

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 020930

This is to certify that Cumberland County Of/KE Tier Con
has permission to 3 offices to be tranformed in large office with vehicles.
AT 134 Federal St 028 F001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 8/23/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED
 Permit No. 02-0930
 Issue Date: AUG 26

CBL: 028 F001001

Location of Construction: 134 Federal St	Owner Name: Cumberland County Of	Owner Address: 142 Federal St	Phone: 207-871-8335
Business Name: n/a	Contractor Name: KE Poirier Construction	Contractor Address: 5 Crescent Street Portland	Phone: 2078426319
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B-3
Past Use: Commercial / Cumberland Superior Court	Proposed Use: Commercial / 3 offices to be transformed into one large office with cubicles.	Permit Fee: \$163.00	Cost of Work: \$20,000.00
Proposed Project Description: 3 offices to be transformed into 1 large office with cubicles.		CEO District: 1	
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: B Type: 2 Signature: [Signature] Signature: [Signature]	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____			

Permit Taken By: gg	Date Applied For: 08/19/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: 8/20/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Any exterior work requires separate review Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

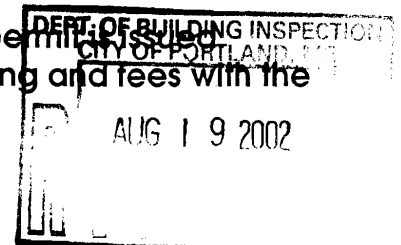
Location/Address of Construction: <u>142 Federal St Portland Me 04101</u>		
Total Square Footage of Proposed Structure <u>420^{sq}</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>028</u> Block# <u>F</u> Lot# <u>001</u>	Owner: <u>Cumberland County Superior Court</u>	Telephone: <u>871-8335</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Kim E. Pairier 24 Lucette Ave. 048, Me. 04064 798-2929 / 934-9412</u>	Cost Of Work: \$ <u>20,000</u> Fee: \$ <u>163.00</u>
Current use: <u>offices</u>		
If the location is currently vacant, what was prior use: <u>(offices) 3 offices to be transformed into 1 large office with cubicles.</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>1 large office with cubicles.</u>		
Project description: <u>project approved by County Commissioner - implemented by Bruce Tarbox at CCSC</u>		
Contractor's name, address & telephone: <u>K E Pairier Construction, 24 Lucette Ave. 048 Me. 04064 934-9412</u>		
Who should we contact when the permit is ready: <u>Kim Pairier</u>		
Mailing address: <u>same</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>798-2929-934-9412</u> <u>or 468-3830.</u>		

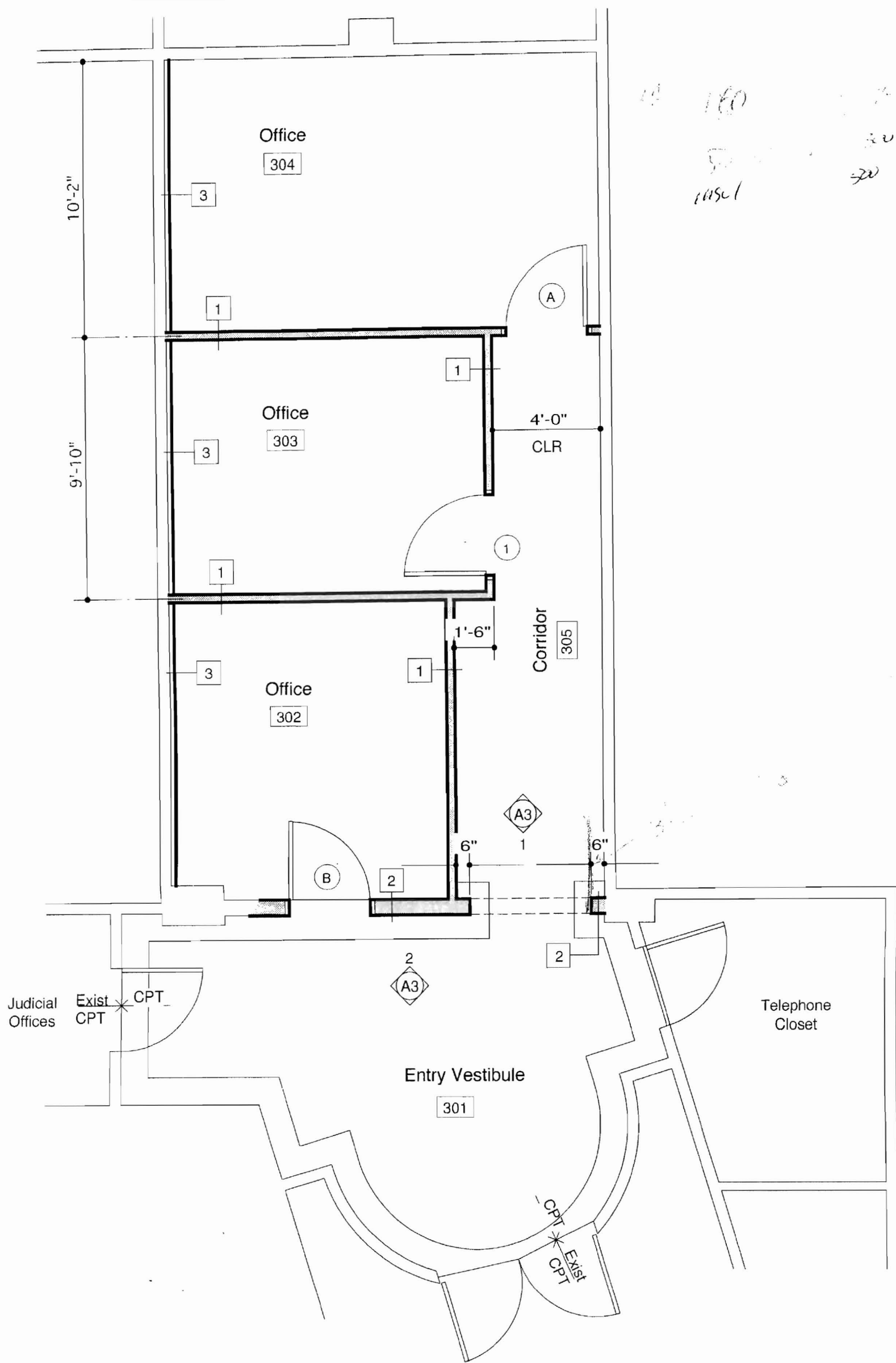
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Kim E. Pairier</u>	Date: <u>8-16-02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued and fees with the Planning Department on the 4th floor of City Hall





Floor Plan

1/4" = 1'-0"

Law Clerk Offices Renovation

A 1

*Ream
with floor*

mark with notes

Open and close drywall in 4 locations for installation of voice data conduit riser. Patch GWB to match existing.

Remove carpet and ACT ceiling.
Remove vinyl base and patch GWB to match existing.

Remove drywall partition (6 layers 5/8" GWB). Prepare opening for new door.

Remove doors and frame. Save doors and hinges for reuse. Turn cylinder over to Owner. Contractor shall dispose of frame and keep both rim panic bars.

Remove drywall partition.

Judicial Offices

Remove existing lock cylinder. Provide blank cover plate.

Remove Carpet

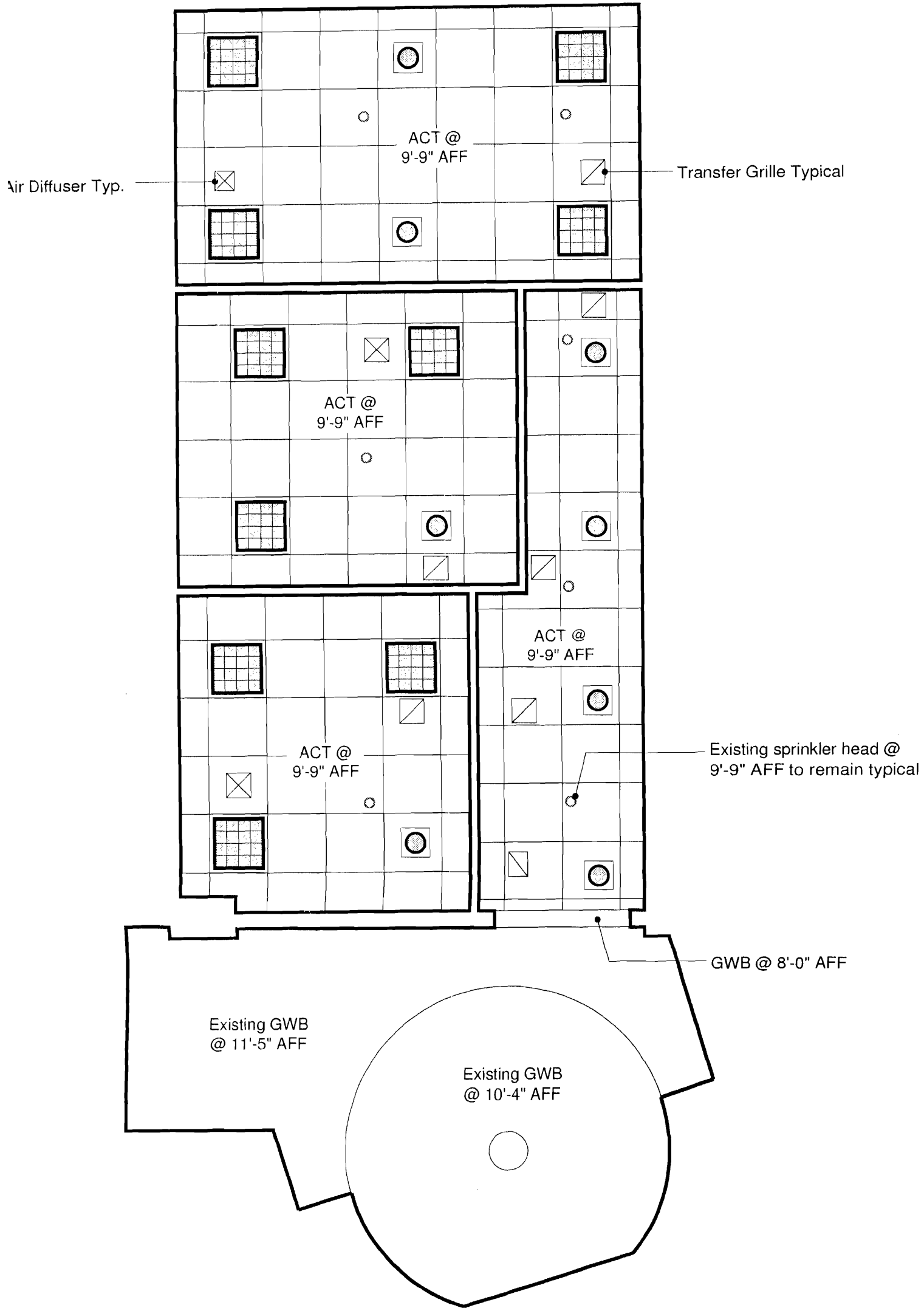
Telephone Closet

Removals Plan

1/4" = 1'-0"

Cumberland County Superior Court

Portland, Maine



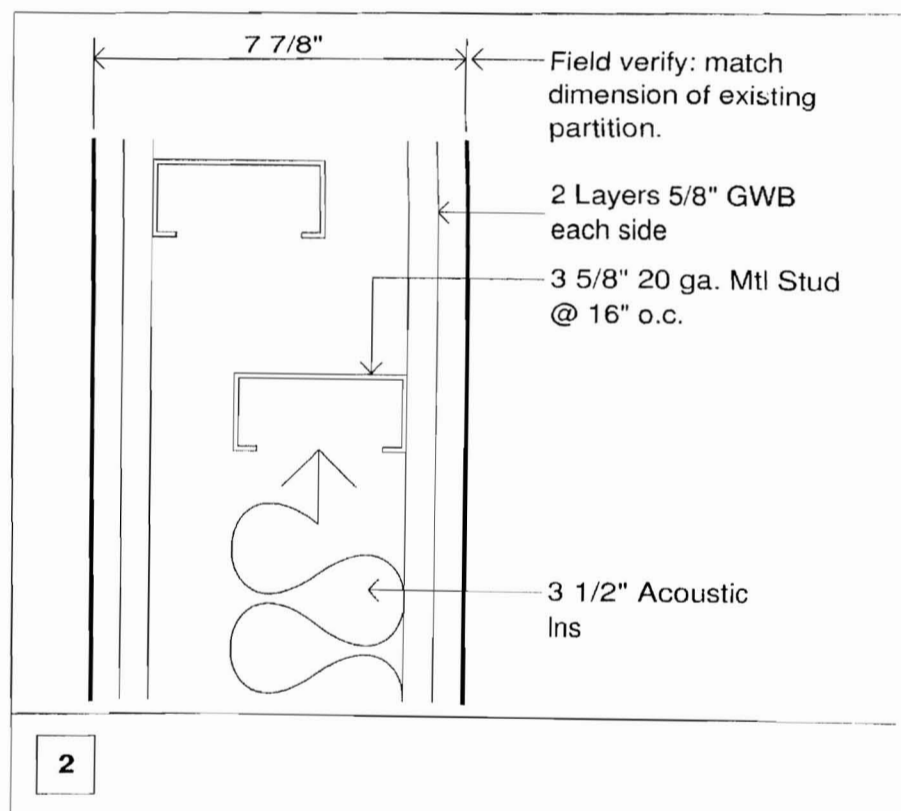
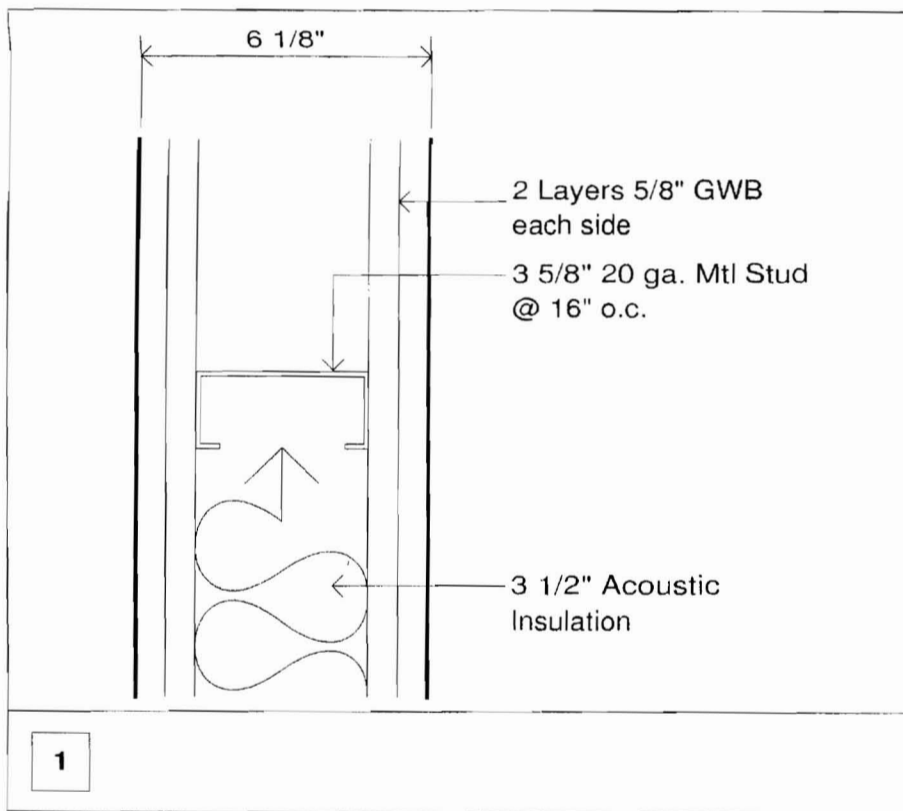
Reflected Ceiling Plan

1/4" = 1'-0"

Finish Schedule

Note: Paint existing GWB walls in all rooms

	Room	Floor	Base	Walls	Ceiling	Clg. Ht.	Remarks
301	Entry Vestibule	CPT*	Exist Cherry**	GWB	Existing No Paint	Varies	* Include border carpet ** 3/4"x8 1/2" Cherry to match existing wall. Stain to match existing and poly 4
302	Office	CPT	4" Vinyl	GWB	ACT	9'-9"	
303	Office	CPT	4" Vinyl	GWB	ACT	9'-9"	
304	Office	CPT	4" Vinyl	GWB	ACT	9'-9"	
305	Corridor	CPT	4" Vinyl	GWB	ACT	9'-9"	



Partition Types

3" = 1'-0"

Notes:

1. Extend all studs and GWB to underside of slab @ 13'-6" AFF unless noted otherwise.
2. At Partition Type 3 provide 5/8" GWB over the face of existing metal studs from 9'-9" AFF to underside of deck at 13'-6" AFF.

Legend

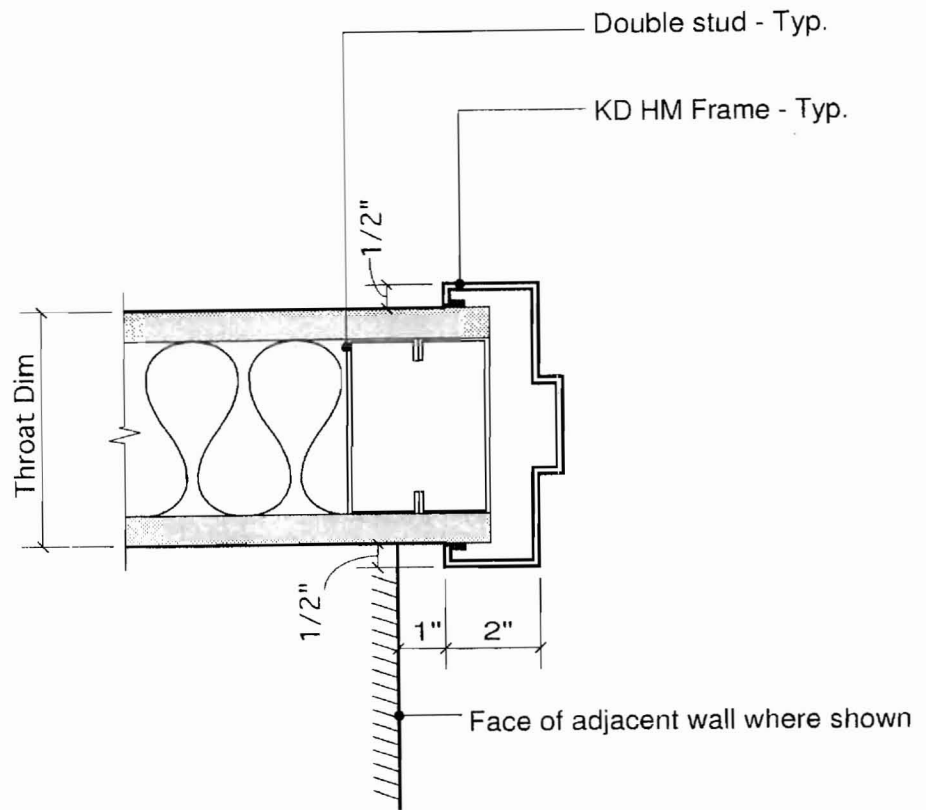
- WD Reuse existing wood door.
- WD New wood door.
- KDHM New knock-down hollow metal frame.
- NAT Stain finish door
- PTD Paint metal frame: 3 coats

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and edges.
y architect.

S 26D
cylinder
sult with Owner and
utts, US 26D

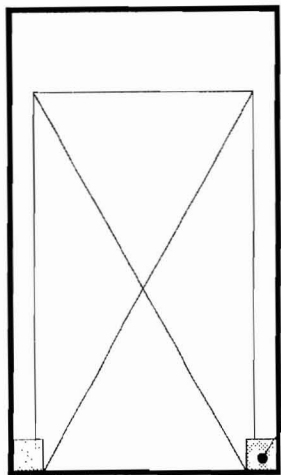
20B
n: NGP 225WH

Handwritten notes:
300 x 8
500



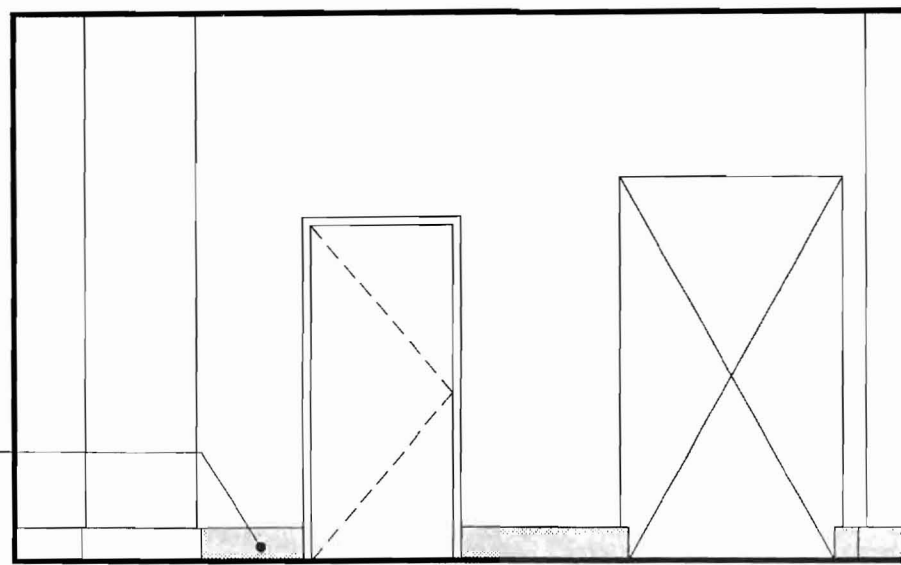
Door Frame Detail

3" = 1' - 0"



Stained 3/4"x8 1/4" Cherry
base to match existing.
Remove existing and salvage
as possible.

Corridor Room 305
1/4" = 1'-0"

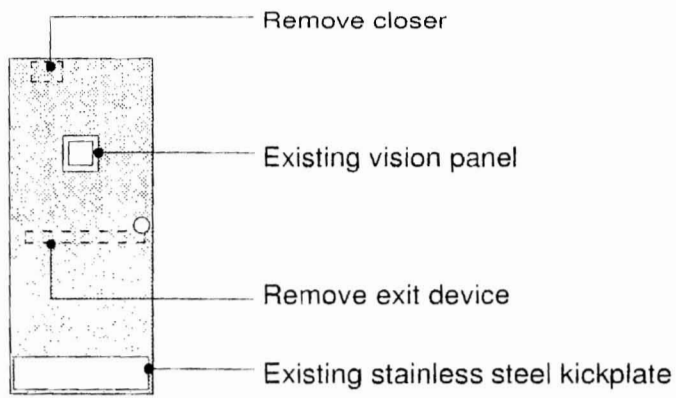


2 Entry Vestibule Room 301
1/4" = 1'-0"

Law Clerk Offices Renovation

A 3

Door No.	Size	Thickness	Door			Frame		Label	Throat Dim	Remarks
			Material	Finish	Type	Material	Finish			
A	3' 0" x 7' 0"	1 3/4"	WD	NAT		KDHM	PTD	-	6 1/8"	
B	3' 0" x 7' 0"	1 3/4"	WD	NAT		KDHM	PTD	-	7 7/8"	
1	3' 0" x 7' 0"	1 3/4"	WD	NAT		KDHM	PTD	-	6 1/8"	



Door A and B

Relocate existing cherry veneer door

- Store in a protected place and do not damage.

At former locations of mounting holes for closer and exit device:

- Bore clean hole and install cherry dowel flush with surface.
- Stain cherry dowel to match color of door.
- Provide two coats of gloss polyurethane at cherry dowels.
- Sand door smooth.
- Provide one coat semigloss polyurethane overall.

Hardware:

- Sargent 10 Line Lever Lockset US 26D
- Classroom function with Medeco cylinder
- Provide cylinder and keying: consult with Owner and key per existing building grouping
- Reuse existing butts
- Floor stop, US 26D
- Frame silencers
- Jamb/Head Sound Seal: NGP 5020B
- Recessed Automatic Door Bottom: NGP 225WH
- Provide 3/4"x1 15/16" mortise.



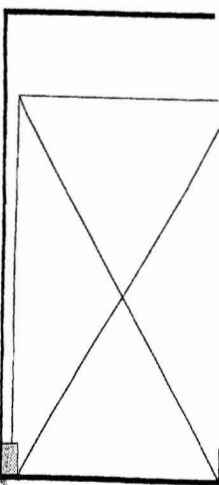
Door 1

Flush wood 7 ply door, lifetime warranty
Provide quarter sliced cherry veneer and edges.

Prefinished; stain color as selected by architect.

Hardware:

- Sargent 10 Line Lever Lockset US 26D
- Classroom function with Medeco cylinder
- Provide cylinder and keying: consult with Owner key per existing building grouping
- 1 1/2 Pr. 4.5 x 4.5 Ball Bearing Butts, US 26D
- Floor stop, US 26D
- Frame silencers
- Jamb/Head Sound Seal: NGP 5020B
- Recessed Automatic Door Bottom: NGP 225WH
- Provide 3/4"x1 15/16" mortise.



1 Corridor Room 30
1/4" = 1'-0"

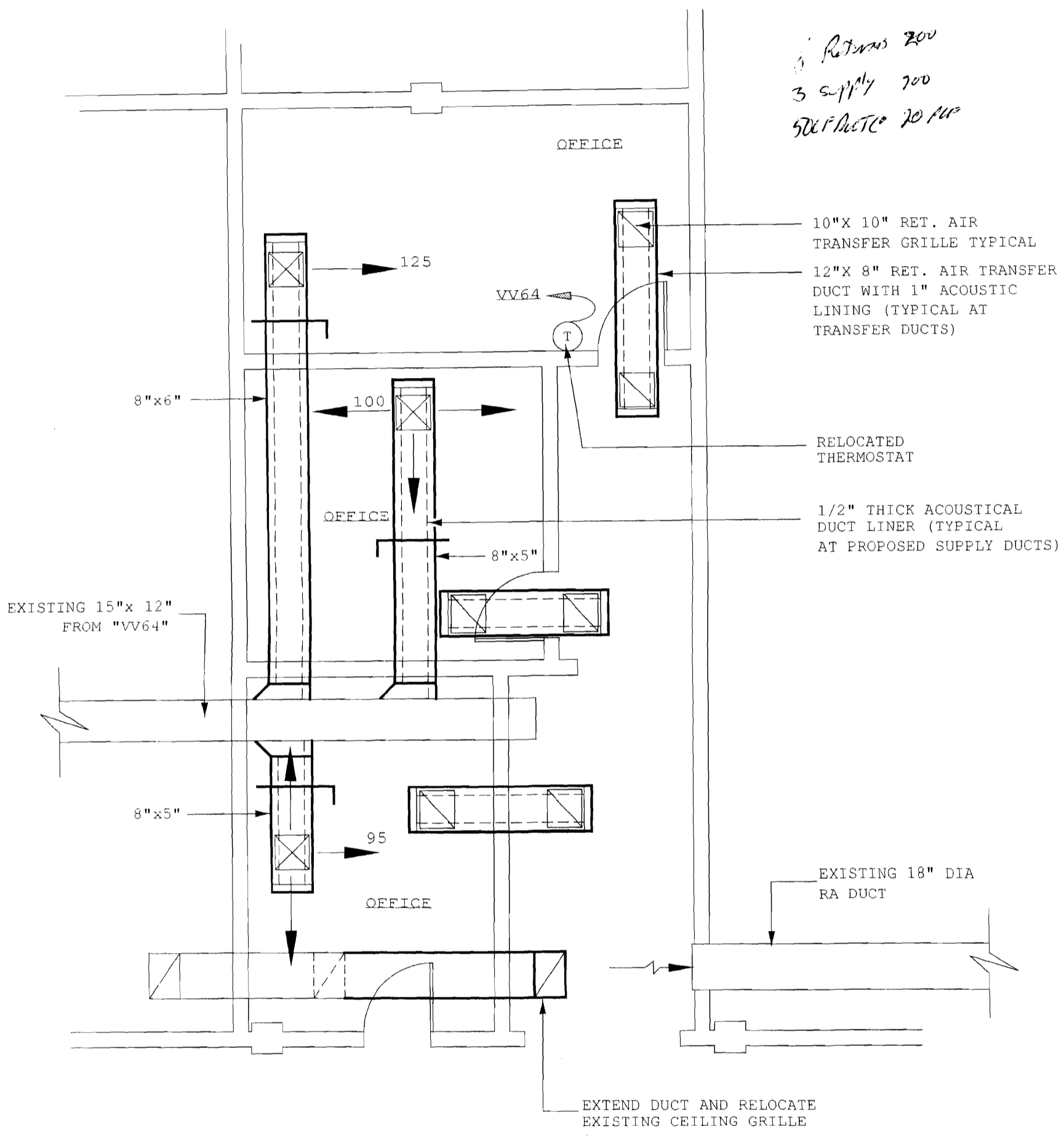
Cumberland County Superior Court

Portland, Maine

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 for

with
 "FSK" facing.

 neasure



6 Returns 200
3 supply 700
500 F Acetic 20 100

Partial Third Floor Mechanical Plan

1/4" = 1'-0"

**BENNETT
ENGINEERING**
 CONSULTING ENGINEERS
 BENNETT ROAD P.O. BOX 297
 FREEPORT, MAINE 04032
 (207) 865-9475

Law Clerk Offices Renovation

M 1

Winton Scott Architects 5 Milk Street Portland, Maine 04101

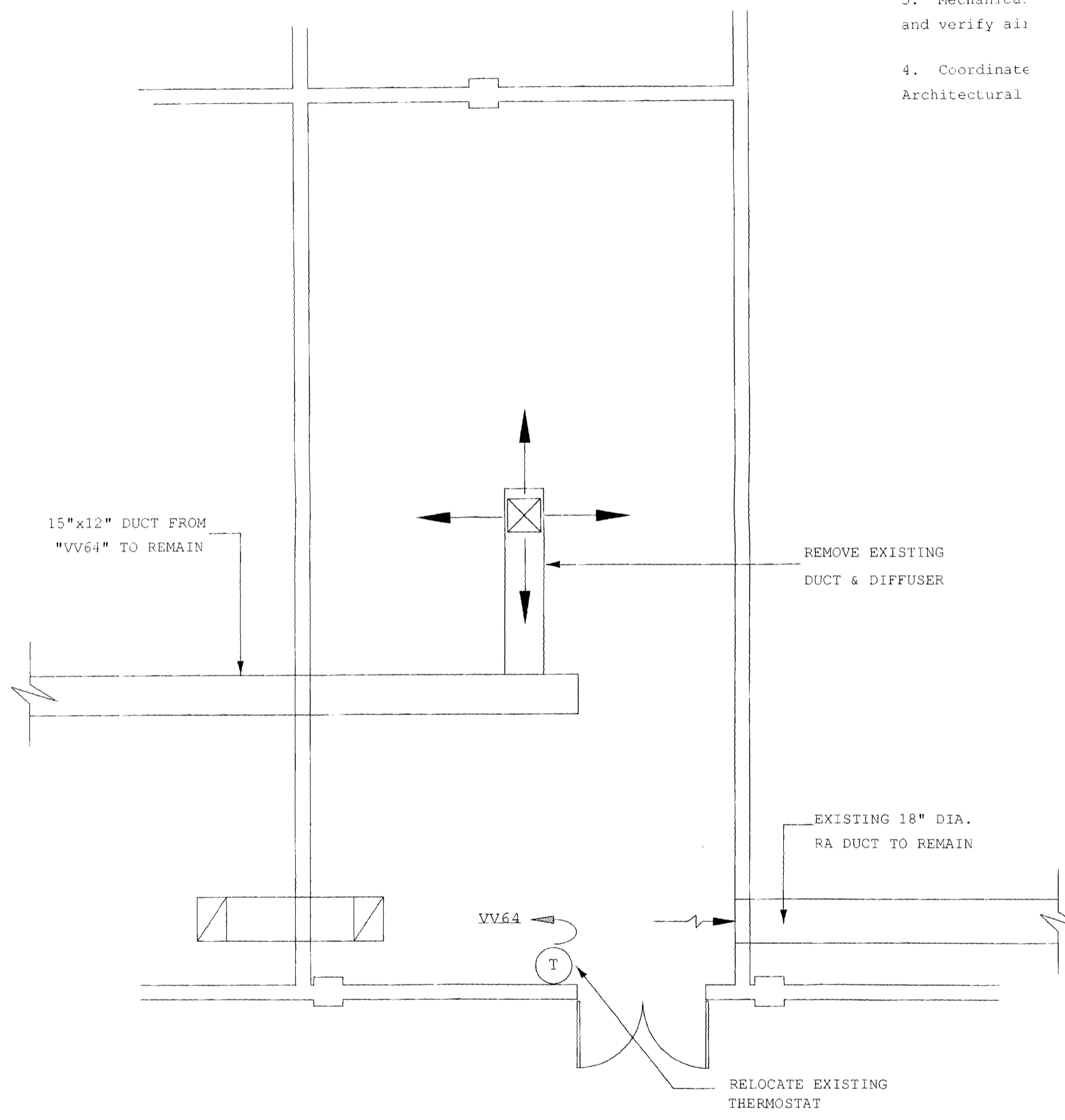
May 7, 2002

1. Ceiling neck ceiling series, with construction. Ceiling return be Metalaire blade volume air registers surface mount

2. Insulate 1 1/2" fiberg

3. Mechanical and verify air

4. Coordinate Architectural



Partial Third Floor Demolition Plan

1/4" = 1'-0"

Cumberland County Superior Court

Portland, Maine

Note:

1. Ceiling diffusers shall be 6"x6" neck ceiling diffusers, Metalaire 5000 series, with louvered face, aluminum construction, white finish, surface-mounted. Ceiling return air registers shall be Metalaire RHD series with opposed-blade volume damper. Ceiling return air registers shall be suitable for surface mounting.
2. Insulate supply air ductwork with 1 1/2" fiberglass ductwrap with "FSK" facing.
3. Mechanical contractor shall measure and verify air flows shown.
4. Coordinate all items with Architectural ceiling plan.

Notes

Provide EMT for in wall and above ceiling wiring.

Provide flex for lighting fixture whips and branch circuits to be fished through existing metal stud partitions.

Relabel existing breaker panel.

Legend

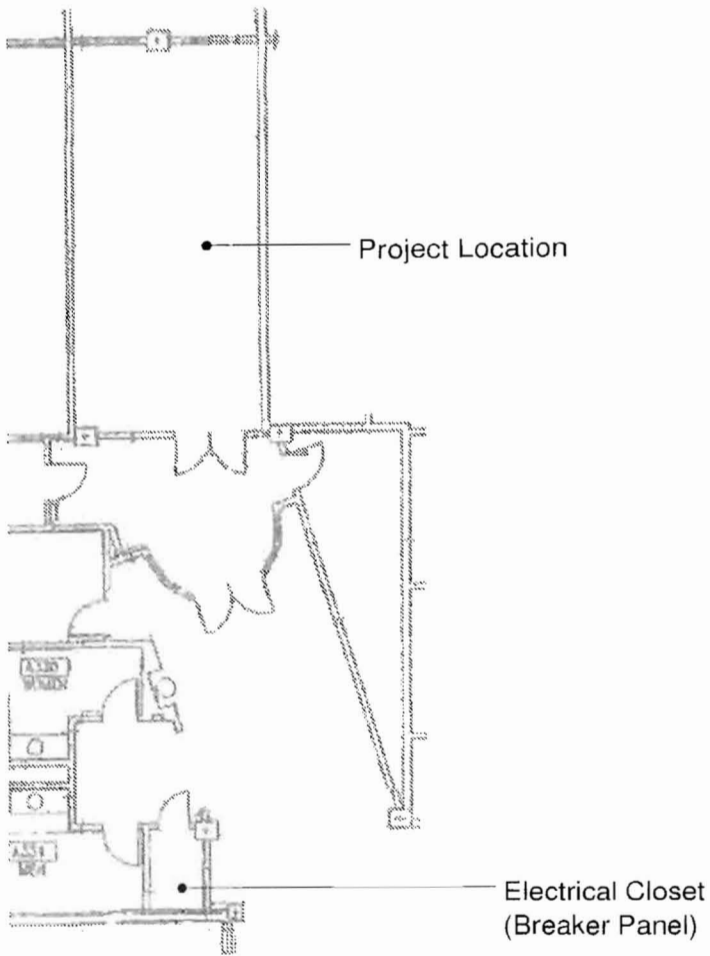
S Switch at 48" AFF

▲ Voice / Data Outlet @ 18" AFF
Provide backbox, conduit riser and pullcord to ceiling space. Owner to provide wiring and jacks under separate contract.

Ⓝ WH
Ⓝ Feed point for workstation power.
Provide two circuits to each workstation as shown.
Provide j-box and bushing at 12" AFF
Install flexible conduit furnished by workstation vendor.
Rewiring and relabeling of workstation base outlets shall be done by the workstation vendor.

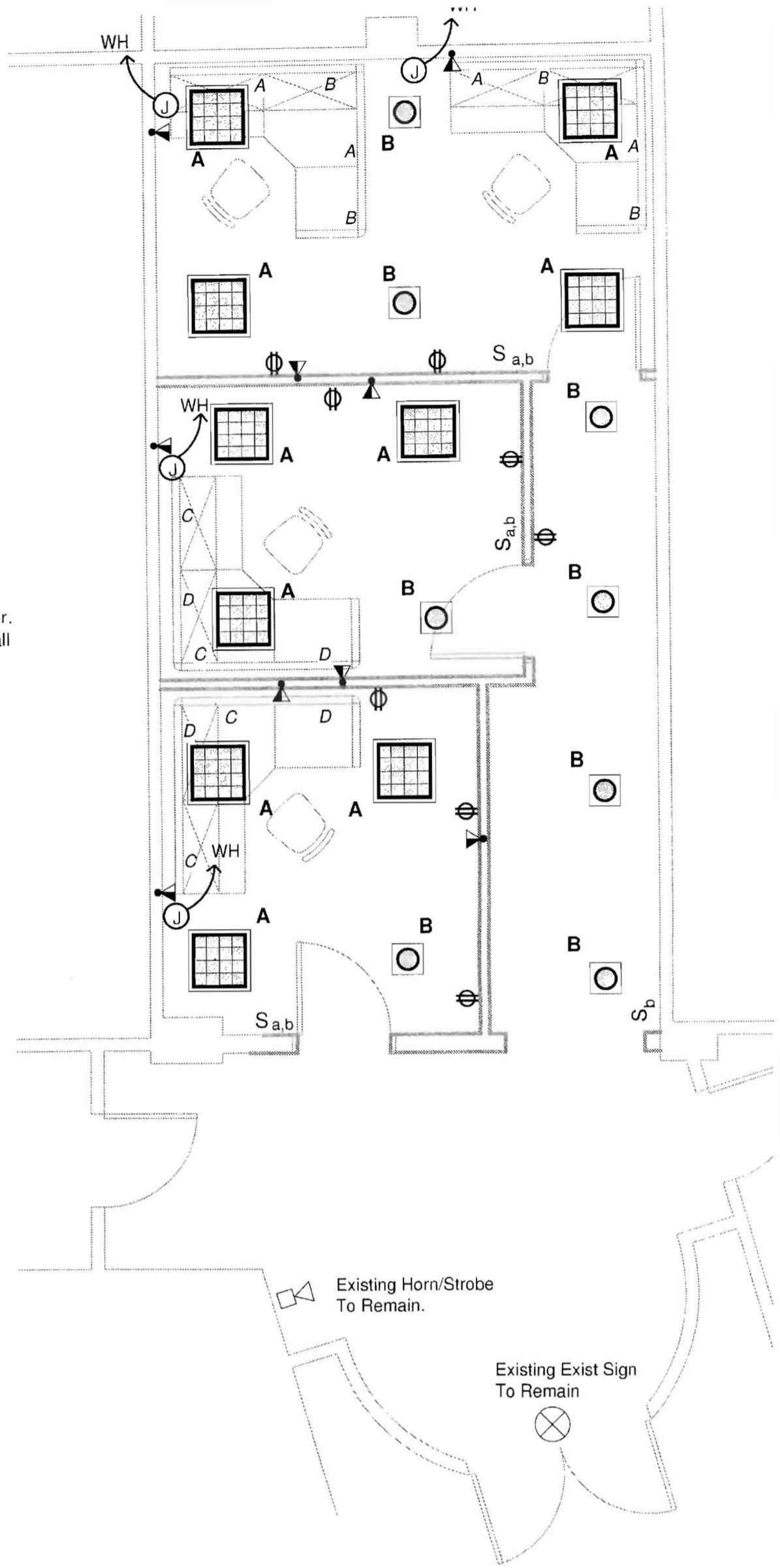
A Circuit designation for workstation base outlet.
Workstation vendor to relabel existing outlets.
Coordinate exact locations and quantity with workstation vendor.

⊕ Duplex Outlet @ 18" AFF



Electrical Key Plan

1" = 32'-0"



Electrical Plan

1/4" = 1'-0"

Existing 2x2 Recessed Fluorescent Fixture

it

Law Clerk Offices Renovation

Winton Scott Architects 5 Milk Street Portland, Maine 04101

Removals General Note:

Items not shown shall remain in use.

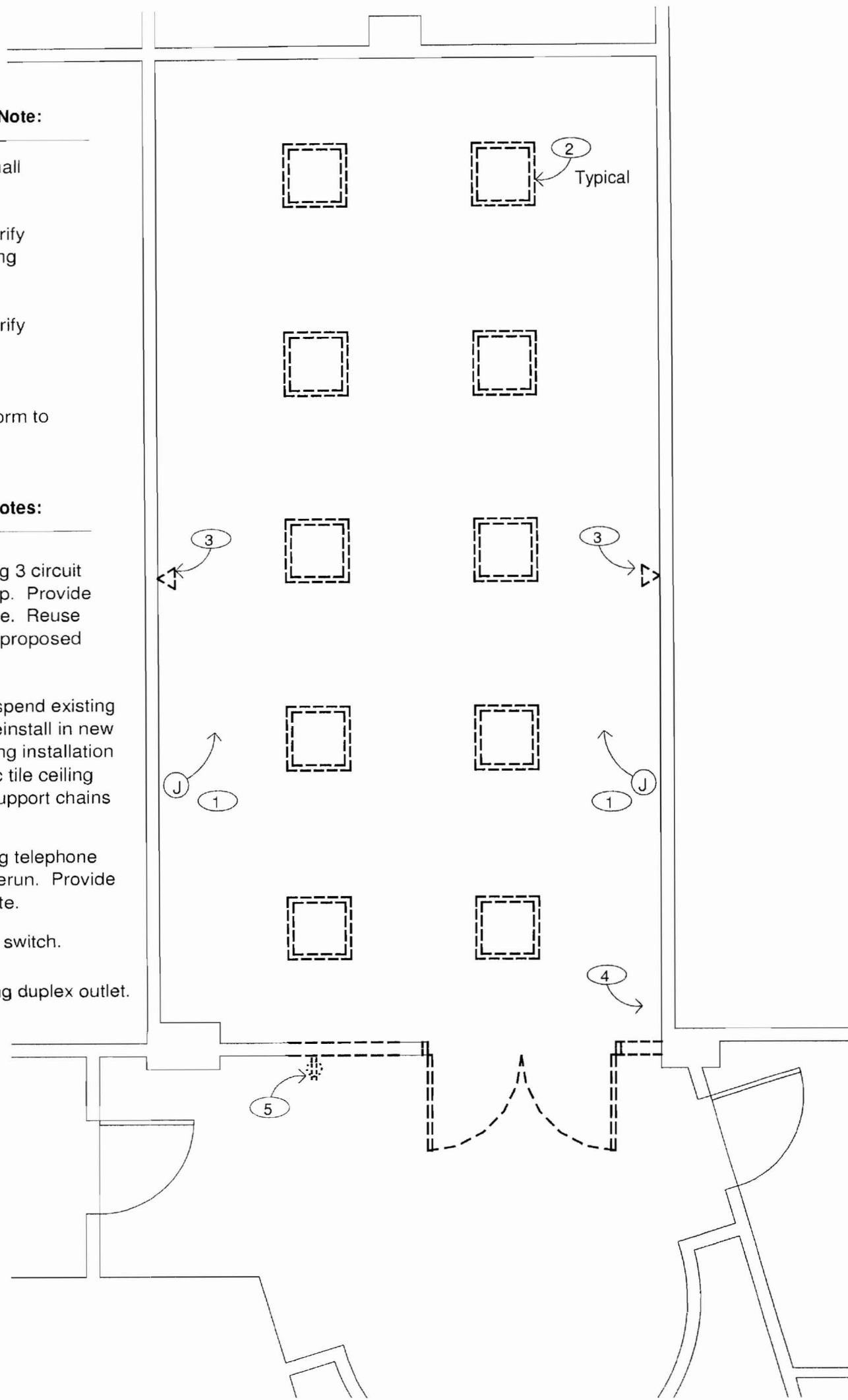
Contractor shall verify and maintain existing circuit continuity.

Contractor shall verify existing circuit configuration.

All work shall conform to current N.E.C.

Removals Keyed Notes:

- ① Remove existing 3 circuit workstation whip. Provide blank cover plate. Reuse circuits to feed proposed offices.
- ② Temporarily suspend existing light fixture. Reinstall in new location following installation of new acoustic tile ceiling grid. Provide support chains per NEC.
- ③ Remove existing telephone outlet and homerun. Provide blank cover plate.
- ④ Rewire existing switch.
- ⑤ Remove existing duplex outlet.



Notes

- Provide EMT
- Provide flex f to be fished t
- Relabel existin

Legend

- S Switch
- ◀ Voice/ Provide space. separa
- WH
- J Feed p Provide Provide Instal Rewir be
- A Circuit Works Coord work
- ⊕ Duplex

Electrical Removals Plan

1/4" = 1'-0"

Lighting Fixture Schedule

	Mfr	Model No.	Mounting	Lamping	Remarks
A		N.A.	Recessed		Relocate Existing 2x2 Rec
B	Prescolite	CFT632HEB-STF602H	Recessed	(1) CF26W/841 4-Pin	Downlight



Electr

1" = 32"