

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 071017

PERMIT ISSUED

SEP 17 2007

This is to certify that 28 MONUMENT SQUARE / Hardy Building Construction
has permission to Renovate existing 2nd floor for retail & Public Seating w/ 2 bathrooms & elevator
AT 27 MONUMENT SQ C 027 F002001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Clark

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Burke 9/17/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

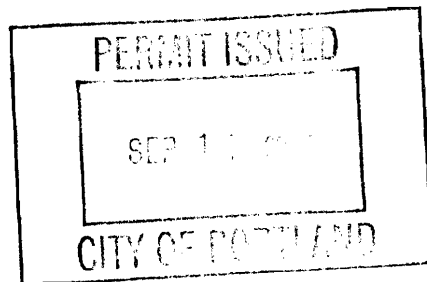
Permit No: 07-1017	Issue Date:	CBL: 027 F002001
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Location of Construction: 27 MONUMENT SQ	Owner Name: 28 MONUMENT SQUARE LLC	Owner Address: 22 MONUMENT SQ	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-3

Past Use: Vacant Space 2nd flr	Proposed Use: Retail & Public Seating - Renovate existing 2nd floor for retail & Public Seating w/ 2 bathrooms & elevator	Permit Fee: \$1,895.00	Cost of Work: \$180,000.00	CEO District: 1
Proposed Project Description: Renovate existing 2nd floor for retail & Public Seating w/ 2 bathrooms & elevator		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: M/B Type: 3B IBC-2003 Signature: JMB 9/17/07	
		Signature: <i>Greg Cross</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 08/21/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>ms 8/22/07</i>	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE:

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

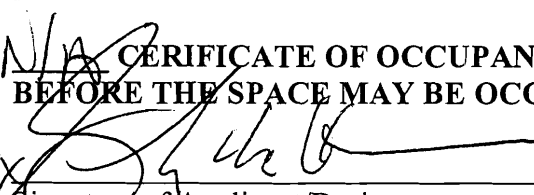
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/~~Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

~~NO~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~N/A~~ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of Applicant/Designee

17 Sept 07
Date

Donna Martin Admin
Signature of Inspections Official

9-17-07
Date

CBL 27 F 002

Building Permit #: 07-1017

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1017	Date Applied For: 08/21/2007	CBL: 027 F002001
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Location of Construction: 27 MONUMENT SQ	Owner Name: 28 MONUMENT SQUARE LLC	Owner Address: 22 MONUMENT SQ	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Retail & Public Seating - Renovate existing 2nd floor for retail & Public Seating w/ 2 bathrooms & elevator	Proposed Project Description: Renovate existing 2nd floor for retail & Public Seating w/ 2 bathrooms & elevator
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 08/22/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This property is located within a Pedestrian Activities District (PAD) which requires existing windows to be open and not blocked or closed in. Signs shall not cover more than 50% of any window. Please check if any questions. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 3) Separate permits shall be required for any new signage. 4) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 09/07/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712. 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process. 			
Dept: Fire	Status: Approved	Reviewer: Capt Greg Cass	Approval Date: 08/23/2007
Note: Basement has only one compliant means of egress. {headroom}			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
8/30/2007-jmb: Left voicemail w/Alan Mooney regarding details on the construction of the elevator, railing wall height, and UL listed fire rating on the wall type.
8/31/2007-jmb: Alan called to schedule a meeting on 9/6 with details
9/6/2007-jmb: Met with Alan, he had the elevator contract and UL wall type. Discussed detailed plans on the elevator construction with floor opening and structural information. Also he will change plans to reflect increased height on guard wall second floor and handrail detail.
9/10/2007-jmb: Received details on the elevator construction and revisions
9/11/2007-jmb: Contacted Sebean at CM as the lintel is not called out nor the elevator pit slab, she will submit
9/14/2007-jmb: plans submitted



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>27 (28) MONUMENT SQUARE</u>		
Total Square Footage of Proposed Structure/Area <u>11,076 SF ± EXISTING</u>		Square Footage of Lot <u>2,911 ± SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>27 F 2</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>28 MONUMENT SQUARE LLC</u> Address <u>40 ALAN MOONEY</u> <u>22 MONUMENT SQUARE</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>828-1969</u>
Lessee/DBA (If Applicable) <u>NA</u>	Owner (if different from Applicant) Name <u>SAME</u> Address _____ City, State & Zip _____	Cost Of Work: <u>\$180,000 ±</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>FIRST FLOOR-RETAIL/MERCANTILE B</u> If vacant, what was the previous use? <u>SECOND FLOOR-RETAIL</u> Proposed Specific use: <u>RETAIL/MERCANTILE B</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>NA</u> Project description: <u>RENOVATE EXISTING SECOND FLOOR FOR RETAIL AND PUBLIC SEATING - INSTALL 2 BATHROOMS AND ELEVATOR</u>		
Contractor's name: <u>HARDY POND CONSTRUCTION</u> Address: <u>1039 RIVERSIDE STREET SUITE 11</u> City, State & Zip: <u>PORTLAND, ME 04103</u> Telephone: <u>797-6066</u> Who should we contact when the permit is ready: <u>ALAN MOONEY</u> Telephone: <u>828-1969</u> Mailing address: <u>AS ABOVE/APPLICANT</u>		

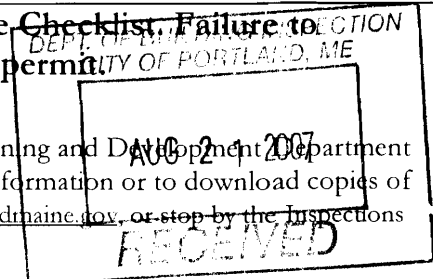
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 8.20.07

This is not a permit; you may not commence ANY work until the permit is issue





Certificate of Design Application

From Designer:

H. Alan Mooney, P.E.

Date:

8.20.07

Job Name:

PORTLAND MARKET HOUSE

Address of Construction:

27 (28) MONUMENT SQUARE

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) MERCANTILE B
 Type of Construction LOAD BEARING MASONRY, WOOD, STEEL
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO/EXISTING Bldg

Structural Design Calculations

NA Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>SECOND FLOOR</u>	
<u>RETAIL/SEATING</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)

_____ Basic wind speed (1809.3)

NA Building category and wind importance Factor, w
table 1604.5, 1609.5)

EXISTING Wind exposure category (1609.4)

_____ Internal pressure coefficient (ASCE 7)

_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)

_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)

_____ Seismic use group ("Category")

_____ Spectral response coefficients, S_D s & S_{D1} (1615.1)

_____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof *live* loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
NA If $P_g > 10$ psf, flat-roof snow load P_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
EXISTING Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

NA Flood Hazard area (1612.3)

_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

NA Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer:

H. Alan Mooney, P.E.

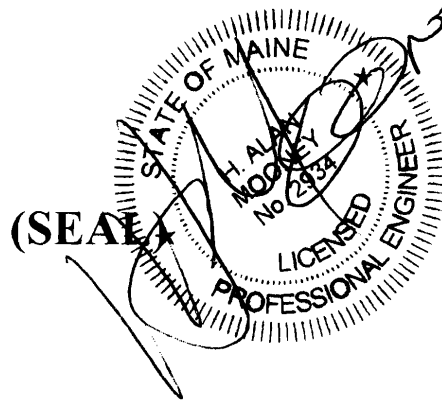
Address of Project:

27 (28) MONUMENT SQUARE

Nature of Project:

RENOVATE SECOND FLOOR TO
EXPAND MARKET HOUSE COMPLETED
IN 2006 - INSTALL ELEVATOR
AND 2 BATHROOMS.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature:

H. Alan Mooney

Title:

PRESIDENT

Firm:

CRITERION-MOONEY ENGINEERS

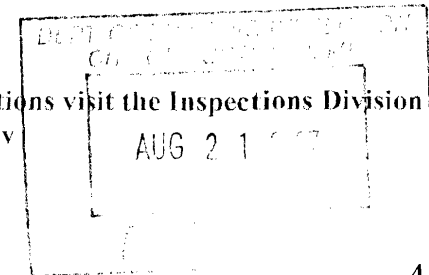
Address:

22 MONUMENT SQUARE
PORTLAND, ME 04101

Phone:

828.1969

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov





Certificate of Design

Date:

August 20, 2007

From:

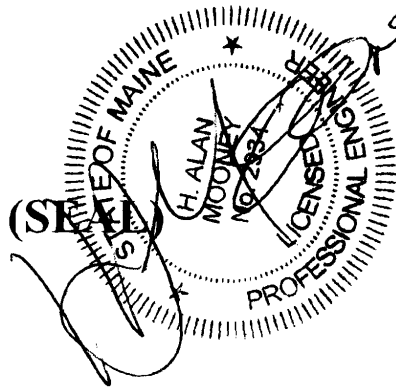
H. Alan Mooney, P.E.

These plans and / or specifications covering construction work on:

Second floor - 27(28) Monument

Square - Portland Market House

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature:

H. Alan Mooney

Title:

President

Firm:

Criterion-Mooney Engineers

Address:

22 Monument Square

Portland, ME 04101

Phone:

828-1969

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



State of Maine
Department of Public Safety
Construction Permit



Not
Reviewed
for Barrier
Free

16979

Sprinkled
Sprinkler Supervised

copy

(27) 28 MONUMENT SQUARE- THE CLAPP BLDG.

Located at: 28 MONUMENT SQUARE

PORTLAND

Occupancy/Use: MERCANTILE CLASS B

Permission is hereby given to:

ALAN MOONEY
20 MONUMENT SQUARE LLC
22 MONUMENT SQUARE, SUIT
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 15 th of February 2008

Dated the 16 th day of August A.D. 2007

Commissioner

Copy-1 Owner

Comments:

ALAN MOONEY
20 MONUMENT SQUARE LLC
22 MONUMENT SQUARE, SUIT
PORTLAND, ME 04101

High Tech Fire Protection Co., Inc.
P.O. Box 156
Minot, Maine 04258-0156
Tel (207) 998-2551

Contract Document:

Date: 5/29/07

Proposal: # 0052907-3

Alen Mooney

28 **22 Monument Square**
Portland, ME.

High Tech Fire Protection Co. is pleased to submit our quote for furnishing and installing the wet sprinkler system in your existing building. All work is subject to the approval of the State Fire Marshal's office and local authority as an approved NFPA 13 commercial sprinkler system. All work to meet Insurance Service Office requirements.

Price: \$16,932.00

We have included the following:

- Necessary upright sprinkler heads on exposed piping in all areas. **(Basement, 1st, & 2nd Floor)**
- Necessary overhead supply piping, fittings and hangers. (steel)
- Necessary cabinets with spare sprinklers and wrench for emergency use.
- Necessary fire department connection mounted on the exterior wall of the building.
- Necessary shipping, receiving, distribution, & freight.
- Necessary installation crews traveling expenses.
- Necessary preparation of design drawings and cales.
- Our work to begin at existing riser inside building.

WORK STARTS AT RISER IN BASEMENT OF 22 MONUMENT SQUARE

WORK INCLUDES WALL PENETRATION FROM 22 MONUMENT SQUARE TO 28 MONUMENT SQUARE

PIPING WILL BE ADEQUATE TO EXPAND SYSTEM TO 3RD & 4TH FLOOR AT A LATER TIME.

Please note: The fire department connection must be installed within ten (10) feet of the valve assembly

We have not included the following:

- Any backflow preventer & check valves.
- Any shot gun valve w/ trim.
- Any OS&Y gate valves & butterfly valves.
- Any flow switch.
- Any electric bell.
- Any inspectors test drain connection to discharge into open air.
- Any center of tile head placement.
- Any seismic bracing.
- Any extinguishers and /or cabinets
- Any fire pump, jockey pump and controls.
- Any transfer switch for fire pump.
- Any performance bond.
- Any underground piping or connection and/or city water tap.
- Any chlorination of underground piping.
- Any excavating and backfilling, concrete thrust blocks, including pumping and shoring if required, and replacement of pavement and flooring where disturbed.
- Any boxing of the installed sprinkler piping.
- Any painting or plating of piping and/or fittings
- Any electrical wiring of flow devices and or pre-action devices, etc. (switches only to be supplied by High Tech Fire protection Co., all wiring must be done by others)

Payment terms:

Payments made in monthly installments based on invoicing for work completed and materials stored in the shop and on job site. Payment is due upon receipt on the invoice. The invoices will be based on the value of materials delivered and work performed for that month.

Please note:

A 1 ½% per month late fee may be charged on any unpaid balances exceeding 30 days. Any reasonable and necessary legal fees incurred in the process of collecting payment will be the responsibility of the Buyer either/or Owner.

This quotation is based on all fire protection work included being completed by (per specs).

No back charges shall be accepted by High Tech Fire Protection unless forty-eight (48) hours written notice is given to correct any alleged work deficiencies or clean up necessitating such back charges and unless said work is the fault on High Tech Fire Protection. Any billings for back charges against High Tech shall be submitted during the first ten (10) days of the calendar month following that in which claim originates.

Ceilings are not to be installed until all sprinkler piping has been installed and tested.

Buyer is to provide sufficient heat in all areas to prevent freezing of water in the piping.

It is the responsibility of the Buyer to furnish a material and test certificate covering hydrostatic test and flushing of the underground piping to which the proposed connection will be made where the Seller's work is to start.

The Seller under this proposal will only test in high pressure the work involved and any high pressure test required on the existing underground piping system will be taken care of as an extra to the contract price.

Buyer assumes full responsibility for the condition of existing equipment and piping, and for the water or other damages resulting directly or indirectly from such condition, or the application of test or flushing pressures.

This proposal is subject to acceptance within thirty (30) days, after which it may be withdrawn at the option of High Tech Fire Protection Co., Inc.

Signature of Buyer:

Signature of Seller:

H.M. Money
FOR
28 Monument Square LLC
(see page 1)
SUBJECT TO WORK
THRU TO REVIEW
LOGISTICS OF WORK
TO BE DONE AND
SCHEDULE.
H.M.
6.28.07

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO	4599	
CONNECTION TEL		9984187
SUBADDRESS		
CONNECTION ID		
ST. TIME	06/28 14:43	
USAGE T	01'39	
PGS. SENT	3	
RESULT	OK	

**CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street
Portland, Maine 04101

INVOICE FOR PERMIT FEES

Application No: 7-1017	Applicant: 28 MONUMENT SQUARE LLC
Project Name:	Location: 27 MONUMENT SQ
CBL: 027 F002001	Development Type:
Invoice Date: 08/21/2007	

Previous Balance	-	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$0.00		\$0.00		\$1,895.00		\$1,820.00		\$75.00	On Receipt

First Billing

Previous Balance	\$0.00
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Fee Description	Qty	Fee/Deposit Charge
Certificate of Occupancy	1	\$75.00
Change of Use First \$1000	1	\$30.00
Change of Use Add'l \$1000	1	\$1,790.00
		<u>\$1,895.00</u>
Total Current Fees:	+	\$1,895.00
Total Current Payments:	-	\$1,820.00
Amount Due Now:		\$75.00

Detach and remit with payment

Bill to: 28 MONUMENT SQUARE LLC
22 MONUMENT SQ
PORTLAND , ME 04101

CBL 027 F002001
Application No: 7-1017
Invoice Date: 08/21/2007
Invoice No: 28676
Total Amt Due: \$75.00
Payment Amount:

Make checks payable to the City of Portland, ME



CUSTOMERS

REGULATORS

CONSUMERS

RETAILERS

BXUV.U305 Fire Resistance Ratings - ANSI/UL 263

Design No. U305

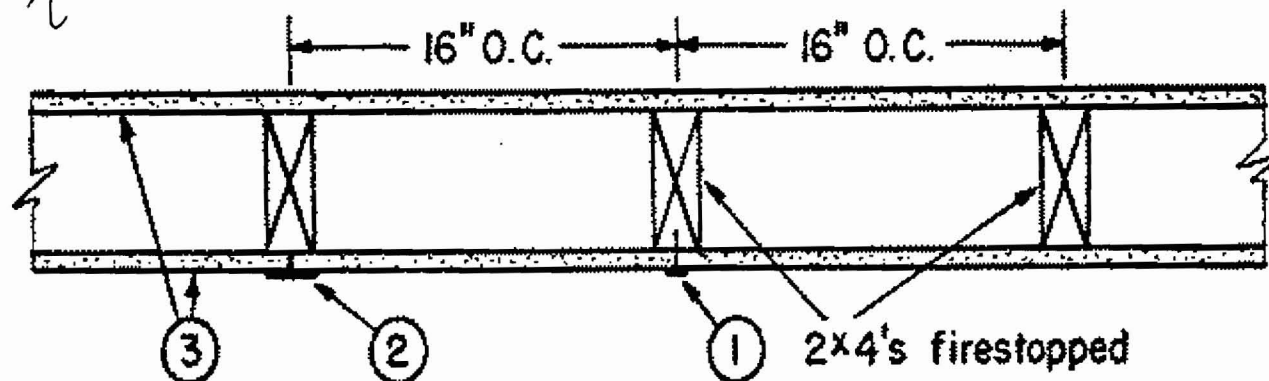
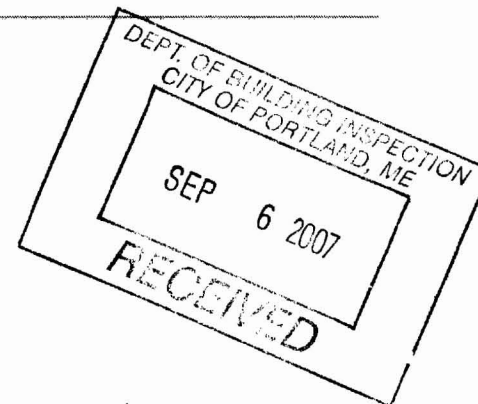
August 28, 2003

Bearing Wall Rating — 1 HR.

Finish Rating — See Item 3.

STC Rating - 56 (See Item 8)

*RATED WALLS
2 B MONUMENT
SQUARE*



1. Nailheads — Exposed or covered with joint compound.

2. Joints — Exposed or covered with fiber tape and joint compound, except where required for specific edge configuration. For tapered, rounded-edge wallboard, joints covered with joint compound or fiber tape and joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced.

3. Gypsum Board* — 5/8 in. thick wallboard paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Wallboard nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths of other than 48 in., wallboard is to be installed horizontally. For an alternate method of attachment of gypsum boards, refer to Item 6, Steel Framing Members*.

When Item 6 , Steel Framing Members*, is used, wallboard attached to furring channels with 1 in. long Type S bugle-head steel screws spaced 12 in. OC.

AMERICAN GYPSUM CO — Types AGX-1, AGX-2, AGX-3 (finish rating 23 min.), Type AGX-7, AGX-11 (finish rating 26 min) or Type AG-C, TypeAGX-8

(finish rating 20 min), Type AGX-9 (finish rating 20 min), Type AGX-10 (finish rating 20 min), Type AGX-5 (finish rating 26 min), Type AGX-4 (finish rating 20 min), Type AGX-C.

BEIJING NEW BUILDING MATERIALS CO LTD — Type DBX-1 (finish rating 24 min).

BPB AMERICA INC — Type 1, Type SF3 (finish rating 20 min) or FRPC, ProRoc Type C or ProRoc Type X (finish rating 26 min), Type EGRG (finish rating 23 min)

BPB CANADA INC — ProRoc Type C, ProRoc Type X or ProRoc Type Abuse-Resistant

CANADIAN GYPSUM COMPANY — Type AR (finish rating 26 min), Type C (finish rating 26 min), Type FCV (finish rating 26 min), Type IP-AR (finish rating 26 min), Type IPC-AR (finish rating 26 min), Type IP-X1 (finish rating 26 min), Type IP-X2 (finish rating 26 min), Type SCX (finish rating 26 min), Type SHX (finish rating 26 min), Type WRC (finish rating 26 min), Type WRX (finish rating 26 min) .

G-P GYPSUM CORP, SUB OF

GEORGIA-PACIFIC CORP — Type 5 (finish rating 26 min), Type 6 (finish rating 23 min), Type 9 (finish rating 26 min), Type C (finish rating 26 min), Type DGG (finish rating 20 min), Type GPFS1 (finish rating 20 min), Type GPFS2 (finish rating 20 min), Type GPFS6 (finish rating 26 min), Type DS, Type DAP, Type DD (finish rating 20 min), DA.

LAFARGE NORTH AMERICA INC — Type LGFC2 (finish rating 20 min), Type LGFC3 (finish rating 20 min), Type LGFC6 (finish rating 26 min), Type LGFC-C (finish rating 20 min), Type LGFC6A (finish rating 34 min), Type LGFC2A, Type LGFC-C/A.

NATIONAL GYPSUM CO — Type FSK (finish rating 20 min), Type FSK-G (finish rating 20 min), Type FSW (finish rating 20 min), Type FSW-2 (finish rating 24 min), Type FSW-3 (finish rating 20 min), Type FSW-G (finish rating 20 min), Type FSK-C (finish rating 20 min), Type FSW-C (finish rating 20 min).

PABCO GYPSUM, DIV OF

PACIFIC COAST BUILDING PRODUCTS INC — Types C, PG-2 (finish rating 20 min), PG-3 (finish rating 20 min), Types PG-3W, PG-5W (finish rating 20 min), Type PG-4 (finish rating 20 min), Type PG-6 (finish rating 23 min), Types PG-3WS, PG-5WS (finish rating 20 min), Types PG-5, PG-9 (finish rating 26 min) or Type PG-C.

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD — Type EX-1 (finish rating 26 min)

STANDARD GYPSUM L L C — Type SGC(finish rating 20 min), Type SGC-3 (finish rating 20 min.) Type SG-C or SGC-G(finish rating 20 min).

TEMPLE-INLAND FOREST PRODUCTS CORP — Types T (finish rating 20 min), VPB-Type T (finish rating 20 min), WR-Type T (finish rating 20 min), Type T SHTG (finish rating 20 min), FRX-6, VPBX-6, FRWRX-6, TG-C or FRX-6 Exterior Gypsum Soffit Board.

UNITED STATES GYPSUM CO — Type AR (finish rating 26 min), Type SCX (finish rating 26 min), Type C (finish rating 26 min), Type WRX (finish rating 26 min), Type WRC (finish rating 26 min), Type IP-X1 (finish rating 26 min), Type FCV (finish rating 26 min), Type IP-X2 (finish rating 26 min), Type SHX (finish rating 26 min), Type FRX-G (finish rating 29 min), Type IP-AR (finish rating 26 min), Type IPC-AR (finish rating 26 min).

USG MEXICO S A DE C V — Type AR (finish rating 26 min), Type C (finish rating 26 min), Type WRX (finish rating 26 min), Type WRC (finish rating 26 min), Type IP-X1 (finish rating 26 min), Type FCV (finish rating 26 min), Type IP-X2 (finish rating 26 min), Type SHX (finish rating 26 min), SCX (finish rating 26 min), Type IP-AR (finish rating 26 min), Type IPC-AR (finish rating 26 min).

3A. **Gypsum Board*** — (As an alternate to Item 3) — Nom 3/4 in. thick, installed as described in Item 3.

CANADIAN GYPSUM COMPANY — Types AR, IP-AR.

UNITED STATES GYPSUM CO — Types AR, IP-AR.

USG MEXICO S A DE C V — Types AR, IP-AR.

3B. **Gypsum Board*** — (As an alternate to Items 3 and 3A) — 5/8 in. thick, 4

ft wide, square edge, applied vertically. Wallboard nailed 8 in. OC with 1-3/4 in. long galvanized roofing nails. Joint covering (Item 2) not required.

CANADIAN GYPSUM COMPANY — Type WSX (finished rating 22 min).

UNITED STATES GYPSUM CO — Type WSX (finished rating 22 min).

USG MEXICO S A DE C V — Type WSX (finished rating 22 min).

3C. Gypsum Board* — (As an alternate to Items 3, 3A and 3B) - 5/8 in. thick, 2 ft wide, tongue and groove edge, applied horizontally to one side of the assembly. Secured as described in Item 3. Joint covering (Item 2) not required.

CANADIAN GYPSUM COMPANY — Type SHX.

UNITED STATES GYPSUM CO — Type SHX.

USG MEXICO S A DE C V — Type SHX.

4. Steel Corner Fasteners — (Optional) — For use at wall corners. Channel shaped, 2 in. long by 1 in. high on the back side with two 1/8 in. wide cleats protruding into the 5/8 in. wide channel, fabricated from 24 gauge galv steel. Fasteners applied only to the end or cut edge (not along tapered edges) of the wallboard, no greater than 2 in. from corner of wallboard, max spacing 16 in. OC. Nailed to adjacent stud through tab using one No. 6d cement coated nail per fastener. Corners of wall board shall be nailed to top and bottom plate using No. 6d cement coated nails.

5. Batts and Blankets* — (Optional, Not Shown) glass fiber or mineral wool insulation.

CERTAINTED CORP

GUARDIAN FIBERGLASS INC

JOHNS MANVILLE INTERNATIONAL INC

KNAUF FIBER GLASS GMBH

OWENS CORNING HT INC, DIV OF

OWENS CORNING — Corning Fiberglas Corp.

ROCK WOOL MANUFACTURING CO — Delta Board.

ROXUL INC

THERMAFIBER L L C — Type SAFB.

5A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 5) — Spray applied cellulose insulation material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 3.0 lb/ft³.

U S GREENFIBER L L C — Cocoon stabilized cellulose insulation.

5B. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 5) and Item 5A - Spray applied cellulose insulation material. The fiber is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed cavity. Minimum dry density of 4.3 pounds per cubic ft.

NU-WOOL CO INC — Cellulose Insulation

6. Steel Framing Members (Optional, Not Shown)* — Furring channels and Steel Framing Members as described below:

a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Wallboard attached to furring channels as described in Item 3.

b. Steel Framing Members* — used to attach furring channels (Item 7a) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center grommet. Furring channels are friction fitted into clips.

PAC INTERNATIONAL INC — Type RSIC-1.

7. Caulking and Sealants — (not shown, optional) A bead of acoustical sealant applied around the partition perimeter for sound control.

8. **STC Rating** — The STC Rating of the wall assembly is 56 when it is constructed as described by Items 1 through 6, except:

- A. Item 1, above - Nailheads Shall be covered with joint compound.
- B. Item 2, above - Joints As described, shall be covered with fiber tape and joint compound.
- C. Item 5, above - Batts and Blankets* The cavities formed by the studs shall be friction fit with R-19 unfaced fiberglass insulation batts measuring 6-1/4 in. thick and 15-1/4 in. wide.
- D. Item 6, above - Steel Framing Members* Shall be used to attach wallboard to studs on either the acoustical source or receiving side of the wall assembly.
- E. Item 7, above - Caulking and Sealants (not shown) A bead of acoustical sealant shall be applied around the partition perimeter for sound control.
- F. Steel Corner Fasteners (Item 4) and Fiber, Sprayed (Item 5A), not evaluated as alternatives for obtaining STC rating.

*Bearing the UL Classification Mark

UL Listed and Classified Products UL Recognized Components Products Certified for Canada

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The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL's Follow-Up Service. Only those products bearing the UL Mark should be considered to be Listed and covered under UL's Follow-Up Service. Always look for the Mark on the product.

Elevator Company
 North American Area
 33 Bradley Drive
 Westbrook, ME 04092
 Tel: 207-856-2737
 Fax: 207-856-6136



Otis

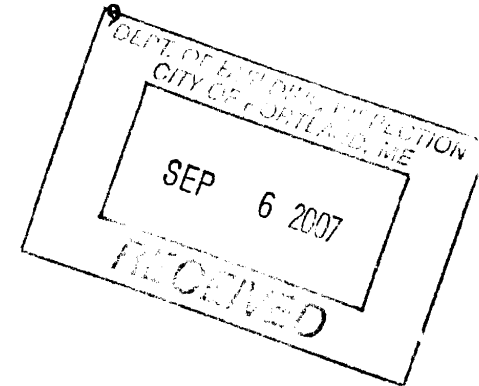
A United Technologies Company

August 28, 2007

David Masaro
HARDYPOND CONSTRUCTION
 1039 Riverside Street
 Portland, ME 04103

Fax No.: 797-8986
 Pages:

Subject: ELEVATOR QUOTATION
Project: 28 MONUMENT SQUARE
Location: Portland, ME
Proposal No.: CMD001027



We are pleased to submit our quotation for furnishing and installing the elevator equipment as described herein.

We will furnish and install **One (1) TELESCOPIC HOLELESS Hydraulic Passenger Elevator** as described herein and in accordance with our standard terms and conditions for the sum of:

SIXTY-ONE THOUSAND THREE HUNDRED TWENTY DOLLARS AND 00/100
\$61,320.00

➤ **VALUE ENGINEERING ALTERNATES & SPECIAL NOTES OFFERED BELOW** ◀

ALTERNATES: VALUE ENGINEERING OPTIONS

- AUT-O-SAFE ®:** Otis Elevator offers for consideration an "Emergency Return Unit" (ERU). The "ERU" is an electronic battery powered device that will activate when normal "house electric power" is lost. The Aut-o-Safe device will allow the elevator to be lowered to the lowest served floor and open the door allowing any passengers to exit the elevator car. The additional cost is:

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Otis Elevator Proposal No. CMD001027
August 28, 2007
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SPECIAL NOTES:

1. This price is based on the newly accepted ASME A17.1 - 2003.
2. Code now requires a sump pit and *pump* be installed in the elevator pit floor. The pump should be fully contained in the pit. The best location for the sump pit is in the center of the rear wall.
3. Our bid is based on others providing a structurally sound elevator hoistway with supports at the hoistway wall line for our rail brackets. Spacing of such support will be as per our design and as required by governing code, from pit floor to overhead area under safety beam. Support, furnished and installed by others will save possible additional costs of patching drywall after the elevator is completed. We will provide *Inserts* to the General Contractor to be installed by others within the hoistway walls.
4. The elevator will be installed from the first floor level (second stop). The material must be stored adjacent to the elevator hoistway in a safe secure place. We must have complete access to the hoistway with out interruption from the general public. Should other storage or installation arrangements be necessary our price must be reviewed and adjusted to accommodate any additional labor necessary.

You are to pay, as an addition to the price herein quoted, any tax imposed upon you by any future law and the amount of any tax imposed upon us, our suppliers or you under any statute, court decision, rule or regulation becoming effective after the date of this proposal which is based upon or incident to the transfer, use, ownership, or possession of the materials or equipment involved in the performance hereof.

This proposal is submitted with the understanding that any contract resulting therefrom will be subject to review and mutual acceptance of all terms and conditions contained therein. It is conditioned on neither party being liable to the other for any loss, damage or delay due to any cause beyond your or our reasonable control, including but not limited to acts of government, strikes, lockouts, other labor disputes, fire, explosion, theft, weather damage, flood, earthquake, riot, civil commotion, war, malicious mischief or act of God. Under no circumstances shall either party be liable for special, indirect, or consequential damages in contract, tort, including negligence, warranty or otherwise, notwithstanding any indemnity provisions to the contrary.

Notwithstanding any provision in any contract document to the contrary, our acceptance is conditioned on being allowed additional time for the performance of the work due to delays beyond our reasonable control.

The above quotation is based on all work being performed during our regular working hours and on the job site conditions outlined in the section, "Preparatory Work By Others" prevailing at the beginning and during installation of the elevator equipment. The section "Preparatory Work by Others" begins on page six (6) of this proposal.

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2. Our signing of a contract for this project will be based on both parties agreeing to mutually acceptable terms and conditions.
3. Our price does not include naming other parties as additional insured. We do not waive our, or our insurer's, rights or subrogation. We have included in our price Owner's and Contractor's Protective Liability insurance coverage.
4. We do not accept liability for consequential or liquidated damages.
5. Our quotation is based on one (1) job mobilization. Should Otis be required to demobilize and leave the job site due to delays beyond our control we will charge an extra to our contract for demobilization(s) and remobilization(s) at \$1,000.00 per move.
6. We must be provided with rollable access to the building and on-site storage, approximately 20' x 25' (per elevator) adjacent to the hoistway. If off-site storage is necessary you will be billed for double handling and transportation costs at our normal billing rates in addition to monthly storage charges. Others are responsible for security and protection of the elevator equipment once delivered.
7. Our bid is based on site access and egress for our truck deliveries and manpower.
8. Our bid is based on manufacturing lead-time of fifteen (15) weeks after approvals.
9. Our bid includes any Maine State use tax.
10. Our bid is based on receipt of 30% prior to ordering material and payment of 90.0% of the contract price before turnover of the elevator equipment. Final payment shall be due thirty (30) days after final acceptance of the elevator installation. The following is our Schedule of Values:

Percent	Item / Work Category	Value	Invoiced and Due Date
30%	Engineering and Mobilization	20,496	On Submittal of Approval Drawings
55%	Material	37,576	On Delivery to jobsite or storage
15%	Labor	10,248	As work progress requires
100%	Total Contract Amount	68,320	
90%	Contract Price Less Retention	61,488	Due before Turnover of equipment
10%	Retention	6,832	Thirty (30 Days after Final Acceptance)

11. Our bid is based on paying our standard union wage rates.
12. We will make a good faith effort to achieve any minority goals called for in the bid.

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14. The equipment described here requires a hoistway with the following dimensions:
8'-6" wide x 5'-9" front to back, a pit 4'-0" deep and a minimum 12'-8" overhead.
15. The equipment requires a machine room 7'-0" wide x 7'-6" front to back and a minimum 7'-6" overhead clearance. The door is to be 3'-6" clear opening & swing out of the room. Our price is based on the machine room being adjacent to the elevator hoistway.
16. Before commencing our work we require a completed hoistway, machine room and power with permanent characteristics.
17. Our bid is based on our LVM cab design with standard pre-engineered car and hoistway advanced operating stainless steel fixtures.
18. Our bid does not include grouting of hoistway entrance frames and sills. This work is to be performed by others.
19. Our hoistway entrances do not require steel angles that are furnished by you to support each hoistway lobby sill. Otis uses an entrance arrangement eliminating the need for this angle and the associated material and labor costs.
20. The electrical characteristics of each of elevator motor at 208 Volts 3 phase with Electronic Soft Start Control starting is:

Horse Power	20 HP
NEC Code Letter	F
Running Current	72 Amps
Starting Current	166 Amps
Machine Room Heat Release	7635 BTU/Hr
21. Our bid is based on YOU PROVIDING a permanent hoisting beam at the top of the hoistway with a 5000-pound live load lifting capacity. The hoist beam shall run parallel to the hoistway opening and a clear overhead of 12'-8" needs to be maintained to the underside of the beam with a 2" gap above the beam.
22. Our proposal includes provisions to comply with Seismic Zone 1.
23. We will provide a microprocessor-based system that continuously monitors the elevator on a 24-hour per day basis. The Otis Remote Monitoring Maintenance System (REM), utilizing state of the art diagnostics and communications, will transmit data via a telephone line (provided by others). This important data will be used to tailor the Otis Maintenance Management System preventive maintenance program during the periodic warranty visits.

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SCOPE OF WORK

FURNISH AND INSTALL	: One (1) Passenger Electric Elevator, TELESCOPIC HOLELESS HYDRAULIC
TYPE OF MACHINE	: Hydraulic, valve in tank, submerged pump and motor
OTIS MODEL	: LVM2500T
LOAD (CAPACITY)	: 2500 Pounds
CAR SPEED	: 100 Feet per Minute
OPERATION	: Simplex Collective
CONTROL	: Microprocessor
RISE	: 23'-3"
NUMBER OF STOPS	: Three (3)
NUMBER OF OPENINGS	: Three (3) at Front
MAINTENANCE	: Twelve (12) Months
POWER SUPPLY	: 208 Volts, 3 Phase, 60 Hertz
LIGHTING SUPPLY	: 120 Volts, 1 Phase, 60 Hertz
CAR ENCLOSURE	: Otis "LVM" Design as specified The car front and doors shall be a mill #4 stainless steel The cab walls shall consist of plastic laminated panels. The handrail is a 1/2" x 1 1/2" tubular stainless steel on the rear wall. The ceiling is a suspended aluminum frame ceiling with white lumaite panels and fluorescent lighting above.
CLEAR CAR INSIDE	: 6'-8" Wide x 4'-3" Deep
HEIGHT UNDER CAR TOP	: 8'-0"
HEIGHT UNDER SUSPENDED CEILING	: Approximately 7'-4"
TYPE OF DOORS FOR CAR AND HOISTWAY ENTRANCES	: Single Slide
HOISTWAY ENTRANCES AND CAR OPENING SIZE	: 3'-6" Wide x 7'-0" High
HOISTWAY ENTRANCE FINISH	: Painted Enamel

ADDITIONAL FEATURES INCLUDED

Audible Floor Passing Signal	Certificate Frame
Hoistway Door Unlocking Devices (all floors)	In-Car Direction Lantern
Hall Position Indicator at Main Floor Level	Handrail on rear and sidewalls
Handicapped Markings	LAMBDA Door Detector Device
Independent Service	Low Oil Control Feature
One Set of Protective Pads and Cab Hooks	Solid State Start Control
Special Emergency Service Phase 1 & 2	Cab Fan
ADA Compliant Telephone Instrument	

Finish Tile or Carpet Flooring is NOT included within scope and should be furnished by the owner.

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 Otis Elevator Proposal No. CMD001027
 August 28, 2007
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PREPARATORY WORK BY OTHERS

To complete this installation, the following items must be performed or furnished by trades other than Otis Elevator Company in accordance with governing codes. The price and installation schedule of Otis Elevator Company is based on these job-site conditions prevailing at the beginning and during installation of the elevator equipment. You agree to the following:

All work to be performed per the latest revision of the applicable national code: ASME A17.1 (U.S.) and applicable state and local codes.

1. TO FURNISH adequate rail-bracket supports, bracket spacing as required by governing code, from pit floor to top of hoistway. For steel or wood frame construction, adequate backing for a rail bracket to be installed not less than 10'3" (3225 mm) or more than 11'3" (3429 mm) from the top landing. Separator beams where required. Rail-bracket supports like steel or concrete shall not encroach into the clear hoistway line.

Supports to the clear hoistway line should it be necessary to support rail brackets from the web of a beam or other structures beyond the clear hoistway line.

Proper rail bracket supports (inserts) provided by elevator contractor but installed by others.

2. TO FURNISH a dry pit reinforced to sustain impact loads on cylinder head(s) and buffer(s). Hoistway, pit and machine room, dry and clean.
3. TO NOTE AND COMMUNICATE TO OWNER that the elevator pit has a floor drain/sump pump, which is or may be connected directly to a storm drain or sewer. In the event of an elevator oil leak, oil may enter the floor drain and activate the sump pump resulting in oil being drained or pumped in violation of local, state or federal law. The floor drain or sump pump should lead to a holding tank rather than a sewer or unconfined area. Otis Elevator Company recommends owner verify system is in compliance with all applicable laws.
4. TO DESIGN, FURNISH, AND INSTALL hoistway walls in accordance with the required fire rating including where penetrated by elevator-fixture boxes and rail-bracket fastenings, and are to include adequate fastening to hoistway entrance assemblies. Additional sill angle support will be necessary with the 4'0" (1220 mm) and 4'6" (1372 mm) two-speed door arrangements (4500 & 5000 lb. cars) (2041 & 2270 kg cars). One front-entrance wall, at the main landing, is not to be constructed until after all elevator material is located in the hoistway. Remaining front entrance walls are not to be constructed until after doorframes and sills are in place. If front walls are poured concrete bearing walls, rough openings are to be provided to accept entrance frames and filled in after frames are set. Rough opening size to suit Otis Elevator Company.
5. TO PROVIDE plumb vertical surfaces for entrance-sill supports, one above the other, and square with the hoistway. Finished floor and grout, if required, between doorframes to sill line. A horizontal support is to be provided 1 foot (305 mm) above the clear opening at the top landing to support the doorframe assembly.
6. TO PROVIDE any cutting, including cutouts to accommodate fixtures...

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8. TO PROVIDE suitable, dry storage for all elevator equipment in close proximity to elevator hoistway at ground level.
9. TO PROVIDE a properly framed and enclosed legal hoistway, including venting as required by the governing code or authority, ready for uninterrupted use by Otis Elevator Company at an agreed upon date.
10. TO FURNISH all electrical power for light, tools, hoists, welding, etc., during erection. At no cost to Otis.
11. TO PROVIDE guarding and protection of the hoistway during construction. The protection of the hoistway shall include solid panels surrounding each hoistway opening at each floor, a minimum of 4'0" (1219 mm) high. Hoistway guards to be erected, maintained, and removed by others.
12. REGARDING TEMPORARY USE OF ELEVATORS: Should any elevator be required for use before substantial completion, others shall provide without expense to Otis Elevator Company, if required, temporary car enclosures, requisite guards or other protection for elevator hoistway openings, mainline switch with wiring, necessary power, signaling devices, lights in car and elevator operators together with any other special labor or equipment needed to permit this temporary usage.

Otis Elevator Company shall be reimbursed for any labor and material that is not part of the permanent elevator installation and that is required to provide temporary elevator service. In addition, Otis Elevator Company's temporary acceptance form shall be executed before any elevator is placed in temporary service, and the cost of power and operation, maintenance of the equipment and rehabilitation of equipment shall be paid for by others.

When an elevator is used for temporary service, the completion date may, as a result of the temporary service, be extended by Otis Elevator Company. Otis Elevator Company shall provide notice of the extension at the time the elevator is made available for the temporary service.

13. TO PROVIDE a fixed vertical iron ladder to pit as required by governing code.
14. TO PROVIDE AND INSTALL a hoisting beam capable of withstanding a maximum net live load of 5000 LB (2268 kg). Otis requires 2" clear above the beam. Must be removed before car is placed in operation if it infringes on required clearance.
15. TO FURNISH a suitable machine room with legal access and ventilation. The machine room is to be maintained at a temperature between 60°F (15.5°C) and 100°F (37.8°C) to be measured 6 feet (1830 mm) above the floor and 1 foot (305 mm) out from any part of the car controllers, drives, and motors. Areas near the heat exhausts of the controllers, drives, and motors may be exempt from this requirement. Relative humidity is not to exceed 95% non-condensing.
16. TO PROVIDE elevator-lobby smoke detectors, located as required, with wiring from the sensing devices to a controller designated by Otis. For each group of elevators, a normally closed contact from the smoke detector at the designated return landing. Also a normally closed contact representing all other smoke detectors at lobbies, machine rooms, and hoistway smoke detectors. If a smoke detector is located in the hoistway at or below the lower of the two designated return landings, it shall be wired to activate the same normally closed contact as the smoke detector located in the lobby at the lower of the two designated return landings.

If sprinklers are installed in the hoistway, machine room, or machinery spaces, a means to automatically disconnect the main line power supply of the effected elevator prior to the application of water. Smoke detectors shall not be used to activate sprinklers in hoistways, machine rooms or machinery spaces or to disconnect the main line power supply.

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17. TO PROVIDE all 125 volt, 15 or 20 ampere single-phase receptacles installed in pits, machinery spaces and elevator-car tops. Single-phase receptacle shall be of ground-fault circuit-interrupter type. All 125-volt, 15 or 20- ampere single-phase receptacles installed in machine rooms shall have ground-fault circuit-interrupter protection [620-85]. A separate single-phase receptacle supplying a permanently installed pit sump pump shall not require GFCI protection.
18. TO PROVIDE a three (3) phase, electrical-feeder system with a separate equipment-grounding conductor terminating in the machine room. Size of the feeders and grounding conductor to suit elevator power characteristics. A fused disconnect switch or circuit breaker for each elevator per the National Electrical Code (ANSI/NFPA 70) with feeder or branch wiring to controller [620-51]. Where practical, the disconnect means shall be located adjacent to the door of the machine room enclosure. A separate 120 volt AC, 15 ampere single phase branch circuit and SPST fused disconnect switch or circuit breaker, arranged to be locked in the open position, to supply the car lights, receptacles, auxiliary lighting power source and ventilation on each car in compliance with the National Electrical Code. Branch circuit wiring to each controller [620-53]. Suitable light and convenience outlets in machine room with light switches located within 18" (456 mm) of lock jamb side of machine room door and a convenience outlet and light fixture in pit with switch located adjacent to the access door [620-23]. Electric power for light, tools, hoist, etc.; during installation as well as electric current for starting, testing and adjusting the elevator. **Note: Three (3) phase power must be available prior to beginning installation.**
- 18A. [Refers to Roped hydraulic systems only] TO PROVIDE single-phase 220V (+ or - 2%) power for light, tools, hoist, etc.; to the hoistway during installation. Source must be within 75' (feet) (22.86 M) of the hoistway.
19. TO PROVIDE a telephone instrument or means within the car for communicating or signaling to an accessible location outside the hoistway or central exchange system or approved emergency service, unless stated elsewhere in the specifications. System to be designed to ADAAG requirements.
20. TO PROVIDE the stand-by power unit and means for starting it, and deliver to the elevator via disconnect switches in the machine room, sufficient power to operate one or more elevators at a time at full rated speed.
- A Power Transfer Switch for each power feeder to monitor both Normal and Stand by Power conditions and to perform the transfer from one to the other. Switch to have two sets of normally closed dry contacts, one to be open when the switch is in the Stand by Power position, the other to open upon initiation of power transfer and to close when transfer is complete. Switch to have an inhibit function which will delay transfer to Normal and/or Stand by Power by an adjustable period of 0 - 300 seconds. Switch to have a Phase Monitor feature, which will prohibit the transfer of power between "live" sources unless the sources are in phase with each other.
21. [Optional: For elevators having a battery-powered Emergency Return Unit (ERU).]
 TO PROVIDE the disconnecting means required by the National Electrical Code with an auxiliary contact and wiring to the controller. The auxiliary contact is to be positively open when the main disconnecting means is open. The auxiliary contact shall cause the ERU power source to be disconnected from its load when the disconnecting means is in the open position. Size of main contacts to suit elevator power characteristics. Heat sensors, when used to automatically disconnect the mainline power supply prior to the application of water from sprinklers shall have a normally closed contact with wiring from the controller to the ERU power source.

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22. The mainline power supply prior to the application of water from sprinklers shall be provided with a normally closed contact with wiring from the sensing device to a controller designated by Otis. The normally closed contact shall be closed when the heat sensor is not activated and shall be open when the heat sensor is activated.
23. TO INDEMNIFY and save us (Otis Elevator Company) harmless against all liability growing out of your failure to carry out any of the foregoing.
24. TO PROVIDE a means of trash disposal either a dumpster or location on the construction site that our packaging debris may be disposed of at no additional cost to Otis Elevator Company.

This quotation is valid for thirty (30) days. Thank you for the opportunity to submit a quotation on this project, and we look forward to working with you. If you have any questions please call me directly at 207-856-2737 x 16.

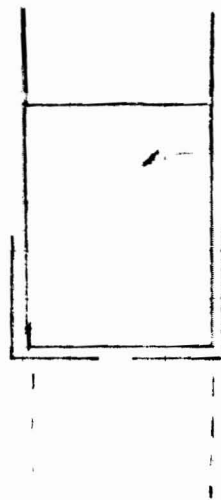
Sincerely

OTIS ELEVATOR COMPANY



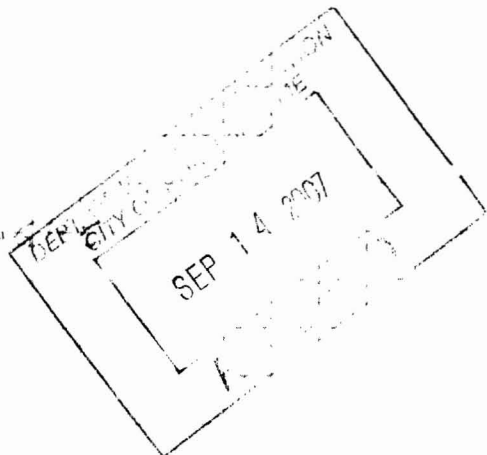
Carl M. Dick
Senior Account Executive

27F2

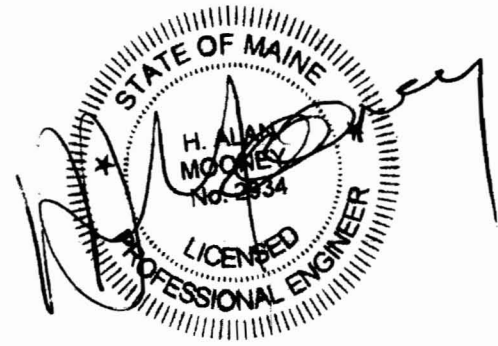


2- 2x4x10

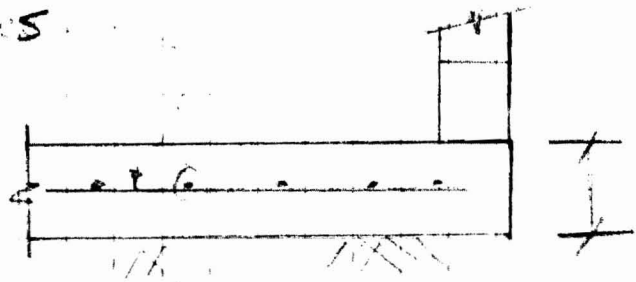
2- 4x4x3/8



LINE A
ELEVATION
SIDE



#4 ORCS
E.W.
C.C.



4" MINIMUM

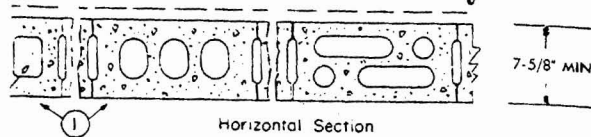
SUB AT
ELEVATOR FT

Supplement
TO
SHEET ST-4A

FIRE RESISTANCE RATINGS (BXUV)—Continued

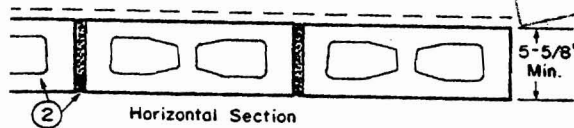
more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
 (Alternate to Mortar—Item 2)—not more than 130 lbs of sand and 5 gal of water per bag of mortar mixture.
Laboratories, Inc.
Stucco or Gypsum Plaster—Add 1/2 hr to Classification if used.
 —If all core spaces are filled with loose dry expanded slag, expanded clay (rotary kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 1 hr to Classification.
 UL Classification Marking

Design No. U905
Assembly Rating—2 Hr.
 Bearing or Nonbearing Wall



Various designs. Classification D-2 (2 hr).
Concrete Blocks category for list of eligible manufacturers.
 —If all core spaces are filled with loose dry expanded slag, expanded clay (rotary kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 1 hr to classification.
 (Alternate to Mortar—Item 2)—not more than 130 lbs of sand and 5 gal of water per bag of mortar mixture.
Laboratories, Inc.
Stucco or Gypsum Plaster—Add 1/2 hr to classification if used. Where blocks are framed in wall, plaster or stucco must be applied on the face opposite a max. Classification of 1-1/2 hr.
 —If all core spaces are filled with loose dry expanded slag, expanded clay (rotary kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
 UL Classification Marking

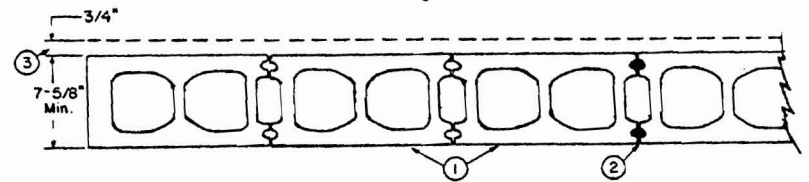
Design No. U906
Assembly Rating—2 Hr.
 Bearing or Nonbearing Wall



nominal 6 by 8 by 16 in.
Concrete Products, Inc.
Materials Co.
Lone Star Industries, Inc.

FIRE RESISTANCE RATINGS (BXUV)—Continued

Design No. U907
Assembly Rating—3 and 4 Hr. (See Item 1)
 Nonbearing Wall



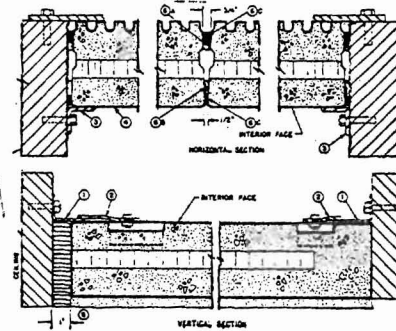
Unit Height—12"

Rating Hr	Certificate	Web Thickness	Face Shell Thickness	Number Cores
3	C-3	1-1/8 in.	1-1/4 in.	2
4	B-4	1 in.	1-1/2 in.	2

- Lone Star Industries, Inc.**
- Mortar**—Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to one part Portland cement (proportioned by volume) and 15 percent hydrated lime (by cement volume). Vertical joints staggered.
 - Mortar Mixture**—(Alternate to Mortar—Item 2)—not more than 130 lbs of sand and 5 gal of water to 76 lbs (one bag) of mortar mixture.
Cemtech Laboratories, Inc.
 - Portland Cement Stucco or Gypsum Plaster**—Add 1/2 hr to classification if used.
 - Loose Masonry Fill**—(Not shown)—If all core spaces are filled with loose dry expanded slag, expanded clay or shale (rotary kiln process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation, Class C-3 (3 hr) concrete blocks will provide a 4 hr fire resistance rating.
- *Bearing the UL Classification Marking

Design No. U909
Assembly Rating—3 Hr. and 4 Hr. (See Item 6)

Nonbearing Wall
 (Exposed to Fire on Interior and Exterior Faces or Exposed to Fire on Interior Face only—See Item 6).



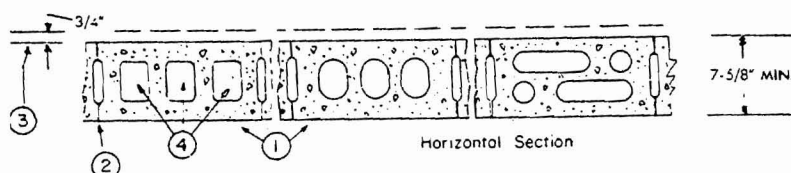
- Support Angles**—3 by 3 by 1/4 in. thick steel angles attached to the floor and ceiling with masonry fasteners spaced 24 in. O.C.
- Attachment Clips**—3/8 in. thick steel "S" shaped clips slipped over the support angles and secured to the precast concrete units with 3/4 by 1-1/4 in. long machine bolts and nuts. The bolts inserted through the attachment plates into inserts provided in the precast concrete units. Each concrete unit contains two inserts at the ceiling level.

FIRE RESISTANCE RATINGS (BXUV)—Continued

- ume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
- 2A. **Mortar Mixture***—(Alternate to Mortar—Item 2)—not more than 130 lbs of sand and 5 gal of water to 76 lbs (one bag) of mortar mixture.
Cemtech Laboratories, Inc.
3. **Portland Cement Stucco or Gypsum Plaster**—Add 1/2 hr to Classification if used.
4. **Loose Masonry Fill**—If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 1 hr to Classification.
- *Bearing the UL Classification Marking

Design No. **U905**
 Assembly Rating—2 Hr.

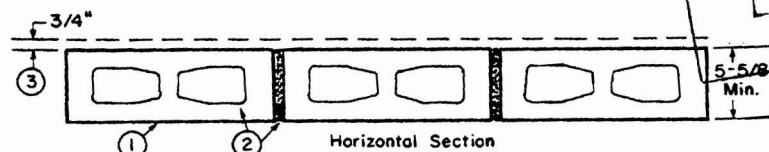
Bearing or Nonbearing Wall



- Concrete Blocks***—Various designs. Classification D-2 (2 hr).
See **Concrete Blocks** category for list of eligible manufacturers.
 - Mortar**—Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
 - 2A. **Mortar Mixture***—(Alternate to Mortar—Item 2)—not more than 130 lbs of sand and 5 gal of water to 76 lbs (one bag) of mortar mixture.
Cemtech Laboratories, Inc.
 3. **Portland Cement Stucco or Gypsum Plaster**—Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr.
 4. **Loose Masonry Fill**—If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
- *Bearing the UL Classification Marking

Design No. **U906**
 Assembly Rating—2 Hr.

Bearing or Nonbearing Wall

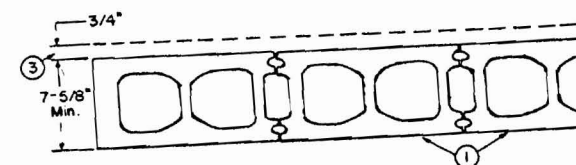


- Concrete Blocks***—Nominal 6 by 8 by 16 in. Classification D-2 (2 hr).
Anchor Concrete Products, Inc.
Empire Materials Co.
Florida Rock Industries, Inc.
- Mortar**—Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.

27F2

FIRE RESISTANCE RATINGS (BXUV)—C

Design No. **U907**
 Assembly Rating—3 and 4 Hr. (See Item 1)
 Nonbearing Wall



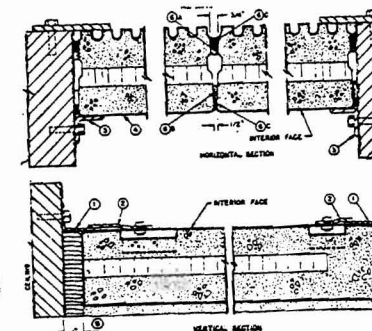
Unit Height—12"

- | Rating Hr | Certificate | Web Thickness | Face Thickness |
|-----------|-------------|---------------|----------------|
| 3 | C-3 | 1-1/8 in. | |
| 4 | B-4 | 1 in. | |
- Lone Star Industries, Inc.
- Mortar**—Blocks laid in full bed of mortar, nom. 3/8 in. thick, of more than 3-1/2 parts of clean sharp sand to one part Portland cement (proportioned by volume) and 15 percent hydrated lime (by cement volume). Vertical joints staggered.
 - 2A. **Mortar Mixture***—(Alternate to Mortar—Item 2)—not more than 130 lbs of sand and 5 gal of water to 76 lbs (one bag) of mortar mixture.
Cemtech Laboratories, Inc.
 3. **Portland Cement Stucco or Gypsum Plaster**—Add 1/2 hr to classification if used.
 4. **Loose Masonry Fill**—(Not shown)—If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation, Class C-3 (3 hr) core fire resistance rating.
- *Bearing the UL Classification Marking

Design No. **U909**
 Assembly Rating—3 Hr. and 4 Hr. (See Item 1)

Nonbearing Wall

(Exposed to Fire on Interior and Exterior Faces or Exposed to Fire on Interior Face Only)



- Support Angles**—3 by 3 by 1/4 in. thick steel angles attached to masonry fasteners spaced 24 in. O.C.
- Attachment Clips**—3/8 in. thick steel "S" shaped clips slipped over the precast concrete units with 3/4 by 1-1/4 in. long bolts inserted through the attachment plates into inserts in the precast units. Each concrete unit contains two inserts at the ceiling level.
- Flashing Angles**—3 by 3 by 1/4 in. thick steel angles attached to masonry fasteners spaced 24 in. O.C.
- Precast Concrete Units***—Nom 8 in. thick by 4 ft wide units with nominal weight aggregate.

DEPT. OF BUILDINGS
 CITY OF PHOENIX
 SEP 10 2007

5/1/09 - Spoke with Alan Mooney today -
work has been slow but steady on the 2nd
Floor - Elevator is being relocated to Front
of Building -

He will be submitting an Amendment for
Changes - and extending to the 3rd & 4th Floors.

JMB

6/23/09 - See Submittal for Temporary Front
Entrance while Elevator construction is ongoing.
This was approved in a meeting with Keith G +
myself on 6/19/09 JMB

9-17-09 Final inspection for CO (Note: conditional CO) 30 Days.

1. Emergency lights in bathrooms
2. Elevator (shaft) completed
3. Lower light in electrical room
4. Outside area of 2nd floor with mineral wool needs to be covered and secured.

(C: 831-4311
Alan Mooney)

9-28-09 Completed correction list: (Note - question on inspection for elevator pit: see
JMB) ~~see~~ Did not have access to elevator construction area,
need another inspector to CO, and letter from Engineer. JMB

10/2/09 met w/ Alan M. & contractor requested letter from Eng. Aaron
Jones in addition to Criterion Mooney, who is building owner. also need to
submit all new or revised structural plans or repairs. Can issue temp CO
for 2nd Floor Seating only. JMB

12/10/09 Inspected w/ Ben & Mike M - Elevator shaft not complete, FA in trouble
mode, Fire door at boiler/electric rm not working.

12/11/09 meeting w/ Penny - Alan M. to review list of corrections
12/14/09 Inspected w/ Ben W. OK to issue temp CO for retail

12/17/09 met Alan M. w/ Ben W. discussed requirements for vertical & horizontal draftstop blocking betw/ basement Ceiling/Floor & New Framing abutting masonry shaft. Needed ^{blocking} also to prevent smoke spread through concealed spaces in floor. Approved caulk will be used to seal joints @ shaft w/ min. wool. Alan will submit plan for new location of Elu. mach Rm & 2 storage rms adjacent for the Res units. Also needs to address Elu. pit sump & hose to drain, oil separator & sealing of all penetrations into masonry. JMB

1/8/10 met w/ Alan M, Jeff V. & J&J (HVAC) w/ Keith G. for pre-lim final - went over list of corrections & proposal for relocation of hood duct on rear wall. Also received info from Bill M. for item #10 walk-in cooler. List is coming along - noted with date if corrected. Final scheduled 1/11 Monday. JMB

1/12/10 inspected w/ Ben W & Alan - Items 7 & 11 remaining - also need copies of Elev. Cert. As built of reconfigured Elev. machine room & front stair door. Also waiver from State on Elev. carriage size. Also need letter from structural Eng for remaining elevator work. JMB

1/21/10 ^{1/19} received letter from structural Eng with all items resolved. Alan submitted the Elevator carriage size waiver from the State. Plans as requested for As built revisions. Area of F/C assembly above bathrooms is breached at bottom covering - very full of electric & mech equipment - Emailed Alan M. for plan of correction to maintain the separation. JMB

1/22 received Elevator Cert JMB

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 3/28/2008 And 2/5/2010

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone		
Date 05/20/2008								
11:00 AM	Suzanne Hunt	Plumbing Only	Plumb 27 Monument Sq		027 F002005			
Comments: 329-6583 Kurt./ 2nd floor/					AppID: 20088133	Status:	Score: 0	
Outcome: water test and vent/waste test good. Smh								
Date 08/29/2008								
3:00 PM	Jon Rioux	Plumbing Only	Plumb 27 Monument Sq		027 F002005			
Comments: PLUMBING ONLY DOWN STAIRS KITCHEN - 807-0455 Glen					AppID: 20088233	Status:	Score:	
Outcome:								
Date 12/10/2008								
9:00 AM	Michael Collins	Close-in/Elec./Plmb./Framing	Prmt 27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066		
Comments: 2nd floor. See Jeff 831-7146.					AppID: 71017	Status:	Score:	
Outcome:								
2:00 PM	Michael Collins	Close-in/Elec./Plmb./Framing	ElcPeC 27 Monument Sq	ENERGIZE ME INC	027 F002005	(207) 642-44		
Comments: 2nd floor close-in.					AppID: 20084041	Status:	Score:	
Outcome:								
Date 08/05/2009								
1:00 PM	Michael Collins	Certificate of Occupancy/Final	Prmt 27 Monument Sq		027 F002005			
Comments: CO for 2nd floor seating at the public market....any retail space should be on separate fit up permits. Contacts are Jeff Verrill 831-7146 (cell) Alan Mooney 828-1969 (office), 831-4311 (cell)					AppID: 71017	Status:	Score:	
Outcome:								
Date 09/03/2009								
12:30 PM	Michael Collins	Certificate of Occupancy/Final	Prmt 27 Monument Sq	Verrill Construction	027 F002005	(207) 829-6005		
Comments: Final 1-800-242-1969 second floor ALAN					AppID: 90416	Status:	Score: 0	
Outcome:								
Date 09/17/2009								

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 3/28/2008 And 2/5/2010

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone			
9:30 AM	Mike Menario	Certificate of Occupancy/Final Prmt	27 Monument Sq	Verrill Construction	027 F002005	(207) 829-6005			
Comments:					AppID: 90416	Status:	Score: 0		
Outcome: 9-17-09 See list : 1. E- lights in bathrooms 2. Relocate light above drop ceiling 3. Secure around elevator shaft 4. Cover mineral wool around outside perimeter 2nd floor									
Date 09/28/2009									
6:00 AM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 Monument Sq		027 F002005				
Comments: PER MM					AppID: 71017	Status:	Score: 0		
Outcome: Completed correction list for 2nd floor, did not have access to elevator construction area and associated structural supports. Need another inspection prior to CO and letter from engineer.									
6:00 AM	Mike Menario	Certificate of Occupancy/Final Prmt	27 Monument Sq		027 F002005				
Comments: PER MM					AppID: 71017	Status:	Score: 0		
Outcome: Completed correction list for 2nd floor, did not have access to elevator construction area and associated structural supports. Need another inspection prior to CO and letter from engineer.									
3:00 PM	Mike Menario	Certificate of Occupancy/Final Prmt	27 Monument Sq	Verrill Construction	027 F002005	(207) 829-6005			
Comments:					AppID: 90416	Status:	Score: 0		
Outcome: 9-28-09 OK- CO : completed list of corrections (NOTE : question on inspection for elevator pit , see JMB)									
Date 10/01/2009									
6:00 AM	Suzanne Hunt	Food Service Inspection Food	27 MONUMENT SQ	DANDELION CATERING	027 F002005				
Comments: Kristen Hayes @ 272-4495. (new business) /gg Dandelion Catering					AppID:	Status: Passed	Score: 100		
Outcome: issue license									
Date 10/02/2009									
11:30 AM	Jeanie Bourke	Framing Only Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066	(207) 797-6066		
Comments: Inspect elevator shaft construction and associated structural modifications to existing building, contact is Alan @ 831-4311					AppID: 71017	Status:	Score: 0		
Outcome: Met with Alan M. And contractor, requested engineer letter from engineer Aaron Jones in addition to Criterion Mooney, who is the owner and any new or revised structural plans or repairs. Can issue temporary CO for 2nd seating only.									
Date 12/10/2009									

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 3/28/2008 And 2/5/2010

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone		
10:30 AM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066		
Comments:	Met Mike M. For final while he was doing inspections for the new FSE bz's					AppID: 71017	Status:	Score: 0
Outcome:	Went into basement to insepct area of shaft construction, appears not much has changed since Oct. Went up rear stairwell, there is a sign on the egress door at the 1st floor level for employees only. Met Mike on the 2nd floor, the elevator shaft has been enclosed with sheetrock walls, no inspection of this prior to. The electrical room ceiling is opened up and there is no continuity of the fire separation in the ceiling above to the residential unit. David V. Met and we discussed issues, scheduled a meeting on site with Alan M. At 2pm.							
2:00 PM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066		
Comments:	Meeting with owner to review building including Keith Gautreau					AppID: 71017	Status:	Score: 0
Outcome:	Went directly to the basement to inspect at elevator shaft, masonry openings above the elevator door, appears not much work has taken place since October to close in the floor around the shaft. Penetrations into masonry include sprinkler pipe and sump hose. Noticed exterior AC being used for new walk in cooler, no condensate drain or ventilation. Door to boiler/electric room is not opening (hits the floor) and the self closer is broken, also needs a sprinkler head and the fire alarm panel is in "trouble" mode.. Lots of penetrations need to be sealed in the basement ceiling and into the rated stairwells. Went to 2nd floor, met Alan M. And David V. Brought these items to light, Alan disputed that the temp CO was still in effect, countered it was not for retail. Alan excused himself from the conversaton, did not want to continue. Came back to the office and met with Penny to discuss a plan, created a list of corrections and scheduled a meeting with Alan M. In our office 9am 12/11..../jmb							
2:00 PM	Mike Menario	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066		
Comments:	Meeting with owner to review building including Keith Gautreau					AppID: 71017	Status:	Score: 0
Outcome:	Went directly to the basement to inspect at elevator shaft, masonry openings above the elevator door, appears not much work has taken place since October to close in the floor around the shaft. Penetrations into masonry include sprinkler pipe and sump hose. Noticed exterior AC being used for new walk in cooler, no condensate drain or ventilation. Door to boiler/electric room is not opening (hits the floor) and the self closer is broken, also needs a sprinkler head and the fire alarm panel is in "trouble" mode.. Lots of penetrations need to be sealed in the basement ceiling and into the rated stairwells. Went to 2nd floor, met Alan M. And David V. Brought these items to light, Alan disputed that the temp CO was still in effect, countered it was not for retail. Alan excused himself from the conversaton, did not want to continue. Came back to the office and met with Penny to discuss a plan, created a list of corrections and scheduled a meeting with Alan M. In our office 9am 12/11..../jmb							
2:00 PM	Ben Wallace Jr	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066		
Comments:	Meeting with owner to review building including Keith Gautreau					AppID: 71017	Status:	Score: 0
Outcome:	Went directly to the basement to inspect at elevator shaft, masonry openings above the elevator door, appears not much work has taken place since October to close in the floor around the shaft. Penetrations into masonry include sprinkler pipe and sump hose. Noticed exterior AC being used for new walk in cooler, no condensate drain or ventilation. Door to boiler/electric room is not opening (hits the floor) and the self closer is broken, also needs a sprinkler head and the fire alarm panel is in "trouble" mode.. Lots of penetrations need to be sealed in the basement ceiling and into the rated stairwells. Went to 2nd floor, met Alan M. And David V. Brought these items to light, Alan disputed that the temp CO was still in effect, countered it was not for retail. Alan excused himself from the conversaton, did not want to continue. Came back to the office and met with Penny to discuss a plan, created a list of corrections and scheduled a meeting with Alan M. In our office 9am 12/11..../jmb							
Date 12/11/2009								
9:00 AM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066		
Comments:	Meeting with owner Alen Mooney					AppID: 71017	Status:	Score: 0
Outcome:	12-11-09 Review list of corrections Primary and Secondary and a time fram.							

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 3/28/2008 And 2/5/2010

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone			
9:00 AM	Mike Menario	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066			
Comments: Meeting with owner Alen Mooney					AppID: 71017	Status:	Score: 0		
Outcome: 12-11-09 Review list of corrections Primary and Secondary and a time fram.									
9:00 AM	Ben Wallace Jr	Certificate of Occupancy/Final Prmt	27 Monument Sq	HardyPond Construction	027 F002005	(207) 797-6066			
Comments: Meeting with owner Alen Mooney					AppID: 71017	Status:	Score: 0		
Outcome: 12-11-09 Review list of corrections Primary and Secondary and a time fram.									
Date 12/14/2009									
10:00 AM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 MONUMENT SQ		027 F002005				
Comments: Inspect for 3 primary corrections from the list created for the meeting on 12/11 with Alan M. And Penny for temp CO's for the retail spaces on the 2nd floor					AppID: 71017	Status:	Score: 0		
Outcome: Prior to the inspection, revised the list of corrections and emailed to Alan M. Etc. Met Alan and contractors in basement, masonry was complete above the door, boiler room door fixed and FA corrected. Discussed all the penetrations in the basement ceiling to be sealed and stairwells. Also since the 1st and 2nd floors are not rated the requirement is for smoke and gas seal on penetrations. It was agreed that while construction is still underway that the enclosures around the shaft constructions on both floor was sufficient. Discussed with Alan the projected timeline for completion of the shaft list of corrections. He has scheduled the State elevator inspection for 1/12/10, he aged a permanent CO would be reasonable on 1/15/10. Notified Alan and the retail tenants that a temporary CO would be issued until 1/15/10 and attached list of corrections. Will mail CO's..../jmb									
10:00 AM	Ben Wallace Jr	Certificate of Occupancy/Final Prmt	27 MONUMENT SQ		027 F002005				
Comments: Inspect for 3 primary corrections from the list created for the meeting on 12/11 with Alan M. And Penny for temp CO's for the retail spaces on the 2nd floor					AppID: 71017	Status:	Score: 0		
Outcome: Prior to the inspection, revised the list of corrections and emailed to Alan M. Etc. Met Alan and contractors in basement, masonry was complete above the door, boiler room door fixed and FA corrected. Discussed all the penetrations in the basement ceiling to be sealed and stairwells. Also since the 1st and 2nd floors are not rated the requirement is for smoke and gas seal on penetrations. It was agreed that while construction is still underway that the enclosures around the shaft constructions on both floor was sufficient. Discussed with Alan the projected timeline for completion of the shaft list of corrections. He has scheduled the State elevator inspection for 1/12/10, he aged a permanent CO would be reasonable on 1/15/10. Notified Alan and the retail tenants that a temporary CO would be issued until 1/15/10 and attached list of corrections. Will mail CO's..../jmb									
Date 12/28/2009									
10:30 AM	Mike Menario	Inspection Prmt	27 MONUMENT SQ		027 F002005				
Comments: Meet with Alan Mooney to discuss the design plans for the Shaft enclosure/horizontal and vertical smoke and draft stop at the basement ceiling					AppID: 71017	Status:	Score: 0		
Outcome: 12-28-09 Installed steel bracing , lagged to concrete wall for floor support on 1st floor . Fire proofing and fire alarm wires are to be secured and protected from damage.									

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 3/28/2008 And 2/5/2010

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone	Status:	Score:
10:30 AM	Ben Wallace Jr	Inspection	Prmt 27 MONUMENT SQ		027 F002005			
Comments: Meet with Alan Mooney to discuss the design plans for the Shaft enclosure/horrrizontal and vertical smoke and draft stop at the basement ceiling					AppID: 71017			Score: 0
Outcome: 12-28-09 Installed steel bracing , lagged to concrete wall for floor support on 1st floor . Fire proofing and fire alarm wires are to be secured and protected from damage.								
Date 01/08/2010								
10:00 AM	Jeanie Bourke	Pre-Final Inspection	Prmt 27 MONUMENT SQ		027 F002005			
Comments: Temp to permanent CO prelim inspection with Alan M.					AppID: 71017			Score:
Outcome:								
10:00 AM	Keith Gautreau	Pre-Final Inspection	Prmt 27 MONUMENT SQ		027 F002005			
Comments: Temp to permanent CO prelim inspection with Alan M.					AppID: 71017			Score:
Outcome:								
Date 01/12/2010								
9:30 AM	Jeanie Bourke	Certificate of Occupancy/Final	Prmt 27 MONUMENT SQ		027 F002005			
Comments: Final for temp to permanent CO with Alan M.					AppID: 71017			Score: 0
Outcome: All items completed except #7 & 11, still needs electrical inspection. Also need copies of the elevator certificate, the waiver from the state for carrier size, as built plans for the elevator machine room reconfiguration and front stairwell door change. Also need letter from structural engineer verifying inspections of completion of elevator shaft construction.								
9:30 AM	Ben Wallace Jr	Certificate of Occupancy/Final	Prmt 27 MONUMENT SQ		027 F002005			
Comments: Final for temp to permanent CO with Alan M.					AppID: 71017			Score: 0
Outcome: All items completed except #7 & 11, still needs electrical inspection. Also need copies of the elevator certificate, the waiver from the state for carrier size, as built plans for the elevator machine room reconfiguration and front stairwell door change. Also need letter from structural engineer verifying inspections of completion of elevator shaft construction.								
Date 01/19/2010								
2:30 PM	Jeanie Bourke	Certificate of Occupancy/Final	Prmt 27 MONUMENT SQ		027 F002005			
Comments: Final inspection for electrical and remaining correction items #7 & !!					AppID: 71017			Score: 0
Outcome: 1-19-10 OK- electrical in elevator mechanical room (fire cocked and rated), MEM. Received documents from Alan on the state waiver to the stretcher size requirement, plans for the elevator room and 1st floor stair door relocation, and the quote from Seacoast Security for the fire alarm modifications. Jeff V. Will email specs for proposed foam firestop used at the bathroom ceiling assembly.../jmb								

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 3/28/2008 And 2/5/2010

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone	
2:30 PM	Mike Menario	Certificate of Occupancy/Final Prmt	27 MONUMENT SQ		027 F002005		
Comments: Final inspection for electrical and remaining correction items #7 & !!					AppID: 71017	Status:	Score: 0
Outcome: 1-19-10 OK- electrical in elevator mechanical room (fire cocked and rated), MEM. Received documents from Alan on the state waiver to the stretcher size requirement, plans for the elevator room and 1st floor stair door relocation, and the quote from Seacoast Security for the fire alarm modifications. Jeff V. Will email specs for proposed foam firestop used at the bathroom ceiling assembly.../jmb							
Date 02/02/2010							
11:00 AM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 MONUMENT SQ		027 F002005		
Comments: For permanent CO inspect boxed in area above bathrooms on 2nd floor which provide 1 hour F/C continuity and firestopping. Contact is Alan @ 831-4311					AppID: 90416	Status:	Score: 0
Outcome: Met Alan and Jeff on site to inspect ceiling above bathrooms for 1 hour rating and firestop. Alan had emailed in the morning that this was more difficult to acheive and it is not completed but still requested a partial inspection. Had one layer of SR pieced in at ceiling, could not box in with all the mechanicals. Looks acceptable for the 1st layer of sheetrock, need to add another layer and fire caulk. Small 10"x12" area at the left coner of the rear bathroom open with steel conduit, gas lines, Jeff will order some putty packs to seal around these. Reinspect on Friday							
Date 02/05/2010							
11:00 AM	Jeanie Bourke	Certificate of Occupancy/Final Prmt	27 MONUMENT SQ		027 F002005		
Comments: For permanent CO inspect boxed in area above bathrooms on 2nd floor which provide 1 hour F/C continuity and firestopping. Contact is Alan @ 831-4311					AppID: 90416	Status:	Score: 0
Outcome: Met Alan and Jeff V. On site, area of penetrations above 2nd floor bathroom dropped ceiling appears to be sealed for firestopping. This fufills the final item of correction from the list for the permanent CO.							

Appointments Reported: 31



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 27 Monument Sq CBL 027 F002005

Issued to 28 Monument Square Llc /HardyPond Construction Date of Issue 02/05/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 07-1017, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Public Market - 2nd floor

APPROVED OCCUPANCY

Public Seating with Retail
Use Group : M/A-2
Type : 3B
IBC - 2003
NFPA- CLASS B MERCANTILE

Limiting Conditions:

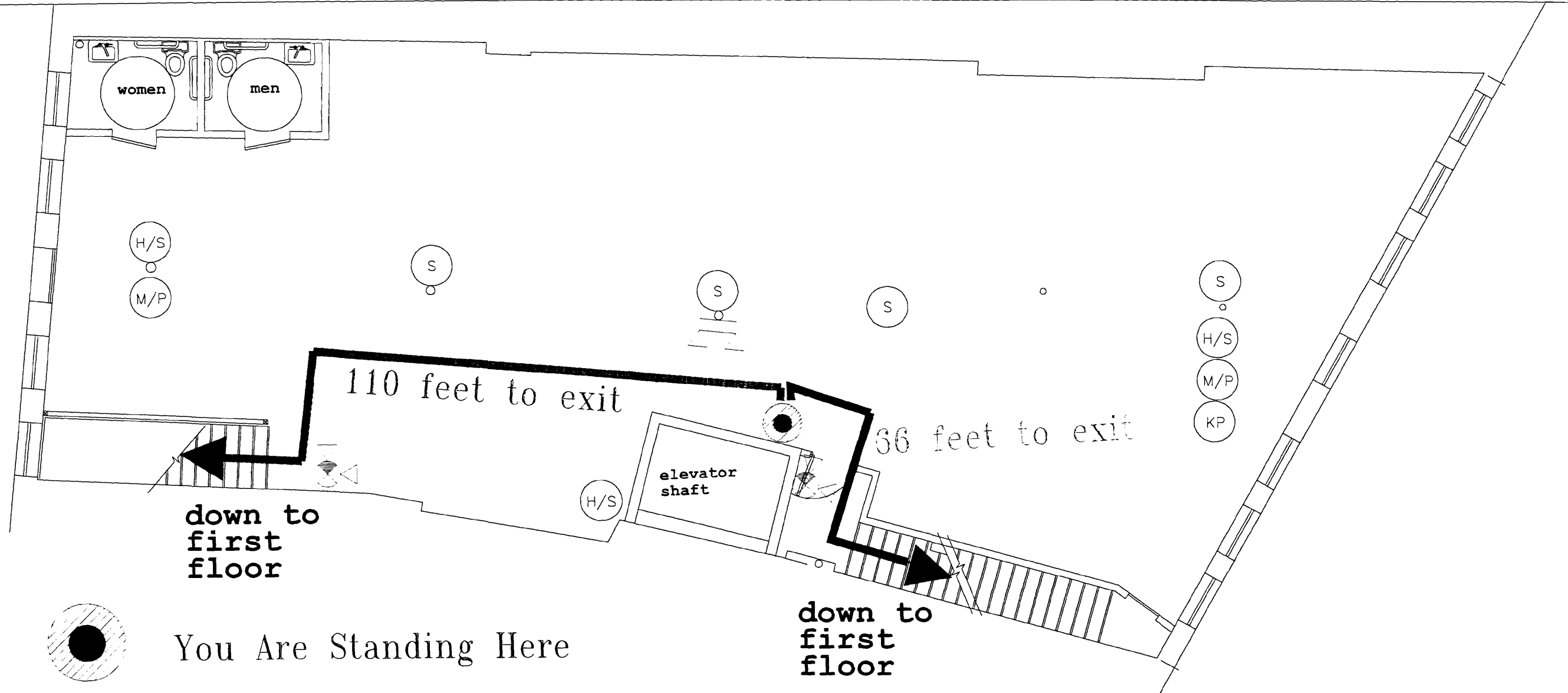
This certificate supersedes
certificate issued 12/14/09

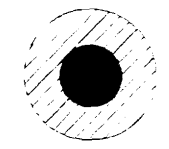




Approved:









2/5/10 *Jeanne Benke*
(Date) Inspector

Randy Witt
Inspector of Buildings


Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



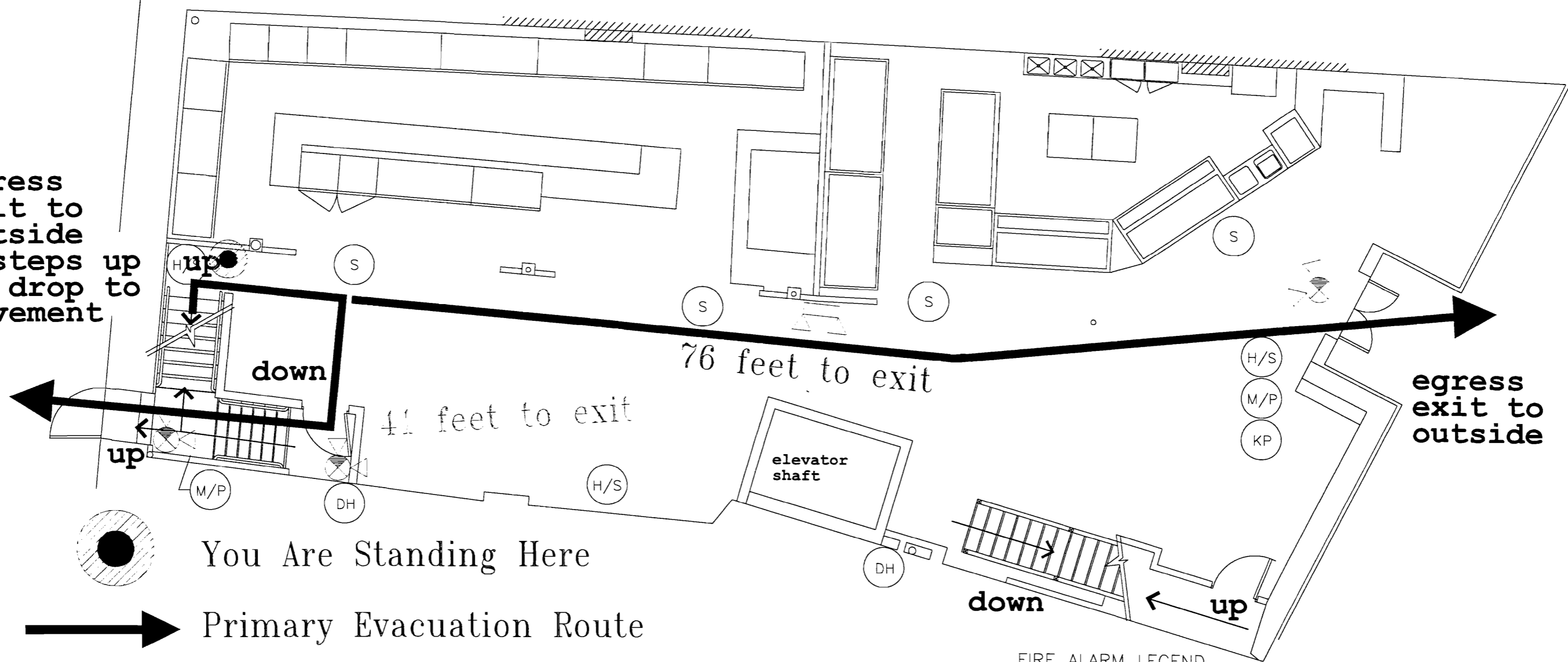
-  You Are Standing Here
-  Primary Evacuation Route
-  Secondary Evacuation Route
-  Exits
-  Emergency Lights

- FIRE ALARM LEGEND
-  SMOKE DETECTOR
 -  HORN/STROBE
 -  FIRE ALARM
 -  MANUAL PULL
 -  DOOR HOLDER
 -  HEAT DETECTOR
 -  HOOD SUPPRESSION SYSTEM
 -  KEY PAD

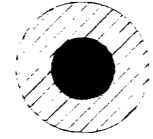



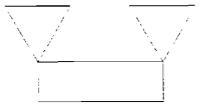
SECOND FLOOR PLAN

	CURRENT ISSUE STATUS: ISSUED FOR REVIEW 8/04/06	Emerson Clapp Building 28 Monument Square Portland, Maine Phase I Renovation	 22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE: FIRST FLOOR PLAN FIRE EXITS	SCALE: AS NOTED PROJECT MANAGER: HAM ENGINEER OF RECORD: HAM PROJECT No. -	DATE: 08-04-06 SHEET No. EG-3.1
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egress exit to outside
2 steps up
1" drop to pavement



egress exit to outside

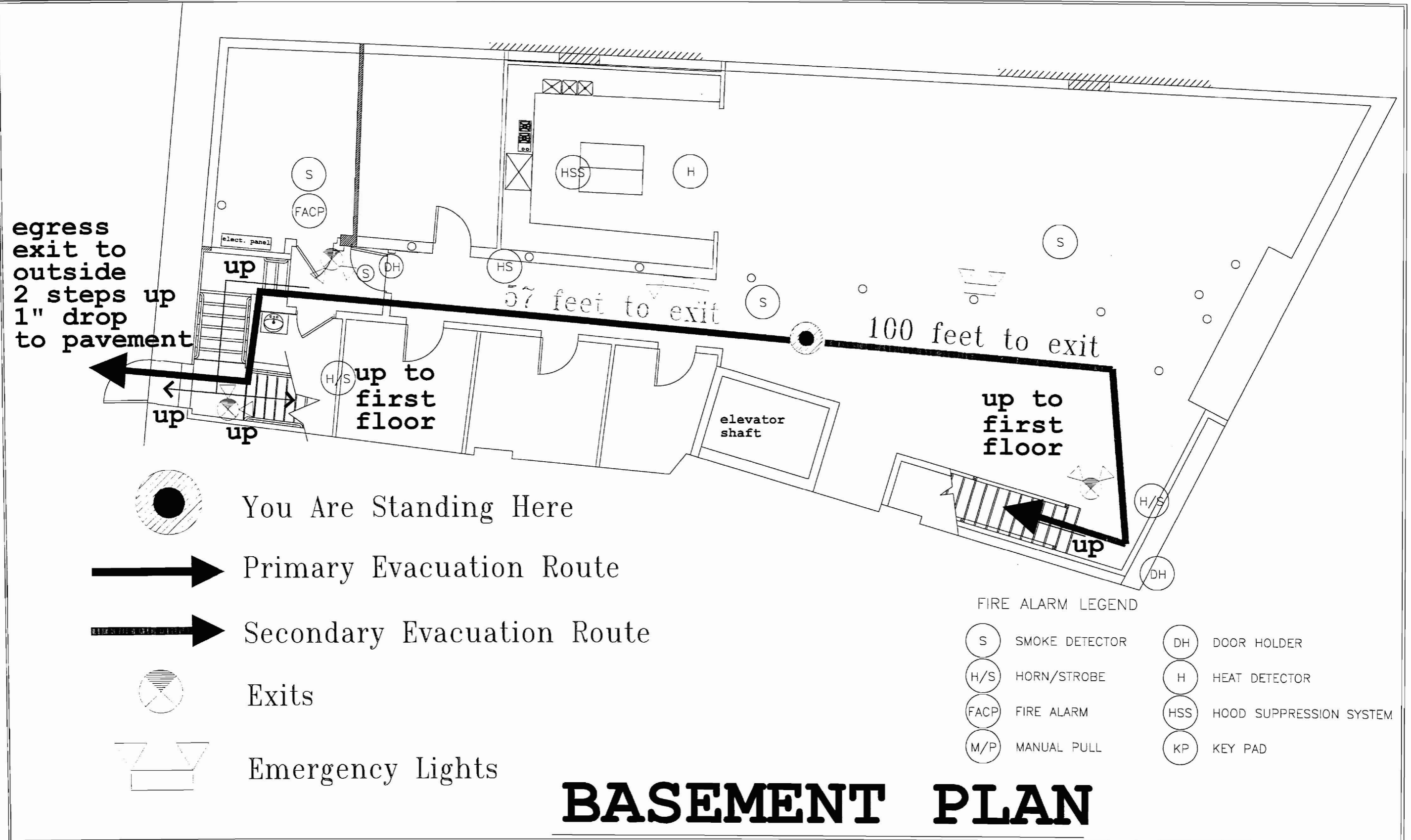
-  You Are Standing Here
-  Primary Evacuation Route
-  Secondary Evacuation Route
-  Exits
-  Emergency Lights

FIRE ALARM LEGEND

-  S SMOKE DETECTOR
-  H/S HORN/STROBE
-  FACP FIRE ALARM
-  M/P MANUAL PULL
-  DH DOOR HOLDER
-  H HEAT DETECTOR
-  HSS HOOD SUPPRESSION SYSTEM
-  KP KEY PAD

FIRST FLOOR PLAN

		CURRENT ISSUE STATUS:	Emerson Clapp Building	CRITERUM <small>ENGINEERS</small> 22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE:	SCALE: AS NOTED	DATE: 08-04-06
		ISSUED FOR REVIEW 8/04/06	28 Monument Square Portland, Maine Phase I Renovation		FIRST FLOOR PLAN FIRE EXITS	PROJECT MANAGER: HAM	SHEET No.
					ENGINEER OF RECORD: HAM		
					PROJECT No. -		EG-2.4



egress
exit to
outside
2 steps up
1" drop
to pavement

57 feet to exit

100 feet to exit

You Are Standing Here

Primary Evacuation Route

Secondary Evacuation Route

Exits

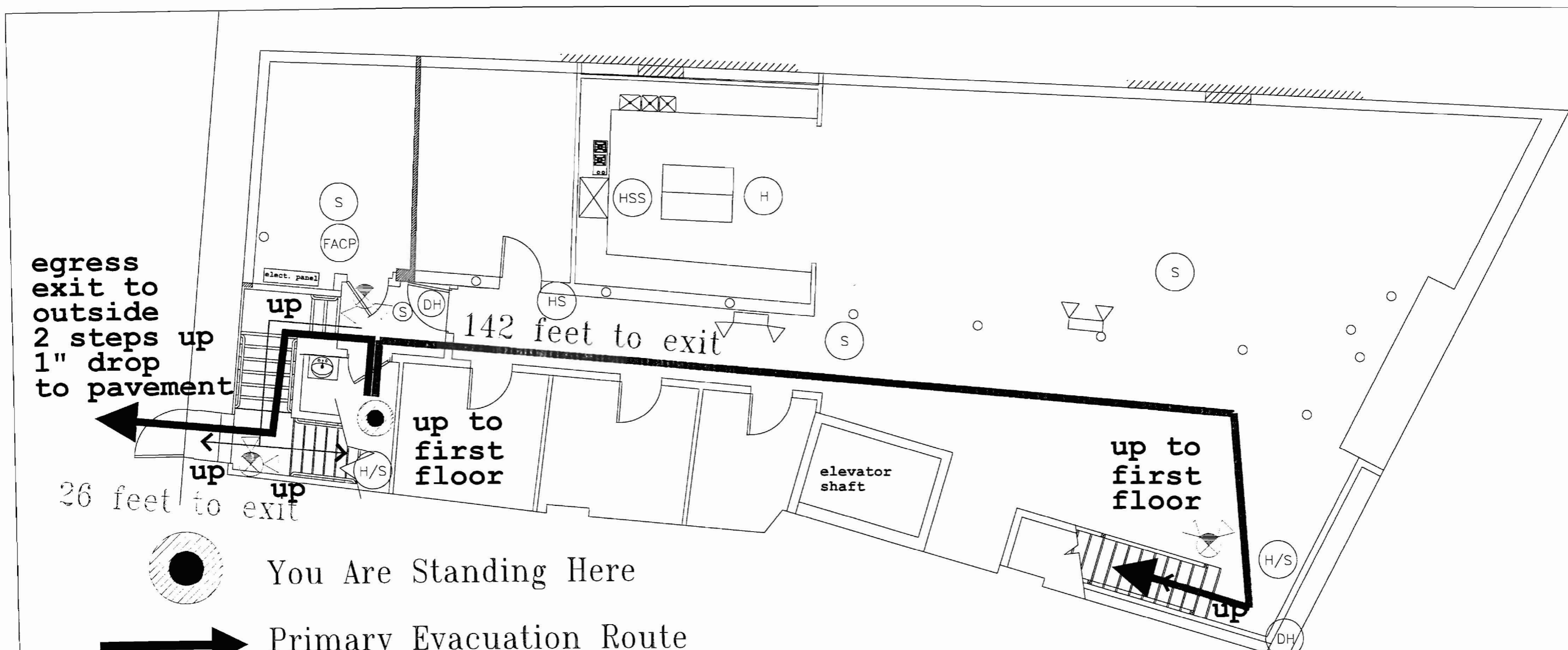
Emergency Lights

FIRE ALARM LEGEND

- (S) SMOKE DETECTOR
- (H/S) HORN/STROBE
- (FACP) FIRE ALARM
- (M/P) MANUAL PULL
- (DH) DOOR HOLDER
- (H) HEAT DETECTOR
- (HSS) HOOD SUPPRESSION SYSTEM
- (KP) KEY PAD

BASEMENT PLAN

		CURRENT ISSUE STATUS:	Emerson Clopp Building	CRITERIUM <small>ENGINEERS</small> 22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 PORTLAND, ME 04101 800-922-1969 FAX 207-775-4415	SHEET TITLE:	SCALE: AS NOTED	DATE: 08-04-06
		ISSUED FOR REVIEW 8/04/06	28 Monument Square Portland, Maine Phase I Renovation		BASEMENT FLOOR PLAN FIRE EXITS	PROJECT MANAGER: HAM	SHEET No.
					ENGINEER OF RECORD: HAM		EG-1.1
					PROJECT No. -		



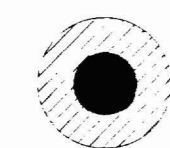
egress
exit to
outside
2 steps up
1" drop
to pavement

142 feet to exit

up to
first
floor

up to
first
floor

elevator
shaft

 You Are Standing Here









 Primary Evacuation Route

 Secondary Evacuation Route

 Exits

 Emergency Lights

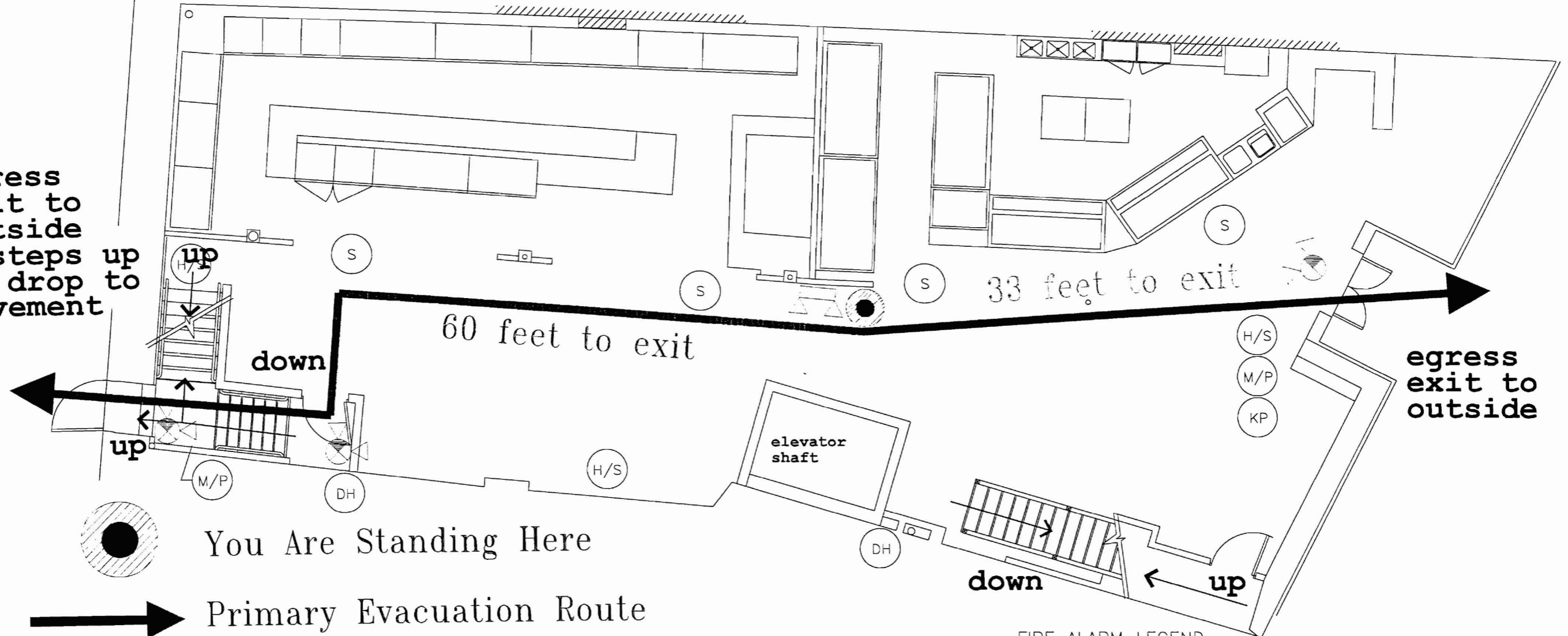
FIRE ALARM LEGEND

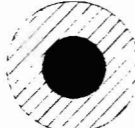
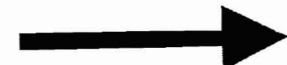


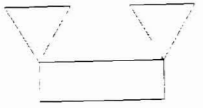
- | | | | |
|--|----------------|---|-------------------------|
|  S | SMOKE DETECTOR |  DH | DOOR HOLDER |
|  H/S | HORN/STROBE |  H | HEAT DETECTOR |
|  FACP | FIRE ALARM |  HSS | HOOD SUPPRESSION SYSTEM |
|  M/P | MANUAL PULL |  KP | KEY PAD |

BASEMENT PLAN









		CURRENT ISSUE STATUS:	Emerson Clapp Building	CRITERUM <small>22 MONUMENT SQUARE TEL 207-775-1968 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415</small>	SHEET TITLE:	SCALE: AS NOTED	DATE: 08-04-06
		ISSUED FOR REVIEW 8/04/06	28 Monument Square Portland, Maine Phase I Renovation		BASEMENT FLOOR PLAN FIRE EXITS	PROJECT MANAGER: HAM	SHEET No.
					ENGINEER OF RECORD: HAM		EG-1.2
					PROJECT No. -		

egress
exit to
outside
2 steps up
1" drop to
pavement



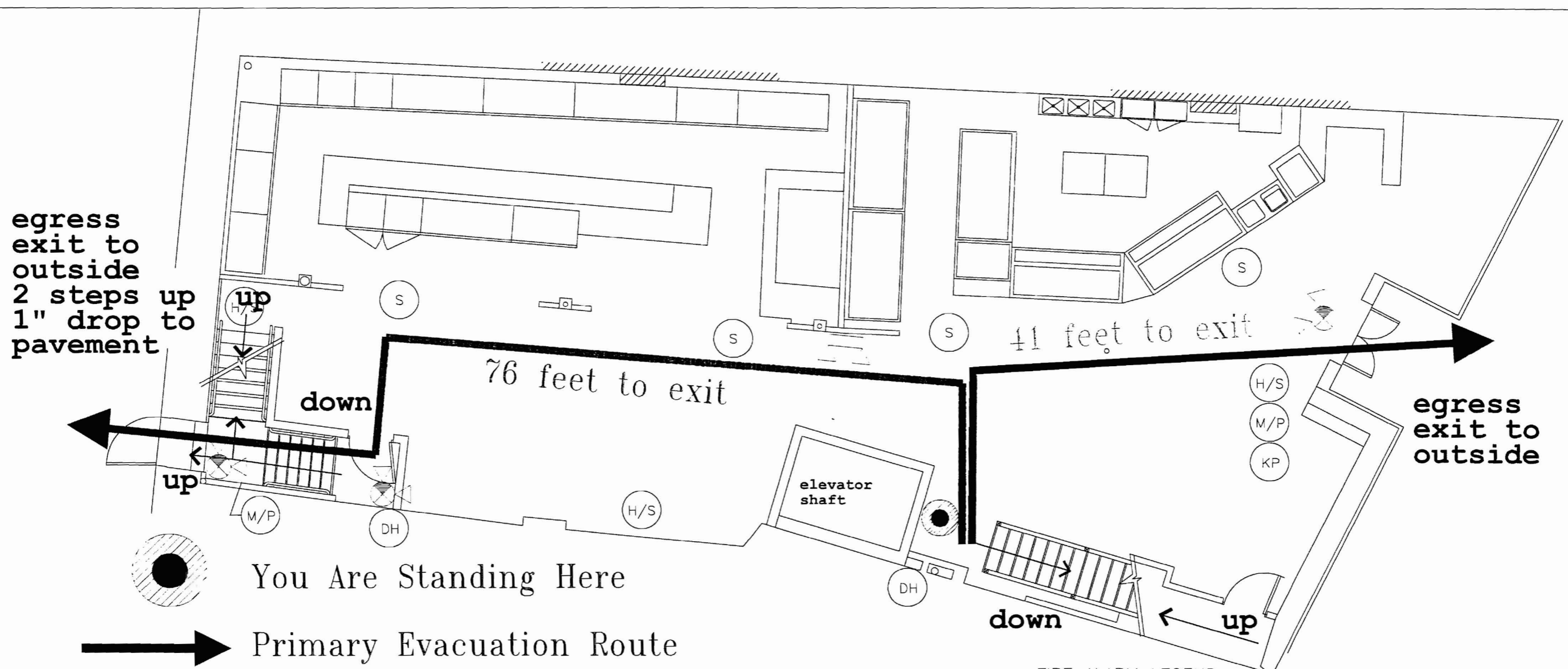
-  You Are Standing Here
-  Primary Evacuation Route
-  Secondary Evacuation Route
-  Exits
-  Emergency Lights

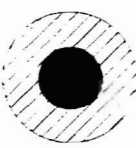
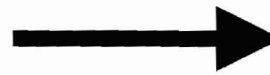


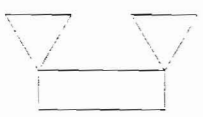
FIRE ALARM LEGEND









-  SMOKE DETECTOR
-  HORN/STROBE
-  FIRE ALARM
-  MANUAL PULL
-  DOOR HOLDER
-  HEAT DETECTOR
-  HOOD SUPPRESSION SYSTEM
-  KEY PAD

FIRST FLOOR PLAN


CURRENT ISSUE STATUS:		Emerson Clapp Building	CRITERIUM 22 MONUMENT SQUARE TEL. 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE:	SCALE: AS NOTED	DATE: 08-04-06
ISSUED FOR REVIEW 8/04/06		28 Monument Square Portland, Maine Phase I Renovation		FIRST FLOOR PLAN FIRE EXITS	PROJECT MANAGER: HAM	SHEET No.
				ENGINEER OF RECORD: HAM		EG-2.1
				PROJECT No. -		

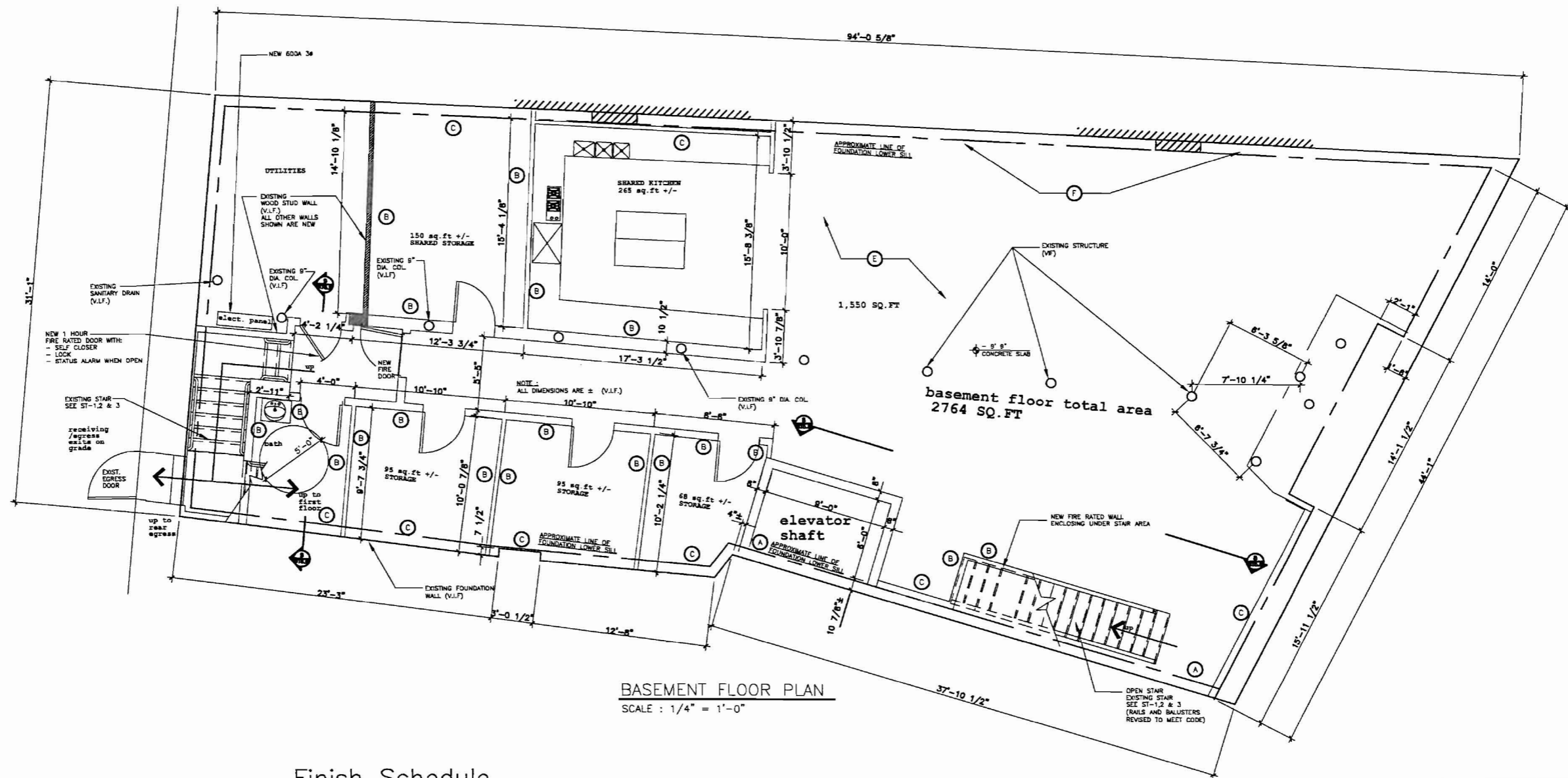


-  You Are Standing Here
-  Primary Evacuation Route
-  Secondary Evacuation Route
-  Exits
-  Emergency Lights

- FIRE ALARM LEGEND
-  SMOKE DETECTOR
 -  HORN/STROBE
 -  FIRE ALARM
 -  MANUAL PULL
 -  DOOR HOLDER
 -  HEAT DETECTOR
 -  HOOD SUPPRESSION SYSTEM
 -  KEY PAD

FIRST FLOOR PLAN

	CURRENT ISSUE STATUS: ISSUED FOR REVIEW 8/04/06	Emerson Clapp Building 28 Monument Square Portland, Maine Phase I Renovation	 <small>22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415</small>	SHEET TITLE: FIRST FLOOR PLAN FIRE EXITS	SCALE: AS NOTED PROJECT MANAGER: HAM ENGINEER OF RECORD: HAM PROJECT No. -	DATE: 05-04-06 SHEET No. EG-2.2
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BASEMENT FLOOR PLAN
SCALE : 1/4" = 1'-0"

Finish Schedule

Type	Description
(A)	Existing brick walls; revealed, cleaned and sealed
(B)	New, non-bearing stud walls with drywall finish
(C)	New stud and drywall over original brick and plaster
(D)	Pressed tin ceiling to remain, most areas
(E)	Bead Board ceiling to remain, most areas
(F)	Bead Board wall to remain

AUTOMATIC, SUPERVISED
SPRINKLER THROUGHOUT
FLOORS 1, 2, & BASEMENT

CURRENT ISSUE STATUS:

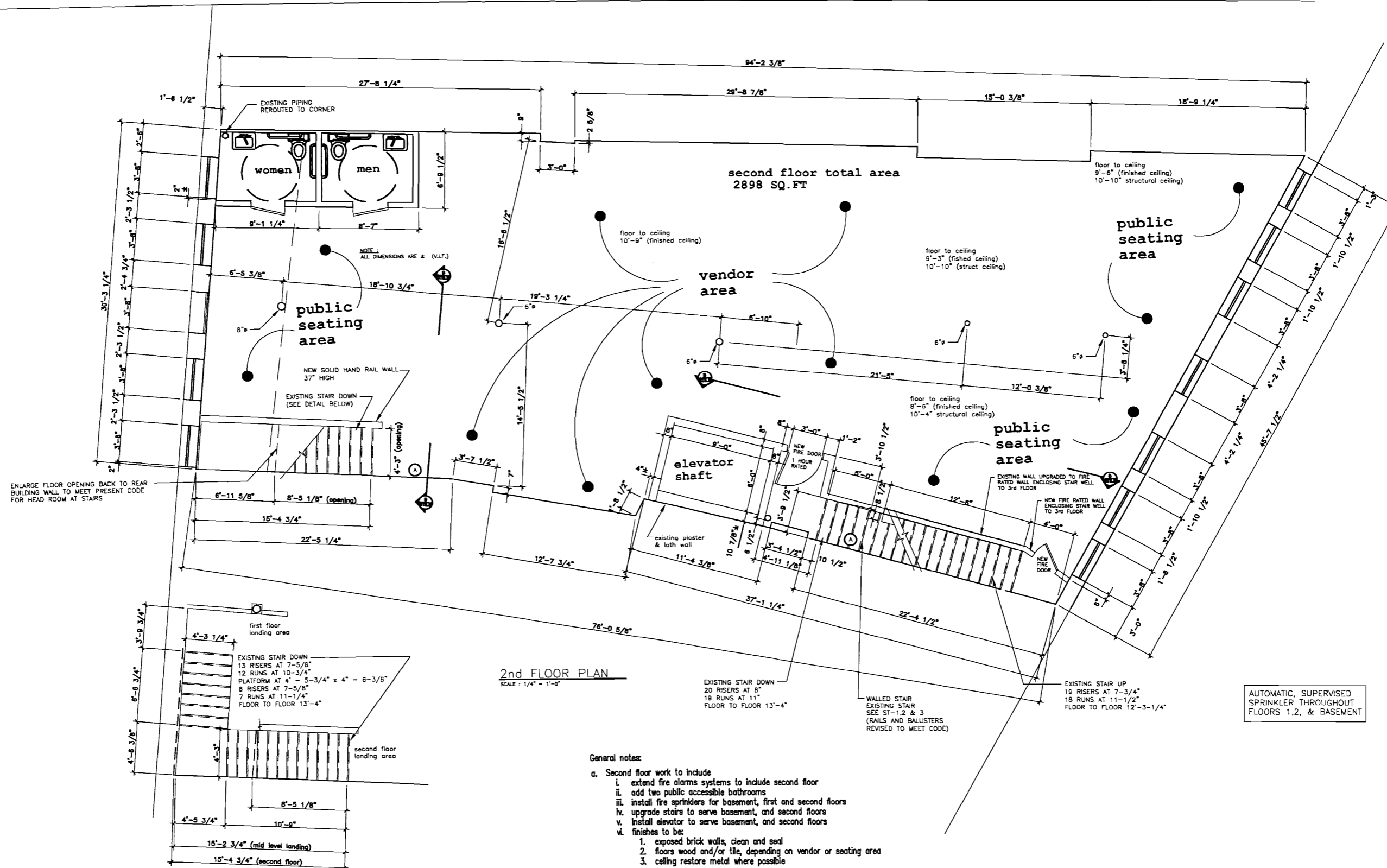
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

CRITERION
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
**BASEMENT
FLOOR PLAN**

SCALE: AS NOTED
PROJECT MANAGER: HAM
ENGINEER OF RECORD: HAM
PROJECT No. --
DATE: 08-03-07
SHEET No.
A-1



General notes:

- a. Second floor work to include
 - i. extend fire alarms systems to include second floor
 - ii. add two public accessible bathrooms
 - iii. install fire sprinklers for basement, first and second floors
 - iv. upgrade stairs to serve basement, and second floors
 - v. install elevator to serve basement, and second floors
 - vi. finishes to be:
 1. exposed brick walls, clean and seal
 2. floors wood and/or tile, depending on vendor or seating area
 3. ceiling restore metal where possible

AUTOMATIC, SUPERVISED
SPRINKLER THROUGHOUT
FLOORS 1, 2, & BASEMENT

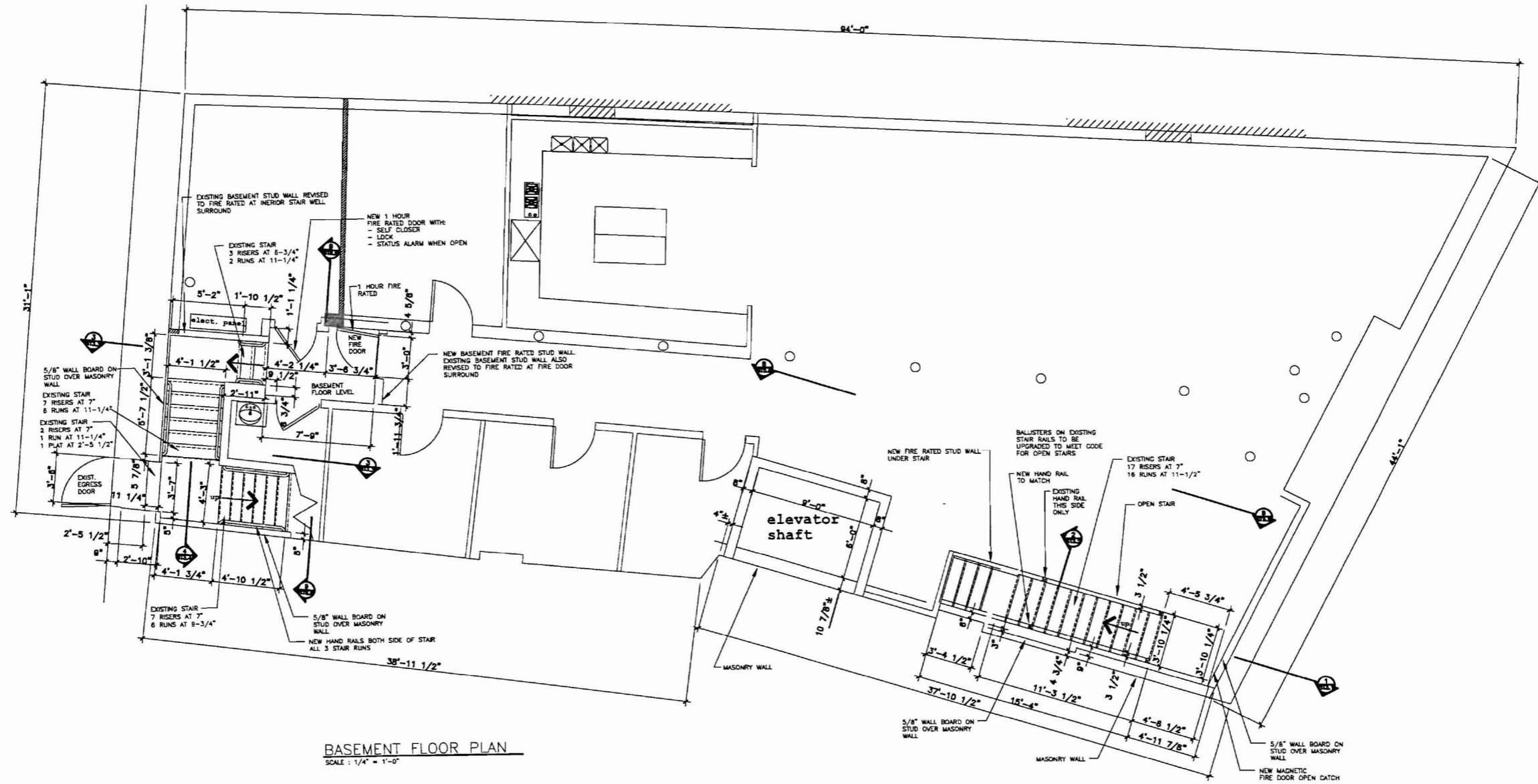
CURRENT ISSUE STATUS:
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

CRITERIUM
ENGINEERS
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
SECOND FLOOR
PLAN

SCALE: AS NOTED	DATE: 08-03-07
PROJECT MANAGER: HAM	SHEET No.
ENGINEER OF RECORD: HAM	A-3
PROJECT No.	



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

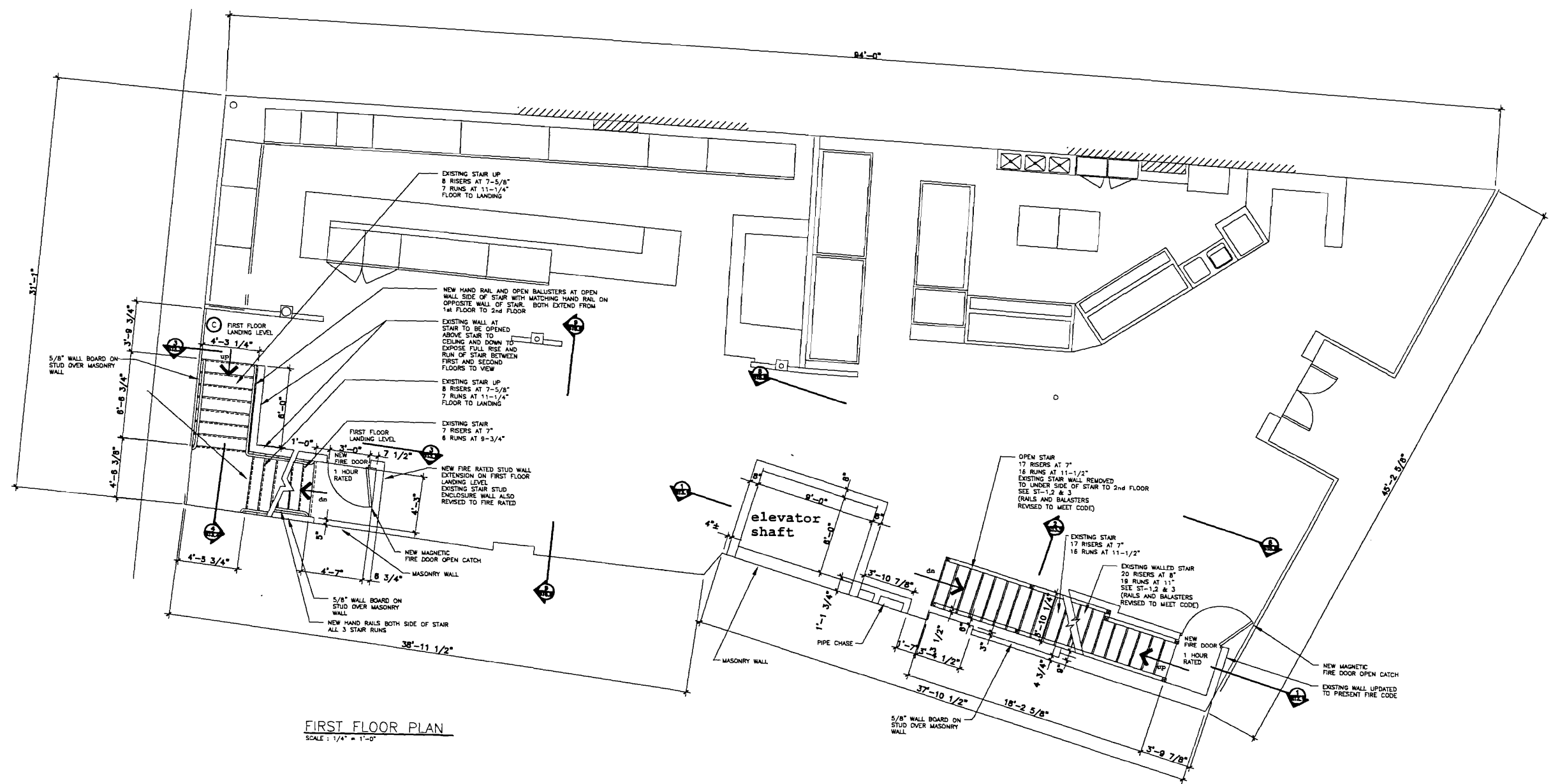
CURRENT ISSUE STATUS:
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

CRITERUM
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
STAIRS
PLANS & SECTIONS
BASEMENT PLAN

SCALE: AS NOTED	DATE: 08-03-07
PROJECT MANAGER: HAM	SHEET No.
ENGINEER OF RECORD: HAM	ST-1
PROJECT No. -	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

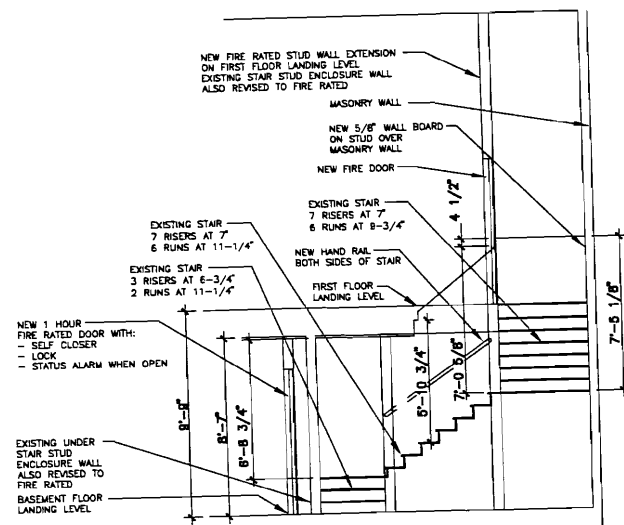
CURRENT ISSUE STATUS:
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

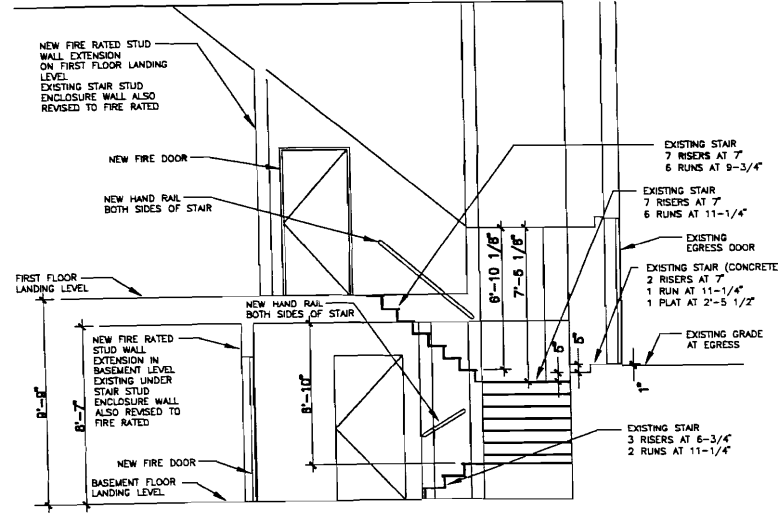
CRITERIUM
ENGINEERS
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
STAIRS
PLANS & SECTIONS
FIRST FLOOR PLAN

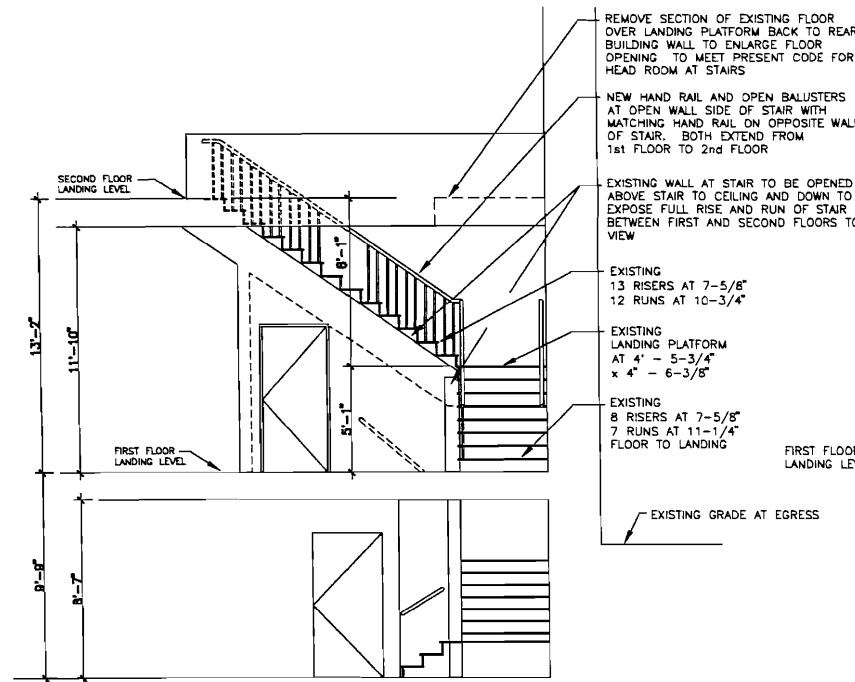
SCALE: AS NOTED	DATE: 08-03-07
PROJECT MANAGER: HAM	SHEET No.
ENGINEER OF RECORD: HAM	
PROJECT No. -	ST-2



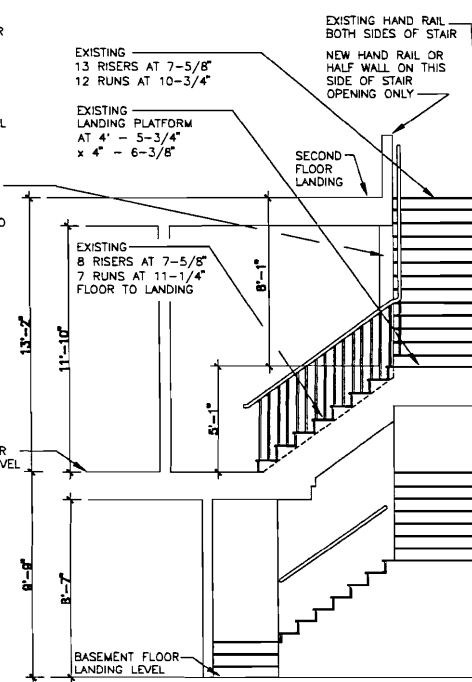
STAIR SECTION
SCALE: 1/4" = 1'-0"



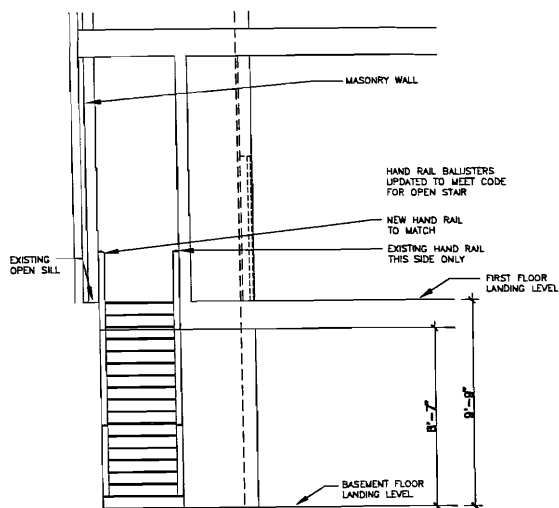
STAIR SECTION - BASEMENT FLOOR TO FIRST FLOOR LANDING
SCALE: 1/4" = 1'-0"



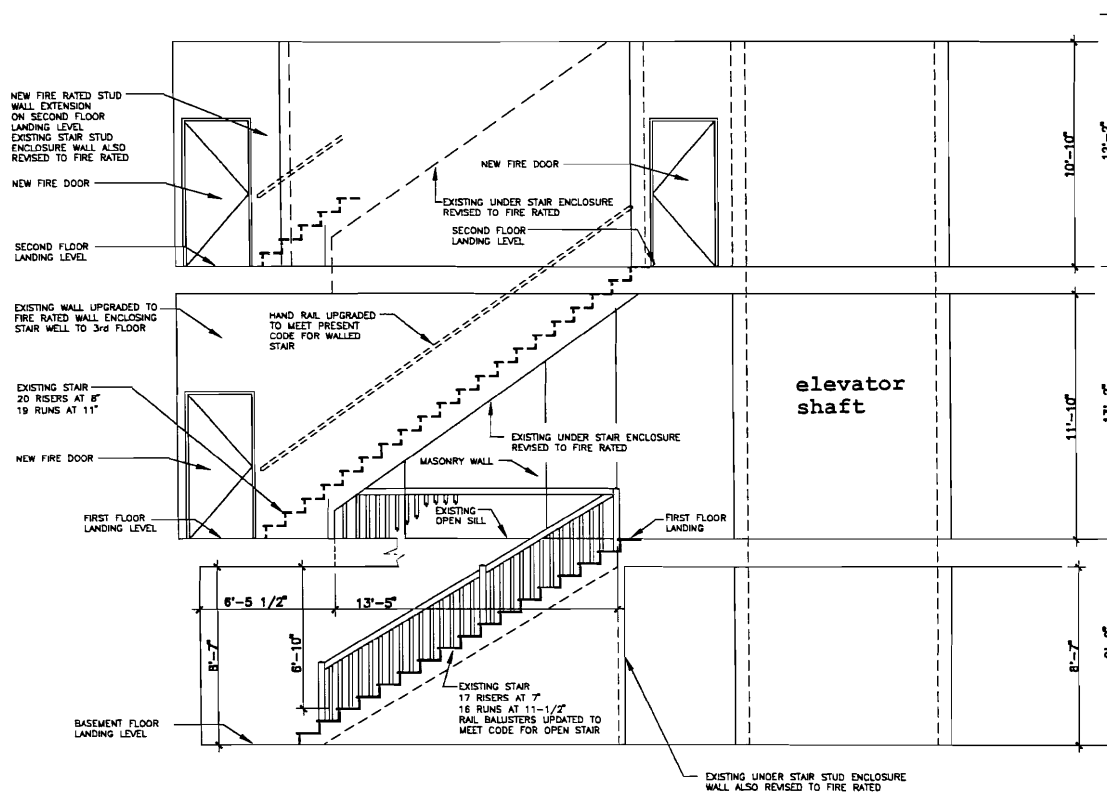
STAIR SECTION - FIRST FLOOR TO SECOND FLOOR
SCALE: 1/4" = 1'-0"



STAIR SECTION
SCALE: 1/4" = 1'-0"



STAIR SECTION
SCALE: 1/4" = 1'-0"



STAIR SECTION - BASEMENT TO SECOND FLOOR
SCALE: 1/4" = 1'-0"

CURRENT ISSUE STATUS:
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

CRITERIUM
ENGINEERS
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
STAIRS
PLANS & SECTIONS
SECTION VIEWS

SCALE: AS NOTED
PROJECT MANAGER: HAM
ENGINEER OF RECORD: HAM
PROJECT No. ST-3
DATE: 08-03-07
SHEET No.

NEW FIRE RATED STUD
WALL EXTENSION
ON SECOND FLOOR
LANDING LEVEL
EXISTING STAIR STUD
ENCLOSURE WALL ALSO
REVISED TO FIRE RATED

NEW FIRE DOOR

SECOND FLOOR
LANDING LEVEL

NEW FIRE DOOR

SECOND FLOOR
LANDING LEVEL

10'-10"

12'-2"

NEW
STAIR MURAL
PAINTED ON WALL

EXISTING WALL UPGRADED TO
FIRE RATED WALL ENCLOSING
STAIR WELL TO 3rd FLOOR

EXISTING WALL ENCLOSING
STAIR WELL TO BASEMENT
FLOOR REMOVED AND
REPLACED WITH HAND RAIL
AND BALUSTERS PER CODE

NEW FIRE DOOR

FIRST FLOOR
LANDING LEVEL

**DON'T FORGET
THE SECOND FLOOR**

VENDOR NAME
VENDOR NAME
VENDOR NAME

DOWN STAIRS

TODAY'S
EVENTS

elevator
shaft

FIRST FLOOR
LANDING

11'-10"

13'-2"

BASEMENT FLOOR
LANDING LEVEL

EXISTING STAIR
17 RISERS AT 7"
16 RUNS AT 11-1/2"
RAIL AND BALUSTERS UPDATED
TO MEET CODE FOR OPEN STAIR

8'-7"

9'-9"

--- EXISTING UNDER STAIR STUD ENCLOSURE
WALL ALSO REVISED TO FIRE RATED

FRONT STAIR SECTION — BASEMENT TO SECOND FLOOR

8
ST5.8

SCALE : 1/2" = 1'-0"

CURRENT ISSUE STATUS:

ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building

28 Monument Square
Portland, Maine
Phase I Renovation

CRITERION
ENGINEERS

22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:

LARGE
STAIR SECTION
FRONT STAIR

SCALE: AS NOTED

PROJECT MANAGER: HAM

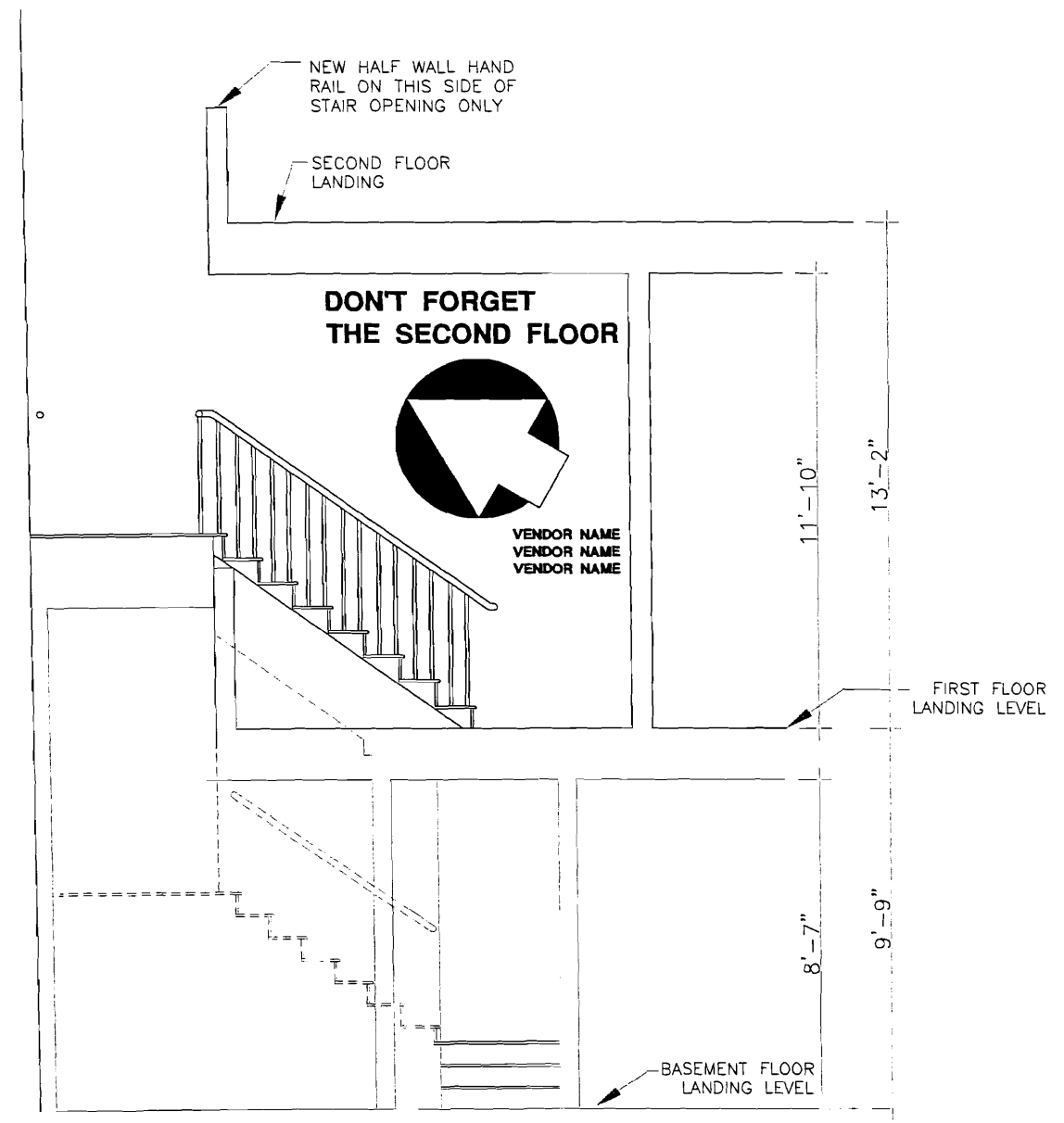
ENGINEER OF RECORD: HAM

PROJECT No. -

DATE: 08-03-07

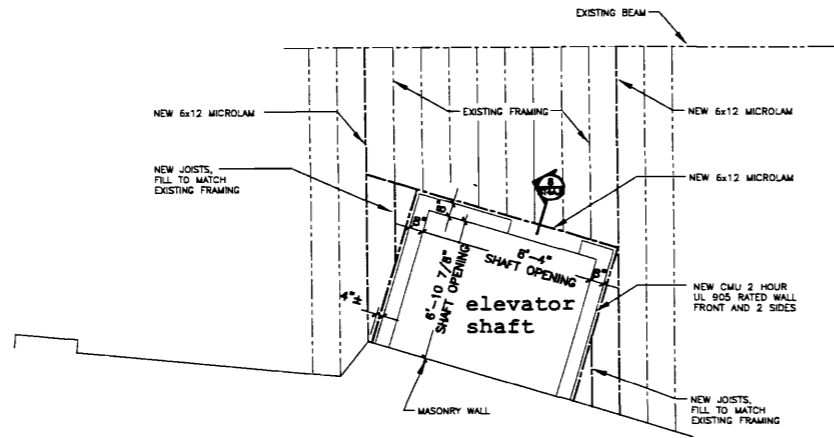
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ST-5

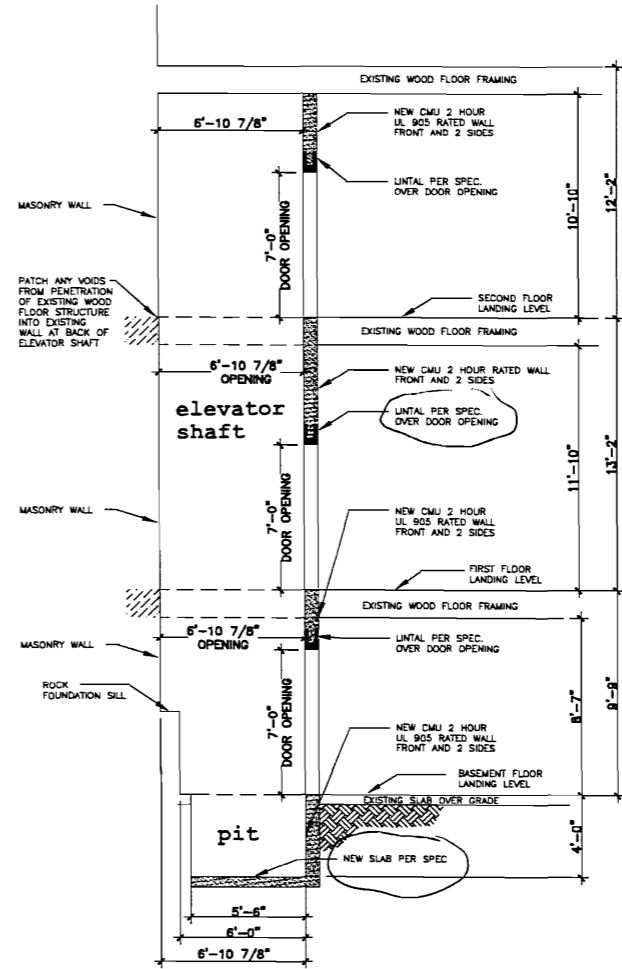


9
ST6.9 BACK STAIR SECTION — BASEMENT TO SECOND FLOOR
SCALE : 1/4" = 1'-0"

		CURRENT ISSUE STATUS: ISSUED FOR REVIEW 07/19/07	Emerson Clapp Building 28 Monument Square Portland, Maine Phase I Renovation	CRITERUM 22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-822-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE: LARGE STAIR SECTION BACK STAIR	SCALE: AS NOTED PROJECT MANAGER: HAM ENGINEER OF RECORD: HAM PROJECT No. -	DATE: 08-03-07 SHEET No. ST-6
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PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
SECOND FLOOR PLAN SIMILAR



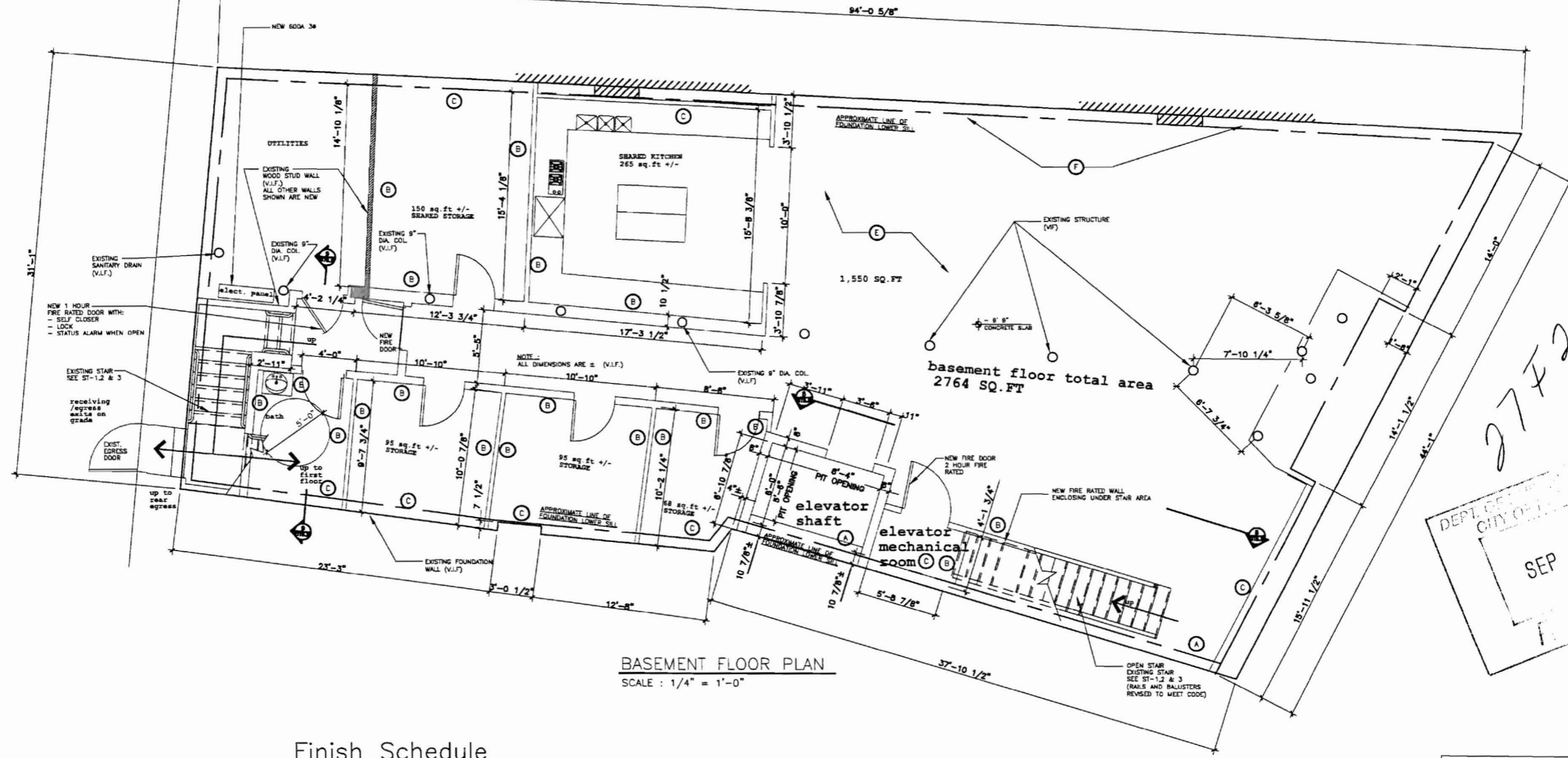
ELEVATOR SECTION - BASEMENT TO SECOND FLOOR
SCALE: 1/4" = 1'-0"

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SKL

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
SEP 10 2007
RECEIVED

27 Monument Sq

		CURRENT ISSUE STATUS: ISSUED FOR REVIEW 07/19/07	Emerson Clapp Building 28 Monument Square Portland, Maine Phase I Renovation	CRITERIUM MECHANICAL ENGINEERS 22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE: ELEVATOR SHAFT AND PIT PLAN AND SECTION VIEWS	SCALE: AS NOTED PROJECT MANAGER: HAM ENGINEER OF RECORD: HAM PROJECT No. -	DATE: 08-03-07 SHEET No. ST-4A
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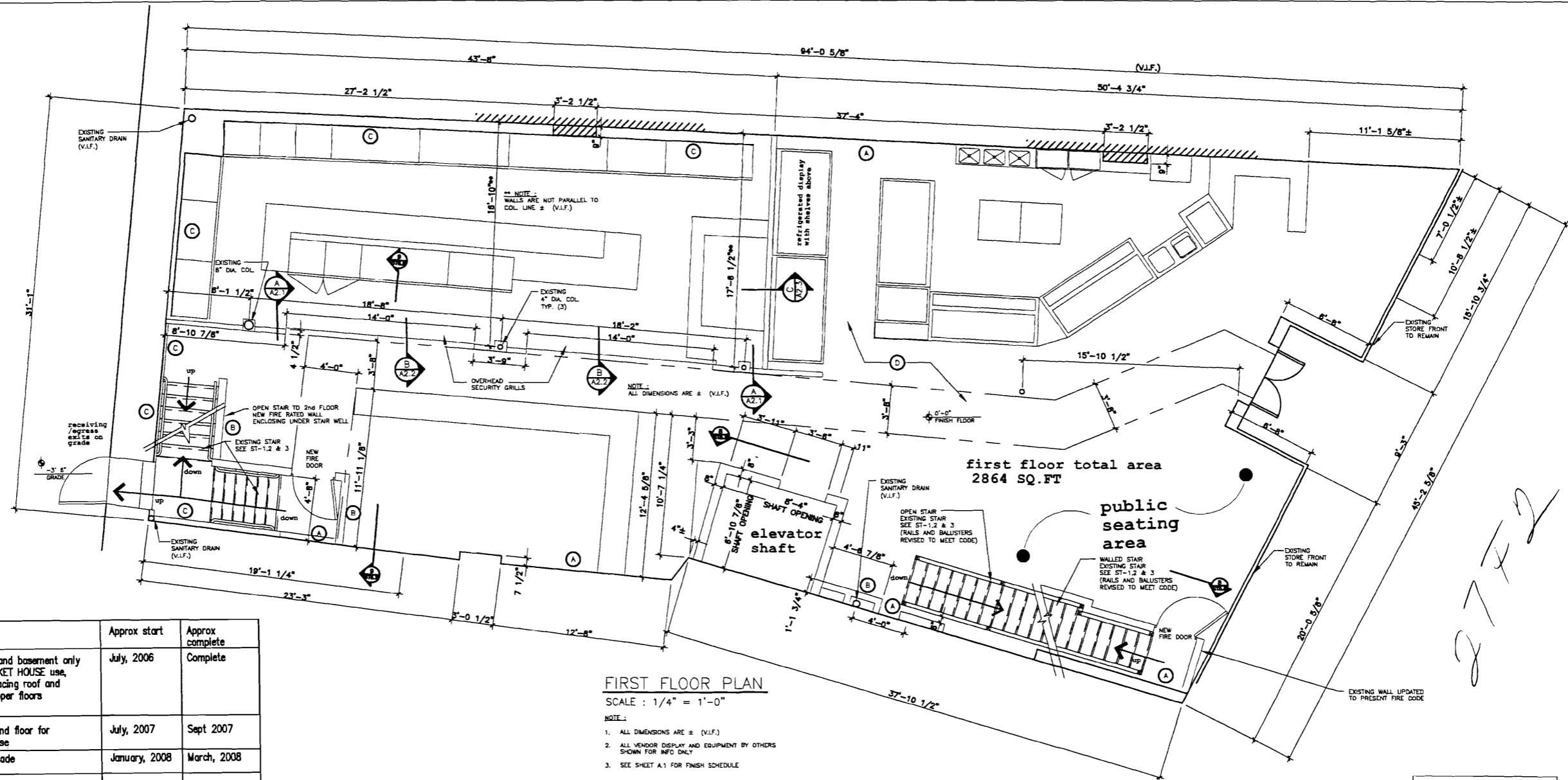
BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Finish Schedule

Type	Description
(A)	Existing brick walls; revealed, cleaned and sealed
(B)	New, non-bearing stud walls with drywall finish
(C)	New stud and drywall over original brick and plaster
(D)	Pressed tin ceiling to remain, most areas
(E)	Bead Board ceiling to remain, most areas
(F)	Bead Board wall to remain

AUTOMATIC, SUPERVISED
SPRINKLER THROUGHOUT
FLOORS 1,2, & BASEMENT

07/10/17



General Notes

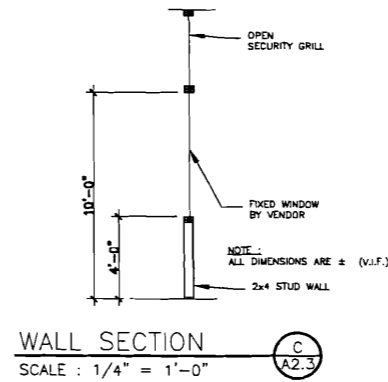
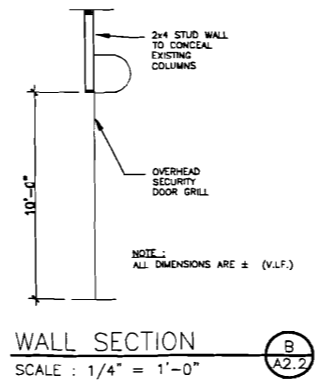
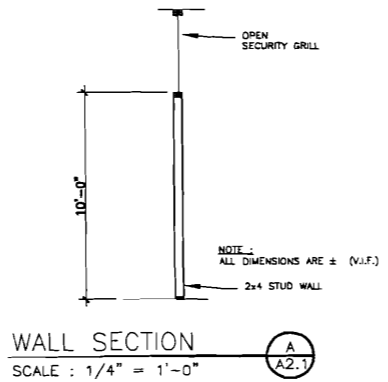
Phase	Activities	Approx start	Approx complete
1	First floor and basement only - for MARKET HOUSE use, plus resurfacing roof and securing upper floors	July, 2006	Complete
2	Rehab second floor for market house	July, 2007	Sept 2007
3	Restore facade	January, 2008	March, 2008
4	Rehab floors 3 & 4 for offices	October, 2007	December, 2007

FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

- NOTE:
1. ALL DIMENSIONS ARE ± (V.I.F.)
 2. ALL VENDOR DISPLAY AND EQUIPMENT BY OTHERS SHOWN FOR INFO ONLY
 3. SEE SHEET A.1 FOR FINISH SCHEDULE

1. All phase 1 work is renovation of existing building, there is no change in stairs, load bearing walls or structure.
2. Floor Area:
 - 2.1. First Floor - approximately 2,650 (all of which leased by Market Vendors LLC)
 - 2.2. Basement - approximately 2,650 (of which approximately 1,800 is leased by Market Vendors LLC)
3. Phase 1 work includes the following:
 - 3.1. reproofing
 - 3.2. HVAC for first floor and basement
 - 3.3. installation of new electrical entrance equipment and distribution wiring as needed for MARKET HOUSE use
 - 3.4. installation of new plumbing as needed for MARKET house use
 - 3.5. installation of fire and security alarm system
 - 3.6. new floor on all leased areas of first floor and basement
 - 3.7. appropriate exit signage and fire extinguishers
 - 3.8. rehab of pressed metal ceiling on first floor
 - 3.9. rehab of wood ceiling in basement
 - 3.10. exposure of brick walls wherever possible; cleaned and sealed



AUTOMATIC, SUPERVISED SPRINKLER THROUGHOUT FLOORS 1, 2, & BASEMENT

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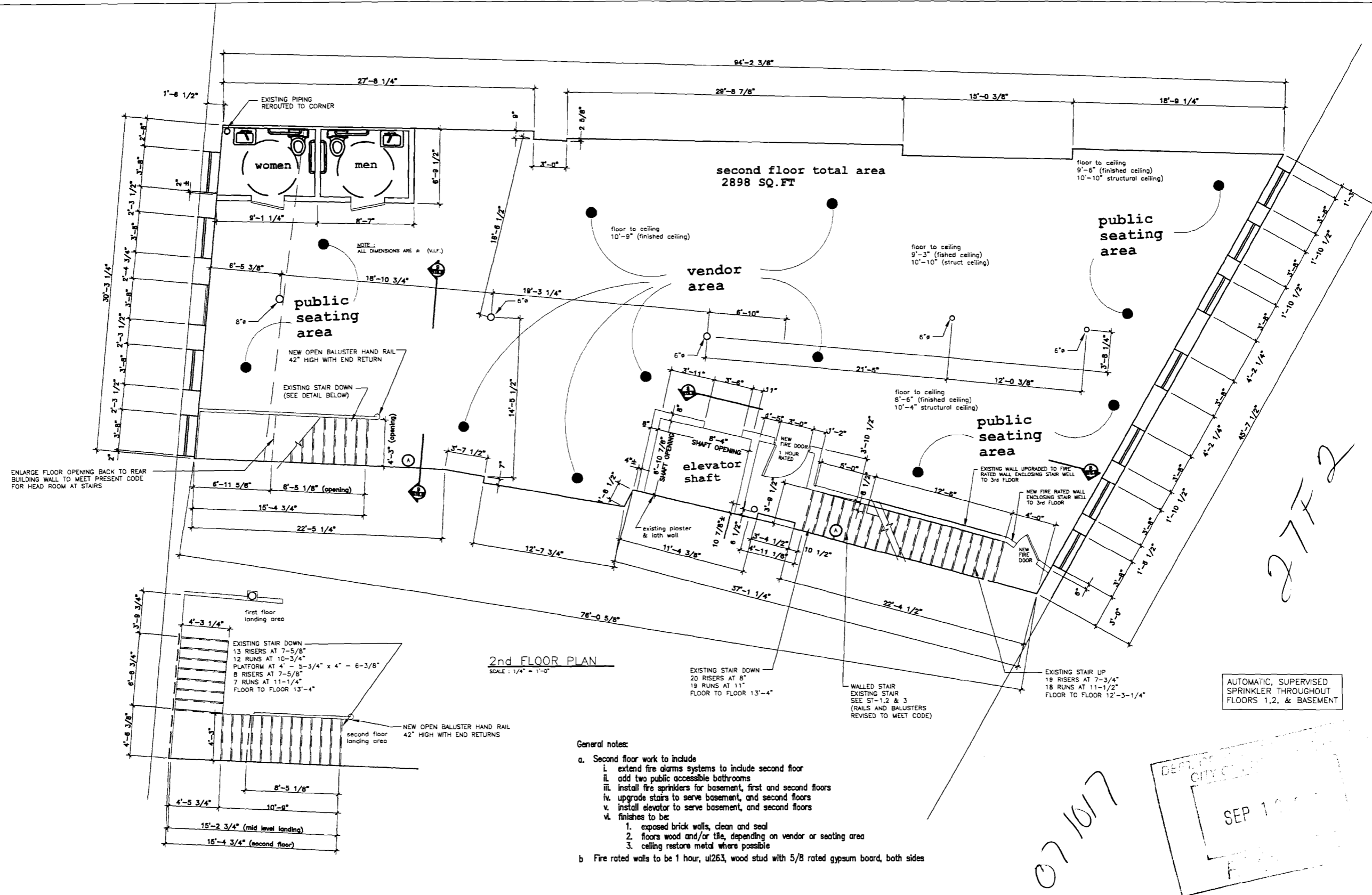
CURRENT ISSUE STATUS:
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

CRITERIUM
ENGINEERS
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
FIRST FLOOR PLAN

SCALE: AS NOTED
DATE: 08-03-07
PROJECT MANAGER: HAM
ENGINEER OF RECORD: HAM
PROJECT No. -
SHEET No. A-2



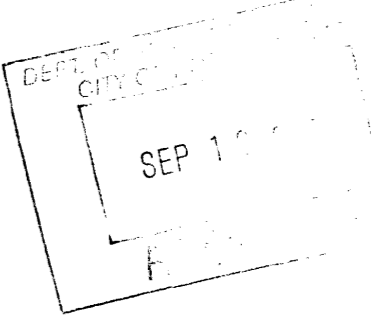
ENLARGE FLOOR OPENING BACK TO REAR BUILDING WALL TO MEET PRESENT CODE FOR HEAD ROOM AT STAIRS

2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

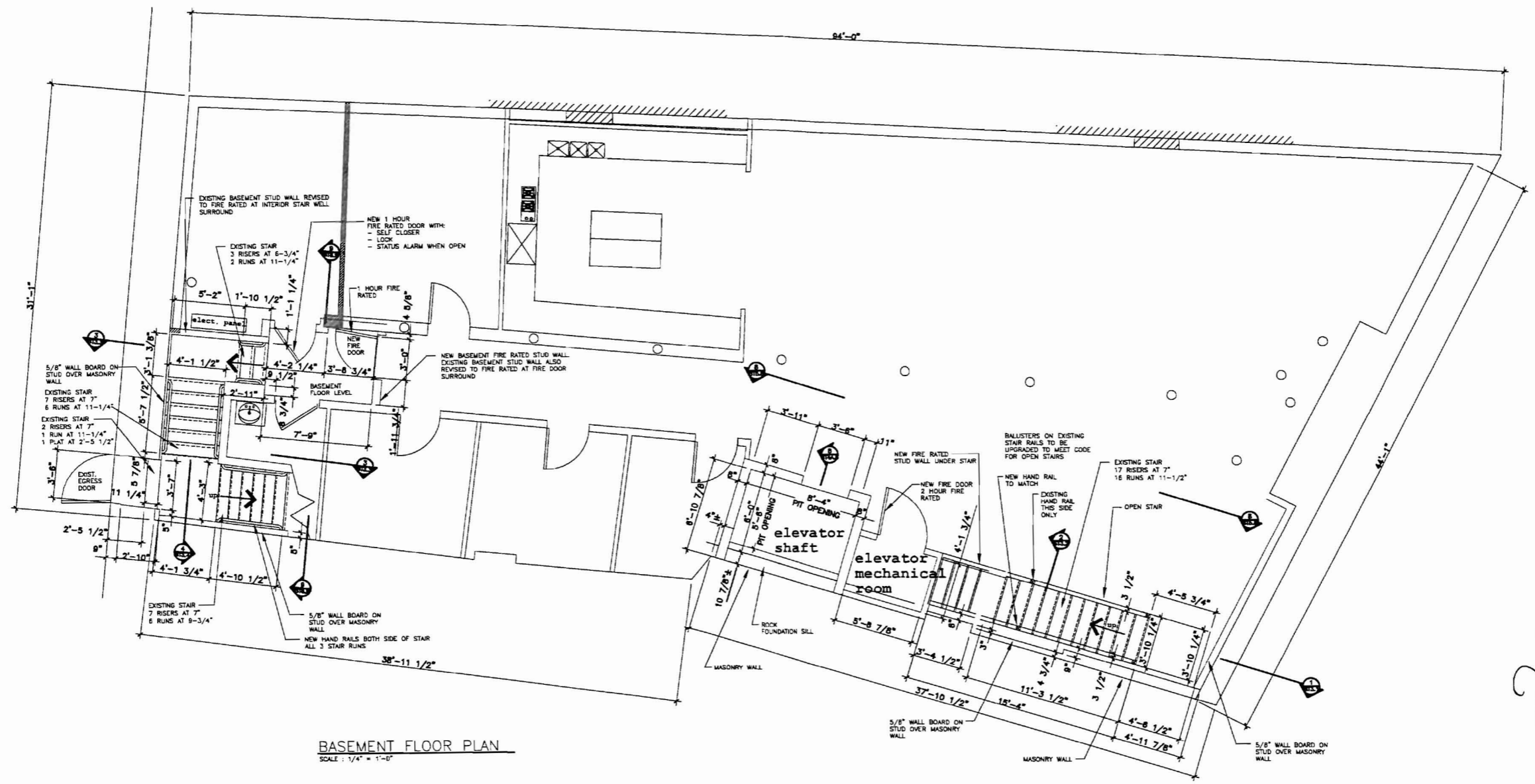
- General notes:**
- a. Second floor work to include
 - i. extend fire alarms systems to include second floor
 - ii. add two public accessible bathrooms
 - iii. install fire sprinklers for basement, first and second floors
 - iv. upgrade stairs to serve basement, and second floors
 - v. install elevator to serve basement, and second floors
 - vi. finishes to be:
 - 1. exposed brick walls, clean and seal
 - 2. floors wood and/or tile, depending on vendor or seating area
 - 3. ceiling restores metal where possible
 - b. Fire rated walls to be 1 hour, ul263, wood stud with 5/8 rated gypsum board, both sides

AUTOMATIC, SUPERVISED SPRINKLER THROUGHOUT FLOORS 1, 2, & BASEMENT

07/10/17



	CURRENT ISSUE STATUS: ISSUED FOR REVIEW 07/19/07	Emerson Clopp Building 28 Monument Square Portland, Maine Phase I Renovation	CRITERIUM ENGINEERS 22 MONUMENT SQUARE TEL. 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE: SECOND FLOOR PLAN	SCALE: AS NOTED PROJECT MANAGER: HAM ENGINEER OF RECORD: HAM PROJECT No.	DATE: 08-03-07 SHEET No. A-3
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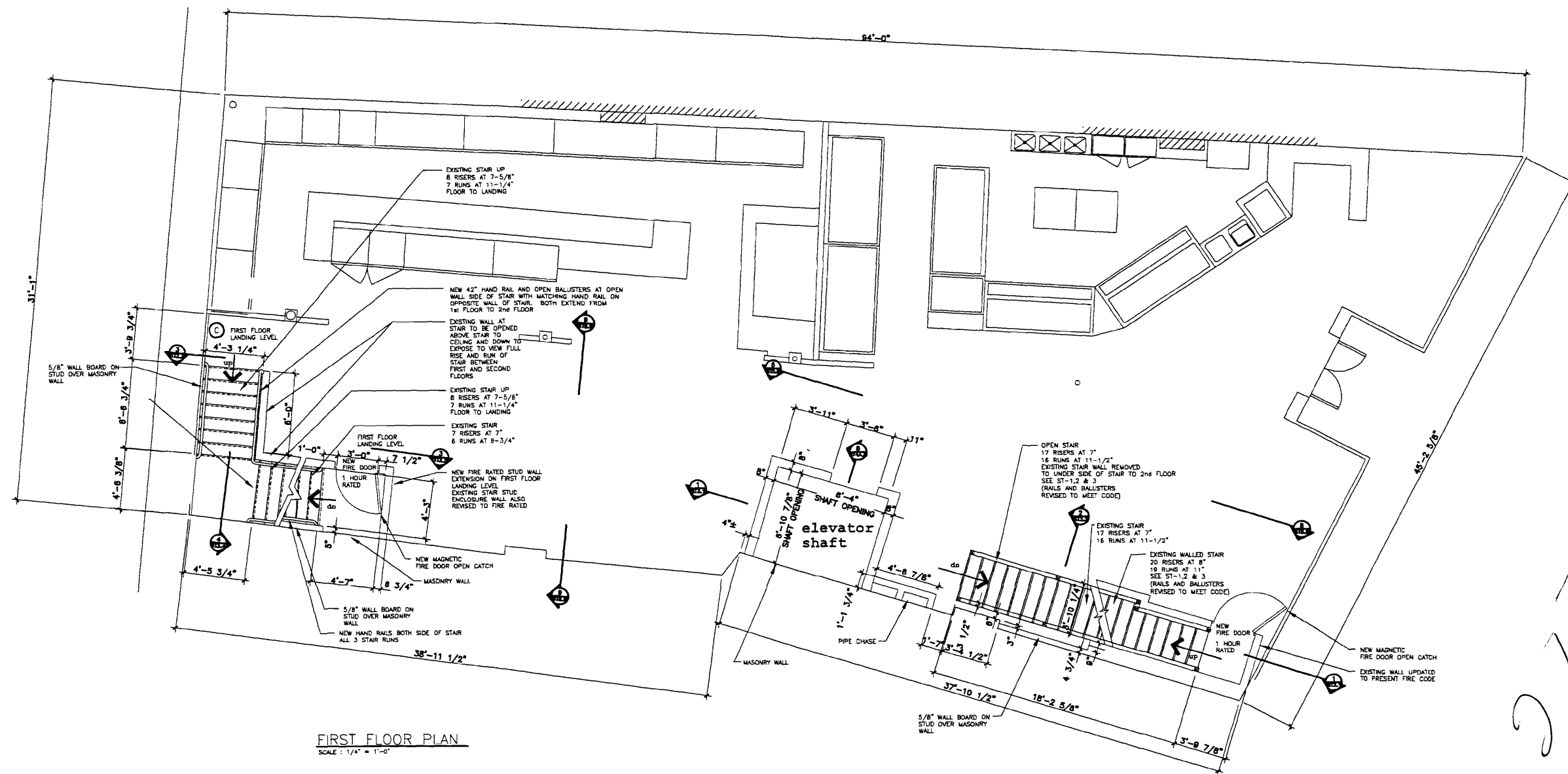
BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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07/10/17



	CURRENT ISSUE STATUS: ISSUED FOR REVIEW 07/19/07	Emerson Clapp Building 28 Monument Square Portland, Maine Phase I Renovation	CRITERIUM <small>MECHANICAL ENGINEERS</small> 22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-922-1969 PORTLAND, ME 04101 FAX 207-775-4415	SHEET TITLE: STAIRS PLANS & SECTIONS BASEMENT PLAN	SCALE: AS NOTED PROJECT MANAGER: HAM ENGINEER OF RECORD: HAM PROJECT No. -	DATE: 08-03-07 SHEET No. ST-1
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SEP 1

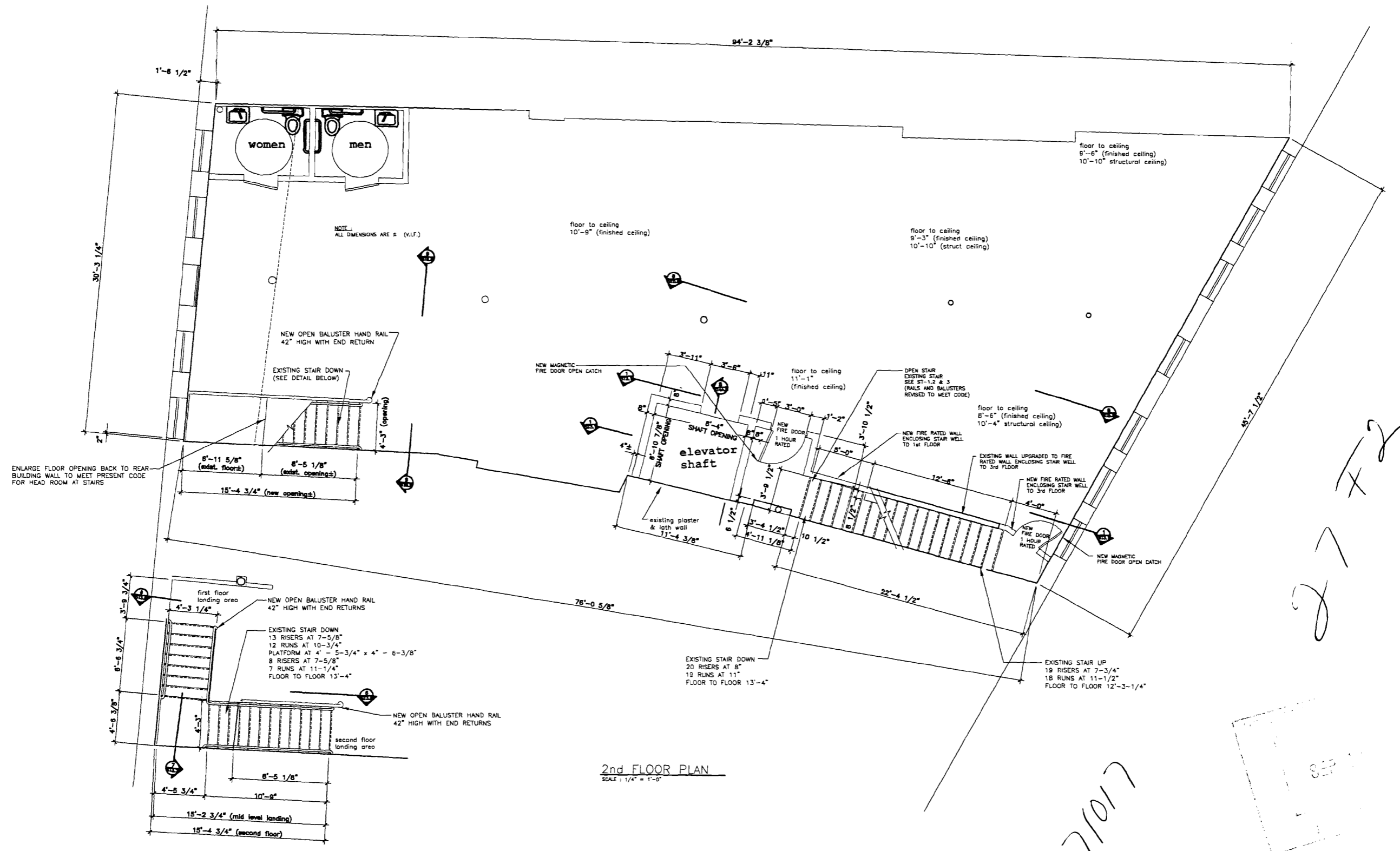
CURRENT ISSUE STATUS:
ISSUED FOR REVIEW 07/19/07

Emerson Clapp Building
28 Monument Square
Portland, Maine
Phase I Renovation

CRITERIUM
ENGINEERS
22 MONUMENT SQUARE TEL 207-775-1969
SUITE 300 800-922-1969
PORTLAND, ME 04101 FAX 207-775-4415

SHEET TITLE:
STAIRS
PLANS & SECTIONS
FIRST FLOOR PLAN

SCALE: AS NOTED	DATE: 08-03-07
PROJECT MANAGER: HAM	SHEET No.
ENGINEER OF RECORD: HAM	ST-2
PROJECT No.	



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

FULL STAIR PLAN BETWEEN FLOORS
SCALE: 1/4" = 1'-0"

<p>CURRENT ISSUE STATUS:</p> <p>ISSUED FOR REVIEW 07/19/07</p>	<p>Emerson Clapp Building</p> <p>28 Monument Square Portland, Maine Phase I Renovation</p>	<p>CRITERIUM ENGINEERS</p> <p>22 MONUMENT SQUARE TEL 207-775-1969 SUITE 300 800-922-1869 PORTLAND, ME 04101 FAX 207-775-4415</p>	<p>SHEET TITLE:</p> <p>STAIRS PLANS & SECTIONS</p> <p>2nd FLOOR PLAN</p>	<p>SCALE: AS NOTED</p> <p>DATE: 08-03-07</p> <p>PROJECT MANAGER: HAM</p> <p>ENGINEER OF RECORD: HAM</p> <p>PROJECT No. -</p> <p>SHEET No. ST-4</p>
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Certificate of Occupancy

LOCATION 27 Monument Sq CBL 027 F002005

Issued to 28 Monument Square Llc /HardyPond Construction Date of Issue 12/14/2009

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 07-1017, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

2nd Floor

Mercantile with public seating
Use Group : M
Type : 3B
IBC - 2003

Limiting Conditions:

Temporary until 1/15/10 for completion of list of corrections revised 12/14/09 including elevator operation.
see attached list

This certificate supersedes certificate issued 10/7/09

Approved: *Deanne Burke* 12/14/09

(Date) Inspector

Fanny S. Little
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

**Director of Planning and Urban Development
Penny St. Louis Littell**

December 11, 2009

RE: 27 (28) Monument SQ
CBL: 027 F002
Permit #07-1017/09-0416

List of code corrections to be addressed for certificate of occupancy:

Primary:

1. Elevator shaft enclosure, protection of openings from basement to 2nd floor (4th floor completion)
2. Electric/boiler room fire door operation and self-closing
3. Fire alarm technician to access the "Trouble" condition

Secondary:

1. Sprinkler head in fire panel room
2. Seal/protect stair enclosure penetrations
3. Securing of electrical wiring/Fire Alarm cables in the basement
4. Address elevator sump hose penetration through rated shaft and connection to indirect plumbing drain
5. Remove sign on rear emergency exit on 1st floor marked "employees only" (could say E-exit only)
6. Submit fire stop/draft stop product information with UL listing for specific application at each floor level. Basement ceiling design TBD in the field and submitted. Inspections required prior to close in.
7. Address floor/ceiling rating at 2nd floor at electric room/bathroom and protect penetrations
8. Correct illegal wiring of existing kitchen hood exhaust at 2nd floor exterior roof, also permit required to address the relocation of the exhaust termination adjacent to residential occupancy
9. Relocate existing plumbing vent stacks that terminate at the rear 2nd floor roof adjacent to the new residential occupancy
10. Address walk in cooler (new) AC unit, venting, condensate and health code specs, letter to follow
11. Address Fire Alarm system interconnection of between 22 and 27(28) Monument Sq., specifications list to follow
12. Chain of Title that current owners are the successors of the 1913 agreement regarding Lancaster Lane private right of way
13. Recorded easement to access the fire escape at 22 Monument Sq

Revision 12/14/09