

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DIVISION

PERMIT

PERMIT ISSUED
Permit Number: 020919
CITY OF PORTLAND

This is to certify that Cumberland County Of/Kimberly Co
has permission to Alter Interior Concrete Stairs
AT 134 Federal St 028 F001001

028 F001
028-6042

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or occupied. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W.H. [Signature]
Health Dept. _____
Appeal Board _____
Other _____

Department Name

[Signature] 10/2/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 02-0919	Issue Date: OCT 4	CBL: 028 F001001
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Location of Construction: 142 Federal St	Owner Name: Cumberland County Of	Owner Address: 142 Federal St	Phone: 871-8391**
Business Name:	Contractor Name: Kim Poirier Construction	Contractor Address: Old Orchard	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Cumberland County Court House	Proposed Use: Cumberland County Court House	Permit Fee: \$44.00	Cost of Work: \$2,700.00	CEO District: 1
Proposed Project Description: Alter Interior Concrete Stairwell		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 5 Type: 2B 10/9/02	

Signature: *[Handwritten Signature]*

Signature: *[Handwritten Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 08/13/2002	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>8/11/02</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>Needs a separate review</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

020919

All Purpose Building Permit Application

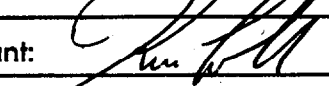
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

134 142

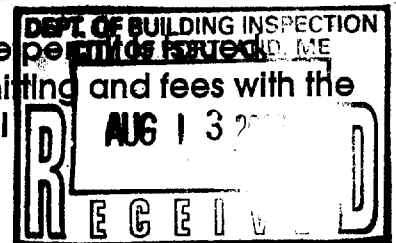
Location/Address of Construction: <u>142 Federal St. Cumberland County Courthouse</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>028-F-001</u> Block# Lot#	Owner: <u>Cumberland County</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>2,700.00</u> Fee: \$ <u>44.00</u>
Current use: <u>Court House</u>		
If the location is currently vacant, what was prior use: <u>✓</u>		
Approximately how long has it been vacant: <u>✓</u>		
Proposed use: <u>Courthouse</u>		
Project description: <u>Interior change to Concrete Stairwell</u>		
Contractor's name, address & telephone: <u>Kim Poirer Construction 00B</u>		
Who should we contact when the permit is ready: <u>Jason Keaton</u>		
Mailing address: <u>871-8391*</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

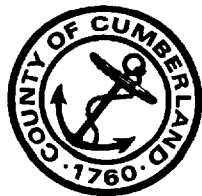
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>8-13-02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





**CUMBERLAND COUNTY
FACILITIES DEPARTMENT**

142 Federal Street
Portland, ME 04101
(207) 871-8293 Fax: (207) 871-8377

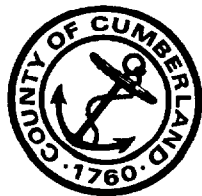
Bruce D. Tarbox, Facilities Manager

August 13, 2002

The cost of the stairwell alterations at the Cumberland County Courthouse is estimated to be \$2,700. We are requesting a building permit from the City of Portland.

If you have any questions, please give me a call.

**BRUCE D. TARBOX
FACILITIES MANAGER**



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FACILITIES DEPARTMENT**

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Portland, ME 04101
(207) 871-8293 Fax: (207) 871-8377

Bruce D. Tarbox, Facilities Manager

August 13, 2002

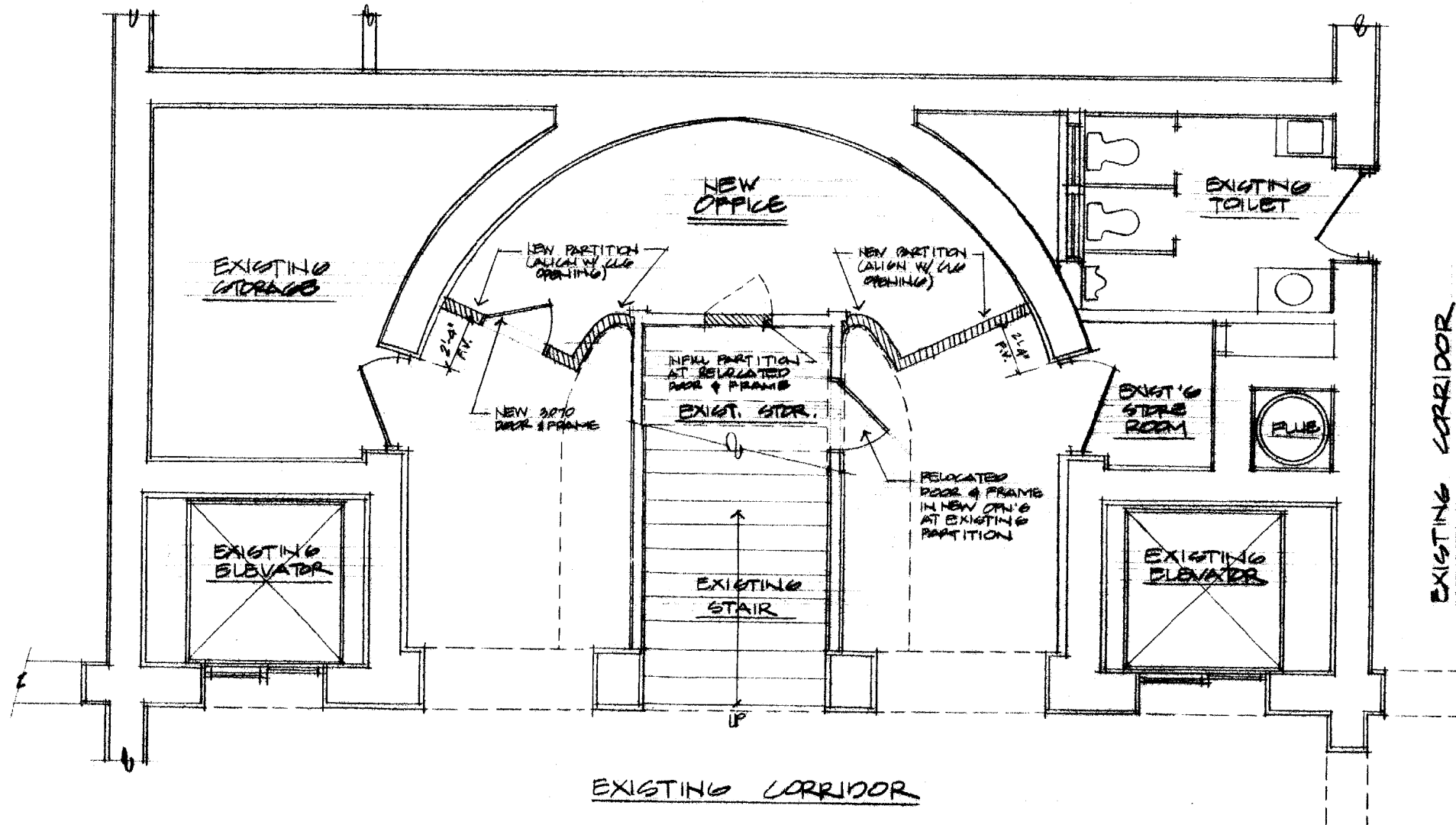
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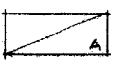

NOTES

1. NEW PARTITIONS SHALL BE FRAMED WITH KD 2X4 STUDS AT 16' O.C. OR 20 GAGE 1-5/8 X 3-5/8 METAD STUDS AT 16' O.C. NEW PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE.
2. NEW PARTITIONS SHALL HAVE FULL THICKNESS ACOUSTICAL BATT INSULATION THROUGHOUT.
3. NEW PARTITIONS SHALL HAVE 1/2" THICK SHEETROCK WITH PAINTED FINISH. PAINT SHALL BE OWNER'S PROPRIETARY MANUFACTURER. PROVIDE TWO (2) COATS OVER PRIMER COAT. PAINT EXISTING WALLS AT NEW OFFICE TO MATCH NEW PAINT COLOR. PROVIDE VINYL ACRYLIC LATEX PAINT IN LIEU OF PROPRIETARY MANUFACTURER IN COLOR SELECTED BY THE OWNER.
4. NEW DOOR SHALL BE HALF LITE ABOVE WITH TWO PANELS BELOW SOLID OAK PROFILE FOR TRANSPARENT FINISH. FRAME SHALL BE SOLID OAK FOR TRANSPARENT FINISH. CASING SHALL BE BRUSCO B-444 IN SOLID OAK FOR TRANSPARENT FINISH. GLASS SHALL BE 1/2" THICK TEMPERED FROSTED GLASS. TRANSPARENT FINISH SHALL BE THREE (3) COATS OVER SEALED COAT IN SATIN FINISH. LATEX POLYURETHANE.
5. REPAIR DAMAGED OR SOILED EXISTING AREAS ADJACENT TO NEW WORK MARRIED DURING NEW CONSTRUCTION. PAINT TO MATCH ADJACENT EXISTING SURFACES.
6. PROTECT EXISTING FLOORS, WOODWORK, MARBLE, WAINSCOT & TRIM, DOORS, PLASTER AND RAILINGS DURING NEW CONSTRUCTION ACTIVITIES.
7. CONCEAL ALL FASTENERS AND ANCHORS IN THE NEW WORK.
8. CONDUCT ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
9. MAINTAIN OWNER'S ACCESS TO ADJACENT ROOMS AND EGRESS ELEMENTS THROUGHOUT CONSTRUCTION ACTIVITIES. CLEAN WORK AREA AT THE END OF EACH DAY AND REMOVE CONSTRUCTION DEBRIS.



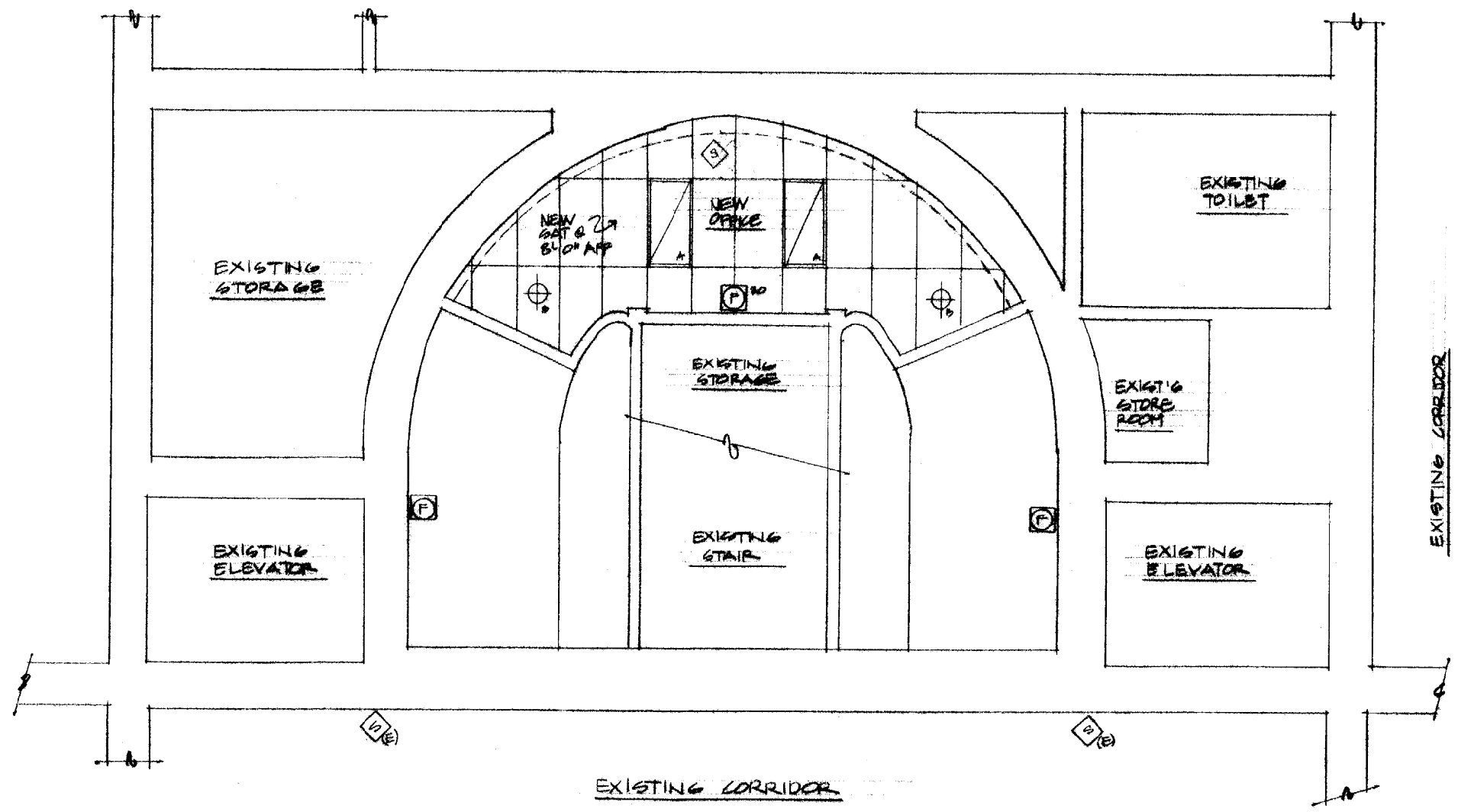
EXISTING CORRIDOR
LOWER LEVEL PARTIAL PLAN
 1/4" = 1'-0"

LEGEND

-  FIRE ALARM STROBE
(CONNECT TO EXISTING SYSTEM)
WIRELOCK AS SERIES
-  FIRE ALARM STROBE/HORN
(CONNECT TO EXISTING SYSTEM)
WIRELOCK AS SERIES
-  SMOKE DETECTOR
(CONNECT TO EXISTING SYSTEM)
GAMEWELL R902 W/ TAMPERPROOF BASE
-  2 X 4 PARABOLIC LAY IN LIGHT
3 FLOURESCENT TUBES
SINGLE SWITCH AT DOOR
-  RECESSED DOWNLIGHT
2 TUBE PL BULB
SINGLE SWITCH AT DOOR

NOTES

- 1 THE EXISTING FIRE ALARM SYSTEM IS A GAMEWELL SYSTEM. THIS PORTION OF THE BUILDING IS ZONED. CONNECT TO AND EXTEND EXISTING ZONES FOR NEW WORK INDICATED ON THE DRAWINGS. PROVIDE ALL CONNECTIONS, POWER SUPPLIES, ETC FOR A COMPLETELY FUNCTIONAL SYSTEM.
- 2 ALL DEVICES IN THE SAME ROOM OR AREA SHALL BE SYNCHRONIZED.
- 3 SUSPENDED CEILING GRID SHALL BE INTERMEDIATE DUTY CLASS WHITE. IN LAYOUT AS INDICATED ON THE DRAWINGS. MATCH OWNER'S PROPRIETARY MANUFACTURER OR PROVIDE ARMSTRONG PRELUDE XL SERIES - 15/16" WIDE GRID IN LIEU OF PROPRIETARY MANUFACTURER.
- 4 SUSPENDED CEILING TILE SHALL BE WHITE. IN LAYOUT AS INDICATED ON THE DRAWINGS. MATCH OWNER'S PROPRIETARY MANUFACTURER OR PROVIDE ARMSTRONG FLOURED SQUARE LAY-IN #731 TILE IN LIEU OF PROPRIETARY MANUFACTURER.



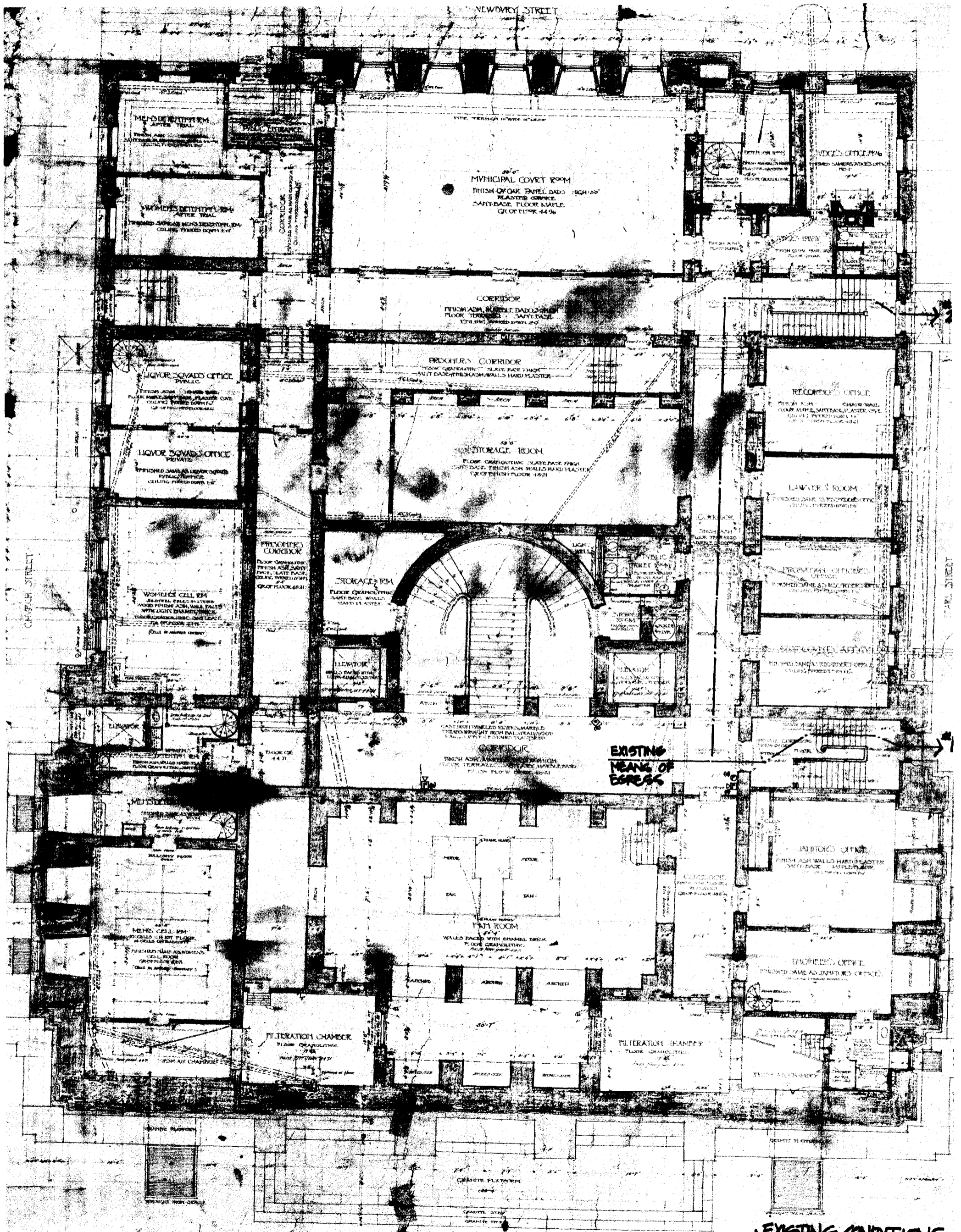
LOWER LEVEL PARTIAL
REFLECTED CEILING PLAN
1/4" = 1'-0"

OFFICE ALTERATION FOR THE
CLIMBERLAND COUNTY COURTHOUSE
PORTLAND
MAINE

GRANT HAYS ASSOCIATES
P.O. BOX 0179 • FALLOUTER, ME 04105
207-871-0980 TEL. 207-871-2888 FAX

LOWER LEVEL PARTIAL
REFLECTED CEILING PLAN
& NOTES

7/02
06/02
MFL
A2



FEDERAL STREET
 PLAN OF BASEMENT
 SCALE 1/8" = 1'-0"

EXISTING CONDITIONS

COURT HOUSE FOR
 CUMBERLAND COUNTY
 AT PORTLAND MAINE

GEORGE W. PHIPHAM, ASSOCIATE ARCHITECTS
 GUY LOWELL
 120 EXCHANGE ST. PORTLAND, ME.



CITY OF PORTLAND, MAINE

Department of Building Inspections

August 13 2002

Received from Commercial Property Group

Location of Work 100 Federal St.

Cost of Construction \$ _____

Permit Fee \$ 44.00

Building (I) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 078-F-001

Check #: 100

Total Collected \$ 44.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy