL LUMBER, PLYWOOD, PARTICLE BOARDS, ETC. USED IN CONSTRUCTION SHALL BE FIRE RETARD (F.R.T.), U/L CERTIFIED NON-COMBUSTIBLE WHENEVER REQUIRED.
- ALL PLYWOOD BACKING AND ANY IMPERFECTIONS SHALL BE FILLED AND SANDED SMOOTH TO PROVIDE A CONTINUOUS SMOOTH SURFACE FOR APPLICATION OF FINISH (PAINT OR LAMINATE).
- ALL PARTITIONS WITH DOORS TO HAVE NON-COMBUSTIBLE WOOD JACK STUDS AND HEADERS. ALL MATERIALS SHALL MEET ALL CODES.
- ALL PARTITIONS TO BE OF METAL STUDS (UNLESS OTHERWISE NOTED).

## INDEX OF DRAWINGS

NO.	DESCRIPTION
GN	GENERAL NOTES AND SPECIFICATIONS (COVER SHEET)
A1	CONSTRUCTION/FIXTURES PLANS, SCHEDULES, NOTES AND DETAILS
E1	POWER WIRING & REFLECTED CEILING PLAN
SP-1	SPECIFICATIONS

## ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
CL'G	CEILING	S.R.	SHEETROCK
FURN.	FURNISHED	SUP'L	SUPPLIED
HGT	HEIGHT	T.G.C.	TENANTS GENERAL CONTRACTOR
INST'L	INSTALLED	TENANT	OWNER
LL	LANDLORD	T.E.C.	TENANTS ELECTRIC CONTRACTOR
TH.	THICK	T.M.C.	TENANTS MECHANICAL CONTRACTOR
MT'L	METAL	T.P.C.	TENANTS PLUMBING CONTRACTOR
SHT.	SHEET	T&S	TAPE AND SPACKLE

## GENERAL NOTES

- ALL ITEMS ARE TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS, UNLESS NOTED OTHERWISE ON THESE PAGES.
  - GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS: IF THERE ARE ANY CHANGES, REVISIONS OR DISCREPANCIES PLEASE CALL (314) 515-8579 \*EXISTING AND NEW PARTITION DIMENSION MAXIMUM TOLERANCE IS 4" UNLESS NOTED AS "HOLD".
  - CONTRACTOR TO CONTACT THE CITY TO DETERMINE IF ANY UPGRADES WILL NEED TO BE MADE TO COMPLY WITH LOCAL, STATE, OR PROVINCIAL CODES, INCLUDING FIRE MARSHAL FOR SPRINKLER AND ALARM SYSTEMS.
  - LANDLORD/CONTRACTOR TO PROVIDE H.V.A.C. CONTROLS FOR EDWARD JONES SPACE
  - CONTRACTOR TO PROVIDE NEW ELECTRICAL DEVICES AS INDICATED ON PLAN IF AN EXISTING DEVICE IS NOT WITHIN 36" OF DEVICE INDICATED. \*DO NOT REMOVE DEVICES THAT ARE EXISTING IN REMAINING WALLS, UNLESS NOTED. VERIFY EXISTING DEVICES ARE IN GOOD WORKING CONDITIONS.
  - A SWITCH SHALL OCCUR AT EACH EGRESS DOOR, AND SHALL BE 3-WAY IF APPLICABLE FOR MULTIPLE ENTRANCES.
  - MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) ARE ALL DESIGN/BUILD; MEP CONTRACTORS ARE REQUIRED TO OBTAIN ALL REQUIRED DRAWINGS, PERMITS, ETC. RELATED TO THEIR WORK.
  - CONTRACTOR TO PROVIDE AND INSTALL EXIT/EMERGENCY LIGHTS AS REQUIRED BY LOCAL, STATE, OR PROVINCIAL BUILDING CODES.
  - CONTRACTOR TO COORDINATE INSTALL OF CAT5E, PHONE LINES BY INC (QUANTITY AS SHOWN (SEE ELECTRICAL DRAWINGS) IN 3/4" CONDUIT (CONDUIT BY G.C.) AS REQUIRED BY LOCAL CODE FROM BUILDING SOURCE (DEMARC) TO BOC LOCATION AS INDICATED ON PLAN BY SYMBOL.
- EXTERIOR CIRCUIT INSTALLATION INSTRUCTIONS:**
- GENERAL CONTRACTOR TO VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CONDUIT ALONG SIGN BAND SERVING SUBJECT SPACE. EXISTING CIRCUIT MUST BE LOCATED IN/ON THE SIGN BAND ABOVE THE SUBJECT SPACE AND WITHIN (6") OF THE CENTER-LINE IF THE SPACE. THE CIRCUIT SHOULD BE A DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT SPACE AND BE FED THROUGH A TIME CLOCK OR PHOTOCELL SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NONFUNCTIONAL. GC TO PROVIDE INSTALLATION OF NEW DEDICATED SIGN CIRCUIT, PHOTOCELL AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAND NO MORE THAN SIX FEET (6') FROM THE CENTER LINE OF THE SUBJECT SPACE. COST FOR INSTALLATION OF THE CIRCUIT, JUNCTION BOX AND PHOTOCELL TO BE INCLUDED IN THE ELECTRICAL BID FOR THE PROJECT AS WELL AS FINAL CONNECTION OF SIGN BY ELECTRICIAN BY REQUIRED CODE.

## KEY PLAN & BUILDING INFO.

**BUILDING INFORMATION:**  
CONSTRUCTION TYPE: STEEL FRAMED; BRICK EXTERIOR  
3-STORY (EDJ 1ST FLOOR) NON-SPRINKLERED  
OCCUPANCY GROUP: B-BUSINESS  
COMMON AREA & WALL PROTECTION APPLY  
LOW VOLTAGE PERMITS REQUIRED  
OCCUPANCY LOAD: 1,100 SQ./FT.  
100 SQ./FT. PER PERSON = 11 PERSONS

**PLAN NORTH VS TRUE NORTH:**  
PLAN NORTH IS BASED ON THE PREDOMINANT AXIS OF THE BUILDING GEOMETRY. FOR THIS PROJECT, PLAN NORTH POINTS TOWARDS THE TOP OF THE DRAWING AREA. ALL VIEWS IN THIS DRAWING SET USE PLAN NORTH AS IT'S ORIENTATION. LOW VOLTAGE PERMITS REQUIRED

TRUE NORTH IS THE REAL-WORLD NORTH DIRECTION BASED ON SITE CONDITIONS. TRUE NORTH INFORMATION IS NOT USED OR PROVIDED FOR THESE DOCUMENTS.

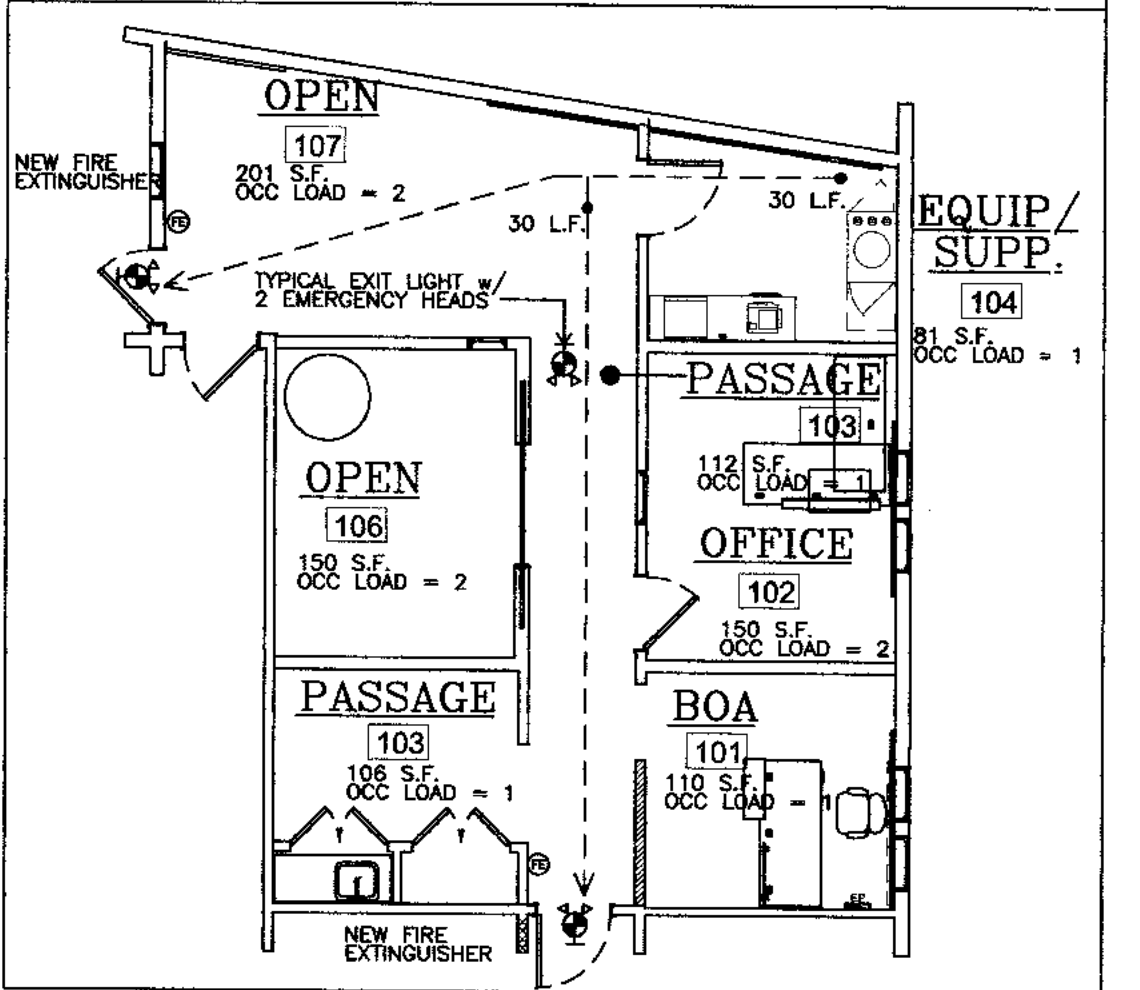
## APPLICABLE CODES

- MAINE UNIFORM BUILDING AND ENERGY CODE (MUBEC):**
- 2015 INTERNATIONAL BUILDING CODE (IBC) CHAPTER 3-IBC UPDATED JANUARY 2018
  - 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) CHAPTER 4-IEBC(2015) UPDATED JANUARY 2018
  - 209 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) CHAPTER 6-IECC (2009) UPDATED JANUARY 2018
  - THE AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR-CONDITIONING (ASHRAE) STANDARDS:
    - 62.1-2013, VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY
    - 62.2-2013, VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY IN LOWRISE RESIDENTIAL BUILDINGS.
    - 62.2-2013, VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY IN LOWRISE RESIDENTIAL BUILDINGS.
  - E-1465-2008, STANDARD PRACTICE FOR RADON CONTROL OPTIONS FOR THE DESIGN AND CONSTRUCTION OF NEW LOW-RISE BUILDINGS
  - CITY OF PORTLAND MUNICIPAL CODE CH.6 BUILDING AND BUILDING REGULATIONS
  - CITY OF PORTLAND MUNICIPAL CODE CH.10 FIRE PRESERVATION AND PROTECTION (INCLUDING NFPA 1 AND 101)
  - ELECTRICAL STANDARDS ADOPTED PURSUANT TO 32 M.R.S.-1153-A (NATIONAL ELECTRIC CODE 2017)
  - THE PLUMBING CODE ADOPTED PURSUANT TO 32 M.R.S.-3403-B (UNIFORM PLUMBING CODE 2015)
  - FIRE SAFETY CODES AND STANDARDS PURSUANT TO 25 M.R.S.-2452 AND 2465
  - FEDERAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

## CODE ANALYSIS

	EXIST'G BLD'G	PROPOSED ALTERATION
I.B.C. OCCUPANCY CLASSIFICATION	GROUP B	GROUP B
CONSTRUCTION TYPE	EXIST'G	EXIST'G
# OF STORIES ABOVE GRADE	3	3
HIGH RISE (Y/N)	N	N
COVERED MALL (Y/N)	N	N
FULLY SPRINKLED & MONITORED	N	N
FLOOR AREA OF RENOVATION	1,100	1,100
EGRESS CAPACITY AT EXIT DOORS	0.2" PER OCCUPANT	

## LIFE SAFETY PLAN

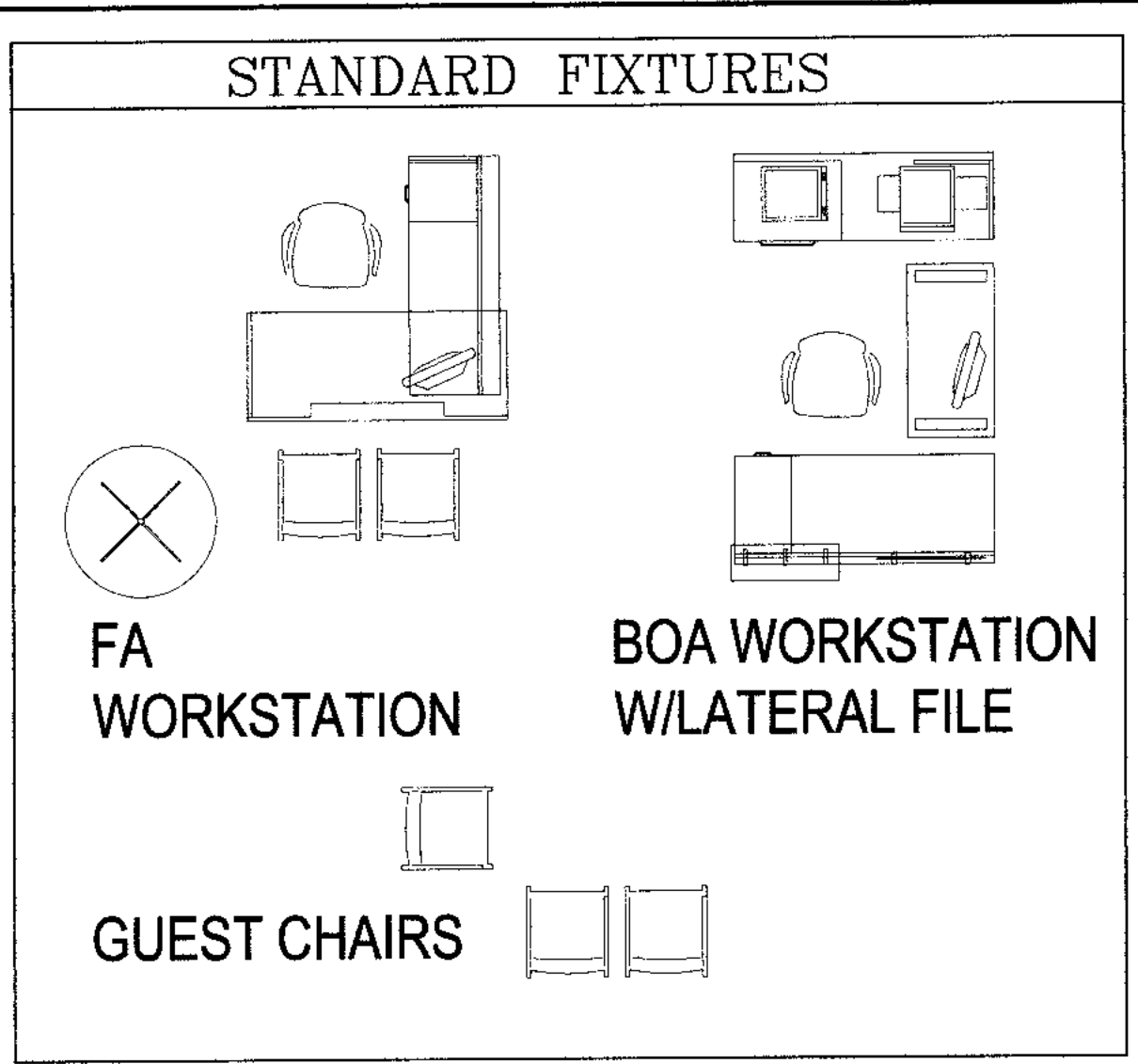


ALL WORK BY TENANT'S GENERAL CONTRACTOR AND SUBCONTRACTORS MUST MEET OR EXCEED ALL CURRENT NATIONAL, AND LOCAL BUILDING AND FIRE CODES.

BUILDING OWNER	AREA BREAKDOWN
<b>PROPERTY MANAGER</b> CONTACT: SAMANTHA MARINKO OFFICE: (207) 553-1723 CELL: (908) 433-5049 SAMARINKO@BOULOS.COM	101 BOA 118 SQ/FT 102 OFFICE 148 SQ/FT 103 PASSAGE 146 SQ/FT 104 EQUIPMENT 96 SQ/FT 105 TOILET RM. N/A SQ/FT 106 OPEN 374 SQ/FT 107 OPEN 218 SQ/FT TOTAL SQ./FT. 1,100 SQ/FT
<b>LEASING COORDINATOR/PROJECT MANAGER:</b> FALLON DEVLIN TELEPHONE: (314) 515-4697	
OTHER CONTACTS	BUILDING DEPT.
<b>FLOORING CONTACT:</b> NATIONAL RETAIL FLOORING SERVICES INC. TEL: (866) 440-6737 edwardjones@nrfinc.com	PORTLAND, ME. PERMITTING AND INSPECTIONS DEPARTMENT DIRECTOR: MICHAEL A. RUSSELL #389 CONGRESS STREET ROOM 315T, PORTLAND, ME. 04101 TEL: (207-874-8703)
<b>METAL LOGOS CONTACT:</b> DEB GORAT TEL: (402) 339-3264	
<b>INTEGRATED NETWORK CABLES (INC)</b> INSTALL TEAM (888) 519-9525	
<b>ARCHITECTS:</b> KB DESIGN GROUP 113 WEST JERSEY AVENUE PITMAN, NEW JERSEY 08071	

**Edward Jones**  
CLIENT  
LOCATION  
BRANCH OFFICE #45699  
145 NEWBURY STREET  
PORTLAND, ME. 04101  
FIRST FLOOR  
1,100 SQ./FT.  
DWG. TITLE  
GENERAL NOTES & SPECIFICATIONS  
DRAWING NO.  
18058-GN





### DOOR SCHEDULE

No.	TYPE	HARDWARE DESCRIPTION
1	ENTRY DOOR	T.G.C. TO REMOVE EXISTING ENTRY DOOR AND JAMB AND RE-FRAME DOOR OPENING TO INSTALL A NEW 3'-0" x 7'-0" door. TO MEET ADA REQUIREMENTS VERIFY TYPE OF DOOR w/ OWNER
2	CLOSET DOORS	EXISTING CLOSET DOORS TO REMAIN. T.G.C. TO ENSURE PROPER WORKING CONDITIONS AND REPAIR SERVICE, AND PAINT AS REQUIRED.
3	DOOR TO BE REMOVED	EXISTING ROOM DOOR AND JAMB TO BE REMOVED. T.G.C. TO PATCH AS REQUIRED ADJACENT WALLS READY TO RECEIVE NEW FINISHES.
4	FA OFFICE DOOR	FA OFFICE DOOR TO REMAIN. T.G.C. TO ENSURE PROPER WORKING CONDITIONS.
5	ROOM 106 TO PASSAGE DOOR	EXISTING POCKETED SLIDING DOOR TO REMAIN. T.G.C. TO ENSURE PROPER WORKING CONDITIONS
6	EQUIP/SUPP. DOOR	T.G.C. TO REMOVE EXISTING DOOR (IF ANY) AND SUPPLY AND INSTALL A NEW 3'-0" x 7'-0" S.C. WOOD DOOR AND HARDWARE TO MATCH EXISTING. PAINT WHITE
7	REAR SERVICE DOORS	EXISTING REAR SERVICE DOORS (2) TO REMAIN. T.G.C. TO ENSURE PROPER WORKING CONDITIONS AND SERVICE, AND REPAIR. INSTALL NEW DEAD BOLTS.

**NOTE:**  
 ALL DOORS SHALL HAVE HANDICAP DOOR HARDWARE IN COMPLIANCE WITH HANDICAP ACCESSIBILITY CODE.

### FINISH SCHEDULE

RM. NO.	PAINT	FLOORING	BASE	DOOR/TRIM	CEILING	NOTES
101	P3	EXIST	B2	N/A	DROP	
102	P3	EXIST	B2	EXIST/EXIST	DROP	SEE NOTE 'A'
103	P3	EXIST	B2	GLASS/WHITE	DROP	SEE NOTE 'A'/'B'
104	EXIST	EXIST	EXIST	WHITE/WHITE	DROP	
105						COMMON RESTROOMS
106	P3	C10	B2	EXIST/EXIST	DROP	SEE NOTE 'A'
107	P3	EXIST	B2	N/A	DROP	

EXIST = EXISTING FINISH TO REMAIN  
 MATCH = NEW FINISHES TO MATCH EXISTING  
 N.I.C. = NOT IN CONTRACT FOR FINISHES  
 N/A = FINISH NOT APPLICABLE TO THIS ROOM

PAINT	CARPET TILE	BASE
P3 - SW7723 COLONY BUFF (SHERWIN WILLIAMS) OR PUTNAM IVORY HC39 (BENJAMIN MOORE)	PATCRAFT PRIVATE LABEL PRODUCT C10 - CUSTOM TILE - V8240 CARPET TILE INSTALLATION: QUARTER-TURN CARPET TILE ADHESIVE - PATCRAFT 5900 HIGH MOISTURE (100 YD SPREAD RATE) **GC TO LEAVE (1) CARTON OF CARPET TILE IN BRANCH AT CONSTRUCTION COMPLETION**	B2 - P147 LIGHT BROWN
ACCENT WALLS - SW6195 ROCK GARDEN (SHERWIN WILLIAMS) OR CUSTOM 'EDJ GREEN' (BENJAMIN MOORE)	LUXURY VINYL PLANK LVP1 - PATCRAFT RESILIENT, 6"X48" PLANK - RESILIENT VINYL STYLE: 1800V HIGHLAND FOREST COLOR: 20220 LIGHT OAK RESILIENT ADHESIVE PATCRAFT 4100 (100 YD SPREAD RATE)	BROADLOOM C11 - CUSTOM TILE MATCH PATCRAFT EDJ CUSTOM W218Y1 ADHESIVE - PATCRAFT 1000 ADHESIVE SPREAD RATE: 32-36 YD

GC USE ONLY  
 LVP1 - \$85.00 PER BOX (COST INCLUDES FREIGHT)  
 C10 - \$15.38 PER SY (COST INCLUDES FREIGHT)  
 CARPET TILE ADHESIVE - \$96.40 (4 GALLON PAIL)  
 LVP ADHESIVE - \$135.00 (4 GALLON PAIL)  
 BROADLOOM ADHESIVE - \$32.99 (4 GALLON PAIL)

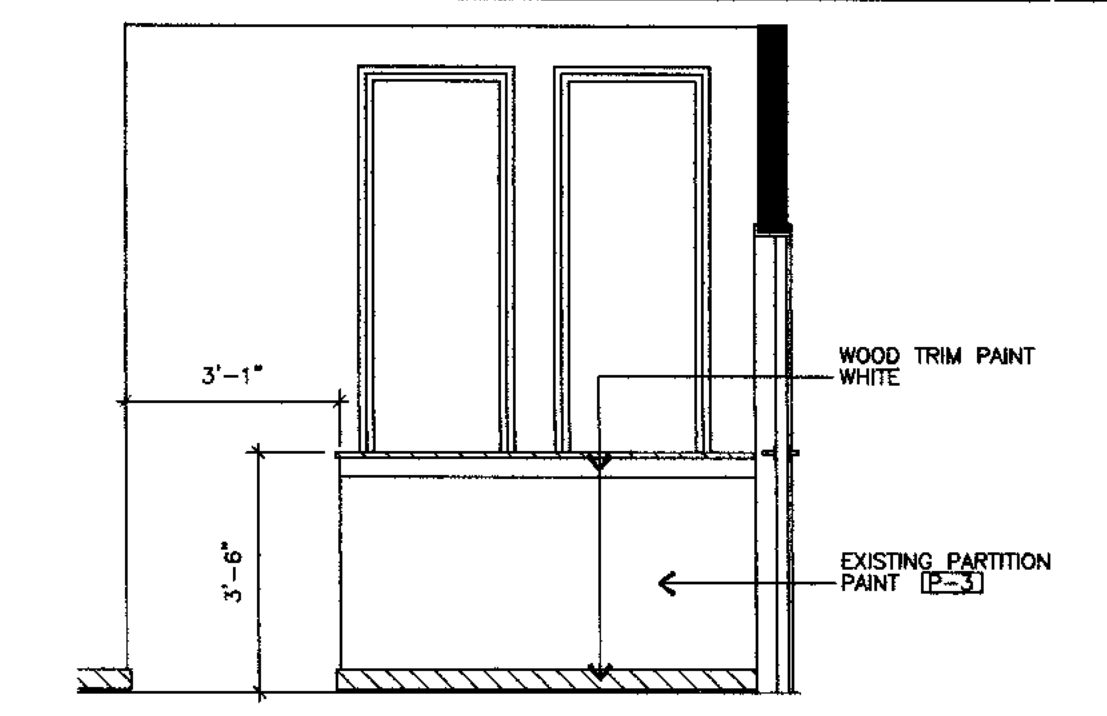
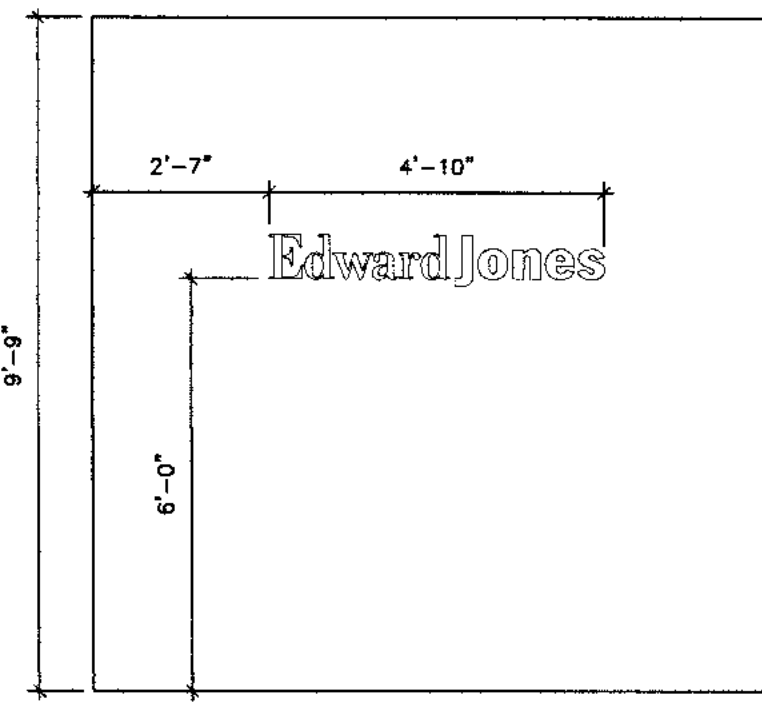
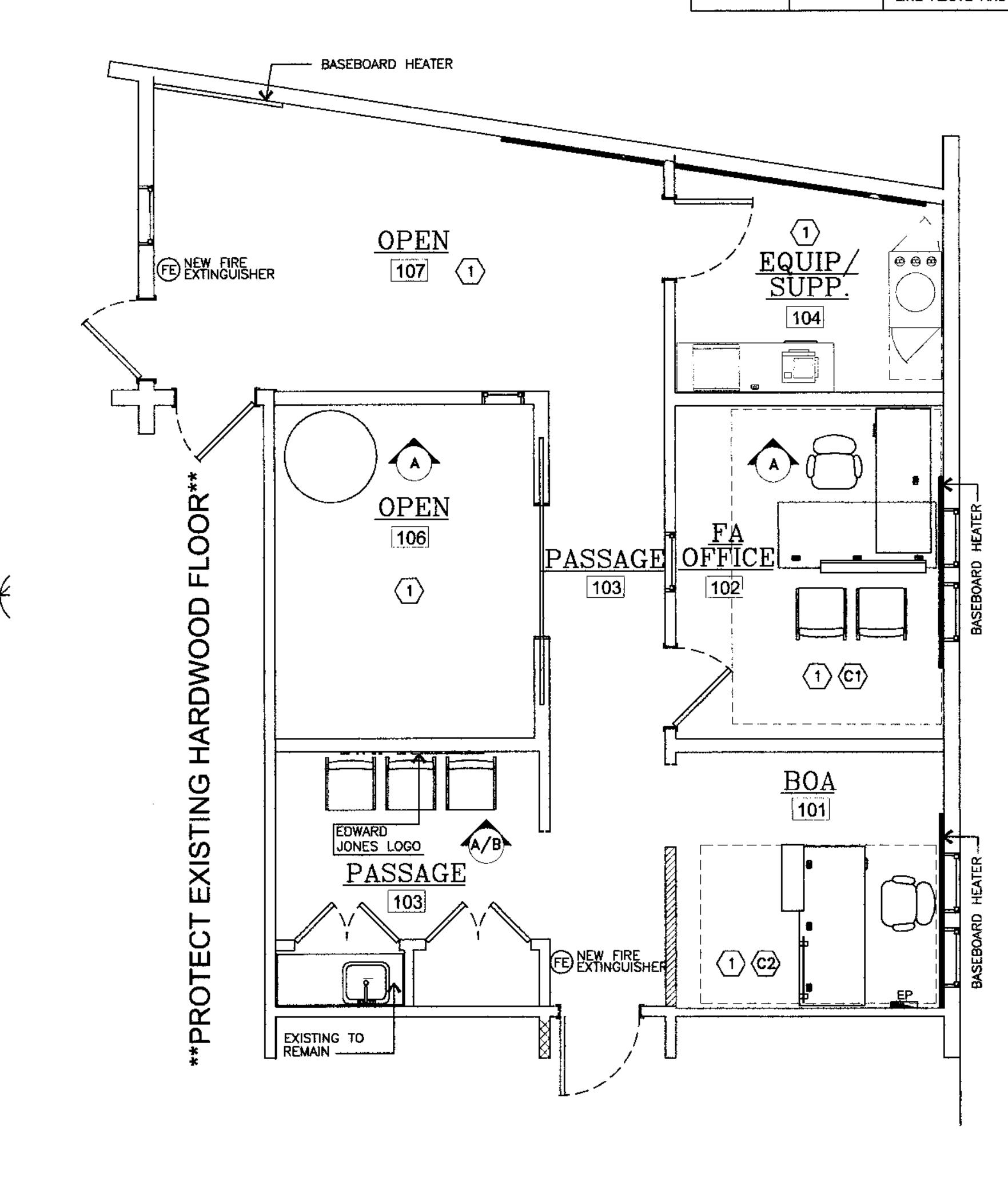
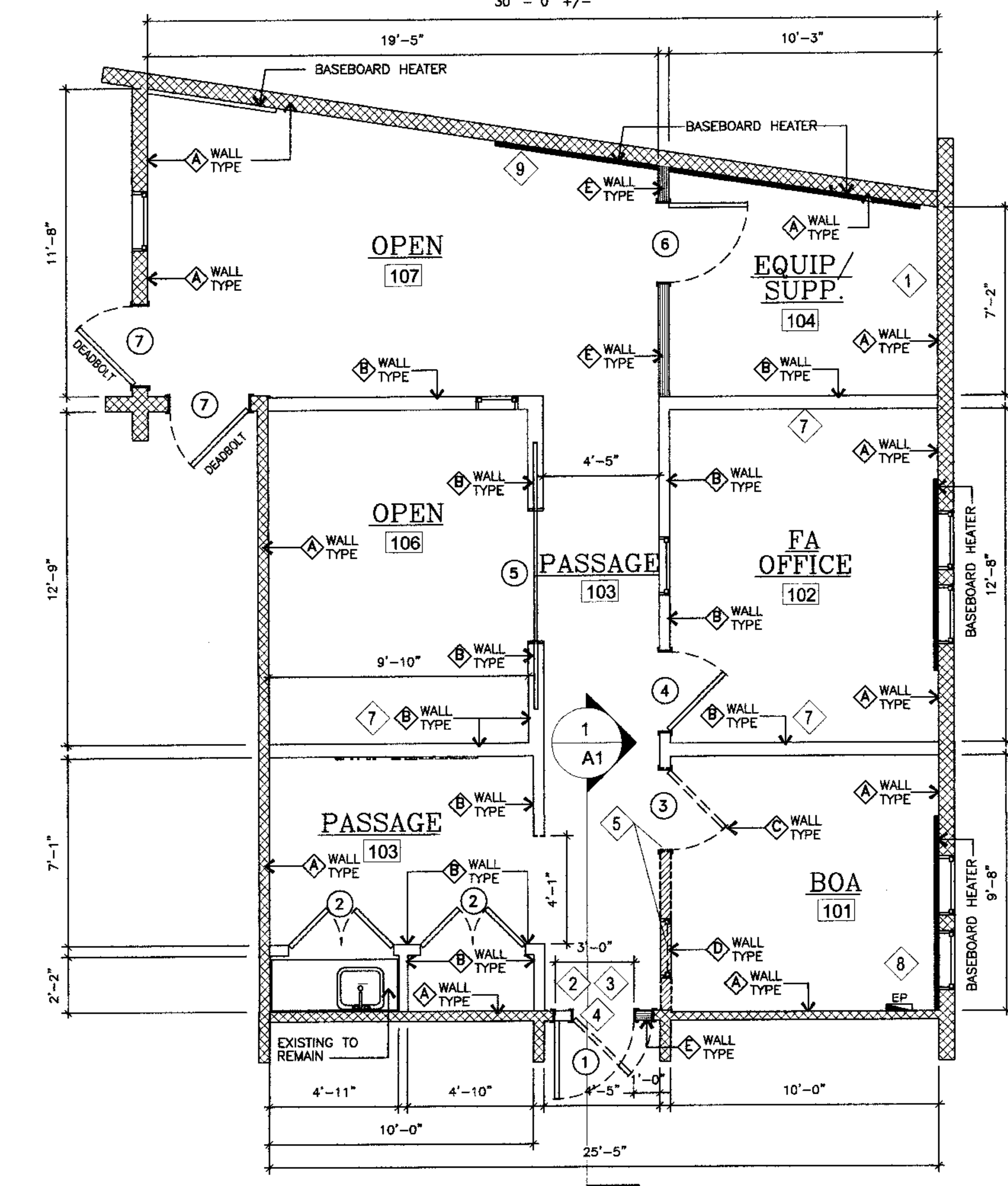
\*\*COST EXCLUDES ALASKA, ABOVE, PLEASE CONTACT DESIGNER  
 \*\*IF QUOTED DIFFERENTLY THAN HAWAII & CANADA

CONTACT FOR FLOORING:  
 NATIONAL RETAIL FLOORING SERVICES, INC.  
 866-440-6737  
 edwardjones@nrfinc.com

- ### GENERAL CONSTRUCTION NOTES
- KEYED NOTES:**
- PHONE COMPANY SERVICE TO BE INSTALLED AT BOC LOCATION PER DETAIL ON SHEET 6 OF 6 AND PER SPECIFICATIONS ON 1ST DAY OF CONSTRUCTION. EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK ASAP.
  - INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 103. HAMPTON BAY WIRELESS DOOR ALERT WITH WHITE COVER & HORIZONTAL LINES - HOME DEPOT MODEL #SL- 6168 OR COMPARABLE ALTERNATIVE.
  - IF LOCAL CODE WILL NOT ALLOW FOR THUMB-TURN LOCKSET AT ENTRY DOOR, NOTIFY DESIGNER IMMEDIATELY WITH ALTERNATIVE OPTIONS FOR LOCKSETS WITH INTERIOR LOCKING MECHANISMS.
  - DEMO EXISTING ENTRY DOOR AND RE-FRAME FOR NEW ENTRY TO MEET ADA CLEARANCES.
  - DEMO EXISTING WINDOW/DOOR IN 101 & INSTALL NEW PARTIAL HEIGHT WALL AT EXISTING WINDOW SILL 3'-5" A.F.F. CAP WITH WOOD TRIM; PAINT WHITE. SEE SECTION
  - INSTALL ELECTRICAL SERIES AT BOA CREENZA 2'-0" FROM CORNER, STARTING WITH RECESSED OUTLET, AS INDICATED BY ARROW ON FLOOR PLAN TO ALLOW FOR PROPER EQUIPMENT INSTALLATION.
  - CONFIRM EXISTING PARTITION IS INSULATED; INSTALL/BLOW IN INSULATION AS REQUIRED.
  - PAINT EP TO MATCH PARTITION.
  - RELOCATE BASEBOARD HEATER AS REQUIRED FOR ADDITION OF EQUIP. 104.
- CONTRACTOR SITE (SPECIFIC) NOTES:**
- LANDLORD TO DELIVER SPACE IN AS-IS CONDITION.
  - ALL ITEMS TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS, SEE PAGES 4-6 UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & WINDOW MULLION PLACEMENT PRIOR TO CONSTRUCTION; IF YOU ARE UNABLE TO VERIFY DIMENSIONS OR IF A DISCREPANCY OCCURS, NOTIFY DESIGNER IMMEDIATELY.
  - DUE TO LOW VOLTAGE PERMIT REQUIREMENT, BRANCH TO BE PREWIRED PER LOCAL CODES. PREWIRING TO BE COMPLETED BY INC - GC TO COORDINATE; INC TO INSTALL 4" CATSE PHONE LINES IN 3/4" CONDUIT PROVIDED BY GC FROM BUILDING SOURCE TO BOC LOCATION IN EQUIP/SUPP 104. SEE DETAIL ON SHEET 6 OF 6.
  - INSTALL NEW ELECTRICAL PER PLAN UNLESS WITHIN 36" OF EXISTING RECEPTACLE. VERIFY EXISTING ELECTRICAL PANEL MEETS EDJ SPECIFICATIONS; UPGRADE OR ADD SUBPANEL AS REQUIRED. EP IS LOCATED IN A COMMON AREA, INSTALL BREAKER LOCKS AS REQUIRED.
  - INSTALL/RELOCATE SUPPLY & RETURN GRILLES, INCLUDING DUCTWORK, AS REQUIRED FOR COMPLETE & BALANCED WORKING SYSTEM AND TO ACHIEVE ONE SUPPLY & ONE RETURN AT MINIMUM IN EACH ROOM. CLEAN & CHECK HVAC UNIT; EXISTING DIGITAL PROGRAMMABLE THERMOSTAT AS SHOWN ON PLAN IN OPEN 107. RELOCATE AND ADD EXISTING BASEBOARD HEATERS AS NEEDED PER NEW PARTITIONS AND TO ENSURE BALANCED ENVIRONMENT.
  - EXISTING CAN LIGHTING TO REMAIN THROUGHOUT. INSTALL TB LAMPS AND ELECTRONIC BALLASTS IN ALL EXISTING FIXTURES IF NOT EXISTING; INSTALL/RELOCATE 2"x4" FLUORESCENT LAY-IN LIGHTS ACCORDING TO NEW PARTITIONS; INSTALL COMMERCIAL 6" RECESSED SPOTLIGHT TO ILLUMINATE INTERIOR LOGO AS PER KEYNOTE B ON PAGE 3 OF 6. SEPARATELY SWITCHED. CLEAN LENSES AND REPLACE ALL STAINED/DAMAGED CEILING TILES. INSTALL INSULATION ABOVE CEILING AT ROOM 102.
  - PATCH, REPAIR, & PREP EXISTING PARTITIONS AS REQUIRED FOR NEW FINISHES.
  - VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS. VERIFY THAT THEY EXTEND TO THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED.
  - EXISTING FLOORING TO REMAIN THROUGHOUT. REMOVE EXISTING BASE THROUGHOUT & INSTALL NEW PER EDJ SPECIFICATIONS ON SHEET 3.
  - DEMO ALL ABANDONED PIPING & VOICE/DATA WIRING.
  - EXISTING INTERIOR DOORS TO REMAIN THROUGHOUT; INSTALL NEW 3'-0" 6 PANEL SOLID CORE WOOD DOOR TO MATCH EXISTING IN 104. PROVIDE & INSTALL STORE ROOM LOCKSET & DOOR CLOSER AT
  - MODIFY EXISTING FIRE ALARM/SMOKE DETECTORS AS REQUIRED BY LOCAL CODES.
  - EXISTING BLINDS TO REMAIN; PROTECT DURING CONSTRUCTION. 104.
- DEMARK NOTE:**
- DEMARK EXTENSION WORK PER DETAIL ON SHEET SPECIFICATION 1. TO BE COMPLETED ON THE FIRST DAY OF CONSTRUCTION. TGC TO INSTALL BOARD AND CONDUIT AND COORDINATE INSTALL OF CATSE LINES WITH INC. EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK COMPLETION. (REFER TO COVER SHEET FOR LEASING COORDINATOR PHONE NUMBER AND "E-MAIL")

### WALL SCHEDULE

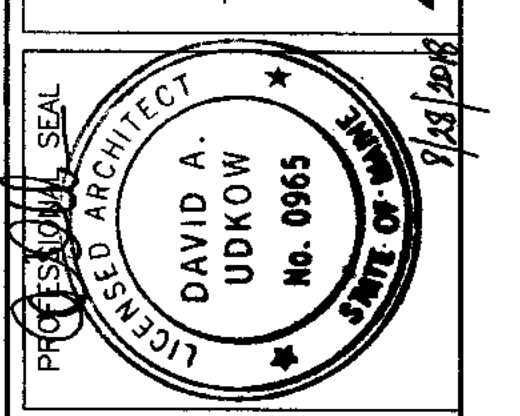
SYMBOL	TYPE	DESCRIPTION
A	EXISTING EXTERIOR PERIMETER DEMISING WALLS TO REMAIN. T.G.C. TO REMOVE ALL EXISTING INTERIOR FINISHES, AND PATCH AND REPAIR SURFACES READY TO RECEIVE NEW FINISHES.	
B	EXISTING INTERIOR PARTITION WALL TO REMAIN. T.G.C. TO PATCH AND REPAIR GYPSUM BOARD AS REQUIRED READY FOR NEW FINISHES.	
C	EXISTING WALL, DOOR AND WINDOW TO BE DEMOLISHED BY T.G.C. PATCH ADJACENT WALLS AND CONCRETE SLAB AS REQUIRED TO RECEIVE NEW FLOOR AND WALL FINISHES BY T.G.C.	
D	5/8" GYPSUM BOARD (T&S) ON BOTH SIDES OF 3 5/8" 20 ga. METAL STUDS AT 16" O.C. RUN GYPSUM BOARD FROM CONCRETE TO 3'-5" (EXISTING WINDOW SILL HEIGHT) A.F.F. AND CAP WITH WOOD TRIM; PAINT WHITE. (SEE ELEVATION AND SECTION INCLUDED)	
E	5/8" GYPSUM BOARD (T&S) ON BOTH SIDES OF 3 5/8" 20 ga. METAL STUDS AT 16" O.C. RUN GYPSUM BOARD FROM FLOOR TO EXISTING CEILING LINE ABOVE AND PAINT AS REQUIRED.	



- ### KEYED NOTES
- ACCENT TO BE PAINTED WITH CUSTOM "EDJ GREEN" SEE FINISH SPECIFICATIONS.
  - PREPARED FOR EDJ LOGO TO BE CENTERED ON PARTITION AS INDICATED ON PLAN. USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT; SEE SIGNAGE ELEVATION TO THE RIGHT. PROVIDE & INSTALL COMMERCIAL 6" RECESSED SPOTLIGHT w/ WHITE ADJUSTABLE EYEBALL TRIM KIT UTILIZING AN ENERGY SAVING BULB; TO BE INSTALLED IN CEILING 5'-0" AWAY FROM WALL AND CENTERED ON PARTITION. FOR INSTALLATION INSTRUCTIONS, VISIT <http://www.metallodge.com/installation.aspx>. \*\*FOR CANADA BRANCHES, PLEASE CALL SPECTRA SIGNS (SEE CONTACT INFO ON PAGE (1)).\*\*
  - SIGNAGE TO BE ORDERED BY CONTRACTOR AND WILL BE PAID FOR BY EDWARD JONES. ONLY THE INSTALLATION SHOULD BE INCLUDED IN SCOPE OF WORK. (LETTER KIT WITH PINS ON BACK; KIT COMES WITH TEMPLATE FOR EASY INSTALLATION)
  - EDWARD JONES LOGO TO BE CENTERED ON PARTITION AS INDICATED ON PLAN. USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT. BOTTOM OF LOGO TO BE 6'-0" AFF UNLESS THERE IS A WINDOW ON THE SIGNAGE WALL, THEN PLACE THE SIGNAGE 6" ABOVE WINDOW TRIM. ALLOW AT LEAST 2" ON EITHER SIDE OF SIGNAGE; IF PARTITION SELECTED FOR SIGNAGE DOES NOT ALLOW, NOTIFY DESIGNER IMMEDIATELY.
  - CONTRACTOR TO PROVIDE ALTERNATE BIDS TO SAND/REFINISH EXISTING HARDWOOD FLOOR THROUGHOUT.
  - CONTRACTOR TO PROVIDE 12'X8' BOUND AREA RUG OF C11 AT (102); CONTACT NATIONAL RETAIL FLOORING SERVICES, INC. - SEE COVER SHEET FOR CONTACT INFORMATION
  - CONTRACTOR TO PROVIDE 9'X6' BOUND AREA RUG OF C11 AT (101); CONTACT NATIONAL RETAIL FLOORING SERVICES, INC. - SEE COVER SHEET FOR CONTACT INFORMATION.

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SCALE AS NOTED  
 DATE 08-16-2018  
 DRAWN BY T. Perez  
 CHECKED BY

DO NOT SCALE DRAWINGS  
 CONTRACTORS ARE TO VERIFY ALL SITE DIMENSIONS AND CONDITIONS BEFORE COMMENCING SITE WORK.

DATE	ISSUED	REVISIONS

**Edward Jones**  
 BRANCH OFFICE #45699  
 145 NEWBURY STREET  
 PORTLAND, ME. 04101

CLIENT  
 FIRST FLOOR  
 1,100 SQ. FT.

DWG. TITLE CONSTRUCTION/FIXTURES PLANS  
 NOTES AND DETAILS

DRAWING NO.  
 18058-A1





### KEYED NOTES

- ① PHONE COMPANY SERVICE TO BE INSTALLED AT BOA LOCATION PER DETAIL ON SHEET 6 OF 6 AND PER SPECIFICATIONS ON 1ST DAY OF CONSTRUCTION. EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK ASAP.
- ② INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 103. HAMPTON BAY WIRELESS DOOR ALERT WITH WHITE COVER & HORIZONTAL LINES - HOME DEPOT MODEL #SL- 6168 OR COMPARABLE ALTERNATIVE.
- ③ INSTALL ELECTRICAL SERIES AT BOA CREDENZA 2'-0" FROM CORNER, STARTING WITH RECESSED OUTLET, AS INDICATED BY ARROW ON FLOOR PLAN TO ALLOW FOR PROPER EQUIPMENT INSTALLATION.
- ④ PAINT EP TO MATCH PARTITION.
- ⑤ RELOCATE BASEBOARD HEATER AS REQUIRED FOR ADDITION OF EQUIP. 104.

### NOTE

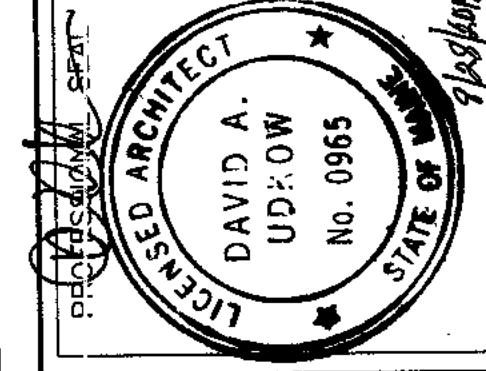
DMARC EXTENSION WORK TO BE COMPLETE ON THE FIRST DAY OF CONSTRUCTION. G.C. TO INSTALL BOARD & CONDUIT AND COORDINATE INSTALLATION OF CAT5 LINES W/ INC. EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK COMPLETION.

### ELECTRICAL LEGEND

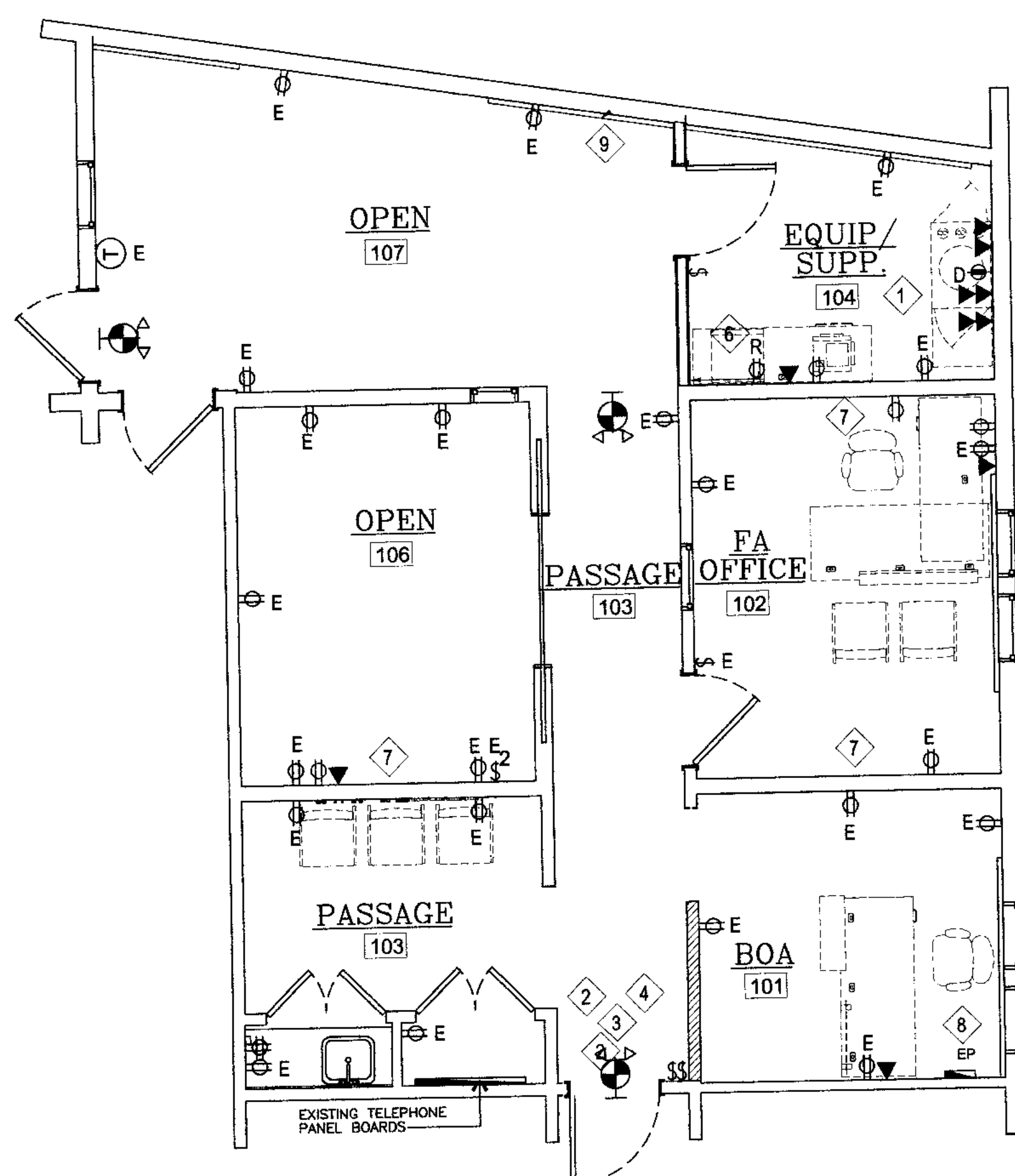
SYMBOL	DESCRIPTION	FURN.	INST.
	COMBINATION EXIT / EMERGENCY LIGHT	EXIST.	EXIST.
	EXIT LIGHT	EXIST.	EXIST.
	DUPLEX RECEPTACLE	E	E E.C. / E.C.
	QUAD RECEPTACLE	E.C.	E.C.
	DEDICATED SIMPLEX RECEPTACLE	E.C.	E.C.
	SINGLE GANG PHONE/DATA BOX	E.C.	E.C.
	THERMOSTAT LOCATION	EXIST	EXIST
	SINGLE POLE SWITCH	E	E E.C. / E.C.
	THREE POLE SWITCH	E.C.	E.C.
	ELECTRIC PANEL	EXIST	EXIST
	DOUBLE GANG PHONE/DATA BOX	E.C.	E.C.
	EXISTING CEILING LIGHT FIXTURES TO REMAIN. I.E.C. TO ENSURE PROPER WORKING CONDITIONS AND CLEAN AND RELAMP AS REQUIRED.	EXIST.	EXIST.
	RECESSED DOWNLIGHTS	EXIST.	EXIST.

### EXTERIOR SIGN CIRCUIT

GENERAL CONTRACTOR TO VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAND SERVING SUBJECT SPACE. EXISTING CIRCUIT MUST BE LOCATED IN/ON THE SIGN BAND ABOVE THE SUBJECT SPACE AND WITHIN SIX FEET (6'-0") OF THE CENTERLINE OF THE SPACE. THE CIRCUIT SHOULD BE A DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT SPACE AND WITHIN SPACE AND BE FED THROUGH A TIME CLOCK OR PHOTOCELL. SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NON FUNCTIONAL GENERAL CONTRACTOR TO PROVIDE INSTALLATION OF A NEW DEDICATED SIGN CIRCUIT. PHOTOCELL AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAND NO MORE THAN SIX FEET (6'-0") FROM THE CENTERLINE OF THE SUBJECT SPACE. COST FOR INSTALLATION OF THE CIRCUIT, JUNCTION BOX AND PHOTOCELL TO BE INCLUDED IN THE V-BASE ELECTRICAL BID FOR THE PROJECT AS WELL AS FINAL CONNECTION OF SIGN BY ELECTRICIAN IF REQUIRED BY CODE.

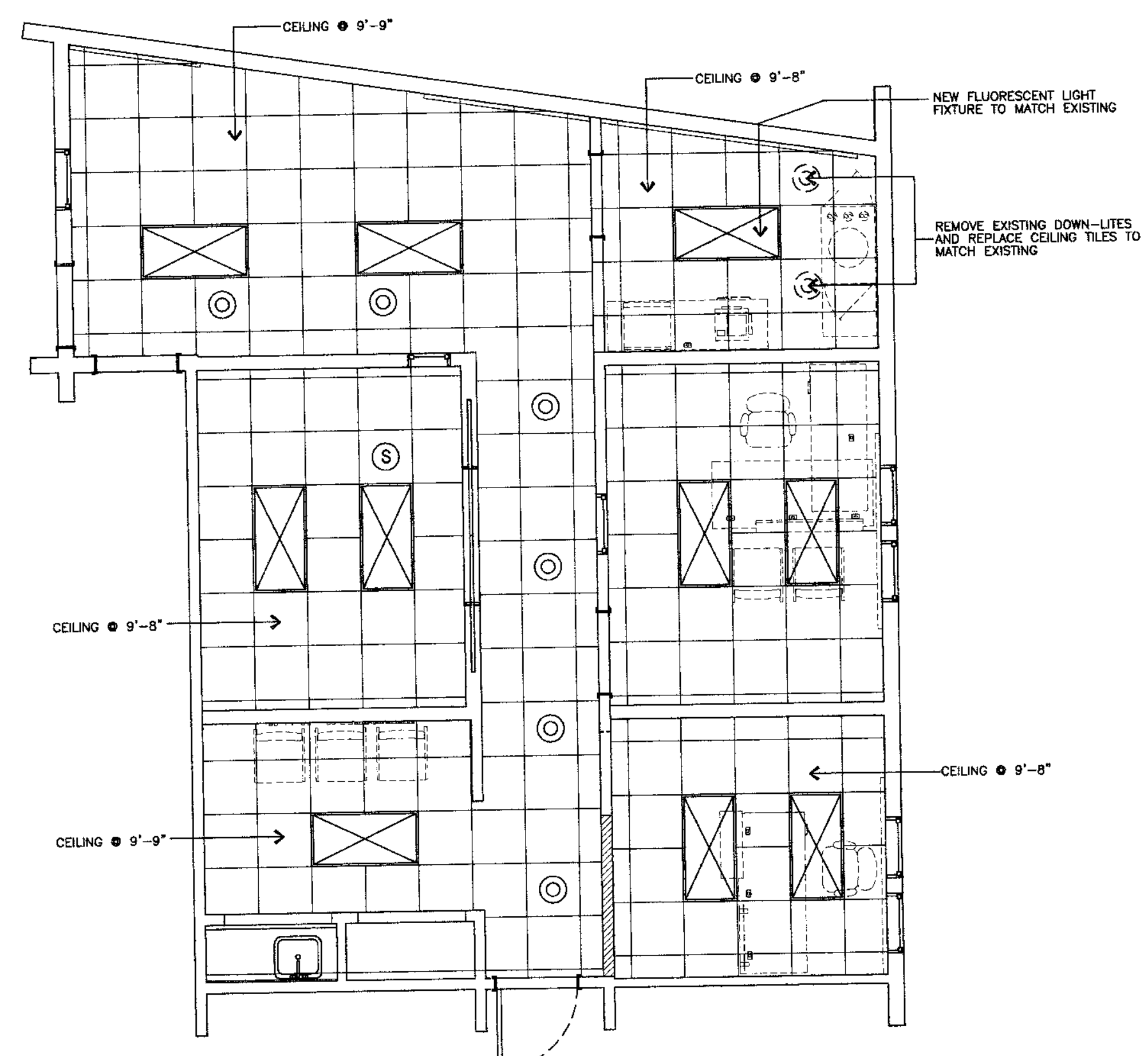


SCALE AS NOTED  
DATE 08-18-2018  
DRAWN BY T. Perez  
CHECKED BY  
DO NOT SCALE DRAWINGS  
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS FROM THE WORKMANSHIP SUPERVISOR'S FIELD NOTES.



### POWER WIRING PLAN

SCALE: 1/4"=1'-0"



### REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"

ISSUED	DATE	REVISIONS

CLIENT **Edward Jones**  
 LOCATION **BRANCH OFFICE #45699**  
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 PORTLAND, ME. 04101  
 FIRST FLOOR  
 1,100 SQ./FT.

DWG. TITLE **POWER WIRING & REFLECTED CEILING PLANS**

DRAWING NO. 18058-E1

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GENERAL NOTES

- a. THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE. IN ALL CASES, IT IS PREFERRED THAT THE BUILDING STANDARD BE USED. OTHERWISE, USE THE INFORMATION PROVIDED BELOW AND ON THE DESIGN INTENT DRAWINGS, OFTEN REFERRED TO AS EXHIBIT A. IT IS THE INTENT THAT THESE MODIFICATIONS/ADDITIONS/IMPROVEMENTS WILL BE PERFORMED ON AN AS NEEDED BASIS, AT THE REASONABLE DISCRETION OF EDWARD D. JONES & CO., L.P. D/B/A EDWARD JONES, HEREIN AFTER REFERRED TO AS EDWARD JONES OR TENANT.
b. ANY DISCREPANCIES SHALL BE BROUGHT TO DESIGNERS ATTENTION IMMEDIATELY.
c. ALL WORK SHOULD BE PERFORMED BY G.C. (GENERAL CONTRACTOR) PER CITY, STATE, PROVINCIAL, AND NATIONAL CODES (ALL REFERENCES TO "CODE" IN THIS DOCUMENT TO APPLY TO CITY, STATE, PROVINCIAL, AND/OR NATIONAL CODES AS APPLICABLE). ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT (OBTAINED BY THE G.C.) WILL BE GRANTED PRIOR TO LEASE COMMENCEMENT.
d. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUED EDITION OF THE EDWARD JONES APPROVED EXHIBIT A INCLUDED WITH THE CONTRACT FOR SERVICES AT TIME OF BID AWARD.
e. EXHIBIT A IS INTENDED FOR DESIGN INTENT ONLY AND IS NOT AN OFFICIAL CONSTRUCTION DOCUMENT. GENERAL CONTRACTOR (GC) TO OBTAIN ALL NECESSARY PERMIT DRAWINGS AS REQUIRED PER CODE. COST TO BE INCLUDED IN BID IF REQUIRED TO OBTAIN PERMITS.
f. GENERAL CONTRACTOR MUST PROVIDE ALL SUBCONTRACTORS ALL SHEETS AT TIME OF BID AND/OR PRIOR TO ANY CONSTRUCTION.
g. ALL EXISTING ITEMS TO REMAIN IN BRANCH (AS SHOWN ON PLANS) MUST BE IN GOOD WORKING ORDER AND CONDITION, AND FREE OF MAJOR DEFECTS.
h. ALL NEW INTERIOR HALLWAYS TO BE NOT LESS THAN 4'-0" WIDE, UNLESS OTHERWISE SPECIFIED BY CODE OR NOTED ON PAGE 2 OF 6.
i. EDWARD JONES' INSTALLERS MUST BE NOTIFIED OF ANY CHANGES IN PLACEMENT OF EQUIPMENT, PHONES, OUTLETS, OR FURNITURE. EDWARD JONES HAS AN ESTABLISHED RELATIONSHIP WITH NATIONAL VENDORS FOR FLOORING, PAINT, SIGNAGE, AND LOW VOLTAGE WIRING.
j. FURNITURE, EQUIPMENT, FIRE EXTINGUISHERS, BOTTLED WATER COOLER (IF REQUIRED BY CODE), PHONE AND DATA WIRING & ALL TERMINATIONS TO BE PROVIDED BY THE TENANT.
k. THE SPACE SHOULD BE CLEANED AFTER CONSTRUCTION, PLEASE SEE FLOORING SPECIFICATIONS FOR CARPET AND TILE INSTRUCTIONS.
l. WARRANTY DOCUMENTS SHALL BE PROVIDED TO THE BRANCH FACILITIES ONCE CONSTRUCTION IS COMPLETE.
m. UPON PROJECT COMPLETION, CLOSE OUT DOCUMENTS TO BE SUBMITTED WITH FINAL INVOICE INCLUDE: CONSTRUCTION DOCUMENTS, APPROVED CHANGE ORDERS, CERTIFICATE OF OCCUPANCY, LIEN WAIVER, FINAL PHOTOS OF SPACE, COMPLETED PUNCH LIST WITH ALL OUTSTANDING ITEMS COMPLETED, AND AN AIR BALANCE REPORT.

INTERIOR CONSTRUCTION SPECIFICATIONS

- 1. DEMOLITION
a. DEMOLISH AND REMOVE FROM THE SITE ALL DEBRIS FROM THE AREAS AS SHOWN ON EXHIBIT A LEAVE SPACE FREE OF ALL CONSTRUCTION DEBRIS.
b. REMOVE EXISTING FINISHES ONLY IN AREAS THAT ARE TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE SHOWN ON PAGE 3. ROOMS LISTED SHALL REMAIN AS-IS UNLESS OTHERWISE NOTED ON FLOOR PLAN.
c. LEAVE AND/OR PREPARE FLOOR TO ACCEPT NEW GLEU DOWN FLOORING PER FINISH SCHEDULE. SURFACES THAT ARE TO ACCEPT NEW FLOORING ARE TO BE FREE OF ALL DEBRIS AND/OR RESINOUS DEPOSITS. FILL ALL FLOOR CUTS REMAINING FROM ANY PLUMBING OR OTHER TERMINATION WITH CONCRETE. DEMO ALL FLOOR OUTLETS AND PATCH AS REQUIRED. IF FLOOR HVAC VENTS ARE PRESENT IN A WALKWAY, PLEASE CONTACT DESIGNER FOR RELOCATION INSTRUCTIONS.
2. PARTITIONS
a. ALL NEW WALLS WILL BE CONSTRUCTED OF 3 5/8" METAL STUDS AT 16 O.C. (WOOD STUDS ACCEPTABLE IF APPROVED BY CODE) AND 5/8" DRYWALL MINIMUM, OR MATCH EXISTING TO REMAIN.
b. ALL NEW AND EXISTING WALLS SHALL BE TAPED AND SMOOTH, READY FOR PAINT.
c. ALL DEMISING WALLS TO BE BUILT TO DECK STRUCTURE ABOVE, SEALING ALL PENETRATIONS AS REQUIRED. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, IT IS REQUIRED TO TAKE DEMISING WALLS TO HEIGHT OF ADJACENT TENANT'S WALLS AND INSTALL SECURITY FENCING FROM TOP OF WALL TO DECK TO PROVIDE A SECURE DEMISING WALL.
1. VERIFY DEMISING WALLS ARE INSULATED AND EXTEND TO DECK; EXTEND AND PROVIDE INSULATION AS REQUIRED
2. PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG NEW DEMISING PARTITION. IF ADJACENT TENANT IS A RESTAURANT OR NAIL SALON, CAULK ALL OUTLETS AND PENETRATIONS AS WELL AS FLOOR LINE AND CONNECTION AT DECK TO AVOID SMELL TRANSFER/NOISE.
3. FINISH DEMISING WALL ON BOTH SIDES ONLY IF REQUIRED BY CODE, OR IF NOTED OTHERWISE ON PLANS. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.
d. A MINIMUM OF 3 SOUND BATT INSULATION SHALL BE INSTALLED IN PARTITIONS AS INDICATED ON EXHIBIT A BETWEEN STUDS AND ABOVE CEILING WHERE THE WALL AND CEILING MEET. IF WALLS ARE EXISTING, USE BLOW-IN INSULATION. FA OFFICE AND WASHROOM WALLS ARE TO BE FITTED WITH A MINIMUM OF 3 SOUND INSULATION BATT BETWEEN STUDS.
e. PROVIDE RUBBER MOLD/BREAK METAL AT WINDOW MULLION, CAULK ALL SEAMS. ALL WALLS THAT END AT EXTERIOR WALLS OR MULLIONS TO INCLUDE SOUND CAULK AND RUBBER GASKET AT POINT OF CONNECTION.
3. CEILING (UNLESS BUILDING STANDARD APPLIES)
a. CEILING TO BE FREE FROM STAINS AND DIRT. IF INSTALLING NEW, PROVIDE AND INSTALL 2 X 4' COMMERCIAL GRADE GRID AND ACOUSTICAL CEILING TILES. MATCH BUILDING STANDARD WHERE APPLICABLE. STANDARD HEIGHT FOR NEW CEILING TO BE 9'-0", UNLESS NOTED ON PLANS.
b. NEW CEILING TO MATCH EXISTING TO REMAIN UNLESS NOTED OTHERWISE ON THE PLANS.
c. ACOUSTICAL CEILING: TILES TO BE FREE FROM CHIPS AND BREAKS; ALL TILES TO BE SAME COLOR AND STYLE AND FREE FROM HOLES (OR FILLED) AND CRACKS. TILES SHOULD BE CLEAN, PAINT WHITE IF EXISTING IS IN POOR CONDITION OR A COLOR OTHER THAN WHITE. REPLACE AS REQUIRED. TILES SHOULD BE A STANDARD COMMERCIAL GRADE ACOUSTICAL TILE. CONTIGUOUS AREAS MUST HAVE MATCHING TILE.
d. DRYWALL CEILING: TO BE LEVEL, HAVE AN EVEN TEXTURE (MATCH EXISTING WHERE APPLICABLE), AND BE PAINTED WHITE (SEE PAINT SPEC).
e. INSTALLATION OF CEILING GRID AND COMPONENT TO COMPLY WITH ALL CODES AS REQUIRED.
f. PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING IN ROOM 102B.
4. RESTROOM/WASHROOM & PLUMBING (UNLESS COMMON FACILITIES PRESENT) CONDITION.
a. PROVIDE AND INSTALL RESTROOM AND FIXTURES AS SHOWN ON EXHIBIT A. WASHROOM TO BE BARRIER FREE/HANDICAP ACCESSIBLE AS REQUIRED BY CODE OR AS SHOWN ON PLANS. G.C. TO ADHERE TO ANY CODES, WHICH MIGHT REQUIRE MODIFICATION OF EXISTING RESTROOM NOT SHOWN ON PLANS.
b. RESTROOM TO HAVE (1) OF EACH OF THE FOLLOWING: TOILET, LAVATORY, WATER HEATER (DEDICATED TO EDI SPACE), GRAB BARS, TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER AND MIRROR. PROVIDE AND INSTALL ANY OTHER ACCESSORY AS NOTED ON PLANS OR REQUIRED BY CODE.
c. EXISTING RESTROOM/WASHROOM FIXTURES TO REMAIN TO BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS OR CRACKS). CLEAN AND RESET FIXTURES AS REQUIRED.
d. LAVATORY SINK(S) (ONLY IF SHOWN ON PAGES PLANS) TO HAVE HOT AND COLD-WATER SERVICE. IF UNABLE TO INSTALL WATER HEATER ABOVE CEILING, INSTALL INSTA-HOT UNDER SINK.
e. PROVIDE AND INSTALL EXHAUST FAN WITH ADEQUATE DUCTING AND SWITCHING AS REQUIRED.
f. PROVIDE AND INSTALL BARRIER-FREE UNDER-SINK PIPE PROTECTIVE COVER UNDER SINK IN 105 AS REQUIRED BY LOCAL CODE.
g. ANY TRENCH OR GRAVEL AREAS TO BE POURED IN PLACE AFTER LOCATION OF RESTROOM.
5. FIRE PROTECTION
a. PROVIDE AND INSTALL NEW SPRINKLER SYSTEM ONLY AS REQUIRED BY CODE. IF EXISTING, MODIFY SPRINKLER LAYOUT AS REQUIRED PER CODE. INCLUDE NECESSARY PERMITS AND INSPECTIONS. HEADS MUST BE CENTERED IN TILE.
b. PROVIDE APPROPRIATE COVERAGE OF HEADS FOR PARTITION LAYOUT AS REQUIRED BY CODE PER PARTITION LAYOUT AS SHOWN ON PLANS. QUANTITY AND LOCATION OF HEAD TO COMPLY WITH APPLICABLE CODES.
c. PROVIDE/MODIFY FIRE ALARM SYSTEM IF REQUIRED BY LOCAL CODE.
d. PROVIDE DESCRIPTION OF ANY LIFE SAFETY SYSTEM PROVIDED IN BUILDING AND ITS OPERATION.
e. PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
6. HVAC (UNLESS SHARED SYSTEM PRESENT)
SYSTEM TO BE FULLY OPERATIONAL, IN GOOD CONDITION AND PROPERLY BALANCED UPON COMPLETION OF WORK. BALANCE BOTH HEATING AND COOLING. SYSTEM TO BE DEDICATED TO EDI SPACE.
HVAC BALANCE SHEET MUST BE SUBMITTED WITH INVOICE AT PROJECT COMPLETION. ALL DUCTING, DIFFUSERS, GRILLES, THERMOSTATS SHALL BE CLEAN, IN GOOD CONDITION AND PROPERLY FUNCTIONING. LOCATION TO BE REVISED AS NECESSARY PER NEW PARTITION LAYOUT. VERIFY THAT ALL ROOMS IN EDWARD JONES SPACE AS SHOWN ON PAGES 2 & 3 HAVE A MINIMUM OF (1) RETURN AND (1) SUPPLY GRILLE AND MEET TEMPERATURE REQUIREMENTS TO ENSURE A COMFORTABLE WORKING ENVIRONMENT. IF SPACE IS BEING SUBDIVIDED, EDWARD JONES SPACE TO BE SEPARATELY CONTROLLED--SHARING OF THERMOSTAT WITH ADJACENT SPACES IS NOT ACCEPTABLE UNLESS IT IS AN OFFICE BUILDING THAT UTILIZES A PLENUM RETURN. IF SHARED SYSTEM EXISTS,

THERMOSTAT MAY NOT BE LOCATED WITHIN EDWARD JONES LEASED SPACE. VERIFY THERMOSTAT IS LOCATED IN AN ACCESSIBLE AREA OF THE SPACE AS SHOWN ON FLOOR PLAN (TYPICALLY IN ROOM 101 OR 103). PROVIDE AND INSTALL A NEW WHITE-RODGERS 7-DAY PROGRAMMABLE THERMOSTAT, UNLESS OTHERWISE NOTED ON PLANS. PROVIDE APPROPRIATE STAT FOR UNIT SIZE AND PLEASE SET THERMOSTAT FOR 67°F 8-5 HOURS OF OPERATION. LEAVE INSTRUCTIONS TAPED TO THERMOSTAT FOR FUTURE REFERENCE.
HVAC SYSTEM SHOULD BE ABLE TO MAINTAIN 75 DEGREE F SUMMER AND 70 DEGREE F WINTER TEMPERATURES IN ACCORDANCE WITH THE ASHRAE DESIGN STANDARDS APPLICABLE TO THIS LOCATION. IF NECESSARY, A FORMAL INSPECTION TO VERIFY EQUIPMENT CONDITION SHOULD BE DONE.
EDWARD JONES BOC (AS SHOWN ON PLANS) REQUIRES VENTILATION. INSTALL A SUPPLY AND RETURN GRILLE IN BOC ROOM (USUALLY ROOM 104) OR AREA IT IS LOCATED IN. TO MAINTAIN CONSTANT TEMPERATURE REQUIRED.
7. LIGHTING (UNLESS BUILDING STANDARD APPLIES)
PROVIDE AND INSTALL COMMERCIAL GRADE 2' LIGHT FIXTURES, 4 LAMP FIXTURES F2818LSPX30ECO LAMPS AND GE ULTRAMAX BALLAST OR EQUIVALENT AT ONE FIXTURE PER EVERY 75 SQUARE SF, IN PLACE SO AS TO ACCOMMODATE MINIMUM 60 FOOT CANDLES AT DESK LOCATIONS.
ALL NEW AND EXISTING LIGHTING SHOULD BE FULLY OPERATIONAL AND IN GOOD EXIT AND/OR EMERGENCY LIGHTING TO BE INSTALLED AS REQUIRED PER CODE. A SWITCH SHOULD OCCUR AT MAIN ENTRANCE AND WIRED TO OPERATE LIGHTING IN 101 AND PASSAGE 103 AS SHOWN ON PLAN, UNLESS EXISTING. IF SPACE HAS MORE THAN ONE EXISTING DOOR, SWITCH SHOULD BE 3-WAY TO OPERATE AT BOTH ENTRANCES. PROVIDE AND INSTALL EXIT LIGHTING AT EGRESS DOORS AS REQUIRED BY CODE. AT ALL LOCATIONS WHERE EXISTING FIXTURES ARE TO BE REPLACED, INSTALL SYLVANIA T8 OCTRON F028/B30/XP/SS/ECO3 LAMPS OR THE EQUIVALENT F2818/UMX/ECO LAMPS WITH GE ULTRAMAX BALLAST. IF IT IS MORE COST EFFECTIVE TO INSTALL NEW FIXTURES PLEASE PRICE NEW FIXTURE OPTION IN EXHIBIT A. PROVIDE AND INSTALL (1) COMMERCIAL 6" RECESSED SPOTLIGHT W/ WHITE ADJUSTABLE EYEBALL TRIM KIT UTILIZING AN ENERGY SAVING BULB TO BE INSTALLED IN CEILING 5'-0" AWAY FROM WALL AND CENTERED ON PARTITION ABOVE INTERIOR DOOR IN 101 AS SHOWN IN EXHIBIT A. PROVIDE A SEPARATE SWITCH FOR SPOTLIGHT; SWITCH TO BE INSTALLED AT ENTRY DOOR UNLESS OTHERWISE SHOWN ON PLAN. IF CEILING IS HIGHER THAN 10'-0", CONTACT DESIGNER FOR ALTERNATE SOLUTION.
8. DOORS (UNLESS BUILDING STANDARD APPLIES; SEE SHEET A1 FOR PAINT/STAIN INSTRUCTIONS)
a. DOORS (BOTH INTERIOR AND EXTERIOR) AND OTHER WOODWORK SHOULD BE STAINED OR PAINTED TO MATCH EXISTING BUILDING STANDARD. IF NO STANDARD IS ESTABLISHED, USE SHERWIN WILLIAMS PAINT AS LISTED IN THIS DOCUMENT. FINISHED DOOR WILL BE FREE FROM UNEVEN COLOR, DRIPS OR RUNS. ALL DOOR EDGES, INCLUDING TOP AND BOTTOM, TO BE FINISHED.
b. ALL DOORS TO BE INSTALLED CLEAR OF ANY OBSTRUCTIONS.
c. REUSE/RELOCATE EXISTING DOORS AS NOTED ON PLANS. ANY EXISTING DOORS BEING REUSED SHALL BE TOUCHED UP AND REVARNISHED OR REPAINTED AS APPROPRIATE AND APPROVED FOR REUSE BY EDWARD JONES' DESIGNER. ANY NEW DOORS REQUIRED SHOULD MATCH EXISTING HEIGHT AND STYLE OF REUSED DOORS. DOORS CAN NOT BE UNDERCUT FOR ANY REASON. THE MAXIMUM GAP ALLOWED IS 1/4".
d. ALL DOOR(S) TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE REST OF THE SPACE.
e. EXTERIOR DOORS
1. ALL DOOR(S) TO THE EXTERIOR AND BUILDING COMMON SPACES MUST HAVE CLOSERS AND DEADBOLTS WITH THUMB-TURN ON OCCUPIED SIDE UNLESS CODE WILL NOT ALLOW.
2. AT REAR DOORS LEADING TO THE EXTERIOR, PROVIDE AND INSTALL INSULATED METAL DOOR WITH METAL PLY PLATES, CYLINDER GUARD, AT LEAST ONE SECURITY HINGE (REAR DOOR), SWITCH LOCK (MCKINNEY T231 OR EQUIVALENT) AND PEEP HOLE INSTALLED AT 24" OF. WHERE DEADBOLTS ARE NOT ALLOWED BY CODE, INSTALL PHOENIX DOUBLE DEFENDER QUIET RELEASE DOOR SECURITY BAR, SERIES DD-QR (UL LISTED PANIC HARDWARE 2N43), CALL 913-723-3203 FOR LOCAL RETAILER.
3. SUITE ENTRY DOOR(S) SHALL HAVE EXISTING OPERABLE CLOSER(S) OR RECEIVE NEW CLOSERS AT THE INTERIOR AT ALL TENANT ENTRY DOORS, COORDINATE WITH ILD PRIOR TO INSTALLATION.
4. WASHINGTON/OREGON: INSTALL EXTERIOR DOOR LATCH PADDLE.
f. INTERIOR DOORS:
1. NEW INTERIOR DOOR(S) TO BE NO LESS THAN 3'-0" FEET WIDE UNLESS NOTED OTHERWISE.
2. ALL NEW INTERIOR WOOD DOOR(S) SHOULD MATCH EXISTING WOOD DOOR HEIGHT AND STYLE, IF APPLICABLE.
3. PROVIDE AND INSTALL 6"-8" WOOD, SOLID CORE SIX (6) PANEL, PAINT-GRADE PRE-HUNG DOORS WITH WOOD FRAME AND TRIM ARE PREFERRED IN THE EVENT THERE IS NO EXISTING STANDARD TO MATCH. DOORS FOR ROOMS 102, 104, 105 AND 106 MUST BE SOLID CORE, REMAINING ROOMS TO BE HOLLOW CORE UNLESS NOTED OTHERWISE ON PLANS. REPLACE AS REQUIRED.
4. DOORS AND FRAMES TO BE PAINTED WHITE UNLESS NOTED OTHERWISE ON PLANS. SEE PAINT SPECIFICATIONS; THIS DOCUMENT.
5. ALL NEW HARDWARE TO BE A HANDICAP ACCESSIBLE LEVER STYLE. PROVIDE NEW PASSAGE HARDWARE FOR NEW DOOR(S) TO MATCH EXISTING, IN THE EVENT THAT THE OWNER HAS ESTABLISHED NO STANDARD FINISH, BRUSHED NICKEL IS PREFERRED.
6. IF RESTROOM/WASHROOM IS IN EDI OCCUPIED SPACE, PROVIDE AND INSTALL PRIVACY LOCKSET CLOSER.
7. PROVIDE AND INSTALL STOREROOM LOCKSET AND CLOSER IN EQUIPMENT/SUPPLY 104.
9. FLOORING (UNLESS BUILDING STANDARD APPLIES)
a. IF NEW CONSTRUCTION, GC REQUIRED TO COMPLETE MOISTURE TEST. IF MOISTURE READING IS ABOVE 95, UTILIZE HIGH MOISTURE ADHESIVE-- PATCFART LocData, 8 ROLL DELIVERY. REMAINING CONTROL JOINTS OR SEAMS TO BE A MINIMUM TO AVOID EXCESSIVE FLOOR PREPARATION.
b. THE EDWARD JONES STANDARD CARPET, VINYL, BASEBOARD, AND LUXURY VINYL PLANK SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALLATION METHOD FOR CARPET IS DIRECT GLUE. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION/CLEANING INSTRUCTIONS. LUXURY VINYL PLANK JOINTS TO BE STAGGERED 6" IN RANDOM PATTERN.
c. PROVIDE A SMOOTH SURFACE FOR FLOORING INSTALLATION. IF FLOOR IS NOT LEVEL CONTACT DESIGNER IMMEDIATELY. IN CASES OF SEVERE FLOOR PREP, PROVIDE COST FOR PAD, IF SUFFICIENT FOR MAKING FLOOR LEVEL.
d. PLEASE CONTACT NATIONAL RETAIL FLOORING SERVICES, INC. IMMEDIATELY AFTER AWARD OF CONTRACT TO COORDINATE CARPET INSTALLATION.
10. PAINT
a. GC: IF AWARDED FLOORING PORTION OF THE WORK, CARPET MATERIAL MUST BE ORDERED FROM NATIONAL RETAIL FLOORING SERVICES, INC. EDWARD JONES HAS A NATIONAL CONTRACT WITH NATIONAL RETAIL FLOORING SERVICES, INC. COORDINATION AND PURCHASE, AND INSTALLATION OF ALL FLOORING AND FINISHES AS LISTED ON PAGE 3 OF 6 WILL BE THE FULL RESPONSIBILITY OF THE GC.
b. TURN-KEY BRANCHES: THE LANDLORD IS RESPONSIBLE FOR FLOORING INSTALLATION. CARPET MATERIAL ONLY TO BE ORDERED AND PURCHASED FROM NATIONAL RETAIL FLOORING SERVICES, INC. SEE SHEET 1 OF 6 FOR CONTACT INFO.
c. ALL CARPET TO BE INSTALLED PER CRI STANDARDS (CARPET & RUG INSTITUTE).
f. CARPET TO BE VACUUMED WITH NO PROTRUDING YARN AT SEAMS. IF CARPET IS EXISTING TO REMAIN IN SPACE, GC TO HAVE CARPET PROFESSIONALLY CLEANED.
g. A FULL BOX OF CARPET TILE SHALL BE LEFT IN STORAGE AREA OF EDWARD JONES SPACE. ALL REMAINING LUXURY VINYL PLANK SHOULD BE LEFT IN EDWARD JONES' STORAGE AREA.
10. PAINT
a. ALL EXPOSED SURFACES IN AREAS INDICATED ON FINISH SCHEDULE ON PAGE 3 OF 6, SHALL BE PRIMED AND PAINTED WITH SHERWIN WILLIAMS PAINT. IF UNABLE TO USE SHERWIN WILLIAMS, SEE BENJAMIN MOORE'S ALTERNATIVES LISTED BELOW. PLEASE SEE FINISH SCHEDULE FOR EXACT LOCATIONS.
b. FOR ALL REPAINT AND REMODEL, THE PRIME COATS NOTED BELOW MAY BE EXCLUDED UNLESS COATING A BARE SURFACE. FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.
c. ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE FINISH SCHEDULE FOR EXACT LOCATIONS.
d. CLEARLY LABELLED.
e. IF THERE ARE ANY QUESTIONS REGARDING PAINT COLORS, PLEASE CONTACT EDWARD JONES BRANCH DESIGN-- DESIGNER NAME AND PHONE NUMBER LISTED ON SHEET 1 OF 6.
e. EXACT SPECIFICATIONS MAY BE OBTAINED FROM SHERWIN WILLIAMS: 1-800-474-3794. IF USING BENJAMIN MOORE, THE DIRECT ORDER LINE IS 1-855-724-6802.
f. COLORS MAY INCLUDE SEVERAL, BUT NOT ALL OF THE FOLLOWING:

GYPSTUM PARTITIONS (EXCEPT ACCENT WALLS & CEILINGS): TWO FINISH COATS OVER AN EXISTING FINISH OR PRIMER.
• SHERWIN WILLIAMS:
• PRIMER SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, B528W02600.
• 1ST & 2ND COAT SHERWIN-WILLIAMS PROMAR 200 ZERO VOC EGOSHELL, A97-100 SERIES (IN ROLLER APPLICATIONS, USE ONLY 7/8" NAP SYNTHETIC COVER).
• COLOR: SW7723-- COLONY BUFF
OR
• BENJAMIN MOORE:
• PRIMER-REGAL FIRST COAT LATEX-BASED, INTERIOR PRIMER APPLIED AT SPREADING RATE RECOMMENDED BY THE MANUFACTURER TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM).
• BENJAMIN MOORE REGAL FIRST COAT, 216
• 1ST & 2ND COATS: REGAL AQUA PEARL WASHABLE PEARL FINISH, ACRYLIC-LATEX, INTERIOR ENAMEL APPLIED TO SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.8 MILS PER COAT (0.071 MM).
• BENJAMIN MOORE REGAL AQUA PEARL FINISH 310
• COLOR: HC-39 PUTNAM IVORY
GYPSTUM PARTITIONS (ACCENT WALLS): (NOTE A, SHEET A1) TWO FINISH COATS OVER AN EXISTING FINISH OR A PRIMER.
• SHERWIN WILLIAMS:
• PRIMER SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, B528W02600.
• 1ST & 2ND COAT SHERWIN-WILLIAMS PROMAR 200 ZERO VOC EGOSHELL WALL FINISH, Y38 SERIES.
• COLOR: SW6195 ROCK GARDEN
OR
• BENJAMIN MOORE:
• REGAL FIRST COAT LATEX-BASED, INTERIOR PRIMER APPLIED AT SPREADING RATE RECOMMENDED BY THE MANUFACTURER TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM).
• BENJAMIN MOORE REGAL FIRST COAT, 216
• 1ST & 2ND COATS: REGAL AQUA PEARL WASHABLE PEARL FINISH, ACRYLIC-LATEX, INTERIOR ENAMEL APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.8 MILS PER COAT (0.071 MM).
• BENJAMIN MOORE REGAL AQUA PEARL FINISH, 310
• COLOR: CUSTOM FORMULA EDWARD JONES GREEN

Table with 2 columns: EDWARD JONES GREEN, EDWARD JONES GREEN. Rows include N310 4B BASE QUART FORMULA, OY 16, BK 1X2.75, TC 19.50, CY 2, WH 25.0, OY 2X, BK 4X11, TC 2X14, CY 8, WH 3X6.

GYPSTUM CEILINGS: ONE FINISH COAT OVER AN EXISTING FINISH OR PRIMER.
• SHERWIN WILLIAMS:
• PRIMER SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, B528W02600.
• ENAMEL SHERWIN-WILLIAMS PROMAR 400 INTERIOR LATEX FLAT, B30W451.
• COLOR: SW7005 PURE WHITE
OR
• BENJAMIN MOORE:
• PRIMER-SUPER SPEC LATEX ENAMEL UNDERCOAT, APPLIED AT SPREADING RATE RECOMMENDED TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM). BENJAMIN MOORE SUPER SPEC LATEX EN. UNDERCOATER & PRIMER SEALER, 253
• FINISH MURESCO MURESCO CEILING WHITE VINYL ACRYLIC-LATEX APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.8 MILS (0.071MM).
• COLOR: MURESCO CEILING WHITE 258-01

INTERIOR WOOD DOORS, JAMBS & FRAMES (METAL OR WOOD) TWO FINISH COATS OVER A PRIMER.

• SHERWIN WILLIAMS:
• PRIMER SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, B528W02600.
• 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES.
• COLOR: SW7005--PURE WHITE
OR
• SHERWIN WILLIAMS (BROWN PAINT OPTION):
• PRIMER SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, B528W02600.
• 1ST & 2ND COAT SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES.
• COLOR: SW7510--CHATEAU BROWN
OR
• BENJAMIN MOORE:
• PRIMER-REGAL FIRST COAT LATEX-BASED, INTERIOR PRIMER APPLIED AT SPREADING RATE RECOMMENDED BY THE MANUFACTURER TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM). BENJAMIN MOORE REGAL FIRST COAT, 216
• 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES.
• COLOR: WATERBORNE SATIN IMPERVO, 314--01 READY MIXED WHITE

EXTERIOR ONLY--METAL DOORS, JAMBS & FRAMES TWO FINISH COATS OVER A PRIMER.

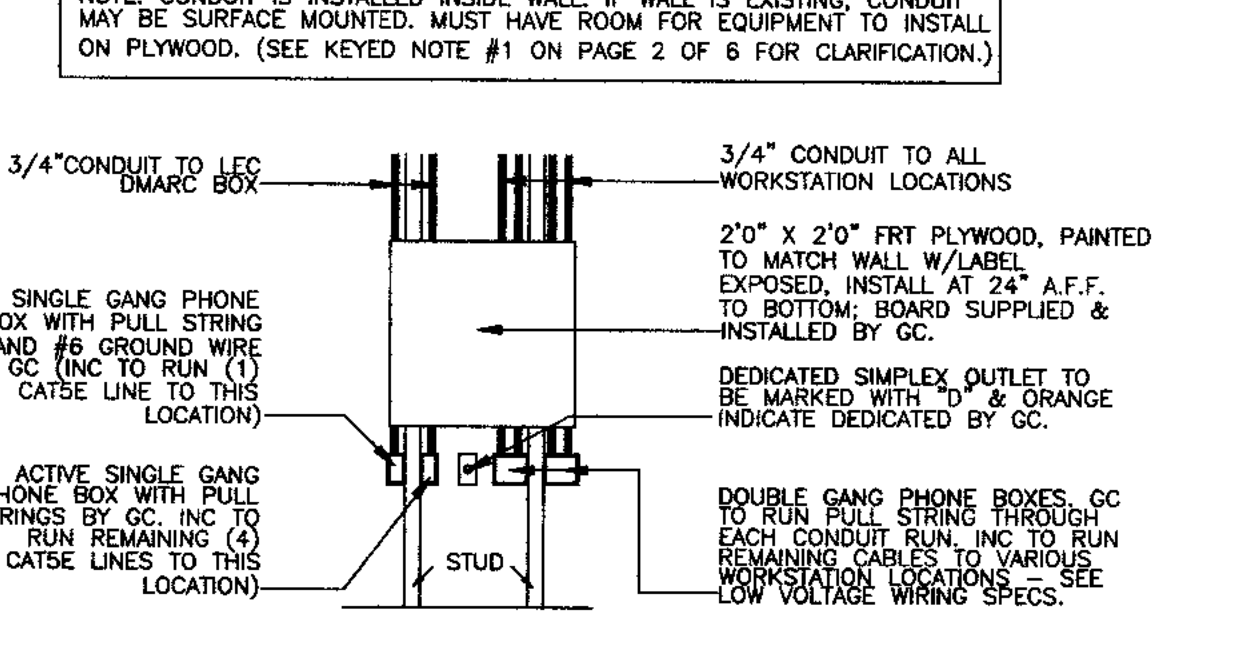
• SHERWIN WILLIAMS:
• PRIMER-SHERWIN-WILLIAMS DTM ACRYLIC PRIMER/FINISH, B66W1
• 1ST & 2ND COAT SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES.
• COLOR: SW7723-- COLONY BUFF
OR
• BENJAMIN MOORE:
• PRIMER-M04 METAL PRIMER USED FOR BARE METAL AND SPOT PRIMING. APPLY AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM). BENJAMIN MOORE ACRYLIC METAL PRIMER, M04
• 1ST & 2ND COAT SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES.
• COLOR: HC-39 PUTNAM IVORY

11. ELECTRICAL

- a. ELECTRICAL TO INCLUDE OUTLETS AS SHOWN ON DRAWINGS, INCLUDING DEDICATED OUTLET AS SHOWN ON PLAN.
1. GENERAL PURPOSE OUTLETS
? ALL OUTLETS TO BE PLACED AS SHOWN ON DRAWING.
? ONE (1) QUAD OUTLET AT FUTURE WORKSTATION LOCATION AND (2) QUAD OUTLETS AT BOA WORKSTATION.
? AT ALL TERMINALS AND OTHER OFFICE EQUIPMENT AS SHOWN ON THE PLAN.
2. DEDICATED OUTLET
? DEFINITION: A DEDICATED OUTLET IS WIRED DIRECTLY TO THE MAIN POWER DISTRIBUTION PANEL THROUGH A DESIGNATED (DEDICATED) CIRCUIT BREAKER. THE DEDICATED OUTLETS ARE COLOR CODED TO DISTINGUISH THEM FROM GENERAL-PURPOSE OUTLETS. ONLY THE BOC SHOULD BE PLUGGED INTO THE DEDICATED OUTLET. THE TECHNICAL INFORMATION FOR THIS OUTLET IS AS FOLLOWS:
? ONE DEDICATED OUTLET (SIMPLEX, NOT DUPLEX) REQUIRED FOR THE BOC (SEE LEGEND ON SHEET 1 OF 6).
? OUTLET TO BE STANDARD 120 VOLT, 20 AMP, DEDICATED CIRCUIT.
? OUTLET TO BE SIMPLEX, ORANGE COLORED RECEPTACLE (NEMA TYPE 5-15 R/G OUTLET, GES362-G OR EQUIVALENT).
? ALL GROUNDS MUST HAVE SAME GROUND POTENTIAL.
3. RECESSED OUTLET
? LEVITON RECESSED ONE-GANG DUPLEX RECEPTACLE (15A-125VAC 2-POLE, 3-WIRE-- NEMA 5-15R) -- CAT NO. 689 TO INCLUDE ELECTRICAL BOX.
? CATALOG NO. 012-00689-00W; UPC NO. 07847731284 1
? IF ABOVE SPECIFICATION IS UNAVAILABLE, FIND COMPARABLE ALTERNATIVE.
b. ALL OUTLETS TO BE 110 VOLT STANDARD 2-PRONG OUTLETS THAT MEET STATE AND LOCAL REQUIREMENTS (NEMA TYPE 5-15R), THE GROUNDING CONDUCTORS FOR THE BUILDING'S CIRCUITS SHOULD BE REFERENCED TO THE POINT OF ZERO CURRENT WITHIN THE ELECTRICAL SUPPLY SYSTEM, WHICH IS WHERE THE NEUTRAL AND GROUND FOR THE SYSTEM ARE TIED TOGETHER.
c. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS ONLY. VERIFY EXISTING OUTLETS TO REMAIN ARE IN WORKING ORDER.
d. NEW ELECTRICAL OUTLETS TO BE INSTALLED WHERE SHOWN ON PLANS AT 18 A.F.F. UNLESS AN EXISTING DEVICE IS ALREADY WITHIN 36 OF THE DESIRED LOCATION.

e. DEMO/REMOVE OUTLETS ABOVE #8 UNLESS NOTED OTHERWISE ON PLANS.
f. INSTA-OR REPLACE OUTLET COVERS WITH WHITE COVERS, FITS OR TO MATCH EXISTING. CONFIRM COLOR WITH DESIGNER IF OTHER THAN WHITE.
g. ALL COMPUTER EQUIPMENT FOR THIS OFFICE IS SENSITIVE TO HIGH ELECTROMAGNETIC INTERFERENCE (EMI). IT IS RECOMMENDED THAT THE AMBIENT EMI IN THE OFFICE DOES NOT EXCEED 2 MG. PLEASE NOTIFY DESIGNER IMMEDIATELY IF SITE IS LOCATED NEAR EXISTING POWER LINES, TRANSMISSION LINES, TRANSFORMERS, ETC.
h. LANDLORD RESPONSIBLE FOR SETTING UP UTILITIES OR PROVIDING TEMPORARY ELECTRICAL IN SPACE THAT IS NEW CONSTRUCTION OR SPACE THAT IS BEING SUBDIVIDED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING TEMPORARY POWER FOR ALL FINISH OUT WORK IF NOT ALREADY PROVIDED.
i. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE EDWARD JONES REQUIREMENTS; UPGRADE AS REQUIRED.
j. CONTRACTOR TO INSTALL 2'X2' MINIMUM BACKER BOARD OF FRT PLYWOOD AT BOC LOCATION. BOARD TO BE PAINTED TO MATCH THE WALL WHEN THE WALL IS SCHEDULED FOR PAINT PER THE FINISH SCHEDULE. CONFIRM WITH FIRE MARSHALL PRIOR TO PAINTING AND LEAVE RATING STAMP EXPOSED WHENEVER REQUIRED. BOARD TO BE INSTALLED AT 2" A.F.F. TO THE BOTTOM AT THE LOCATION SHOWN ON THE PLAN. REFER TO SHEET 6 OF 6 FOR EXACT LOCATION.
k. ELECTRICAL TO INSTALL CONDUIT & BOX WITH PULL STRING OR MUD RING (EXISTING WALL) AT ALL LOCATIONS (SEE SECTION 4 BELOW) WITH LOW VOLTAGE COMMUNICATION CONNECTIONS. INSTALL (1) SINGLE GANG BOX AT EACH LOCATION INDICATED ON THE DRAWING WITH A TRIANGLE DO NOT INSTALL A DOUBLE GANG BOX AT LOCATIONS WHERE (2) SYMBOLS ARE ADJACENT. REFER TO LEGEND AND PLANS ON SHEETS 1-3 FOR LOCATIONS OF DOUBLE GANG BOXES. IF CONDUIT IS NOT GOING TO BE INSTALLED, ELECTRICAL TO INSTALL ONE 3/4" CONDUIT FROM BUILDING MAIN POINT OF ENTRY (MPOE) INTO BOTH SINGLE GANG ELECTRICAL BOXES FOR INCOMING PHONE JACKS (R111) WITHIN 1'-0" OF BOC PER DETAIL ON PAGE 6 OF 6. INC WILL INSTALL THE QUANTITY OF CATS PHONE LINES INDICATED ON SHEET 2 OF 6. CONTRACTOR TO COORDINATE WITH INC.
12. LOW VOLTAGE (ALSO KNOWN AS PHONE/DATA CABLING)
CONDUIT-DEMISED PREMISES
a. CONDUIT STUB-UPS TO BE INSTALLED IN NEW WALLS WHERE PHONE/DATA/PRINTERS ARE SHOWN ON THE FLOOR PLAN (INDICATED BY TRIANGLE). EACH CONDUIT LOCATION LABEL PULL STRING AT POINT OF TERMINATION (BOC) WITH ROOM NUMBER OF POINT OF CONNECTION.
b. IF WALLS ARE EXISTING AND CONDUIT IS NOT INSTALLED, PROVIDE PULL STRING AND CUT IN A NEW BOX AT THE SAME LOCATIONS.
c. STANDARD STUB-UP QUANTITY: TEN (10) 3/4" DIAMETER LOCATIONS, UNLESS NOTED OTHERWISE ON PLANS -- INDICATED BY TRIANGLE SYMBOL ON FLOOR PLANS.
o. 3/4" CONDUIT LOCATIONS
? (2) AT BOA (ROOM 101)
? (1) AT FA OFFICE (ROOM 102)
? (4) AT BOC INTO DOUBLE GANG BOXES
? (2) AT INCOMING PHONE/DATA LINES TO BOC PER PLAN (ONE ACTIVE FOR PHONES AND ONE W/ #6 GROUND WIRE RUN FROM BOX TO ELECTRICAL PANEL TO GROUND BOX FOR DATA)
? (1) AT OPEN 106
f. ALL BOXES AND CONDUIT AT BOC LOCATION TO BE INSTALLED PER DETAIL BELOW. #6 GROUND WIRE MUST BE INSTALLED AND TERMINATED ON A BUSBAR FOR #6 WIRE MOUNTED ON THE BOTTOM CORNER OF THE BACK BOARD. THE BUSBAR SHOULD HAVE 4 TO 6 TERMINALS.
g. PHONE LINES FROM BUILDING SOURCE TO EXTENDED DEMARC (BOC)
\*\*\*IF DATA LINE ENTER BUILDING AT A DIFFERENT LOCATION THAN PHONE LINES, (1) CONDUIT WILL NEED TO COME FROM THE DATA SOURCE TO THE GROUNDED BOX AT THE BOC LOCATION. REMAINING CONDUIT SHOULD BE RUN IN FROM THE PHONE LINE SOURCE TO THE BOC LOCATION\*\*\*\*
b. CONTACT BRANCH FACILITIES IMMEDIATELY IF THERE ARE ANY QUESTIONS REGARDING NUMBER OF PHONES LINES OR LOCATION OF DEMARC EXTENSION CONDUIT.

BOC REQUIREMENTS:



- LOW VOLTAGE WIRING (ALSO KNOWN AS PHONE/DATA CABLING)
a. LOW VOLTAGE WIRING: THE ACTUAL WIRE OR CABLE THAT IS RUN FROM THE BOC TO EACH PHONE, COMPUTER, PRINTER, AND FUTURE WORKSTATION LOCATION. WITH THE EXCEPTION OF THE DEMARC EXTENSION (BOC) REFERENCED IN SECTION 5, LOW VOLTAGE WORK IS DONE BY EDWARD JONES BRANCH INSTALL DEPT. THROUGH A PREFERRED NATIONAL VENDOR, CBIZ. THIS WORK IS DONE AFTER THE SPACE IS TURNED OVER TO EDWARD JONES.
b. IF LOW VOLTAGE WIRE IS REQUIRED TO BE PERMITTED AND INSPECTED AS NOTED ON EXHIBIT A PRIOR TO CLOSING ANY NEW PARTITIONS, GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION WITH EDWARD JONES PREFERRED NATIONAL VENDOR INC. INC CONTACT INFORMATION IS AVAILABLE ON SHEET 6 OF 6. NOTE THAT IF WHEN REQUIRED VS. BEING DONE FOR CONVENIENCE, THERE IS A WIRING SPECIFICATION AVAILABLE FOR PROJECTS REQUIRING PREWIRE.
c. NOTIFY BRANCH FACILITIES OF LOW VOLTAGE REQUIREMENTS NEEDED IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
1. ELECTRICAL BOXES AND 4X2/8 HANDY BOX MUST BE USED, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN NEW WALLS AND CONCRETE WALLS.
2. MUD RINGS -- MPLS METAL SINGLE GANG DRYWALL MOUNTING PLATE, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN EXISTING WALLS.
3. MISCELLANEOUS
a. FIXED WINDOW (ONLY IF SHOWN ON PAGES 2 & 3)
1. NEW INTERIOR WINDOW BETWEEN FA OFFICE AND BOA AREA TO BE A FIXED, 42" X 30" H AND INSTALLED AT +2 A.F.F., UNLESS NOTED OTHERWISE; FRAME TO BE PUNCHED THROUGH MATCH DOOR FRAMES).
2. PAINT WOOD TRIM WHITE TO MATCH DOOR FRAME COLOR.
3. GLASS TO BE CLEAR, 1/4" TEMPERED STATIONARY PANEL. GLIDERS AND MIRRORED WINDOWS NOT ALLOWED.
b. FIREPLACES, STOVES, SHOWERS, TUBS
1. ALL GAS AND PLUMBING LINES TO THESE ELEMENTS/FIXTURES TO BE REFERENCED INOPERABLE AND ALL LINES TO BE CAPPED.

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113 West Jersey Ave. • Pitman, NJ 08071
856-589-3110 STORE CONCEPT for 856-589-1710

PROFESSIONAL SEAL
LEASSED ARCHITECT
DAVID A. UDKOW
No. 0965
STATE OF ARIZONA

SCALE AS NOTED
DATE 08-16-2018
DRAWN BY T. Perez
CHECKED BY
DO NOT SCALE DRAWINGS
CONTRACTORS ARE TO VERIFY ALL PRIOR TO WORK AND SIGN OFF PER CODE REQUIREMENTS.

EDWARD JONES
BRANCH OFFICE #45699
145 NEWBURY STREET
PORTLAND, ME. 04101
SPECIFICATIONS
18058-SP1