

Location of Construction: <i>Portland City Hall Auditorium</i>		Owner: <i>City of Portland</i>		Phone: <i>874-8703</i>		Permit No: 960029	
Owner Address: <i>309 Congress Street, Portland, ME 04101</i>		Leasee/Buyer's Name: <i>N/A</i>		Phone: <i>N/A</i>		Business Name: <i>N/A</i>	
Contractor Name: <i>Grenger Northern, Inc.</i>		Address: <i>51 Baxter Boulevard, Portland, ME 04101</i>		Phone: <i>774-3500</i>		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: JAN 23 1996 CITY OF PORTLAND </div>	
Past Use: <i>Public auditorium</i>		Proposed Use: <i>Public auditorium</i>		COST OF WORK: <i>\$ 5,143,000.00</i> PERMIT FEE: <i>\$ waived</i>			
Proposed Project Description: <i>Renovations and alterations of an existing auditorium</i>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>H. 11/7</i>		INSPECTION: Use Group <i>A-1</i> Type <i>2A</i> <i>BOCA 93</i> Signature: <i>Hoffman</i>		Zone: <i>6-3</i> CBL: <i>21 C-12</i> Zoning Approval: <i>OK</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: <i>Hall Auditorium</i> Date: <i>28/Jan/1996</i>		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>			
		Permit Taken By: <i>[Signature]</i>		Date Applied For: <i>[Signature]</i>		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <i>Michael J. Gricke, Construction Manager</i>		ADDRESS: <i>51 Baxter Boulevard, Portland, ME 04101</i>		DATE: <i>01/17/96</i>		PHONE: <i>774-3500</i>	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE				PHONE:			

CEO DISTRICT 

S. N. ASSES

19/Jan/96 - This permit was first reviewed on 26/Mar/95 and again on 19/Jan/96
 Both reviews was done under The BOCA NATIONAL Building Code/1993 Chapter #34,
 EXISTING STRUCTURE -

9/Feb/96 Work over the past two weeks is demo - and Temp. Wall construction

9/Feb/96 0830 met with Ms. D. Lachance, Tinsman may. and engineer of project -
 we TALK ABOUT SPECIAL INSPECTIONS - my inspections and roles of ALL members of Team.

13/Feb/96 0815 Check in at Tinsman office for walk through office open. Nobody in
 office - I WALK ALL AREAS OF ACTIVITY - 3rd Floor Temp walls being placed, 2nd Floor same
 First Floor same - Basement City Hall same - Check Auditorium, seats 90% removed
 areas behind stage Partitions and Finish Floors removed - Check back at Tinsman
 office TALKED TO ^(Lorraine) Secretary - Tom & John on site -

20/Feb/96 - Check-in at main office - walked construction - Demo. going as per plans
 D-1 basement level - Demo notes - D-2 orchestra level - D-3 1st balcony - D-4 2nd balcony -
 D-5 2nd balcony upper - D-6 ATTIC + Asbestos STILL being removed - Had questions
 on mechanical rm - opening at D-2 (99) Lintel - Talked to Tom of Tinsman he is going to
 look into this - STAIR #1 enclosed with gypsum - steel doors - D2 - 37 NOTE about complete
 (1968 addition. demo L-sh) (D-2 Demo notes - done 1-3-4-5 thru 58 in ALL stages of removal - D-3 Asbestos
 being removed balcony) ALL work in Demo NOTE started or finished - D-4 ALL work in Demo notes started or finished

D-5 (see Files in ATTIC for complete info on project)

Inspection Record	
Type	Date
Foundation:	_____
Framing:	_____
Plumbing:	_____
Final:	_____
Other:	_____

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 22, 1996

Granger Northern, Incorporated
51 Baxter Boulevard
Portland, Maine 04101

RE: 389 Congress Street
Portland City Hall Auditorium

Dear Sir,

Your application to make alterations to City Hall Auditorium has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

This project is categorized in Use Group A-1, Classification 2A using the BOCA 1993 building code standards.

Building and Fire Code Requirements

1. This building permit application was reviewed under Chapter 34 of the 1993 BOCA National Building Code (Existing Structures).
2. Additions/alterations to existing structures shall conform to the requirements for a new structure without requiring existing structure to comply with requirements of this code regarding new construction and shall not result in an increase in hazard to the occupants. Any existing structures or additions shall comply with the height and area requirements of Section 503.0. Any existing fire area increased by the addition shall comply with Chapter 9. Any alterations made to the existing structure shall comply with the requirements of Chapters 1 and 34 of the City's Building Code (The BOCA National Building Code/1993, Section 3404.1)
3. Specific occupancy areas which are incidental to the main use group shall be separated and protected in accordance with Table 302.1.1 and shall be classified in accordance with Table 302.1.1 with the main use groups of the portion of the building in which the specific occupancy is located.
4. Any alterations to the stage must be done to comply with Section 412.0 of the building code.

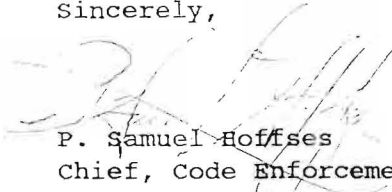
5. New fire walls shall be constructed in accordance with Section 707.0.
6. All penetrations into and openings through an exit enclosure assembly are prohibited except as stated in Section 1014.11.2.
7. Open shafts shall meet the requirements of Table 602., Section 709.0.
8. All structural elements must meet the fire resistant requirements of Chapter 7, Sections 713.0, 715.0, 716.0, 717.0, 718.0 and 719.0.
9. Firestopping and draftstopping shall be done in compliance with Section 720.0
10. The fire suppression system shall be approved by the local and State Fire Marshall's Office.
 - a. A fire alarm acceptance report shall be submitted to the Portland Fire Department.
 - b. A certification of sprinkler performance test shall be submitted to the Portland Fire Department.
 - c. A 4" storz sprinkler connection is required.
11. Portable fire extinguishers shall be installed in locations in accordance with NFPA 10.
12. Guard and handrails shall be installed and maintained as per Section 1021. and 1022. of the building code.
13. Area of refuge shall comply with Section 1007.5.
14. The proposed new addition shall meet the requirements of Chapter 16 of the building code. Documents on structural loads, snow, wind, earthquake, live and dead loads must be submitted to this office on each of these categories.
15. **The permit applicant shall provide special inspections** as outlined in Section 1705. of the building code.
16. All soil tests shall be done in accordance with Section 1803. All reports of foundation investigations, soil testing and loadbearing value of soil shall be submitted to this office
17. The design and construction of reinforced concrete components that resist seismic forces shall conform to the requirements of Section 1903. and ACI 318 except as modified by Section 1903.1.1.
- 18 The provisions of Chapter 21 govern the material, design, construction and quality of masonry.

19. All steel shall conform to the requirements of Chapter 22.
20. All assembly aisles and aisle accessways shall comply and be installed as per the requirements of Section 1012.0 of the building code.
21. The air distribution system shall meet and be installed as per Chapter 3 of the City's Mechanical Code (The BOCA National Mechanical Code/1993).
22. All mechanical equipment shall meet the requirements of the City's Mechanical Code, Chapter 4.
23. Ventilation air shall meet the requirements of Chapter 16 of the City's Mechanical Code.
24. Any changes from the approved plans must first have the approval of the design professional, the owner and this office.
25. The name, address and telephone numbers of all sub-contractors must be submitted to this office.

Please note that any plumbing permits must be applied for in this office and a fee paid. This is a state permit and is not under local jurisdiction.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,



P. Samuel Hoffses
Chief, Code Enforcement Division

cc: Anita R. Lachance, Asst. City Clerk
Joseph E. Gray, Dir, PUD
Chief J. Thomas, PFD
Lt. McDougall, PFD
M. Schmuckal, Asst. Chief, Code Enf Div
G. Hamilton, Hist. Pres.

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical code and the following specification:

Date 2/14/96
 Permit # 4826

LOCATION: 389 Congress St- Auditorium

OWNER city of Portland ADDRESS _____

								TOTAL EACH FEE		
OUTLETS	374									
	374	Receptacles	200	Switches				574	.20	
FIXTURES		(number of)								
	6	incandescent	1500	fluorescent				1506	.20	
		fluorescent strip							.20	
SERVICES										
		Overhead			TTL AMPS TO	800			15.00	
	x	Underground				800	3000		15.00	
TEMPORARY SERV.										
		Overhead			AMPS OVER	800			25.00	
		Underground				800			25.00	
METERS	1	(number of)						1	1.00	
MOTORS	45	(number of)						45	2.00	
RESID/COM	4	Electric units						4	1.00	
HEATING		oil/gas units							5.00	
APPLIANCES		Ranges		Cook Tops	Wall Ovens				2.00	
		Water heaters		Fans	Dryers				2.00	
Disposals		Dishwasher		Compactors	Others (denote)				2.00	
MISC. (number of)		Air Cond/win							3.00	
		Air Cond/cent							10.00	
		Signs							5.00	
		Pools							10.00	
		Alarms/res							5.00	
	2	Alarms/com						2	15.00	
		Heavy Duty							2.00	
		Outlets								
		Circus/Carnv							25.00	
		Alterations							5.00	
		Fire Repairs							15.00	
		E Lights							1.00	
	1	E Generators						1	20.00	
	22	Panels						22	4.00	
TRANSFER		0-25 Kva							5.00	
	2	25-200 Kva						2	8.00	
		Over 200 Kva							10.00	
								TOTAL AMOUNT DUE		674.00
								MINIMUM FEE		25.00

INSPECTION: Will be ready _____ or will call waived-
 per City
 Mgr's office

CONTRACTORS NAME L & B Elect
 ADDRESS Lisbon ME
 TELEPHONE 353-5521
 MASTER LICENSE No. Jim Lamson #04826
 LIMITED LICENSE No. _____

SIGNATURE OF CONTRACTOR
James A. Lamson 2/14/96

ELECTRICAL INSTALLATIONS —

Permit Number 4826

Location 329 Longfrees

Owner City of Portland

Date of Permit 01-14-96

Final Inspection _____

By Inspector _____

INSPECTIONS: Service _____ by _____

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS: 5/16/96 (WALLS - THRU)

6/4/96 (ROUGH-IN)

7/14/96 (")

8/24/96 (WALLS - THRU)

_____ / _____ / _____

_____ / _____ / _____

DATE:	REMARKS:
5/16/96	CHECKED LICENSES FOR (1 to 1)
	(All OK) , DEMO & ROUGHING IN GOING ON
6/4/96	ROUGH-IN WALLS & CEILING SENDING AREA (OK)
7/14/96	BATH ROOM (ROUGH-IN) CEILING AREA (OK)
8/24/96	(ALL OK GOING WELL) WELL
11/14/96	Called in hook up
11/14/96	WALLS - THROUGH / SERVICE / CONDUIT WELL



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION Portland City Hall Auditorium

Issued to City of Portland

Date of Issue 28Feb97

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 960029, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

City Hall Auditorium

Use Group (A-1) Theatre

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

23/1/97
(Date)

J. H. P. S.
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

[Handwritten initials]