

27-C-1

266 Cumberland Ave.

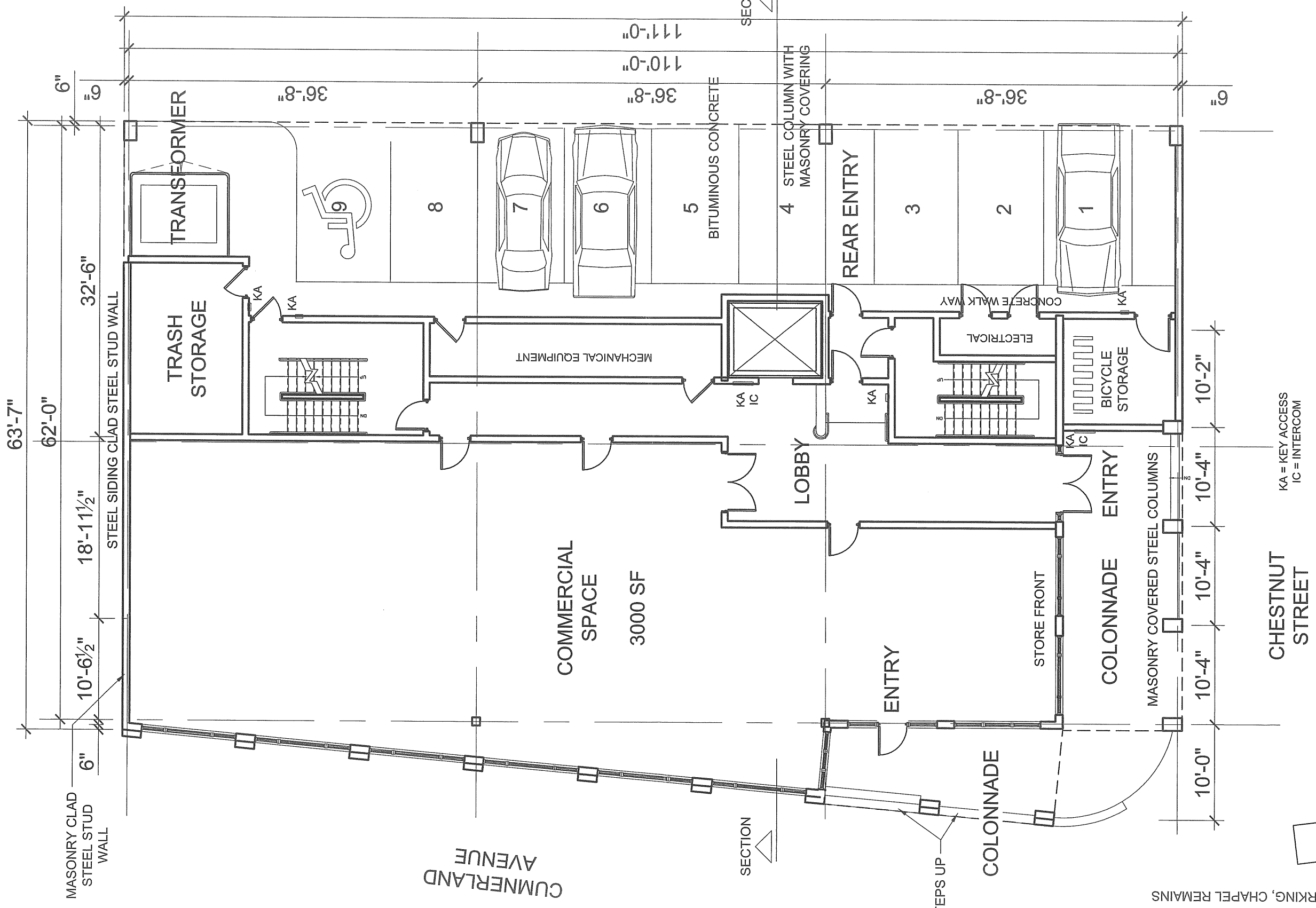
Chestnut St. Church

Chestnut St. LLC.

2005-0096

SCALE: 3/32"=1'-0"

FIRST FLOOR PLAN

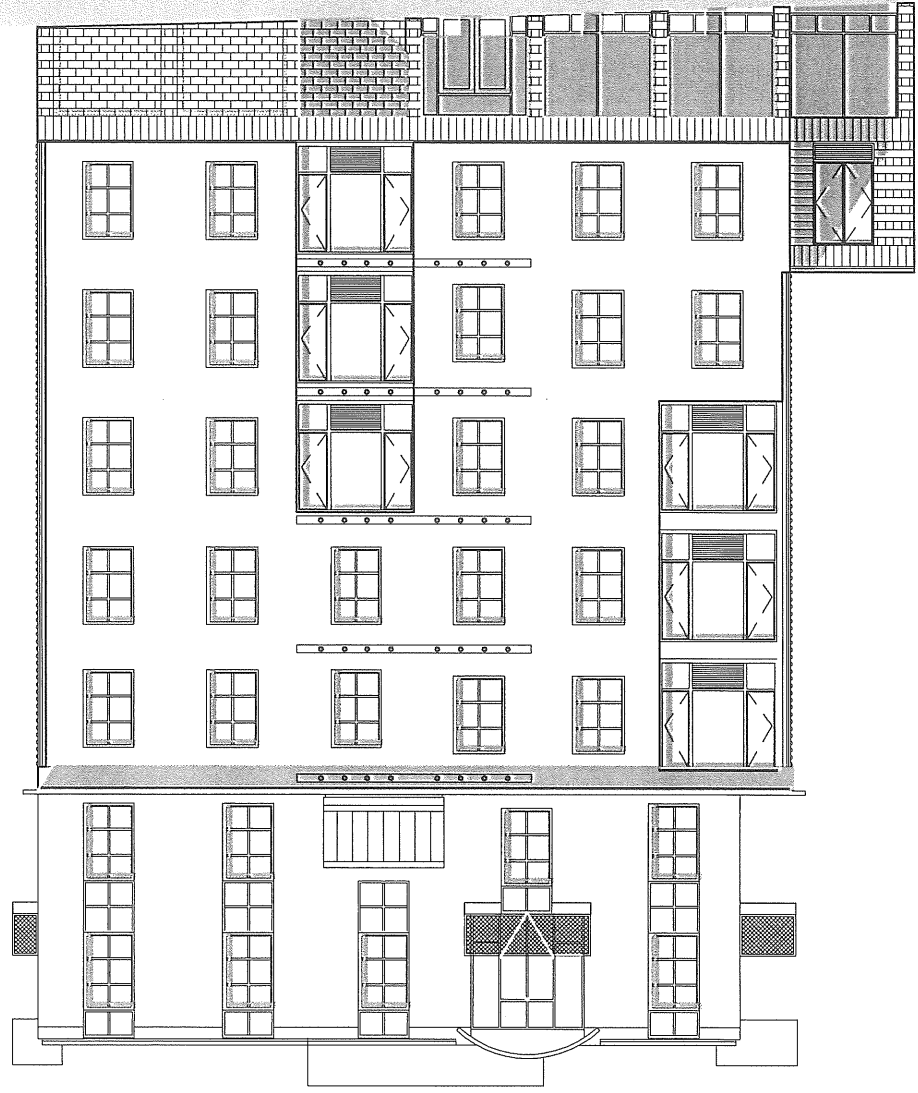


PROGRESS PRINT ONLY
 Not for Construction

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
 AUGUST 3, 2005

CHESTNUT STREET LOFTS

CHESTNUT STREET ELEVATION
SCALE: 1/16"=1'-0"



CUMBERLAND AVENUE ELEVATION
SCALE: 1/16"=1'-0"

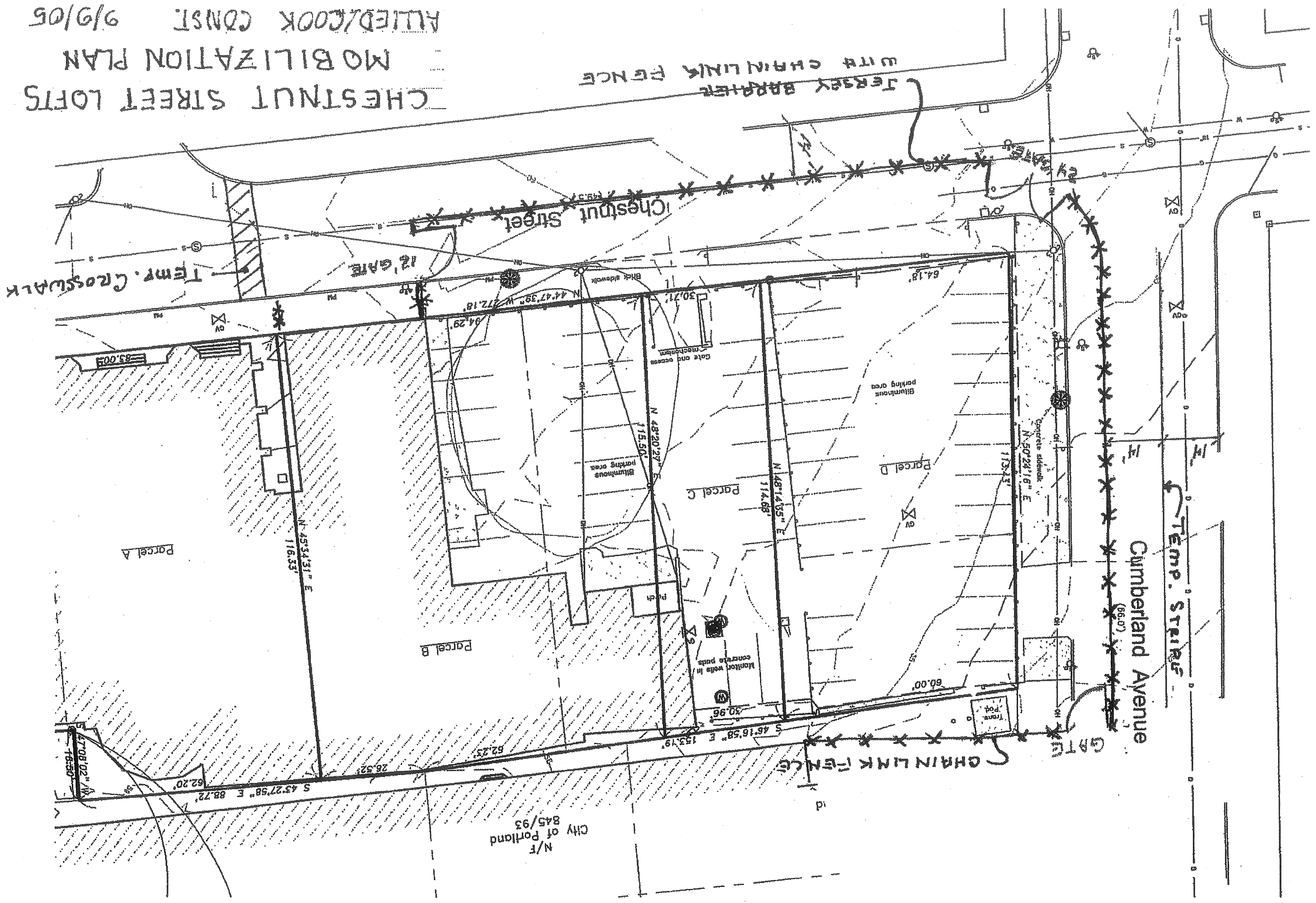


CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 3, 2005

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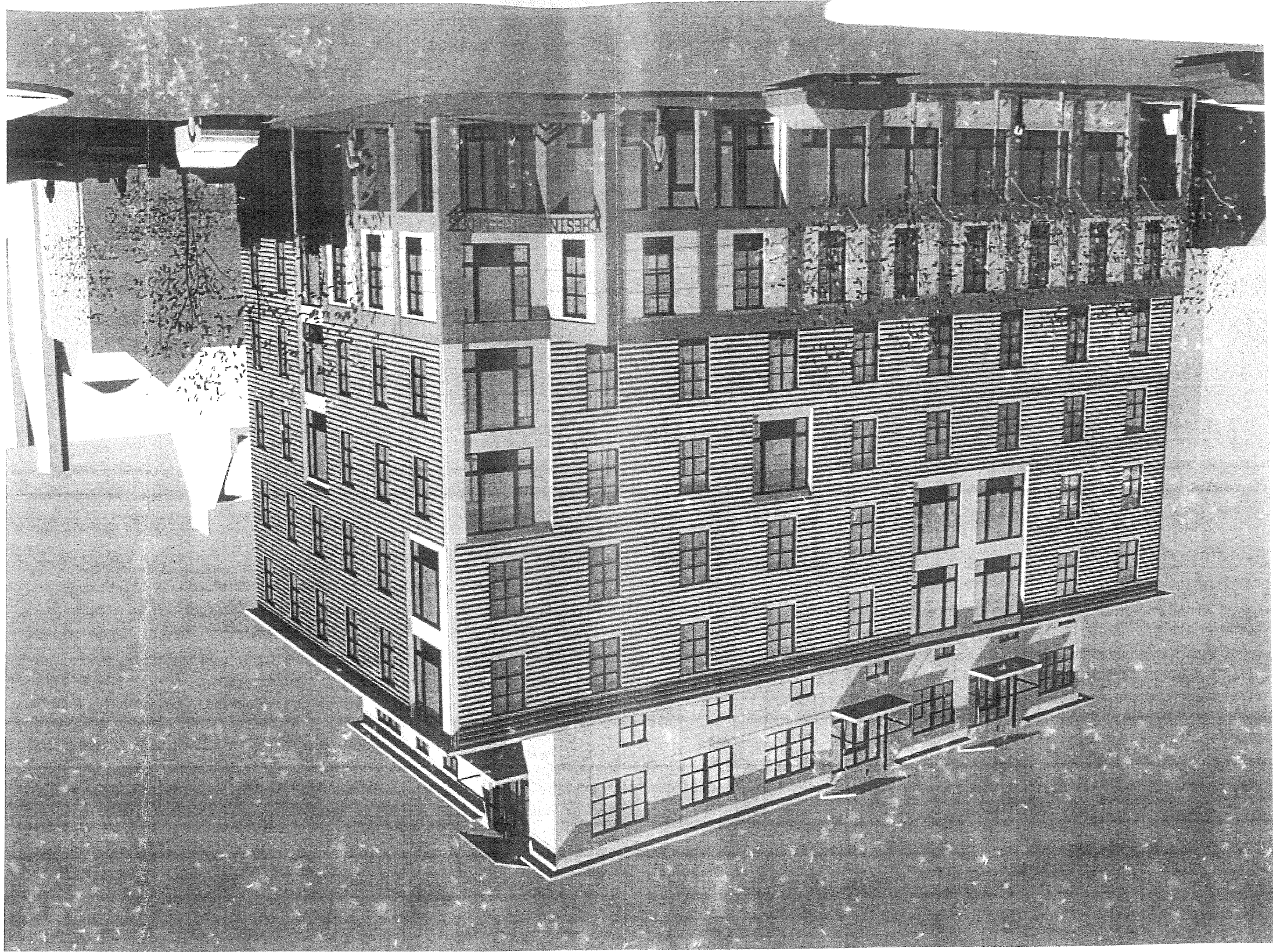
ALLIED/COOK CONST. 9/9/05
MOBILIZATION PLAN
CHESTNUT STREET LOFTS



ATQ

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
PORTLAND, MAINE
CHESTNUT STREET

TFH ARCHITECTS
ARCHITECTURE PLANNING



CHESTNUT STREET LOFTS
VIEW FROM THE SOUTH

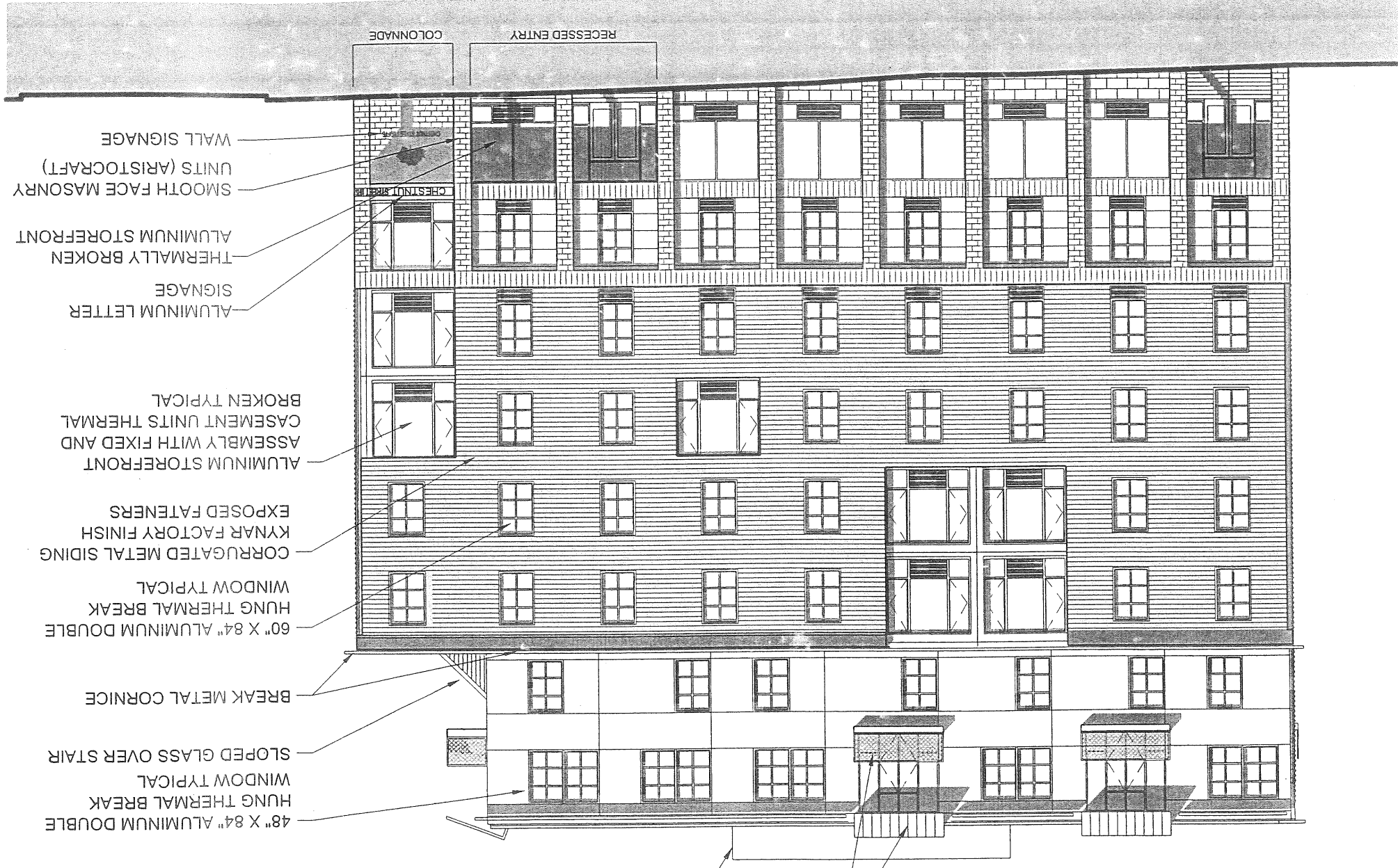
A.H.P.

CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 23, 2005

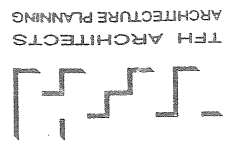
PROGRESS PRINT ONLY
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GALVANIZED STEEL CANOPY, DECK AND GUARD
MECHANICAL SCREEN IF REQUIRED



WEST (CUMBERLAND AVENUE) ELEVATION

SCHEMATIC ELEVATIONS
SCALE: 1/16"=1'-0"

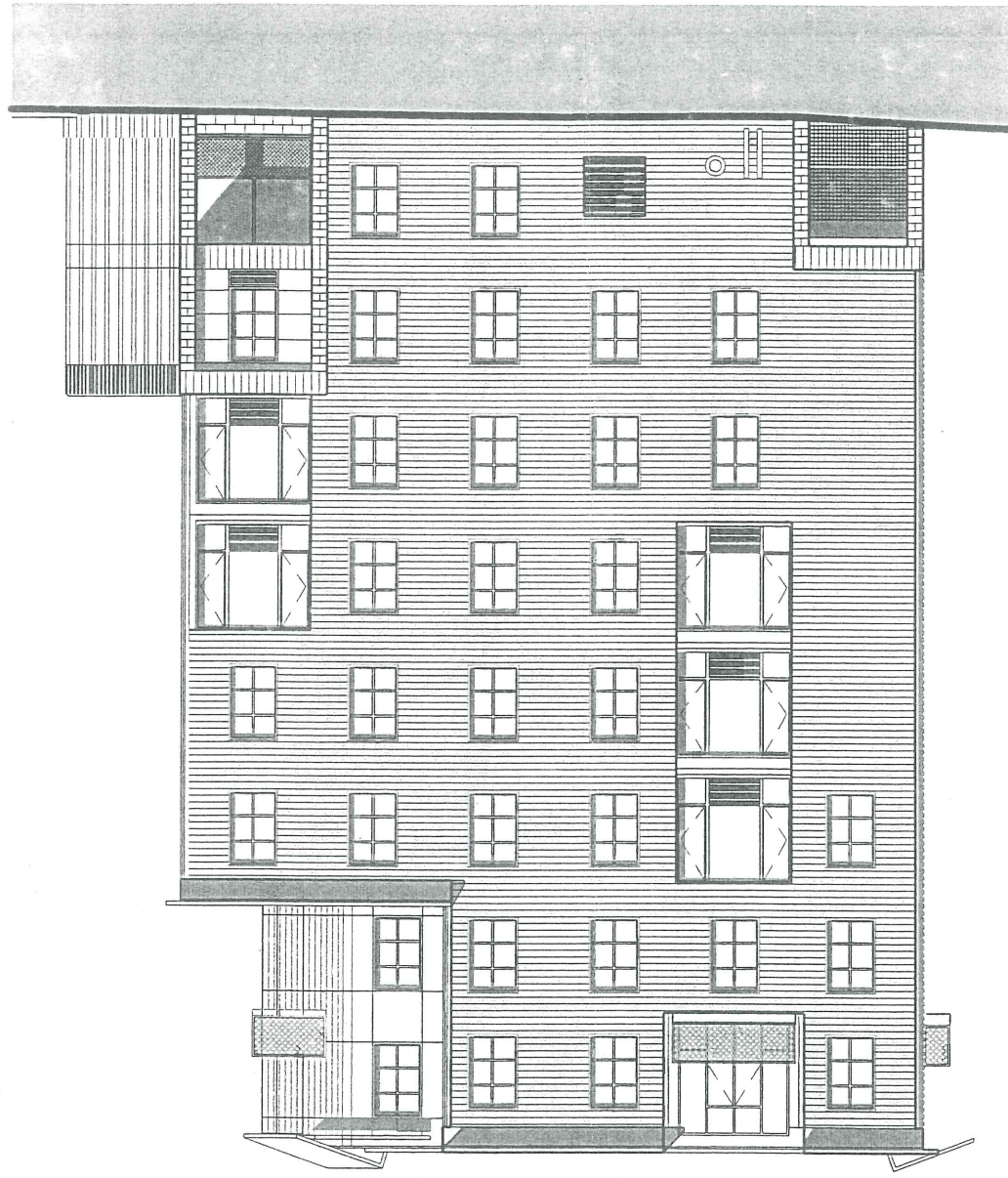


SOUTH (CHESTNUT STREET) ELEVATION

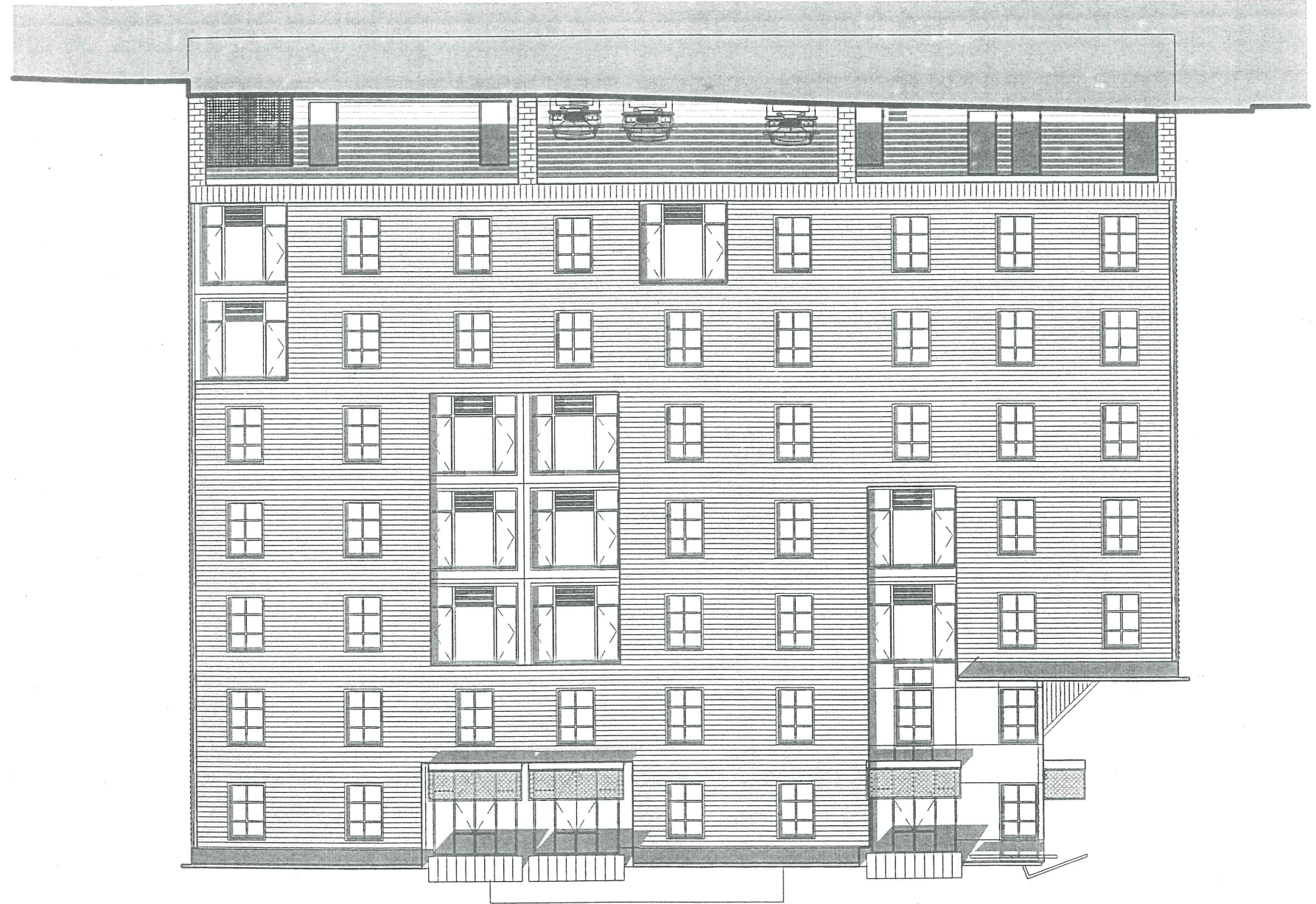
CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
PORTLAND, MAINE
CHESTNUT STREET



NORTH ELEVATION



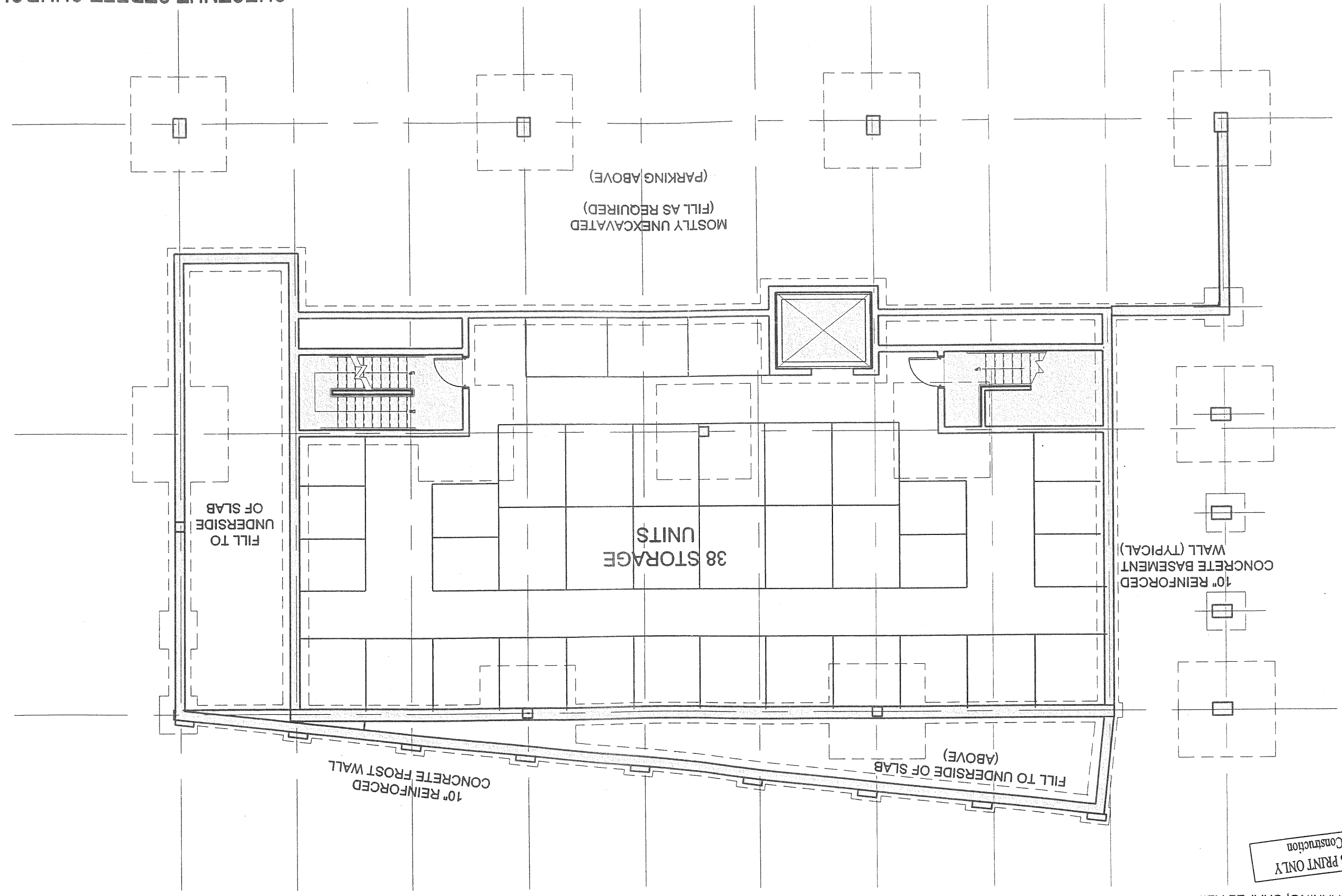
EAST ELEVATION



PROGRESS PRINT ONLY
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BASEMENT FLOOR PLAN

SCALE: 3/32"=1'-0"



CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 23, 2005

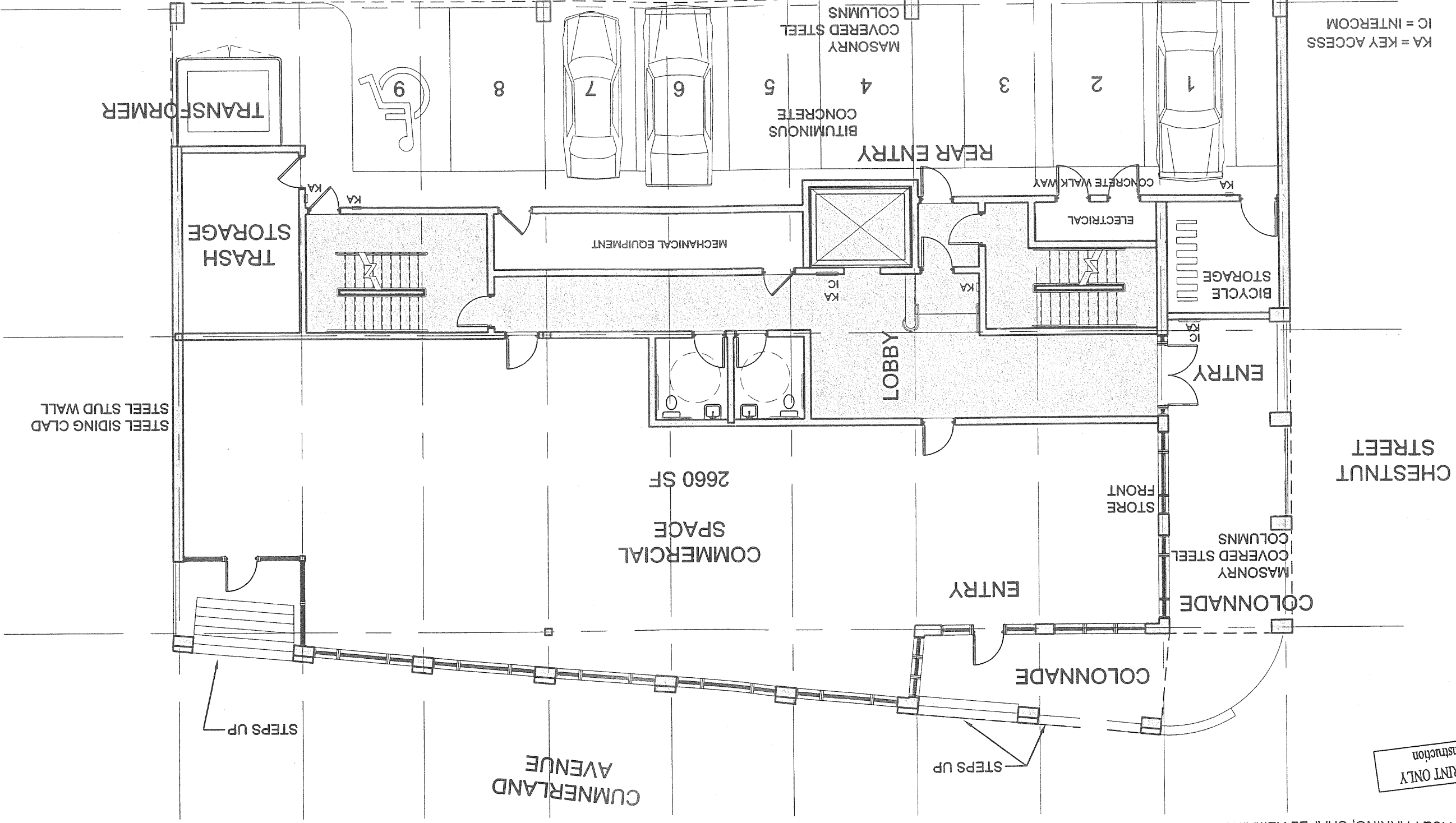
PROGRESS PRINT ONLY
Not for Construction

CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 23, 2005

PROGRESS PRINT ONLY
Not for Construction

CUMNERLAND AVENUE



1ST FLOOR PLAN

SCALE: 3/32"=1'-0"

TFH ARCHITECTS
ARCHITECTURE PLANNING

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
PORTLAND, MAINE
CHESTNUT STREET

STEEL SIDING CLAD
STEEL STUD WALL

STEPS UP

STEPS UP

STORE
FRONT

MASONRY
COVERED STEEL
COLUMNS

COLONNADE

ENTRY

COMMERCIAL
SPACE
2660 SF

LOBBY

ENTRY

STORAGE
BICYCLE

ELECTRICAL
CONCRETE WALKWAY

REAR ENTRY

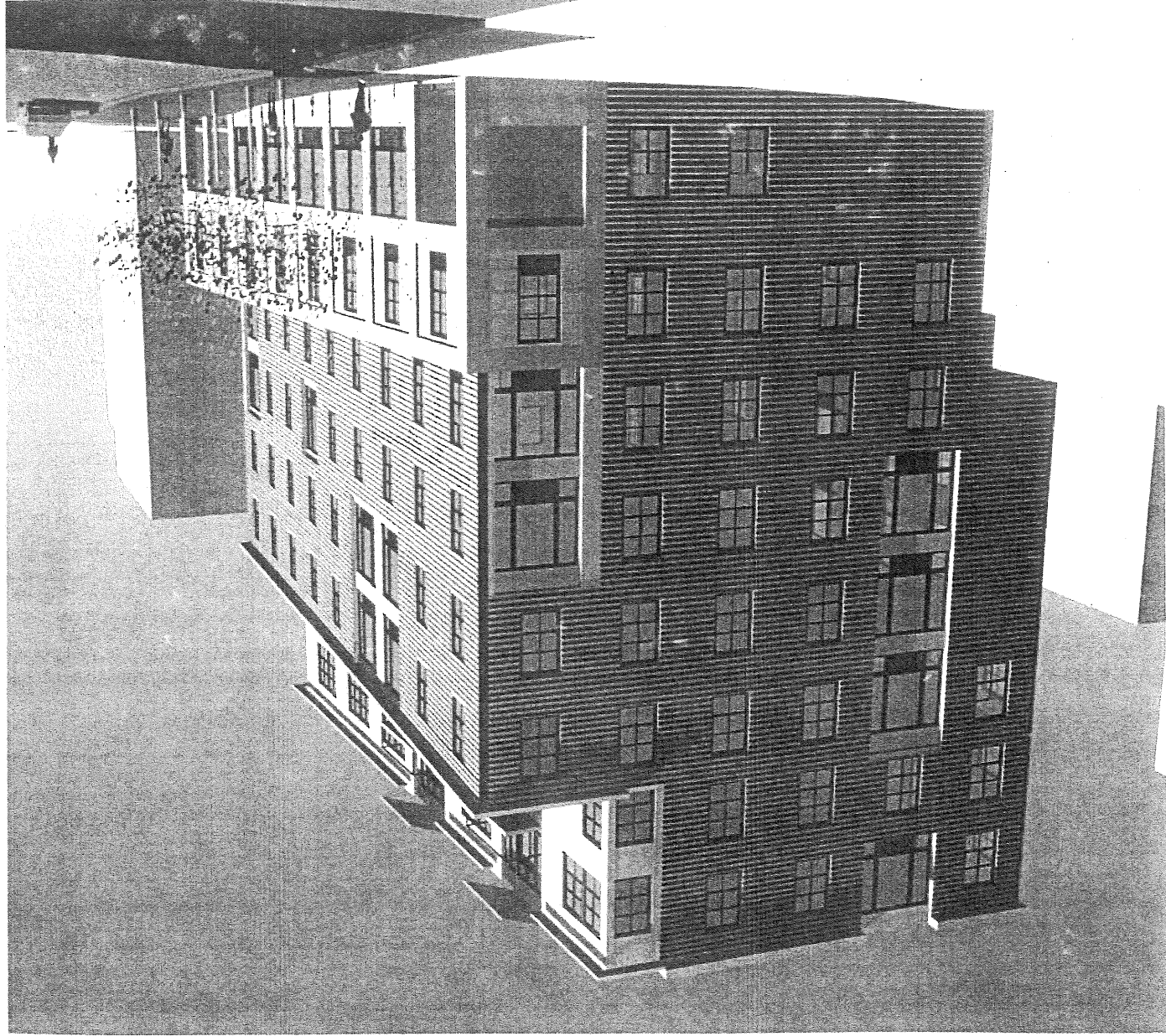
BITUMINOUS
CONCRETE
MASONRY
COVERED STEEL
COLUMNS

TRANSFORMER

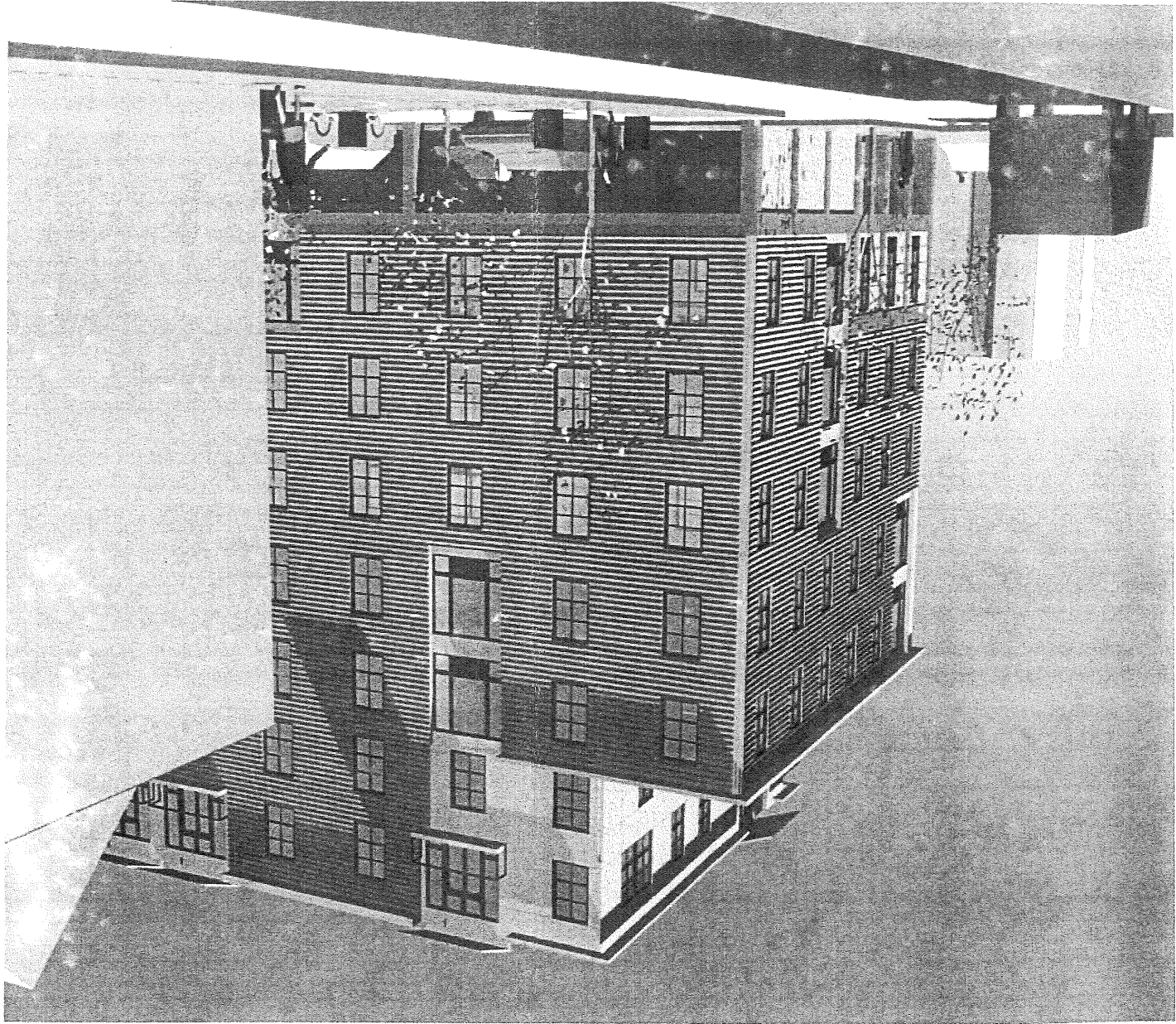
KA = KEY ACCESS
IC = INTERCOM

CHESTNUT STREET LOFTS

VIEW FROM NORTHWEST



VIEW FROM EAST

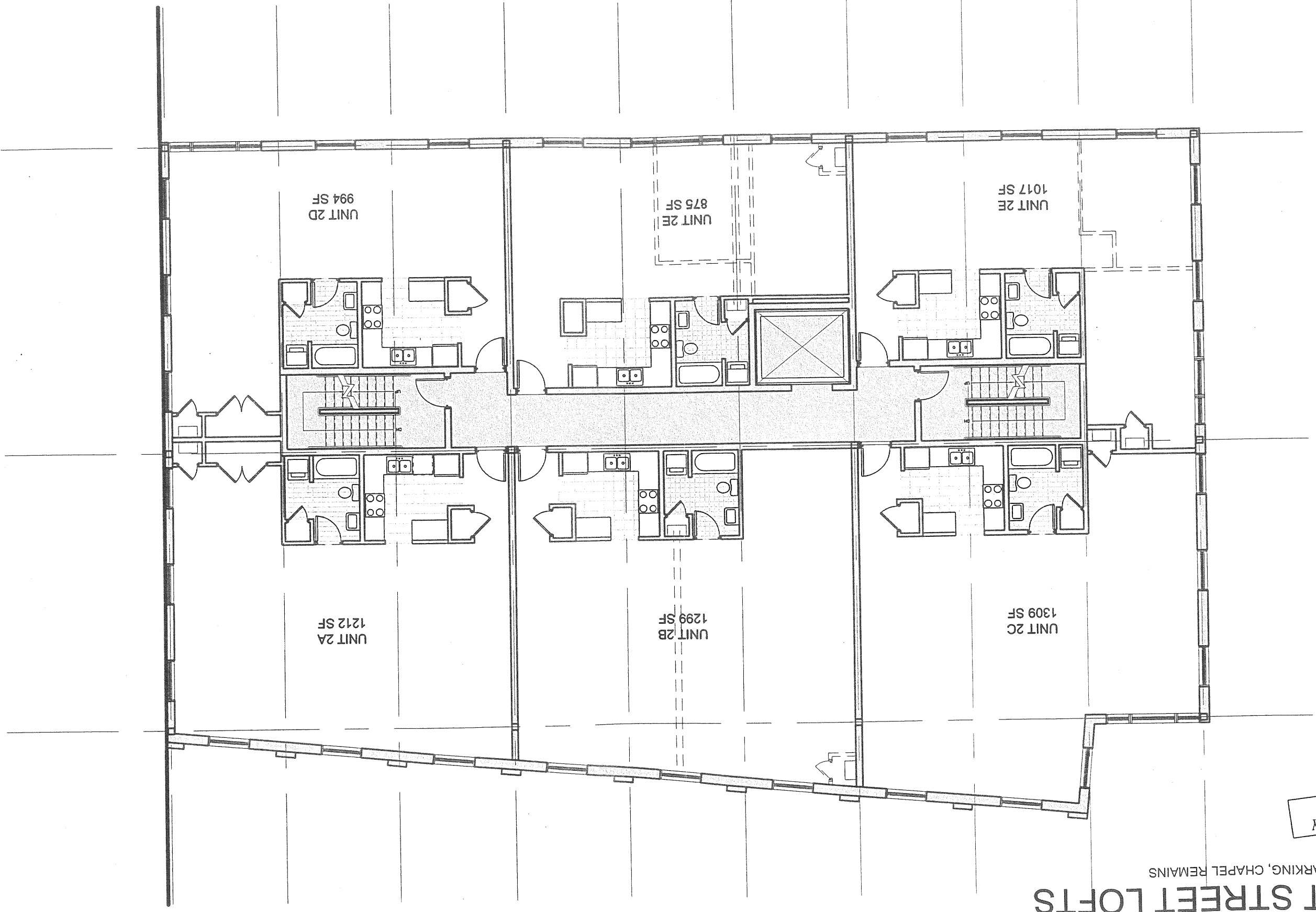


CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET
PORTLAND, MAINE

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET
PORTLAND, MAINE

TFH ARCHITECTS
ARCHITECTURE PLANNING

2ND FLOOR PLAN
(6 UNITS)
SCALE: 3/32"=1'-0"



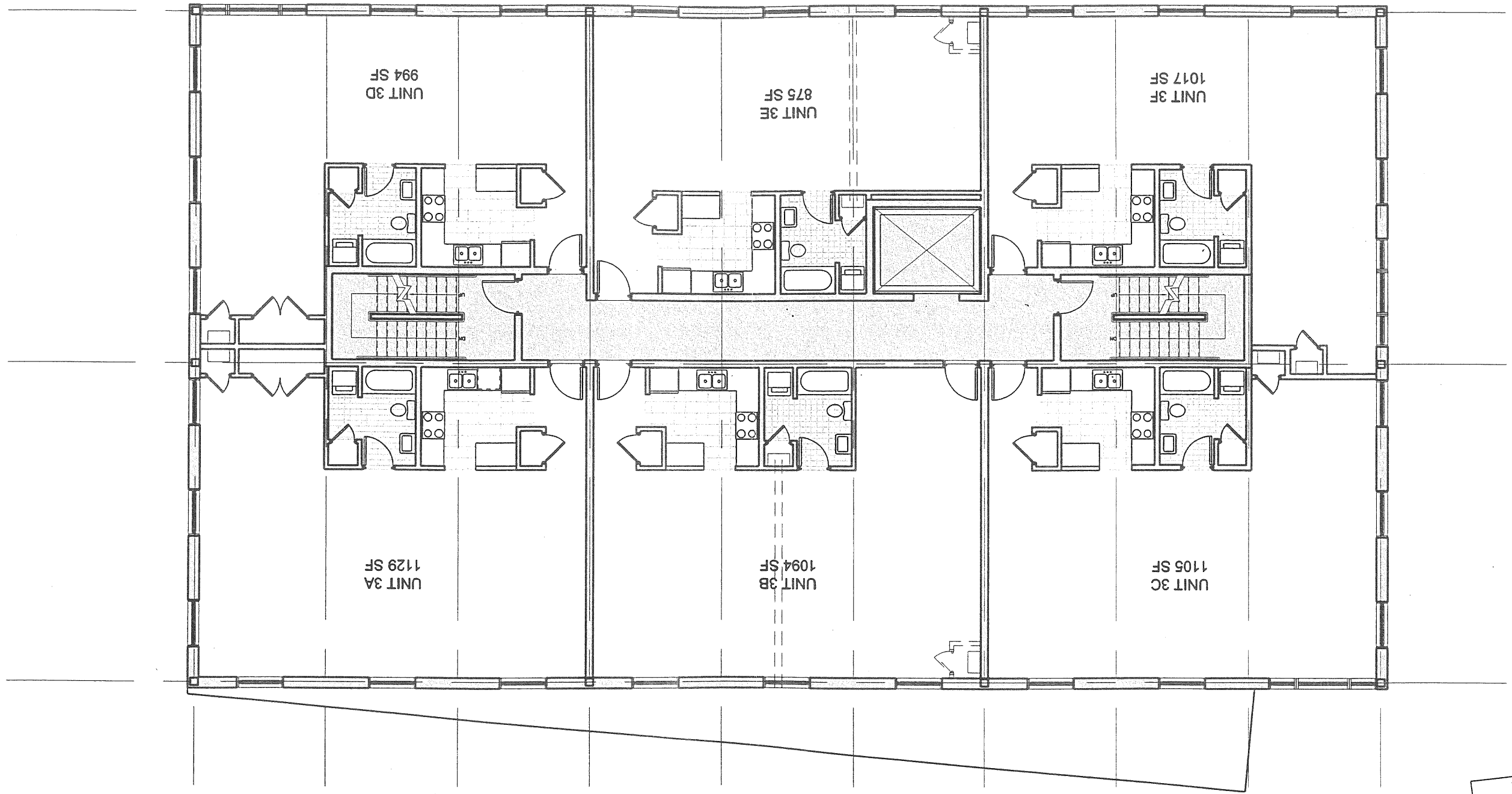
CHESTNUT STREET LOFTS
HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 23, 2005

PROGRESS PRINT ONLY
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CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
August 23, 2005

PROGRESS PRINT ONLY
Not for Construction



3RD-5TH FLOOR PLAN

(6 UNITS)
SCALE: 3/32"=1'-0"

SCHEMATIC ELEVATIONS
SCALE: 3/32"=1'-0"

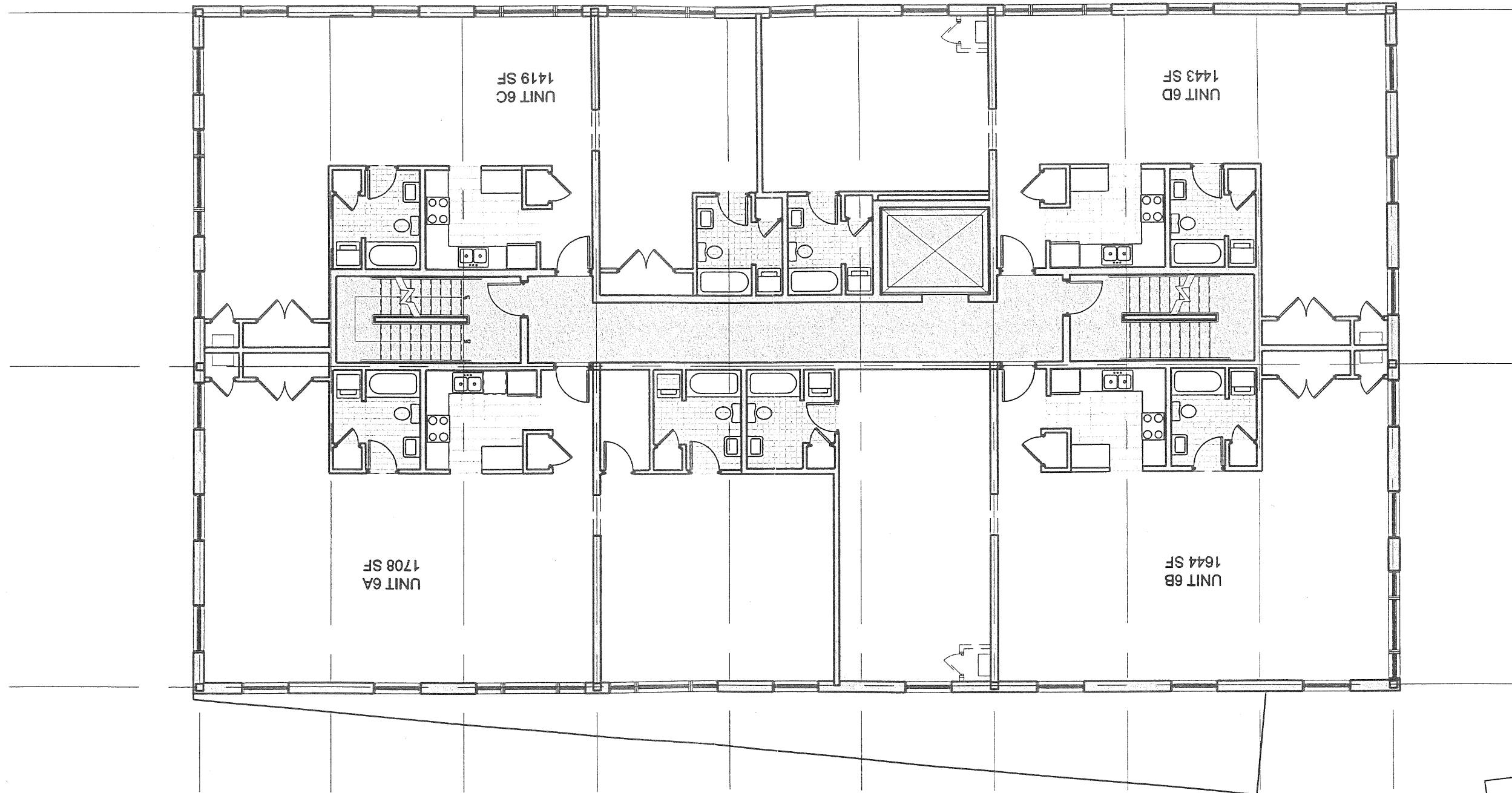
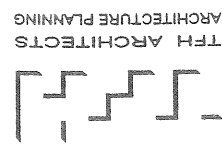


TFH ARCHITECTS
ARCHITECTURE PLANNING

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET
PORTLAND, MAINE

6TH FLOOR PLAN

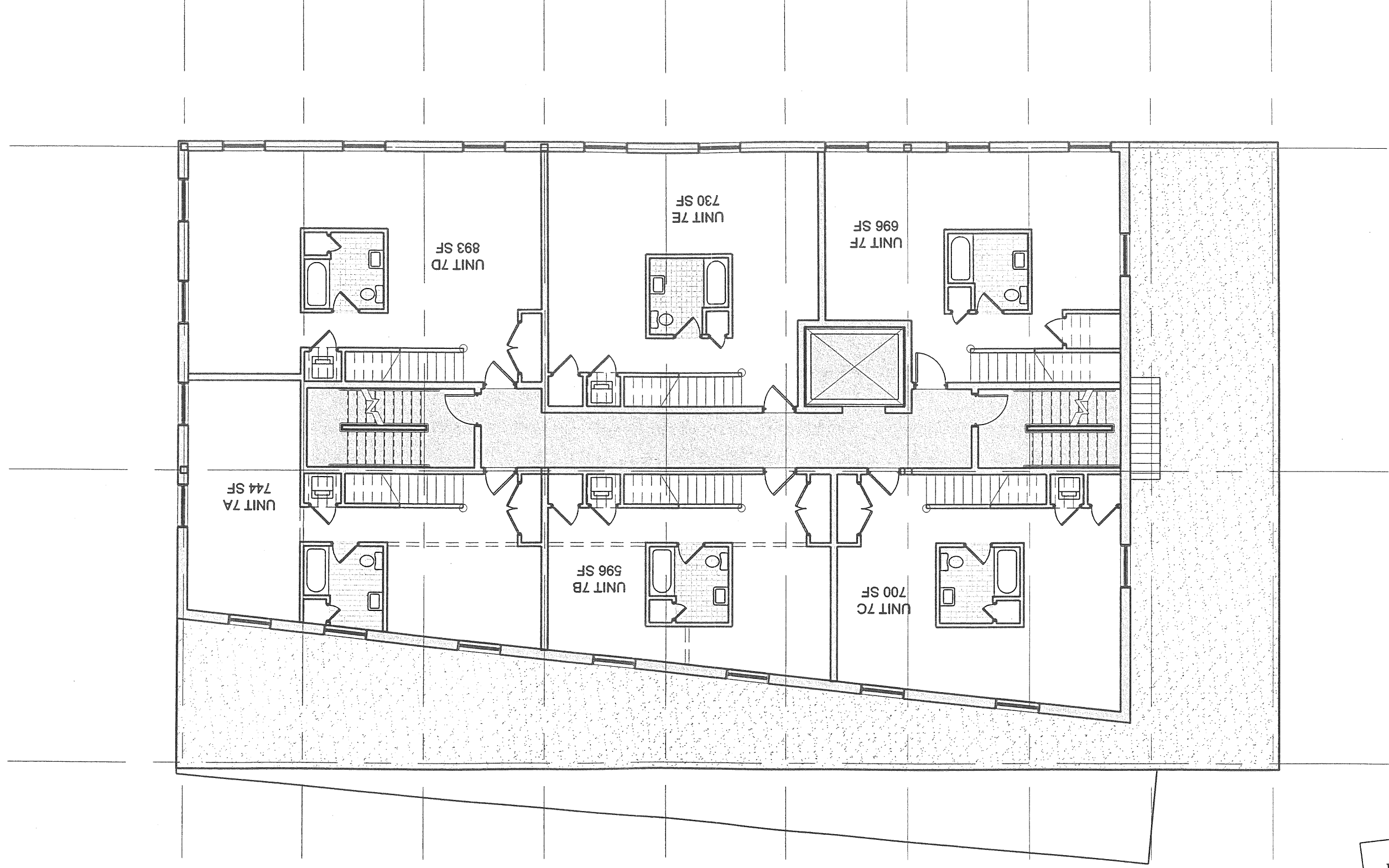
(4 UNITS)
SCALE: 3/32"=1'-0"



CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
August 23, 2005

PROGRESS PRINT ONLY
Not for Construction



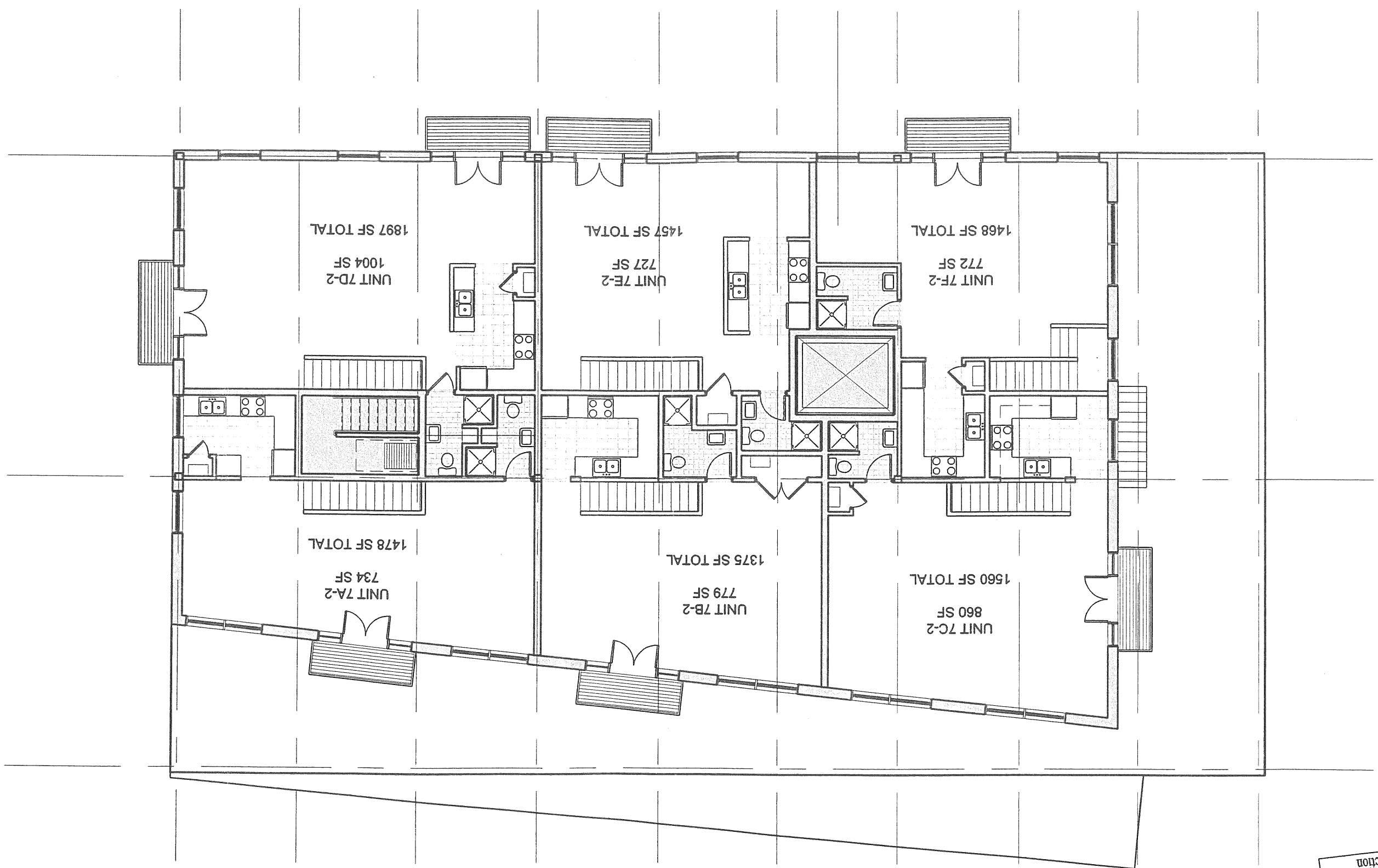
PROGRESS PRINT ONLY
Not for Construction



SCALE: 3/32"=1'-0"
(6 UNITS, UPPER HALF)

8TH FLOOR PLAN

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET
PORTLAND, MAINE



PROGRESS PRINT ONLY
Not for Construction

AUGUST 23, 2005
HOUSING AND SURFACE PARKING, CHAPEL REMAINS

CHESTNUT STREET LOFTS

- Utilities:**
- * WATER: PORTLAND WATER DISTRICT - DAVID COFFIN, ENGINEERING 207-774-5961
BRAD ROLAND 207-874-8846
 - * SEWER: CITY OF PORTLAND DPW - BARBARA WACKER 207-490-3074
 - * TELEPHONE: VERIZON - GEORGE HILLMAN 207-797-1798
 - * CABLE: TIME WARNER CABLE - DEB PAIEMENT 207-253-2662

Project Team

Architect:
TFH ARCHITECTS
100 Commercial Street
Portland, ME 04101
(207) 775-6141

Engineering, Permitting & Landscape Architecture:
LAND USE CONSULTANTS, INC.
966 Riverside Street
Portland, ME 04103
(207) 878-3313

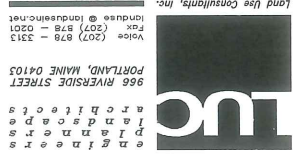
Survey:
TTTCOMB ASSOCIATES
133 Gray Road
Falmouth ME 04105
(207) 797-9199

Traffic:
JOHN MURPHY
221 Brown Road
West Baldwin, ME 04091
(207) 625-8222

1/16/06 Revised Final Review - City of Portland
1/20/05 Revised Final Review - City of Portland
8/23/05 Final Review - City of Portland
7/19/05 Preliminary Review - City of Portland



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141



Land Use Consultants, Inc.
966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878-3313
Fax (207) 878-0301
Indus@landuseinc.net



DWG #

COVER SHEET	0
EXISTING CONDITIONS & STANDARD BOUNDARY PLAN	(1 of 1)
RECORDING PLAT	(1 of 1)
EXISTING CONDITIONS & REMOVALS	C-1
LAYOUT	C-2
UTILITY	C-3
GRADING, DRAINAGE & EROSION CONTROLS	C-4
LANDSCAPE	C-5
LIGHTING-PHOTOMETRICS	C-5A
DETAILS	C-6
DETAILS	C-7
DETAILS	C-8
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CUMBERLAND AVENUE STREETSCAPE	
A-2.0 EXTERIOR ELEVATIONS	
A-2.1 EXTERIOR ELEVATIONS	

Index Of Drawings

Final
Subdivision & Site Plan
29 Chestnut Street
Portland, Maine 04101

Prepared For:
Chestnut Street Lofts, LLC
One India Street, Portland, Maine 04101

Legend

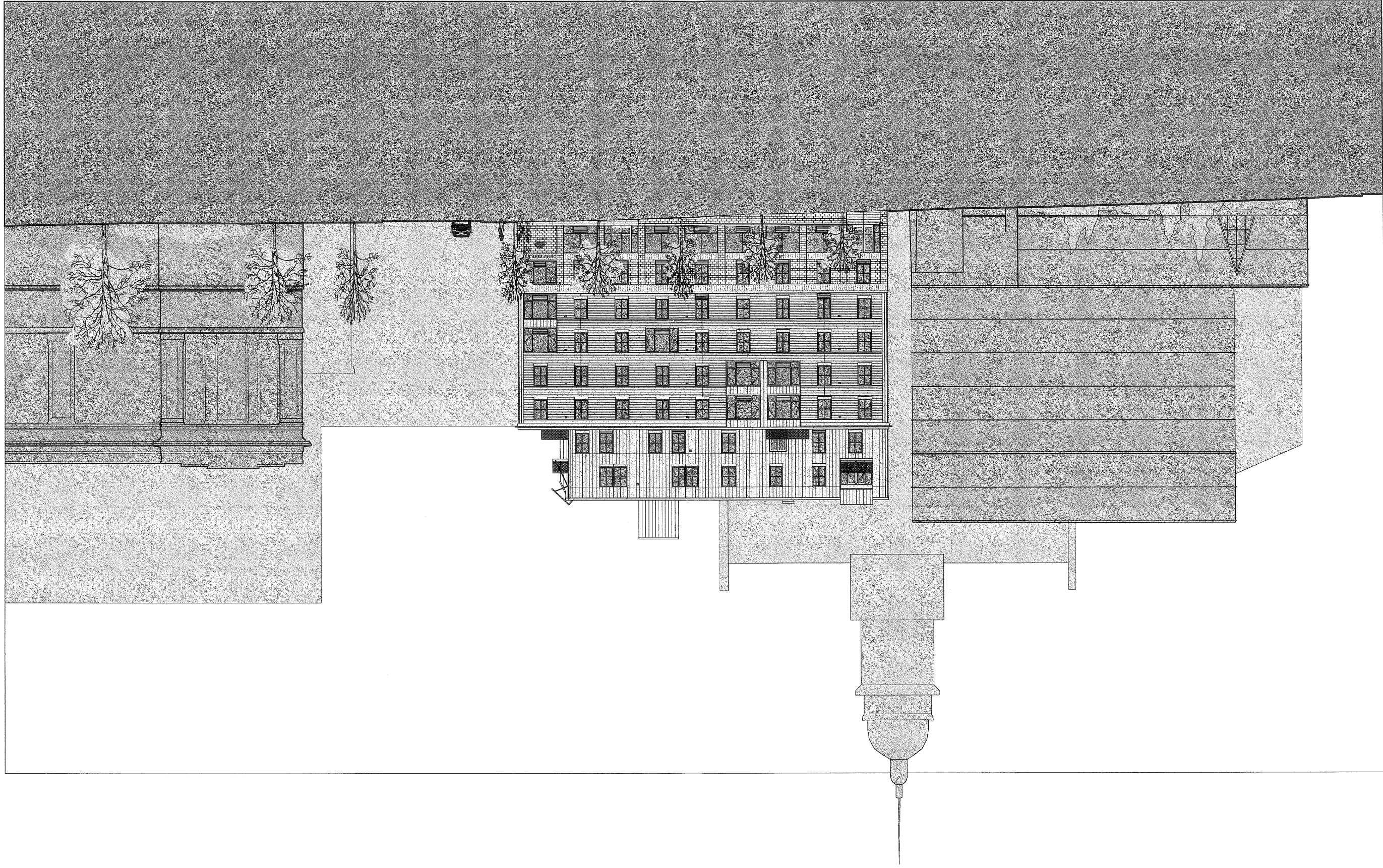
EXISTING	PROPOSED
SPOT GRADE	SPOT GRADE
PROPERTY LINE	PROPERTY LINE
ROADWAY CENTERLINE	ROADWAY CENTERLINE
BUILDING SETBACK	BUILDING SETBACK
EDGE OF PAVEMENT	EDGE OF PAVEMENT
BIT CURB	BIT CURB
BUILDING	BUILDING
SS SANITARY SEWER	SS SANITARY SEWER
SD STORM DRAIN	SD STORM DRAIN
G GAS	G GAS
W WATER MAIN	W WATER MAIN
OVERHEAD WIRE	OVERHEAD WIRE
UNDERGROUND ELEC.	UNDERGROUND ELEC.
UTILITY POLE	UTILITY POLE
CATCH BASIN	CATCH BASIN
MANHOLE	MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
TRANSFORMER	TRANSFORMER
RIP RAP	RIP RAP
SIDEWALK RAMP	SIDEWALK RAMP
STONE CHECK DAM	STONE CHECK DAM
EROSION CONTROL MATTING	EROSION CONTROL MATTING
LIGHT POLE	LIGHT POLE
UNIT PROPANE TANK	UNIT PROPANE TANK
EROSION CONTROL BARBER	EROSION CONTROL BARBER
WOOD FENCE	WOOD FENCE
DECORATIVE PAVEMENT	DECORATIVE PAVEMENT
SANITARY SEWER CLEANOUT	SANITARY SEWER CLEANOUT
FLARED END SECTION	FLARED END SECTION
STANDARD CULVERT END	STANDARD CULVERT END
THRUST BLOCK	THRUST BLOCK
TRANSFORMER PAD	TRANSFORMER PAD

- General Notes:**
1. PLANNING AND TOPOGRAPHIC DETAIL SHOWN HEREON IS BASED ON THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED BY TTTCOMB ASSOCIATES AND PLAN ENTITLED "EXISTING CONDITIONS SURVEY," DATED JANUARY 19, 2005.
 2. NORTH AS SHOWN HEREON IS BASED ON GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM.
 3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF PORTLAND DATUM (BENJAMIN BRASS DIS IN WEST ZONE).
 4. GRANITE WALL NEAR THE SOUTH STEPS OF PORTLAND CITY HALL ALONG CONGRESS STREET, ELEVATION=69.66 FEET BASED ON NGVD OF 1929.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW.
 6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
 7. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
 8. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND STANDARDS & APPLICABLE UTILITY COMPANIES STANDARDS.
 9. CONTRACTOR SHALL VERIFY LOCATIONS & DEPTHS OF ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
 10. NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEGAL BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNLESS WRITTEN APPROVAL FROM THE UTILITY IS OBTAINED.
 11. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
 13. INLETS AND OUTLETS OF ALL DRAIN LINES SHALL BE RIP RAPPED UNLESS OTHERWISE NOTED ON PLANS OR DIRECTED BY THE ENGINEER.
 14. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS IF REQUIRED FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANY REQUIREMENTS.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROLS AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH PRACTICES OF THE DEPARTMENT OF CONSTRUCTION & SEWERAGE CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, LATEST EDITION.
 16. ALL TRAFFIC MARKINGS AND SIGNS SHALL COMPLY WITH AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1988 OR LATER VERSION.
 17. CONSTRUCT UTILITY SERVICE CONNECTIONS TO FIVE FEET BEYOND STREET LINE. PROVIDE ANNUAL FITCH OF 1/8" PER FOOT FOR SEWER AND DRAINAGE LINES.

Ath. G.A.

CUMBERLAND AVENUE STREETSCAPE

CHESTNUT STREET LOFTS
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC
CHESTNUT STREET
PORTLAND, MAINE



AH.G.B

OWNER OF RECORD

- (1) BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- (2) BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE.
- (3) ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE, BASED ON LOCATION OF VISIBLE FEATURES AND INFORMATION PROVIDED BY OTHERS. DIG SAFE AND/OR THE APPROPRIATE UTILITIES SHOULD BE CONTACTED PRIOR TO ANY CONSTRUCTION.
- (4) EXCESS SHOW WILL NOT BE ALLOWED TO ACCUMULATE ON SITE AND BLOCK ACCESS TO PARKING SPACES.
- (5) CONSTRUCTION LAY DOWN AND WORK ZONES TO BE APPROVED BY PUBLIC WORKS PRIOR TO START OF CONSTRUCTION.
- (6) SEE ARCHITECTURAL PLANS OF BUILDING FOR DIMENSIONS OF BUILDING.

NOTES:

1. LANDSCAPING SHALL MEET THE "ARBORESCULE SPECIFICATIONS AND STANDARDS OF BEST PRACTICES" AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS SPECIFIED ON THE SITE PLAN, APPROVED BY THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, LANDSCAPING, FENCING, FENCING AND MAINTENANCE OR LAND AREAS OF ACCESS, SIZE, LOCATION, AND SCHEDULING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWER LINE UTILITIES SHALL BE UNDERGROUND.
4. CONCRETE, CEMENTS AND GROUTS SHALL BE CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS AND GUIDELINES.
5. ALL REGION AND ZONING CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE REGIONAL AND ZONING CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, AND STANDARDS AND GUIDELINES FOR THE FIRST FLOOR COMMERCIAL USES PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
6. ALL REGION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRAVING.
7. STABILIZED AREAS ON THE SITE NOT OWNED BY BUILDERS OR PAVED AREAS SHALL BE CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE ONE-HOUR OF TRESS TO BE PRESERVED.
8. PRIOR TO CONSTRUCTION, A RECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND GENERAL ASPECTS OF THE SITE WORK. THAT THE SITE BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE RECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THE SITE PLAN AND OTHER AREAS TO REMAIN. PRESERVATION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. PRESERVATION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. PRESERVATION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. SUBDIVISION SHALL MEAN THE SUBDIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE UNITS AND APARTMENTS.

PARCEL A: METHODIST SOCIETY OF PORTLAND-BOOK 272/PAGE 46, 82; BOOK 301/PAGE 123
 PARCEL B: CHESTNUT STREET COMMUNITY HOUSE-BOOK 1174/PAGE 130
 PARCEL C: CHESTNUT STREET COMMUNITY HOUSE-BOOK 2251/PAGE 215 & CHESTNUT STREET UNITED METHODIST CHURCH-BOOK 10859/PAGE 001

CITY OF PORTLAND SITE PLAN & SUBDIVISION NOTES:

CONDITIONS OF APPROVAL:

- (1) THE FINAL RECORDING PLAN LETTING THE RECORDS OF PORTLAND'S SUBDIVISION ORGANIC AND BOARD'S SIGNATURE.
- (2) ALL PROPOSED EASEMENTS SHALL BE PLACED BEFORE THE RECORDS OF THE RECORDING PLAN AND RECORDED WITH THE PLAN.
- (3) ALL REQUIRED LICENSES FOR THE FOUNDATION FOOTINGS SHALL BE OBTAINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- (4) THE APPLICANT SHALL SUBMIT EVIDENCE THAT SAVED PARKING SPACES HAVE BEEN SECURED TO COMPENSATE FOR THE LOSS OF PARKING SPACES. THE APPLICANT SHALL BE RESPONSIBLE TO HIRE A PRIVATE HAULER TO REMOVE SOIL WASTE FROM THE SITE.
- (5) THE APPLICANT SHALL SUBMIT EVIDENCE THAT SAVED PARKING SPACES HAVE BEEN SECURED TO COMPENSATE FOR THE LOSS OF PARKING SPACES. THE APPLICANT SHALL BE RESPONSIBLE TO HIRE A PRIVATE HAULER TO REMOVE SOIL WASTE FROM THE SITE.
- (6) THE APPLICANT SHALL SUBMIT EVIDENCE THAT SAVED PARKING SPACES HAVE BEEN SECURED TO COMPENSATE FOR THE LOSS OF PARKING SPACES. THE APPLICANT SHALL BE RESPONSIBLE TO HIRE A PRIVATE HAULER TO REMOVE SOIL WASTE FROM THE SITE.
- (7) THE APPLICANT SHALL SUBMIT EVIDENCE THAT SAVED PARKING SPACES HAVE BEEN SECURED TO COMPENSATE FOR THE LOSS OF PARKING SPACES. THE APPLICANT SHALL BE RESPONSIBLE TO HIRE A PRIVATE HAULER TO REMOVE SOIL WASTE FROM THE SITE.

PLAN REFERENCES:

- (1) PLAN OF THE METHODIST CHURCH MADE BY E. C. JOHNSON, CIVIL ENGINEER DATED SEPTEMBER 1876, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 4, PAGE 6.
- (2) PLAN OF CITY OF PORTLAND CITY PROPERTY (CITY HALL) ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT, UNDATED, PLAN NUMBER 28.
- (3) PLAN OF CITY OF PORTLAND CITY PROPERTY (CITY HALL) ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT, UNDATED, PLAN NUMBER 23.
- (4) CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS' PLAN OF THE LOCATION OF NEW CITY HALL, DATED MARCH 18, 1918 OBTAINED FROM CITY OF PORTLAND ENGINEERING DEPARTMENT, PLAN NUMBER 122/12.
- (5) CITY OF PORTLAND ENGINEERING DEPARTMENT, TRAMWAY BOOK NOTES, PAGES 2-5, AND 18-19 DEPENDING ON DATE, DATED AUGUST 29, 1929 AND NOVEMBER 29, 1929 RESPECTIVELY.
- (6) CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS' CITY HALL LOT-SHOWING LAND UNDER LEASE TO CITY OF PORTLAND BY TRUSTEES OF THE METHODIST SOCIETY OF PORTLAND DATED MARCH 29, 1930, PLAN NUMBER 405/45.
- (7) CITY OF PORTLAND ENGINEERING DEPARTMENT RIGHT OF WAY INFORMATION.
- (8) SITE PLAN PROPOSED OFFICE BUILDING AT CHESTNUT ST. PLACE MADE FOR 31 CHESTNUT ST. PLACE ASSOCIATES BY SEBASTIAN TECHNICS DATED JUNE 23, 1987.
- (9) EXISTING CONDITIONS SURVEY AT CHESTNUT STREET MADE FOR LAND USE CONSULTANTS BY TITMOON ASSOCIATES DATED JANUARY 19, 2005.

EASEMENTS AND ENCUMBRANCES:

- (1) RIGHTS AND EASEMENTS RESERVED BY THE CHESTNUT STREET UNITED METHODIST CHURCH AS DESCRIBED IN BOOK 2186, PAGE 171.
- (2) CROSS EASEMENTS BETWEEN CHURCH LOT (PARCEL A) AND CONDOMINIUM LOT (PARCEL C) WILL BE RECORDED CONCURRENTLY WITH THIS RECORDING PLAN.

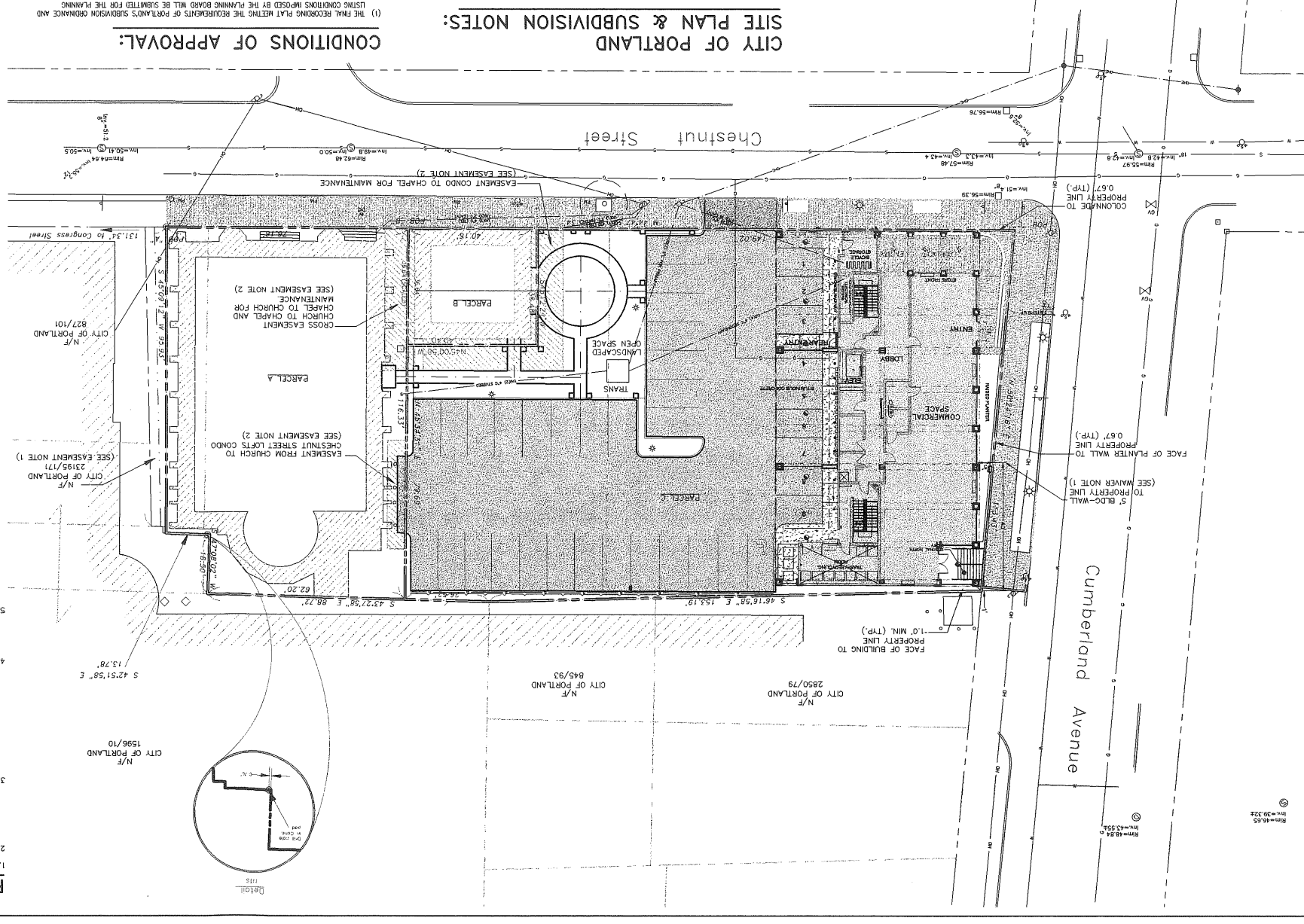
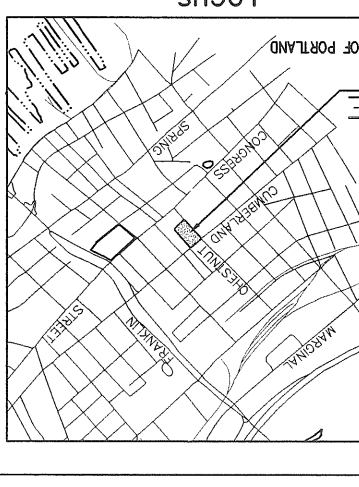
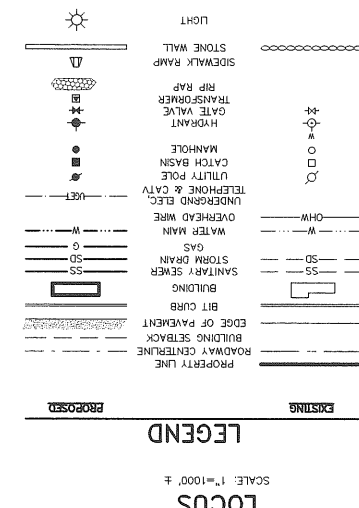
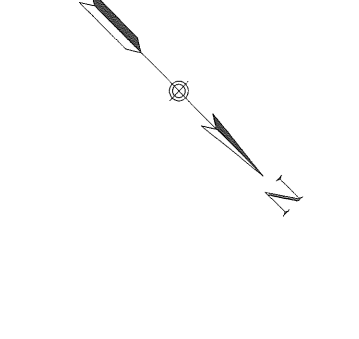
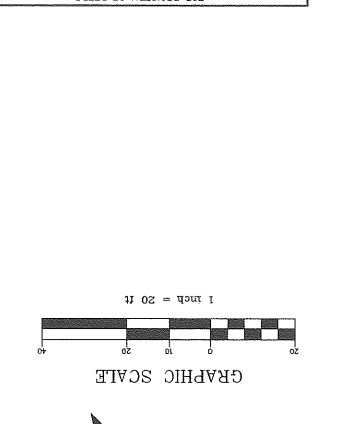
WAIVERS:

- (1) A WAIVER OF THE 5 FOOT MAINTENANCE STREET WALL BUILD TO LINE IS REQUESTED TO 12 FEET ON CUMBERLAND AVENUE AND 13 FEET ON CHESTNUT STREET FOR ORNANCE SECTION 14-506(19)(b)(2).
- (2) A WAIVER OF STANDARD PARKING REQUIREMENTS FOR STALL SIZES AND TOTAL NUMBER IS REQUESTED PER ORNANCE SECTION 526(9)(2)(b) AS ALLOWED PER BUILDING WITH TOTAL FLOOR AREA IN EXCESS OF 50,000 SF (50,240 SF ACTUAL).
- (3) THE PROPOSED GRANULATE LIGHTING FIXTURES WILL BE COMPATIBLE WITH THE EXISTING ARCHITECTURE WITH EXISTING ARCHITECTURAL CONTEXT OF THE HISTORICAL CHESTNUT STREET CHURCH AND WILL NOT PRODUCE UNACCEPTABLE LEVELS OF GLOBE AND/OR LIGHT TRESSES, AND THEREFORE THE PLANNING BOARD DOES MAKE THE SITE LIGHTING STANDARDS FOR THIS APPLICATION.

CERTIFICATION:

APPROVED BY CITY OF PORTLAND
 PLANNING BOARD: _____ (DATE)
 THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS.

FOR REGISTRY OF DEEDS



RECORDING PLAT
CHESTNUT STREET
LOFTS

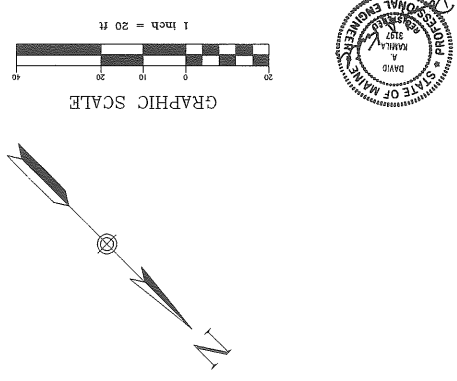
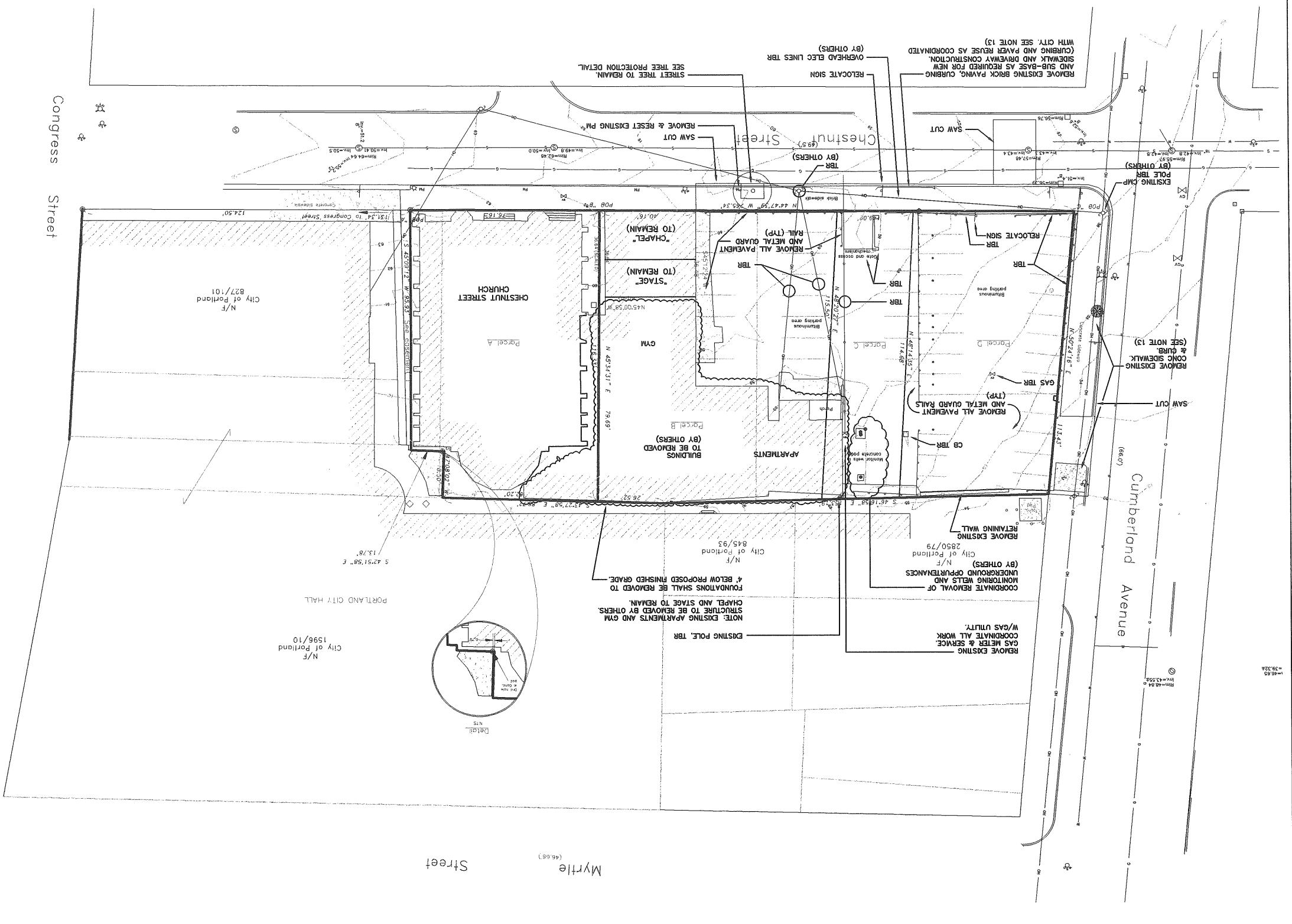
Job No. 4376
 Drawing 1 of 1

Date	Revision	Final Review	Drawn	Designed
6/23/05	7/23/05	TDD	TDD	TDD
7/20/05	7/20/05	ADDED BUILDING FOOTPRINT	DAK	DAK
7/20/05	7/20/05	APPROVAL NOTE	DAK	DAK
7/20/05	7/20/05	UPDATE EXHIBIT INFO 1 NOTES	DAK	DAK

Prepared For:
CHESTNUT STREET LOFTS, LLC
 29 CHESTNUT ST, PORTLAND, ME 04101

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 778 6141
 ARCHITECTURE PLANNING

988 MIDCOTE STREET
 PORTLAND, MAINE 04103
 Phone (207) 878-2313
 Fax (207) 878-0201
 Email info@tfh.com



- NOTES:**
1. PAYMENT SHALL BE REMOVED TO THE UNITS SHOWN PRIOR TO CONSTRUCTION. PAYMENT SHALL BE REPAID AND RESET AS INDICATED ON LAYOUT & UTILITIES PLAN SHEET #C-2.
 2. RESPONSE AND REMOVAL INFORMATION FROM A GROUND SURVEY BY TITCOMB ASSOCIATES, DATED JANUARY 19, 2005.
 3. EXISTING UTILITIES HAVE NOT BEEN DETECTED OR LOCATED BY SURVEY. WORKER CONTRACTOR SHALL PROCEED WITH CAUTION WHEN WORKING IN THIS AREA TO AVOID POTENTIAL UNCHANGED UTILITIES OR SERVICES.
 4. UTILITIES AND LOCATIONS SHOWN ON THIS PLAN ARE ASSUMED BASED ON PLANS OBTAINED FROM CITY OF PORTLAND AND FIELD LOCATION SURVEY BY TITCOMB ASSOC SURVEYORS, AND LIMITED INFORMATION PROVIDED BY UTILITIES LOCATION DETECTION CONTRACTORS, AS BASED ON "AS-BUILT" INFORMATION ASSUMED LOCATIONS ARE INDICATED BASED IN THE FIELD.
 5. EXISTING ITEMS TO REMAIN SHALL NOT BE REMOVED OR DAMAGED BY CONSTRUCTION EQUIPMENT.
 6. EXISTING SIGNS SHALL BE REMOVED AND REINSTALLED. LOCATIONS TO BE DETERMINED BY ENGINEER.
 7. REFER TO DETAIL SHEETS FOR LANDSCAPE PRESERVATION AND MAINTENANCE NOTES.
 8. ITEMS INDICATED "TO BE REMOVED" (TBR) SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO COMMENCING WORK OR BEFORE ITEMS BEING REMOVED SHALL REMAIN PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED.
 9. GRANTE CURBING AND SIDEWALK BRICKS SHALL BE STOCKPILED ONSITE BY CONTRACTOR, AND SHALL REMAIN PROPERTY OF OWNER, FOR REUSE ONSITE, UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL COORDINATE REMOVALS WITH OWNER CERTAIN PORTIONS OF THE SITE MAY BE DELETED OR PHASED, DEPENDING ON MARKET CONDITIONS AND SPECIFIC SCHEDULES. RECOMMENDATIONS TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION. CERTAIN ITEMS INDICATED HEREON TO BE REMOVED, MAY REMAIN IN PLACE, OR IN SERVICE TEMPORARILY, UNTIL SUCH ITEMS ARE REQUIRED TO BE REMOVED FOR SCHEDULED CONSTRUCTION.
 11. ALL ITEMS NOT INDICATED TO BE REMOVED SHALL REMAIN, UNLESS OTHERWISE INDICATED OR DIRECTED BY OWNER.
 12. EXISTING UTILITIES ABANDONED OR PARTIALLY REMOVED SHALL BE PERMANENTLY CAPPED, FENCED OR REMAINED IN ACCORDANCE WITH UTILITY COMPANIES STANDARDS OR RECOMMENDATIONS.
 13. CONTRACTOR SHALL DEMOLITION WITH OWNER AND CITY OF PORTLAND. CONTRACTOR SHALL REMOVE RECLAIMED MATERIALS WITHIN CITY OF PORTLAND PROPERTY IS SUBJECT TO AUTHORIZATION BY CITY GRANTE & BRICK FRAGILE, STONE AND PROTECT RECLAIMED MATERIALS ONSITE. REUSE OF RECLAIMED MATERIALS FOR REUSE USE OF RECLAIMED MATERIALS FROM AS TO THE SATISFACTION OF PORTLAND REGARDING RELEASE OF SUCH MATERIALS AND SALVAGE RIGHTS TO CONTRACTOR & OWNER.
 14. SECURE CONSTRUCTION SITE BEFORE COMMENCING DEMOLITION.

EXISTING CONDITIONS & REMOVALS		DESIGNED PLC Drawn: CAN Checked: DAK Scale: 1" = 20' Date: 6-1-05	
REVISION		DATE	
ISSUED FOR PRELIMINARY REVIEW	07/19/05	FINAL REVIEW	07/23/05
REMOVED NOTED UTILTY POLE	12/02/05	UPDATE EXISTING INFO & NOTES	1/6/06

CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

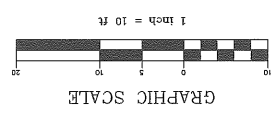
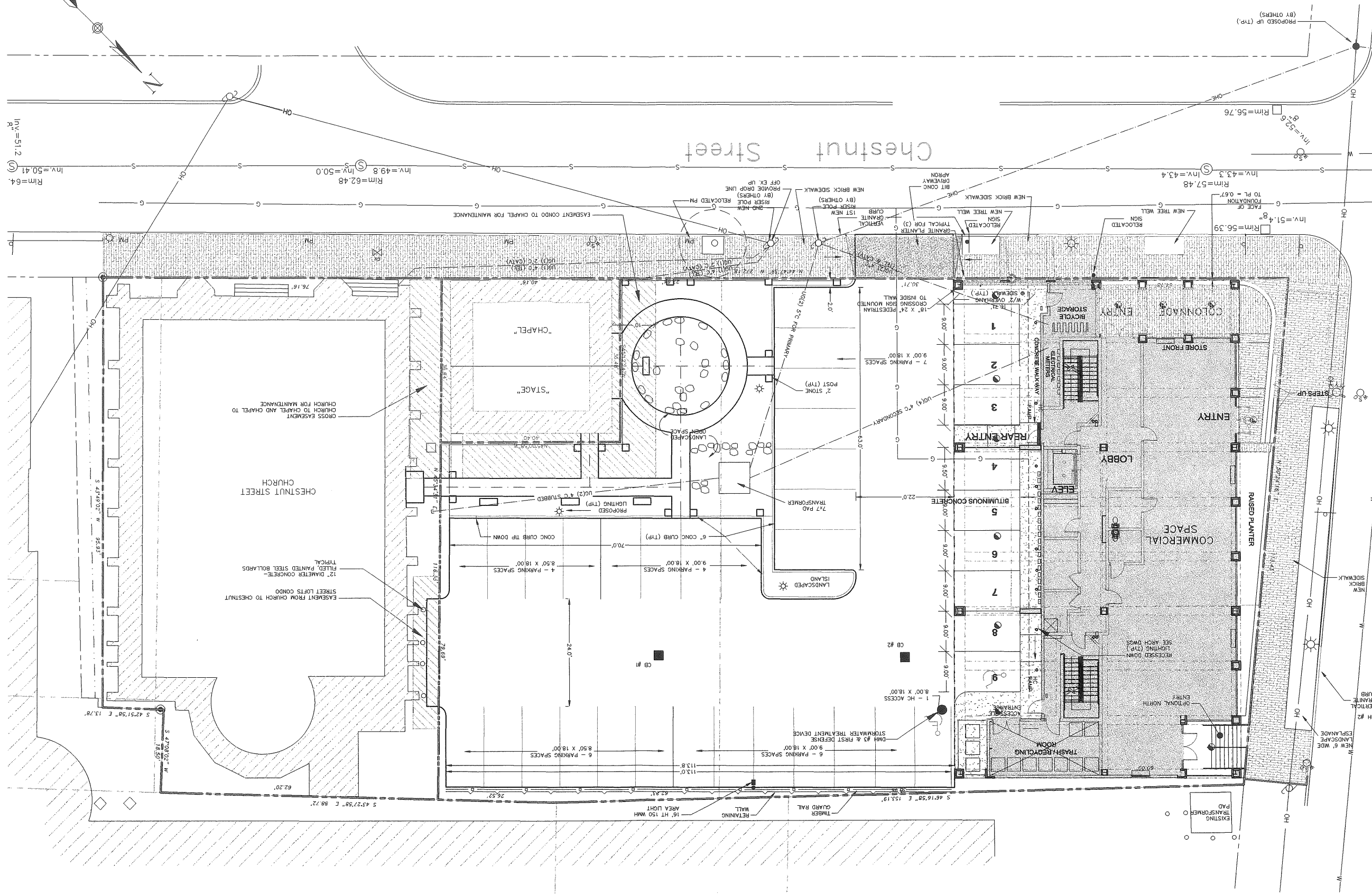
TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 5141
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98 1/2 AVENUE STREET
 PORTLAND, MAINE 04101
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 FAX (207) 878-3311
 WWW.TFHARCHITECTS.COM

Job No. 4376
 Drawing

G. d.

lumberlan

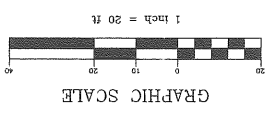
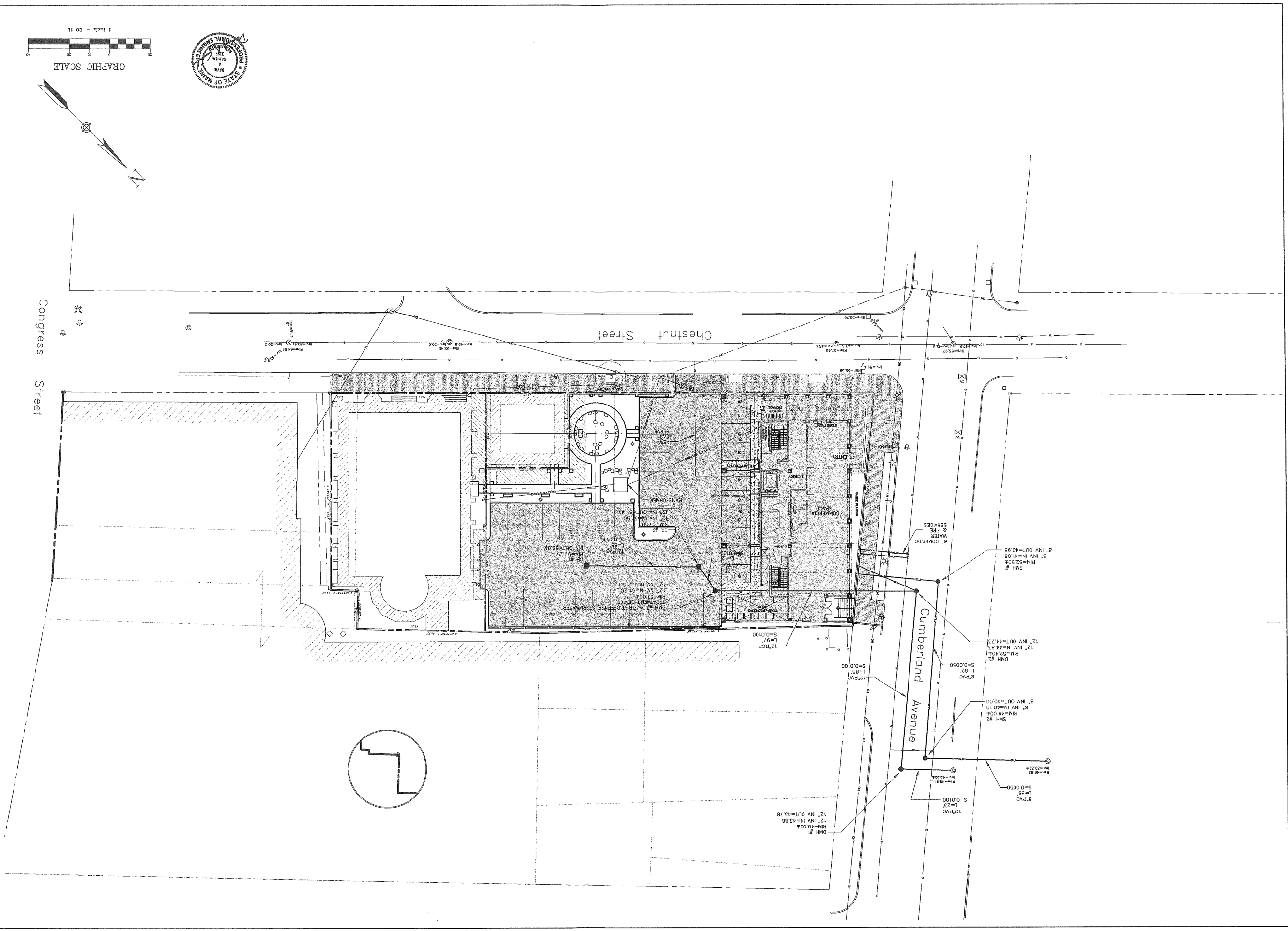


Job No. 4376		Drawing	
LAYOUT PLAN			
Designed	PLC/T/NE	Revision	Date
Drawn	CAN	REVISED FOR PRELIMINARY REVIEW	01/05
Checked	DAK	REVISED BUILDING EQUIPMENT	02/05
Scale	1" = 10'	UPSCALE BUILDING NOTES	10/06
Date	6-1-05		

CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

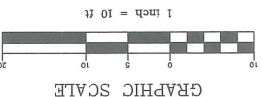
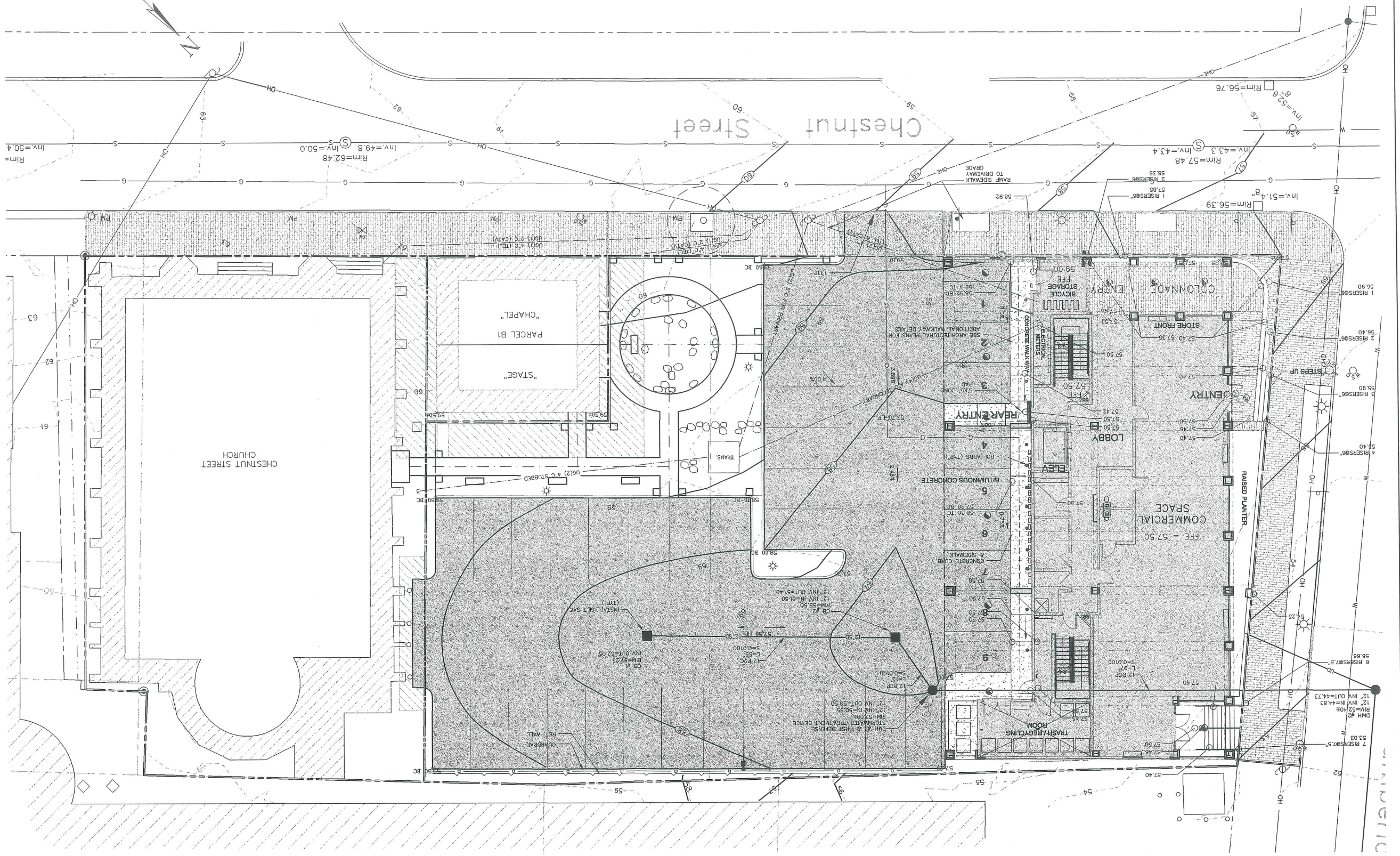
 TFC ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207 775 6141 ARCHITECTURE PLANNING	Land Use Consultants, Inc. 966 BURSINE STREET PORTLAND, MAINE 04105 PHONE 207 578 - 2313 FACSIMILE 207 775 6141 WWW.LUCONLINE.COM
---	--

G.e



Drawing		Job No. 4376		C-3	
UTILITY PLAN					
Designed	PLC/TNE	Revision		Date	
Drawn	CAM	REVISED BUILDING FOOTPRINT		1/20/06	
Checked	DAK	ADDED NEW UTILITY POLES			
Scale	1" = 20'	MOVED TRANSPORTER			
Date	8-23-05	UPDATE ENDRY INFO & NOTES		1/6/06	
CHESTNUT STREET LOFTS					
29 CHESTNUT ST, PORTLAND, ME 04101					
PREPARED FOR:					
CHESTNUT STREET LOFTS, LLC					
ONE INDIA STREET					
PORTLAND, ME 04101					
TFH ARCHITECTS		TFH ARCHITECTS			
100 COMMERCIAL STREET		100 COMMERCIAL STREET			
PORTLAND MAINE 04101		PORTLAND MAINE 04101			
TELEPHONE 207 775 8141		TELEPHONE 207 775 8141			
ARCHITECTURE PLANNING		ARCHITECTURE PLANNING			
Land Use Consultants, Inc.		Land Use Consultants, Inc.			
968 WINGBORG STREET		968 WINGBORG STREET			
PORTLAND, MAINE 04103		PORTLAND, MAINE 04103			
Voice (207) 878 - 2313		Voice (207) 878 - 2313			
Fax (207) 878 - 0201		Fax (207) 878 - 0201			

Handwritten initials and marks at the bottom left of the page.



Job No. 4376
Drawing

**GRADING, DRAINAGE
& EROSION CONTROLS**

Revision	Date	Designed P.L.C.
1. SEED FOR PRELIMINARY REVIEW	07/19/05	CAM
2. FINAL REVIEW	07/23/05	CAK
3. REVISED BUILDING FOOTPRINT 12/20/05		
4. UPDATE BUILDING FOOTPRINT 1/16/06		

CHESTNUT STREET LOFTS
29 CHESTNUT ST. PORTLAND, ME 04101
PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
ONE INDIA STREET
PORTLAND, ME 04101

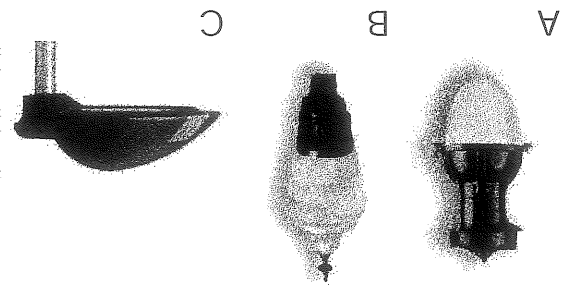
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6341
ARCHITECTURE PLANNING

Land Use Consultants, Inc.
966 PINEBROOK STREET
PORTLAND, MAINE 04105
Voice (207) 878-2313
Fax (207) 878-2315
Portland, Maine

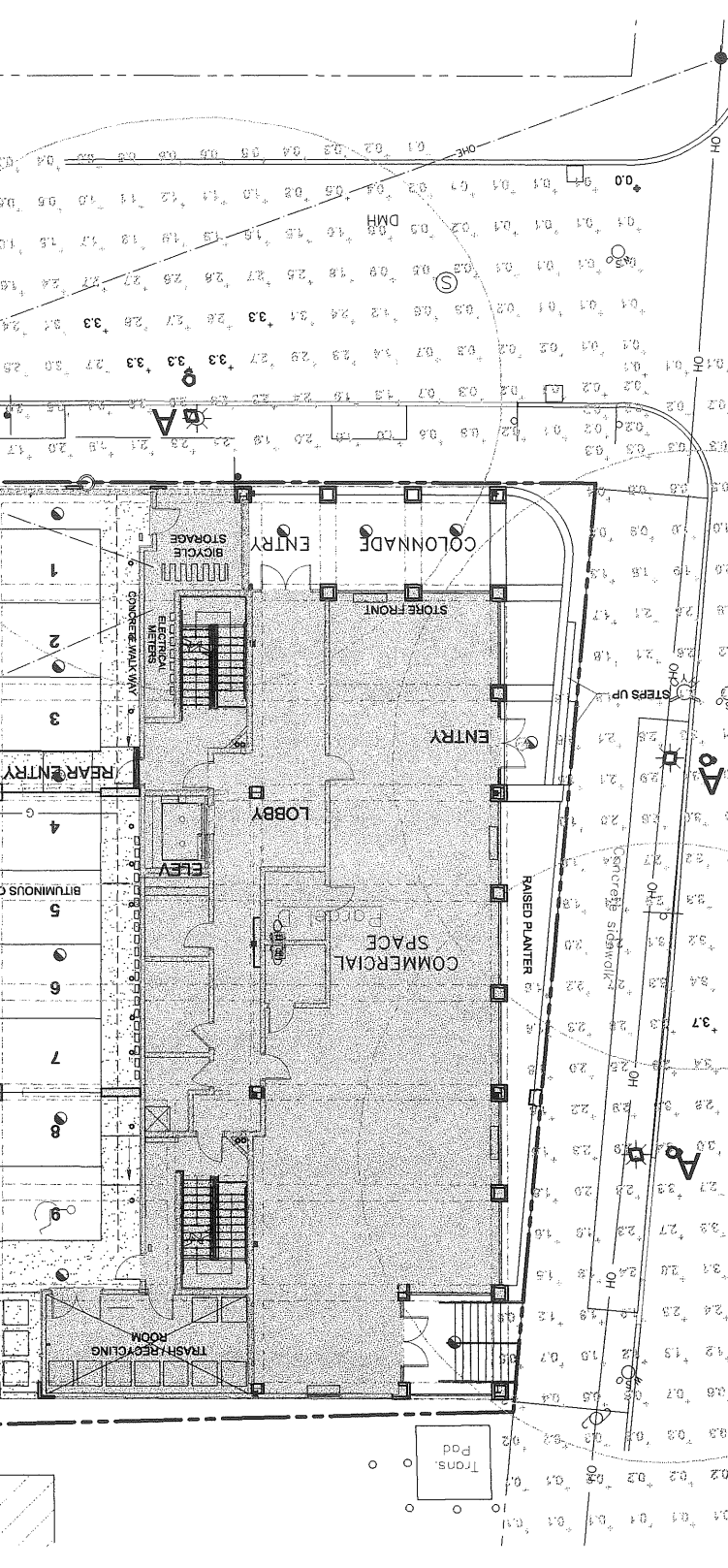
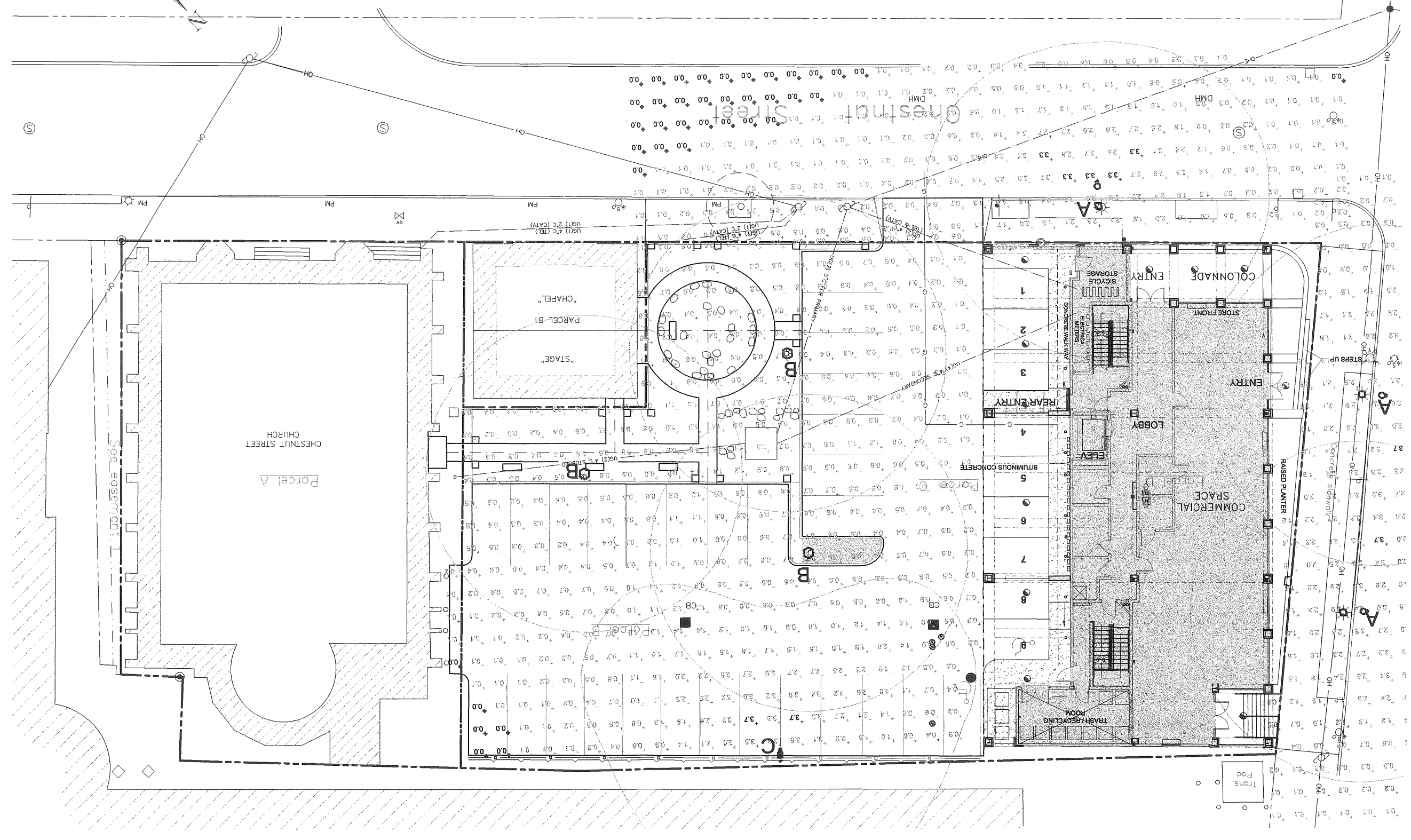
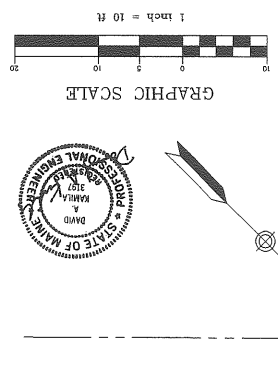
g.g.

Symbol	Light	Qty	Control Number	Description	Watts	LF	LF
□	A	3	ES250H00X17	ES TYPE II SHORT	4784 LIES	14400	0.61
○	B	3	GV100H00X05X16	GRANVILLE	70W CLEAR MH	5000	0.65
○	C	1	P175M00WFX	PECHINA	175W CLEAR MH	10274 LIES	1.2800
SEE ARCHITECTURAL PLANS.							

Designation	Speed	Avg	Max	Min	Max/min	Avg/min
DESCRIPTION	1	0.8%	3.7%	0.0%	N/A	N/A
FUNCTIONALITY	1	1.2%	3.7%	0.0%	N/A	N/A
FUNCTIONALITY	1	0.7%	3.3%	0.0%	N/A	N/A



PROGRESS PLAN
THIS DOCUMENT IS ISSUED FOR INFORMATIONAL PURPOSES ONLY. THE DATA SHOWN HEREON IS SUBJECT TO REVISION.



C-5A
Drawing

Job No. 4376

**LIGHTING-
PHOTOMETRICS**

Revision	Date	Drawn	Checked	Scale
PRELIMINARY REVIEW	1/19/05	TNE	DAK	1" = 10'
FINAL REVIEW	2/23/05	TNE	DAK	1" = 10'
REVISED BUILDING FOOTPRINT	12/9/05	TNE	DAK	1" = 10'
MOVED RECESSED LIGHTING	12/29/05	TNE	DAK	1" = 10'

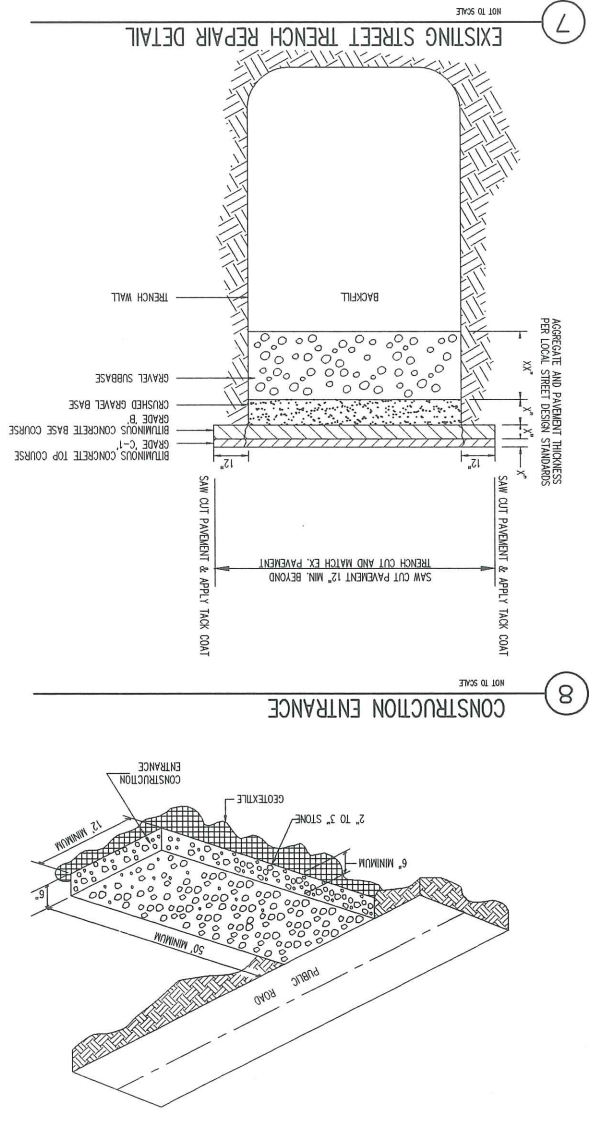
Designed TNE
Drawn TNE
Checked DAK
Scale 1" = 10'
Date 6-1-05

CHESTNUT STREET LOFTS
29 CHESTNUT ST, PORTLAND, ME 04101

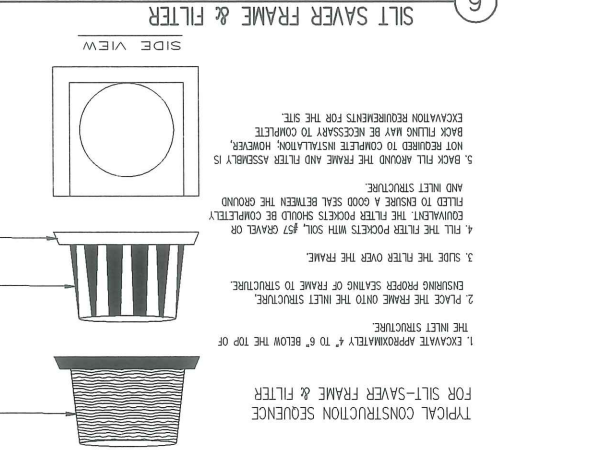
PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
ONE INDIA STREET
PORTLAND, ME 04101

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
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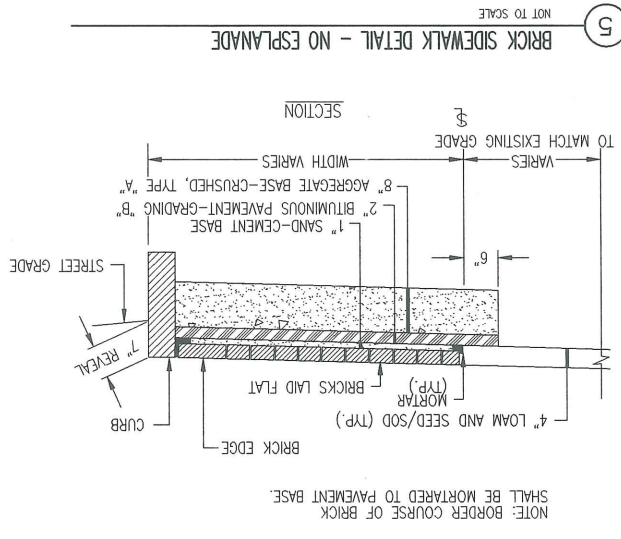
Land Use Consultants, Inc.
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PORTLAND, MAINE 04103
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Fax (207) 878-0201
www.landuse.com



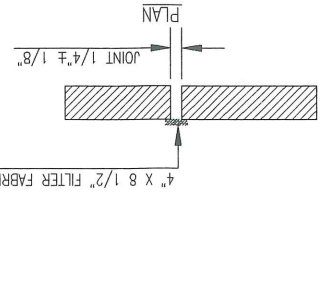
7 EXISTING STREET TRENCH REPAIR DETAIL



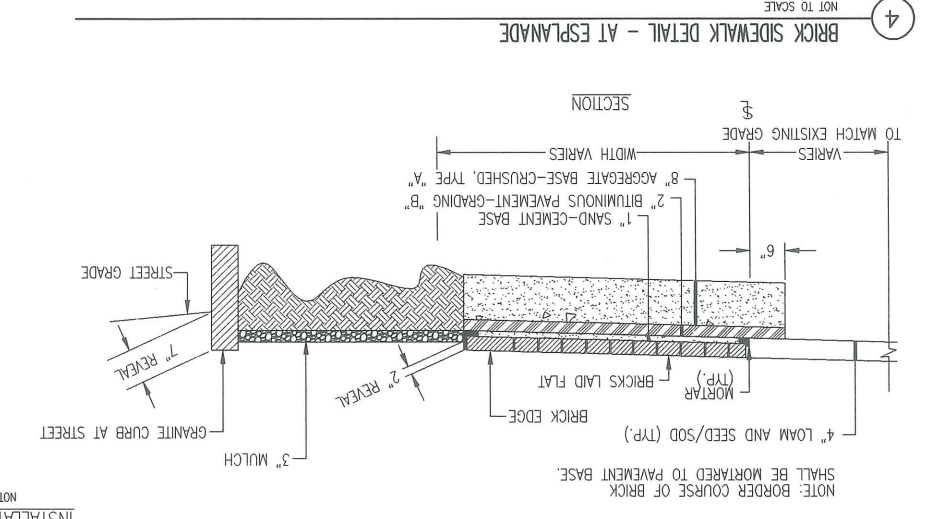
6 SILT SAVER FRAME & FILTER



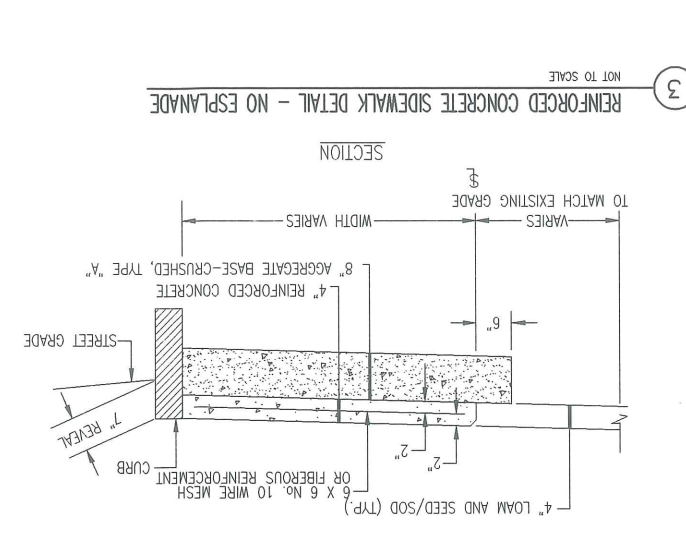
5 BRICK SIDEWALK DETAIL - NO ESPLANADE



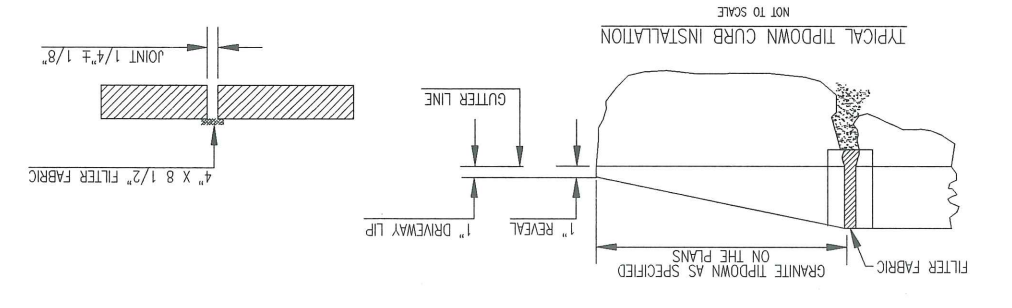
8 CONSTRUCTION ENTRANCE



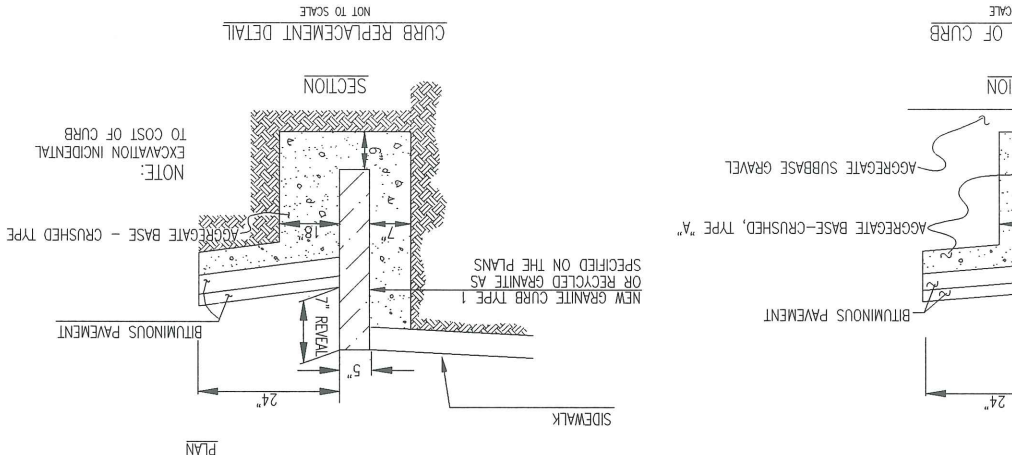
4 BRICK SIDEWALK DETAIL - AT ESPLANADE



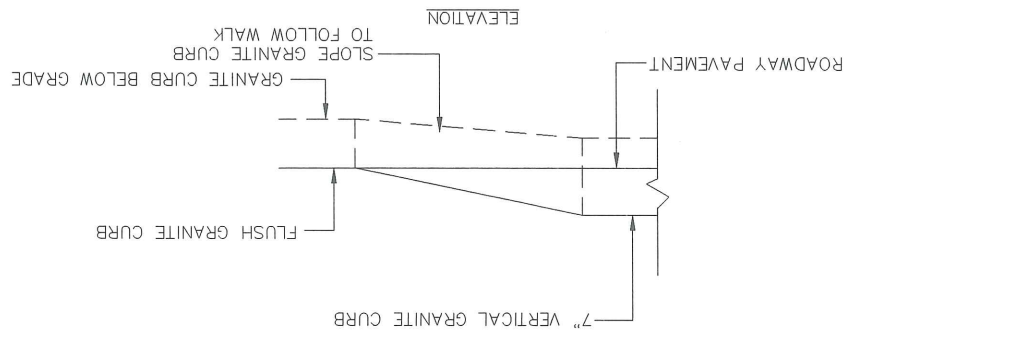
3 REINFORCED CONCRETE SIDEWALK DETAIL - NO ESPLANADE



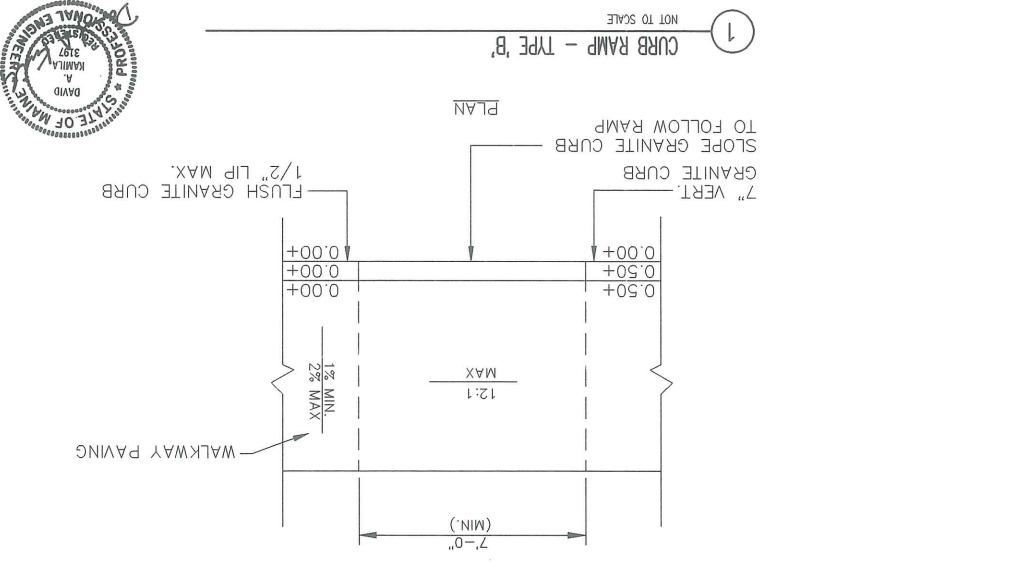
2 TYPICAL TIPDOWN CURB INSTALLATION



1 CURB REPLACEMENT DETAIL



2 TYPICAL INSTALLATION OF CURB



1 CURB RAMP - TYPE 'B'



Job No. 4376

Drawing C-6

DETAILS

DESIGNED FOR: CHESTNUT STREET LOFTS

29 CHESTNUT STREET, PORTLAND, MAINE 04101

PREPARED FOR: CHESTNUT STREET LOFTS, LLC

ONE INDIA STREET, PORTLAND, MAINE 04101

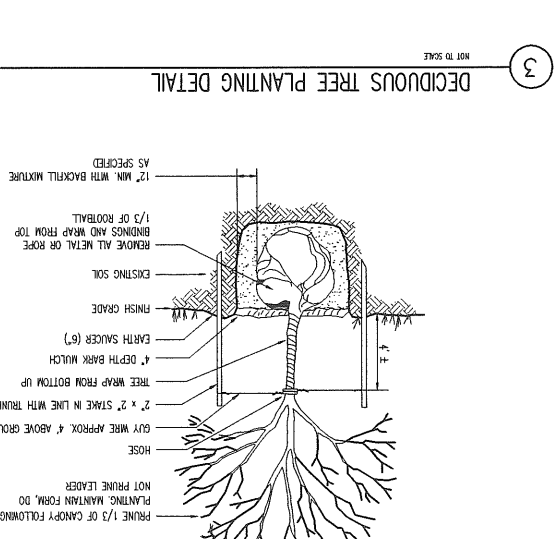
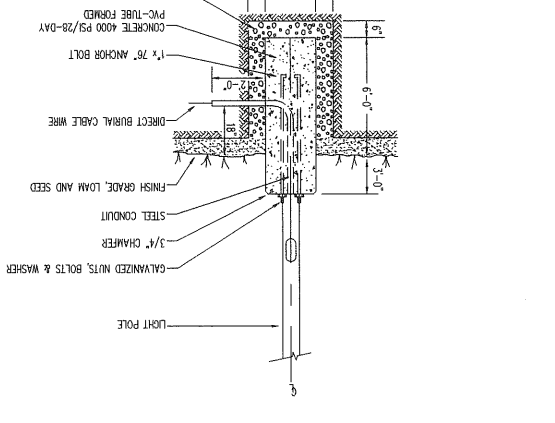
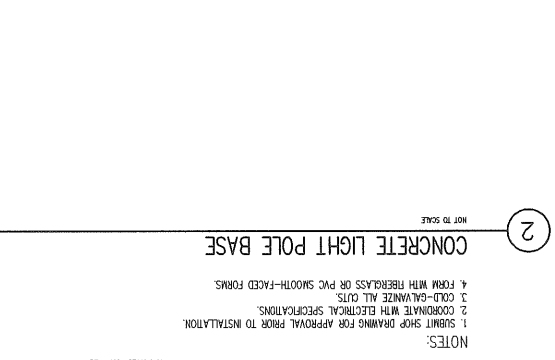
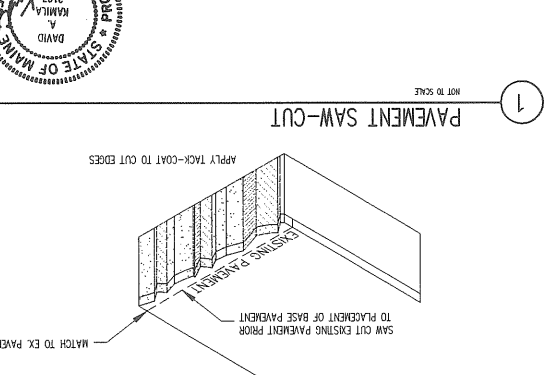
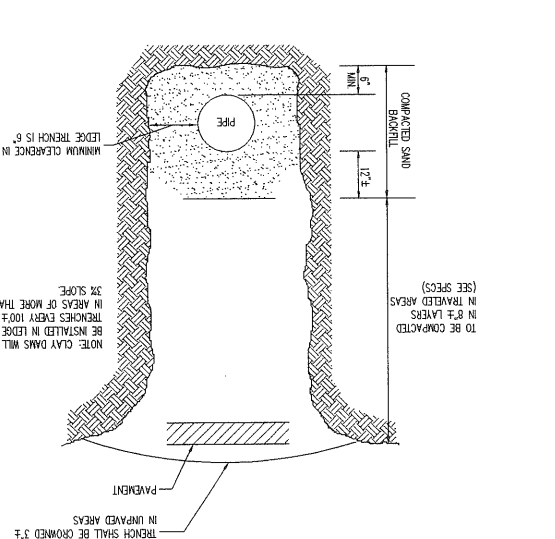
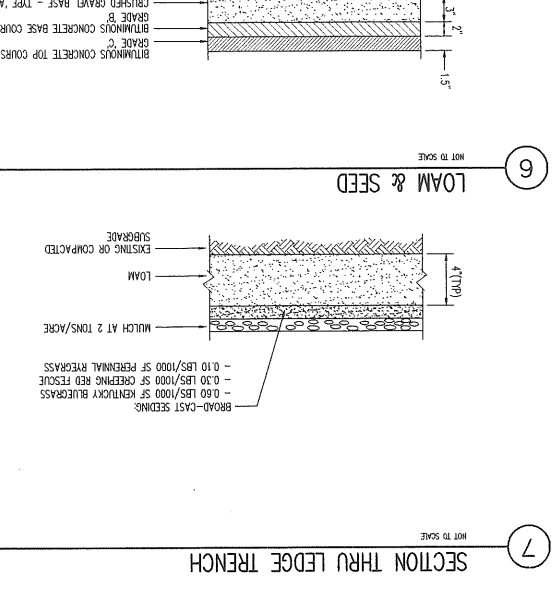
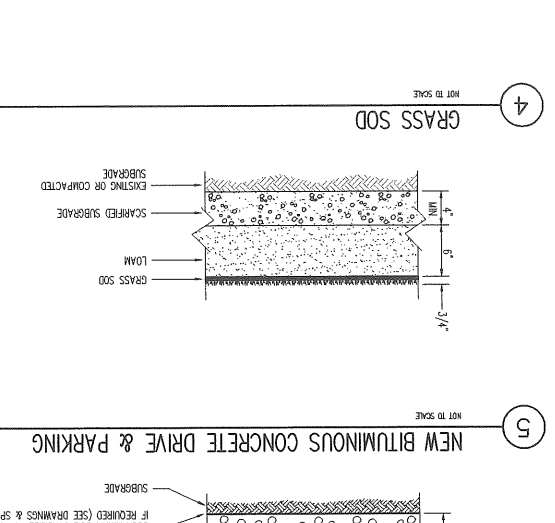
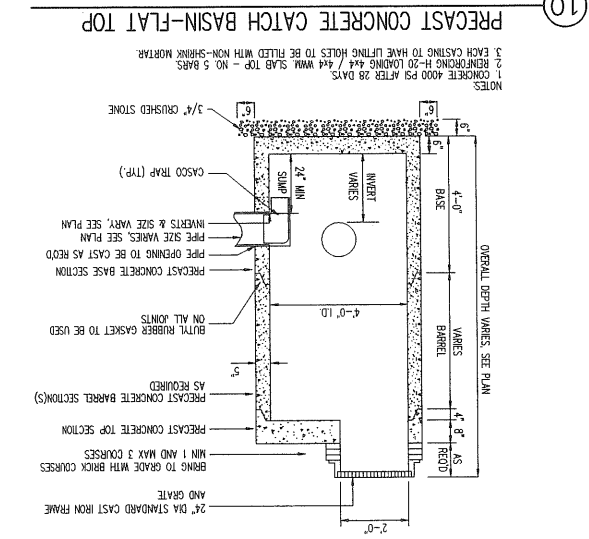
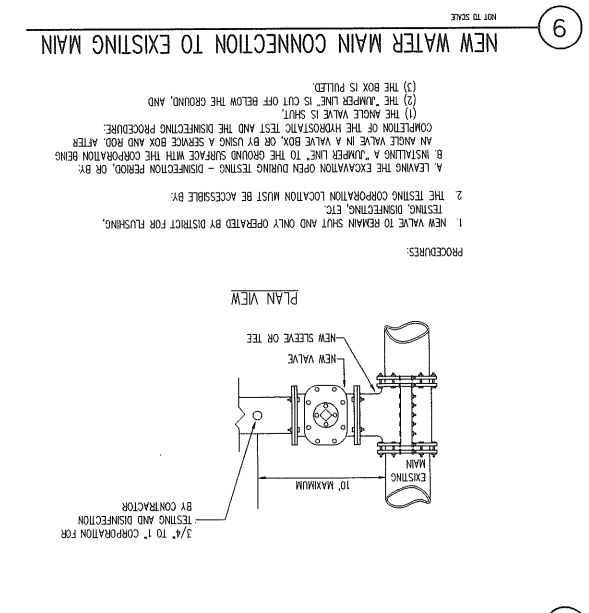
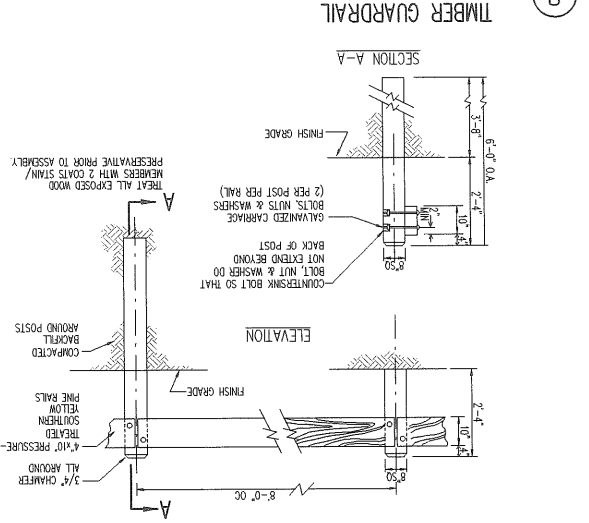
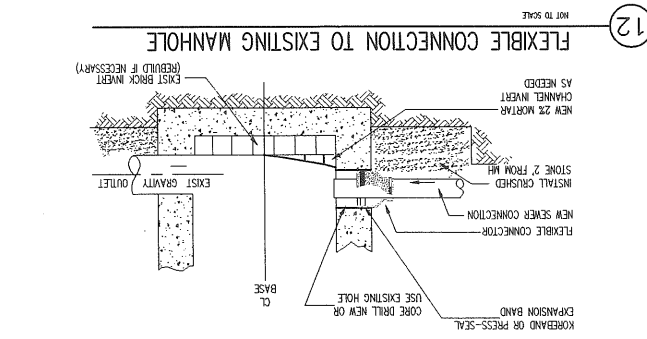
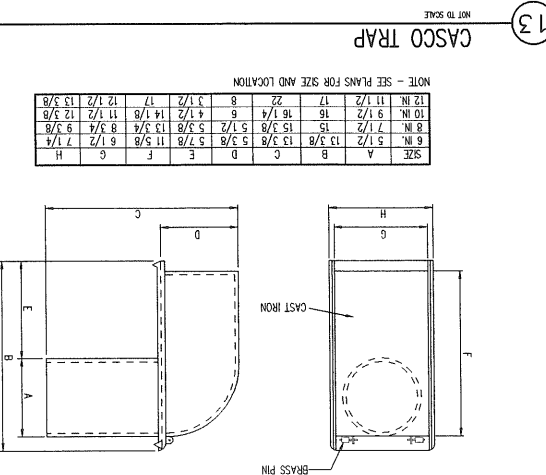
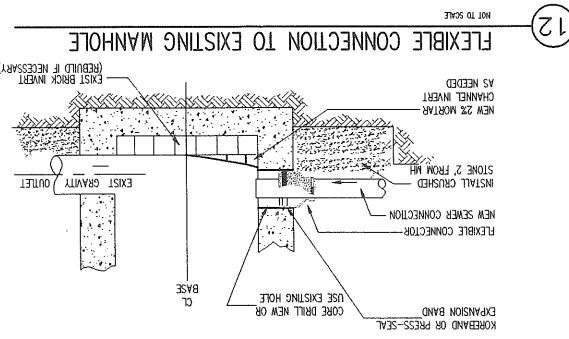
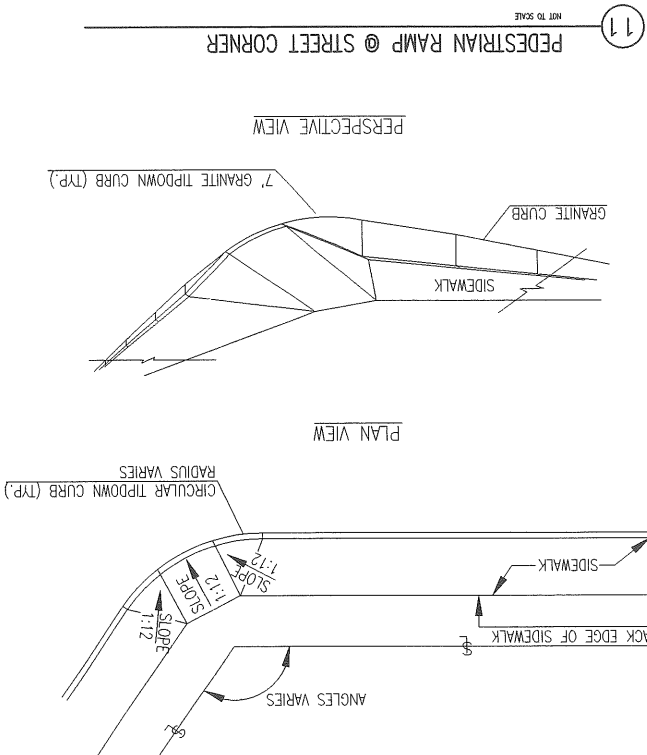
TFH ARCHITECTS
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PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

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Revision
Date
07/19/05
12/8/05
1/16/06

ISSUED FOR PRELIMINARY REVIEW
FINAL REVIEW
NO CHANGES SHI REV ONLY
ADDED NEW DETAIL #4

Scale NO SCALE
6-1/2"



0-1

Job No. 4376

DETAILS

Designed PLC
Drawn CAM
Checked PLC
Scale NO SCALE
Date 6-1-05

Revision	Date	Description
ISSUED FOR PRELIMINARY REVIEW	07/29/05	
NO CHANGES SHEET REV ONLY	12/8/05	

CHESTNUT STREET LOFTS
29 CHESTNUT STREET, PORTLAND, MAINE 04101

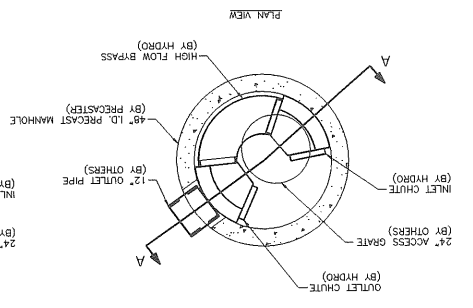
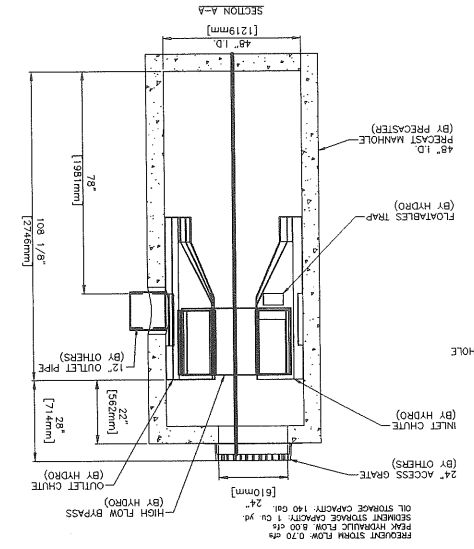
PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
ONE INDIA STREET
PORTLAND, MAINE 04101

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND, MAINE 04101
TELEPHONE 807 779 0111
ARCHITECTURE PLANNING

Land Use Consultants, Inc.
966 RIVERSIDE STREET
PORTLAND, MAINE 04103
PHONE (207) 779-3315
FAX (207) 779-3315
www.luc.com

HYDRAULIC PARAMETERS

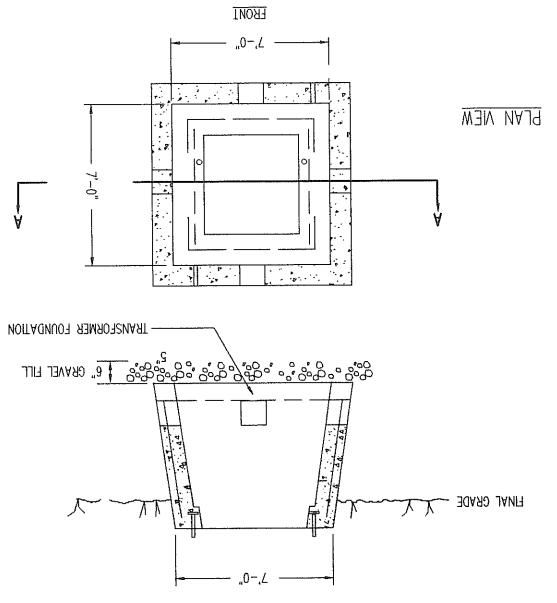
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AT 0.7 cfs	
ESTIMATED HEADLOSS*	< 2 INCHES
AT 8.0 cfs	



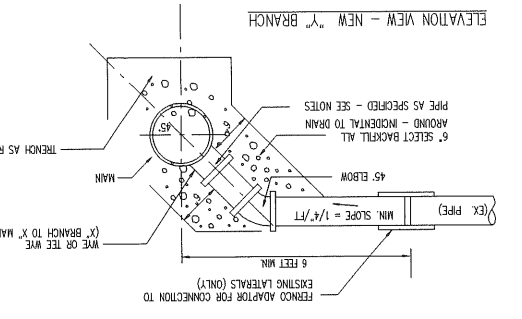
NOTES:
 1. THIS DRAWING IS A LEADER SIZE ORIGINAL.
 2. THE GENERATION OF THE OUTLET PIPE CAN BE ADJUSTED TO SITE REQUIREMENTS. SEE THE PLAN FOR ORIENTATION.
 3. DIMENSIONS ARE GIVEN AND INDICED FOR QUANTITY TAKE OFF.
 4. METRIC DIMENSIONS BASED ON 25.4MM/INCH.
 5. THE STORMWATER TREATMENT UNIT SHALL ADHERE TO THE HYDRAULIC PARAMETERS GIVEN IN THE CHART BELOW AND PROVIDE THE MECHANICAL, ELECTRICAL AND STORAGE CAPACITIES AS FOLLOWS:
 EQUIPMENT PERFORMANCE
 RECYCLE STORM FLOW 2.75 cfs
 FROM HYDRAULIC FLOW 8.00 cfs
 PRESTRESS CAPACITY 1 cu yd
 24\"/>

6 FIRST DEFENSE TREATMENT MANHOLE (HYDRO INTERNATIONAL)

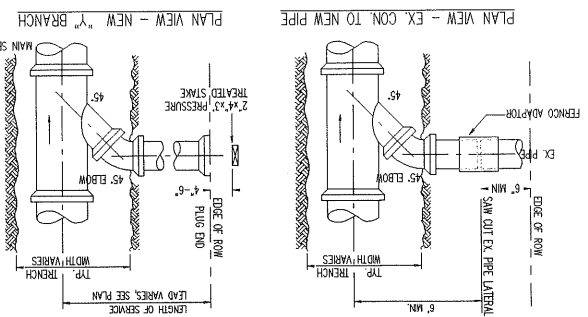
5 TRANSFORMER PAD DETAIL



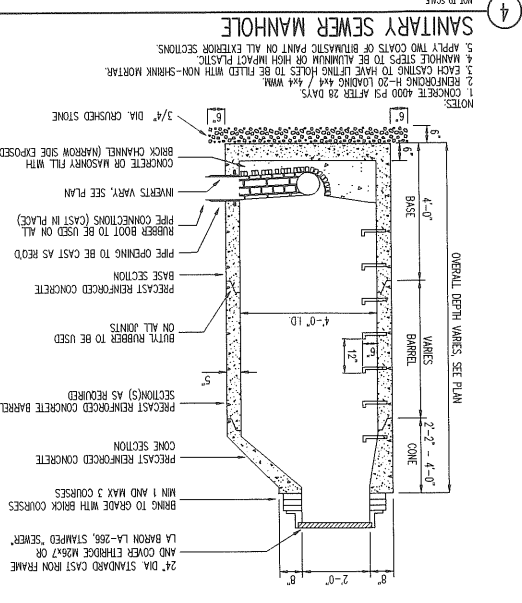
NOTE:
 CONTRACTOR TO PROVIDE TRANSFORMER DETAIL FOR REVIEW BY ELEC. ENG PRIOR TO INSTALLATION.



5 TYPICAL SEWER SERVICE LEAD CONNECTION



ALL NEW UTILITY SERVICE LEADS SHALL BE INSTALLED TO THE RIGHT-OF-WAY LINE. SANITARY SEWER SERVICE LEADS SHALL BE 6-INCH DIAMETER. A PRESSURE-TREATED WOODEN STAKE 2"x4"x5' SHALL BE INSTALLED TO MARK THE END OF EACH NEW SERVICE LEAD.
 LENGTH OF SERVICE LEAD VARIES. SEE PLAN.
 WIDTH VARIES.
 TYP. TRENCH
 EX. PIPE
 FENOCO ADAPTOR
 6\"/>



4 SANITARY SEWER MANHOLE

NOTES:
 1. CONCRETE FOOTING SHALL BE CAST AS REQUIRED.
 2. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
 3. APPLY TWO COATS OF BITUMASTIC PAINT ON ALL EXTERIOR SECTIONS.
 4. MANHOLE SHALL BE ALUMINUM OR HIGH-DENSITY POLYETHYLENE.
 5. APPLY TWO COATS OF BITUMASTIC PAINT ON ALL EXTERIOR SECTIONS.
 6. BRICK CHANNEL (MASONRY SIDE EXPOSED)
 CONCRETE OR MASONRY FILL WITH INVERTS VARY; SEE PLAN
 RUBBER BOOT TO BE USED ON ALL PIPE CONNECTIONS (CAST IN PLACE)
 PIPE OPENING TO BE CAST AS REQUIRED
 BASE SECTION
 PRECAST REINFORCED CONCRETE
 BUTYL RUBBER TO BE USED ON ALL JOINTS
 PRECAST REINFORCED CONCRETE BARREL SECTIONS AS REQUIRED
 CONE SECTION
 PRECAST REINFORCED CONCRETE
 BRICK AND MAX 3 COURSES
 MIN 1 AND MAX 3 COURSES
 LA BAYON LA-266, STAMPED 'SEWER' AND COVER THROUSE MOUNT OR 24\"/>

TABLE OF DIMENSIONS OF PIPE

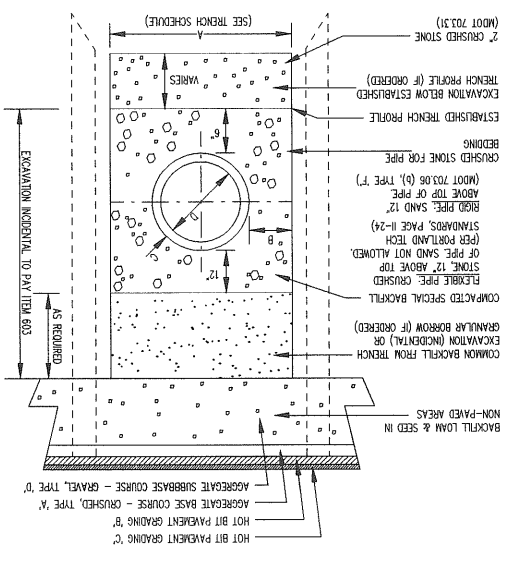
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15	3/4	12	1/4	10	3/8	8	1/2
18	3/4	15	1/4	12	3/8	10	3/8
21	3/4	18	1/4	15	3/8	12	3/8
24	3/4	21	1/4	18	3/8	15	3/8
27	3/4	24	1/4	21	3/8	18	3/8
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36	3/4	33	1/4	30	3/8	27	3/8
42	3/4	39	1/4	36	3/8	33	3/8
48	3/4	45	1/4	42	3/8	39	3/8
54	3/4	51	1/4	48	3/8	45	3/8
60	3/4	57	1/4	54	3/8	51	3/8
66	3/4	63	1/4	60	3/8	57	3/8
72	3/4	69	1/4	66	3/8	63	3/8
78	3/4	75	1/4	72	3/8	69	3/8
84	3/4	81	1/4	78	3/8	75	3/8
90	3/4	87	1/4	84	3/8	81	3/8
96	3/4	93	1/4	90	3/8	87	3/8

2 PIPE TRENCH SCHEDULE

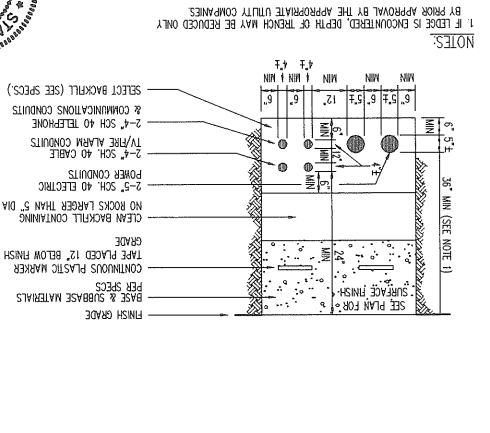
TABLE OF DIMENSIONS OF PIPE

DN	IN	DN	IN	DN	IN
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8	3/4	6	1/4	5	3/4
10	3/4	8	1/4	7	3/4
12	3/4	10	3/8	9	3/4
15	3/4	12	3/8	11	3/4
18	3/4	15	3/8	14	3/4
21	3/4	18	3/8	17	3/4
24	3/4	21	3/8	20	3/4
27	3/4	24	3/8	23	3/4
30	3/4	27	3/8	26	3/4
36	3/4	33	3/8	32	3/4
42	3/4	39	3/8	38	3/4
48	3/4	45	3/8	44	3/4
54	3/4	51	3/8	50	3/4
60	3/4	57	3/8	56	3/4
66	3/4	63	3/8	62	3/4
72	3/4	69	3/8	68	3/4
78	3/4	75	3/8	74	3/4
84	3/4	81	3/8	80	3/4
90	3/4	87	3/8	86	3/4
96	3/4	93	3/8	92	3/4

3 SEWER & STORM DRAIN PIPE INSTALLATION DETAIL



1 CABLE TRENCH - PRIMARY SERVICES



C-8
 Drawing
 Job No. 4376
DETAILS
 Designed PLC
 Drawn CAM
 Checked PLC
 Scale NO SCALE
 Date 6-1-05
 Revision
 ISSUED FOR PRELIMINARY REVIEW 07/19/05
 FINAL REVIEW 08/23/05
 ADDED TRANSDUCER DETAIL 12/8/05
CHESTNUT STREET LOFTS
 29 CHESTNUT STREET, PORTLAND, MAINE 04101
 PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, MAINE 04101
TWO ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING
TWO
 986 AVERESIDE STREET
 PORTLAND MAINE 04103
 Phone (207) 878-3333
 Fax (207) 878-0282
 Website www.twoarch.com
 Land Use Consultants, Inc.

CODE	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	TRIM	PRE-FINISHED METAL - (COLOR)
3	HORIZONTAL CORRUGATED SIDING	PRE-FINISHED METAL - (COLOR)
4	ROOF ACCESS HATCH	PRE-FINISHED METAL - (COLOR)
5	HORIZONTAL ACCEENT FLASHING JOINT	PRE-FINISHED METAL - (COLOR)
6	CANOPY	PRE-FINISHED METAL - (COLOR)
7	BALCONY AND SUPPORT	GALVANIZED STEEL
8	BALCONY GUARD	GALVANIZED STEEL 2" TUBE FRAME WITH 2"x2" GALV. STL. MESH
9	BALCONY DECK FRAME	GALVANIZED STEEL CHANNELS
10	VERTICAL CONCEALED FASTENER SIDING	PRE-FINISHED METAL - (COLOR)
11	CORNICE	PRE-FINISHED METAL - (COLOR)
12	TRIM	PRE-FINISHED METAL - (COLOR)

EXT. ELEVATION MATERIALS LEGEND

CODE	DESCRIPTION	MATERIAL / COLOR
13	BOILER VENT WITH FLASHING PLATE	METAL - COLOR TO MATCH ADJACENT SIDING
14	HORIZONTAL TRIM	PRE-FINISHED METAL - (COLOR)
15	WINDOW SILL TRIM	PRE-FINISHED METAL - (COLOR)
16	LOUVER	PRE-FINISHED METAL - (COLOR)
17	VERTICAL CONCEALED FASTENER SIDING	PRE-FINISHED METAL - (COLOR)
18	TRANSITION BELT TRIM	PRE-FINISHED METAL - (COLOR)
19	MASONRY SOLDIER COURSE	MONUMENTAL SERIES GROUND FACE BLOCK - (COLOR)
20	MASONRY COLUMN VENEER	GROUND FACE BLOCK - (COLOR)
21	DIMENSIONAL LETTER BUILDING SIGNAGE	ANODIZED ALUMINUM
22	TRIM	PRE-FINISHED METAL - (COLOR)
23	CHESTNUT STREET LOFTS RAISED LOGO	ANODIZED ALUMINUM
24	STEPS	BRICK - COORDINATE WITH CIVIL DRAWINGS

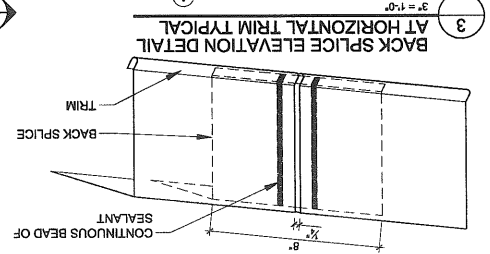
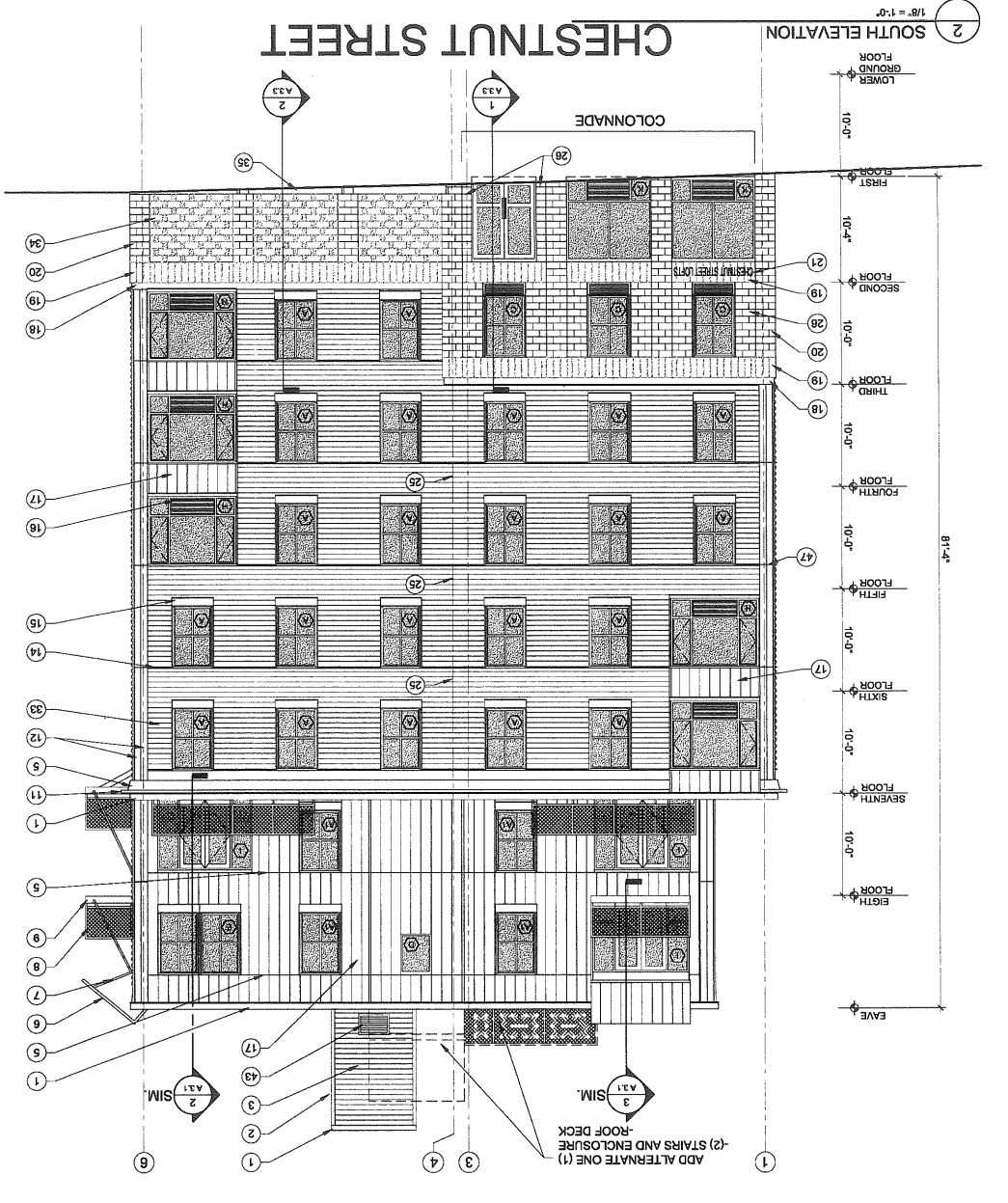
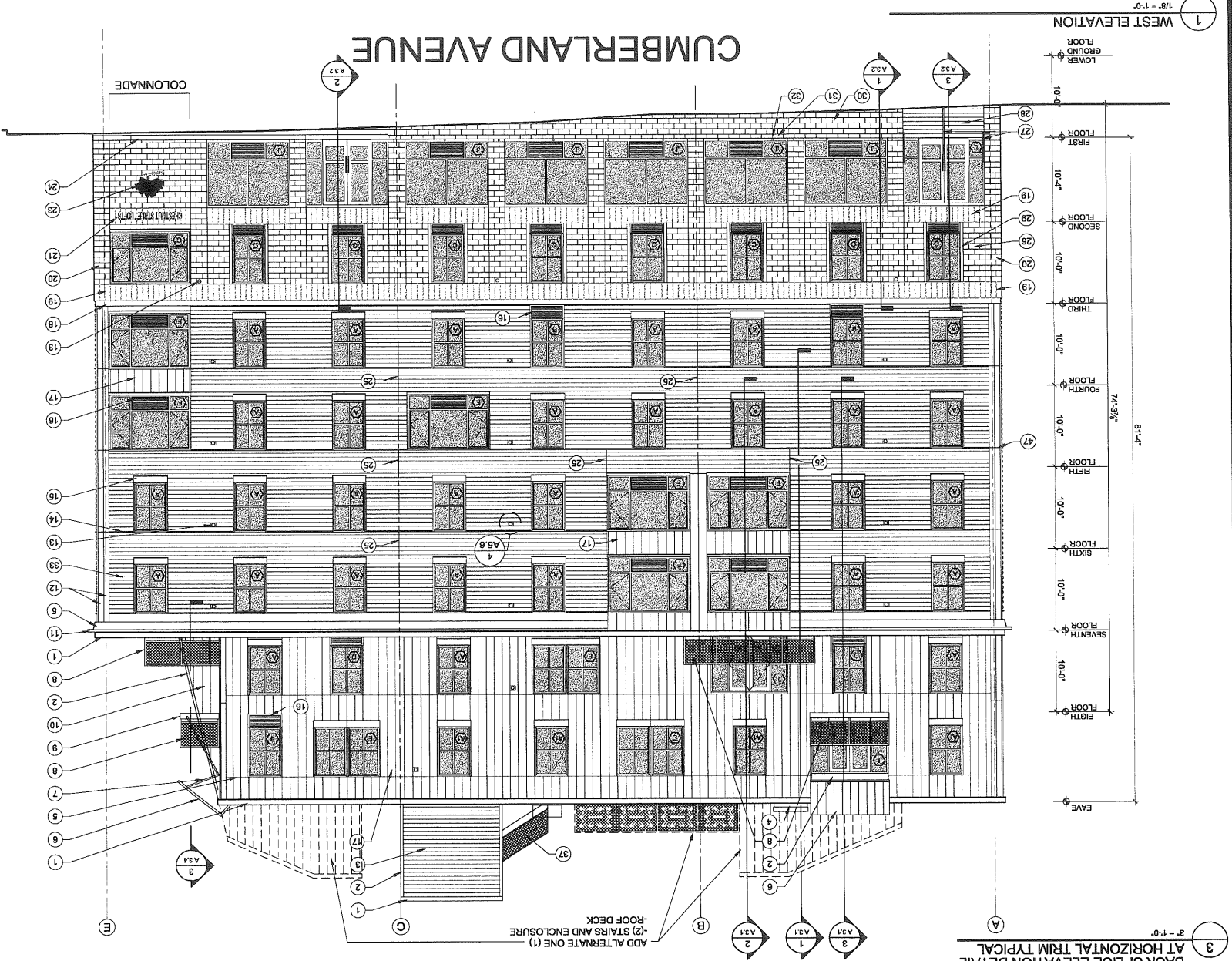
EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

CODE	DESCRIPTION	MATERIAL / COLOR
25	JOINT BETWEEN PANELS	PRE-FINISHED METAL - (COLOR)
26	MASONRY FIELD	GROUND FACE BLOCK - (COLOR)
27	HAND RAIL	GALVANIZED STEEL
28	POURED CONCRETE STEPS	PRE-FINISHED METAL - (COLOR)
29	JAMB TRIM	PRE-FINISHED METAL - (COLOR)
30	PLANTER WALL	GROUND FACE BLOCK - (COLOR)
31	GROUND FACE CMU BLOCK CAP	GROUND FACE BLOCK - (COLOR)
32	JOINT IN CMU WITH INSERTED METAL STUB	METAL STUB EVERY 8'-8" (6 BLOCKS) ALONG WALL
33	HORIZONTAL CORRUGATED SIDING	PRE-FINISHED METAL - (COLOR)
34	SCREEN WALL	GROUND FACE BLOCK - (COLOR)
35	PLANTER BASE	PRECAST CONCRETE - (COLOR)
36	GRANITE VENEER PANELS	FLAMED FINISH - COLOR - FRESHWATER PEARL

EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

CODE	DESCRIPTION	MATERIAL / COLOR
37	ELEVATOR MACHINE ROOM STAIR AND RAILING	GALVANIZED STEEL
38	CONDENSER ENCLOSURE WITH GATE	GALV. STL. 2" TUBE FRAM. W/2"x2" GALV. STL. MESH
39	EXTERIOR DOOR	INSULATED STEEL - PAINTED FINISH
40	POURCH GUARD	GALV. STL. 2" TUBE FRAM. W/2"x2" GALV. STL. MESH
41	BOLLARD	CONCRETE FILLED STEEL - PAINTED
42	GAS METERS	PAINTED FINISH
43	ELEVATOR SHAFT LOUVER	PAINTED FINISH
44	MECHANICAL LOUVER	PAINTED FINISH
45	ELECTRIC METERS	PAINTED FINISH
46	COLUMN PROTECTION 32" HIGH MIN.	4" X 4" X 5/16" GALVANIZED STEEL ANGLE
47	BACK SPLICE JOINT ALIGN WITH ACCEENT FLASHING	1/4" REVEAL AT BACK SPLICE
48	BALCONY BRACKETS	SEE STRUCTURAL DRAWINGS

EXT. ELEVATION MATERIALS LEGEND (CONTINUED)



ELEVATION NOTES:
 1. ALL RUNS OF METAL TRIM THAT REQUIRE (BOTH HORIZONTAL AND VERTICAL) JOINTS ARE TO BE BACK SPLICE TYPE JOINTS.
 2. NO RIVETS ARE TO BE USED ON METALWORK

NO SET
 Not for Construction
 1.03.06

A2.0

ELEVATIONS
 SHEET TITLE:
 SCALE: AS NOTED
 CHECKED BY: TST
 DRAWN BY: RJS
 PROJECT NO. 0422
 DATE:

REVISIONS:

CONSULTANTS:
 TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

DATE: 2005

CHESTNUT STREET LOFTS
 URBAN REVITALIZATION PROJECT
 BY CHESTNUT STREET LLC.
 PORTLAND, MAINE

© 2005 TFH ARCHITECTS

CODE	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	TRIM	PRE-FINISHED METAL - (COLOR)
3	HORIZONTAL CORRUGATED SIDING	PRE-FINISHED METAL - (COLOR)
4	ROOF ACCESS HATCH	
5	HORIZONTAL ACCENT FLASHING JOINT	PRE-FINISHED METAL - (COLOR)
6	CANOPY	PRE-FINISHED METAL - (COLOR)
7	BALCONY AND SUPPORT	GALVANIZED STEEL
8	BALCONY GUARD	GALVANIZED STEEL 2" TUBE FRAME WITH 2"x2" GALV. STL. MESH
9	BALCONY DECK FRAME	GALVANIZED STEEL CHANNELS
10	VERTICAL CONCEALED FASTENER SIDING	PRE-FINISHED METAL - (COLOR)
11	CORNICE	PRE-FINISHED METAL - (COLOR)
12	TRIM	PRE-FINISHED METAL - (COLOR)

EXTERIOR ELEVATION MATERIALS LEGEND

CODE	DESCRIPTION	MATERIAL / COLOR
13	BOILER VENT WITH FLASHING PLATE	METAL - COLOR TO MATCH ADJACENT SIDING
14	HORIZONTAL TRIM	PRE-FINISHED METAL - (COLOR)
15	WINDOW SILL TRIM	PRE-FINISHED METAL - (COLOR)
16	LOUVER	
17	VERTICAL CONCEALED FASTENER SIDING	PRE-FINISHED METAL - (COLOR)
18	TRANSITION BELT TRIM	PRE-FINISHED METAL - (COLOR)
19	MASONRY SOLDIER COURSE	MONUMENTAL SERIES GROUND FACE BLOCK - (COLOR)
20	MASONRY COLUMN VENEER	GROUND FACE BLOCK - (COLOR)
21	DIMENSIONAL LETTER BUILDING SIGNAGE	ANODIZED ALUMINUM
22	TRIM	PRE-FINISHED METAL - (COLOR)
23	CHESTNUT STREET LOFTS RAISED LOGO	ANODIZED ALUMINUM
24	STEPS	BRICK - COORDINATE WITH CIVIL DRAWINGS

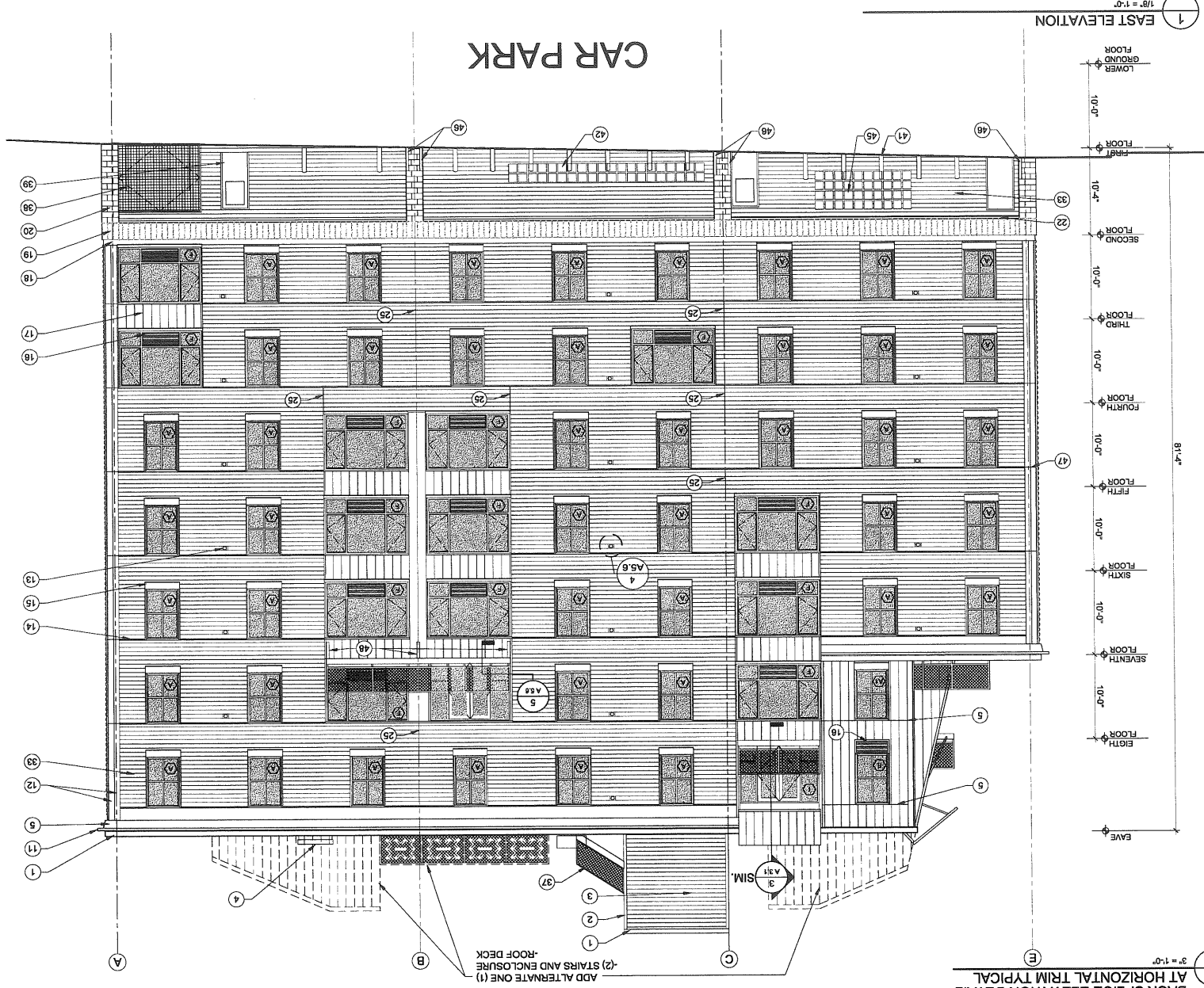
EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

CODE	DESCRIPTION	MATERIAL / COLOR
25	JOINT BETWEEN PANELS	
26	MASONRY FIELD	GROUND FACE BLOCK - (COLOR)
27	HAND RAIL	GALVANIZED STEEL
28	POURED CONCRETE STEPS	
29	JAMB TRIM	PRE-FINISHED METAL - (COLOR)
30	PLANTER WALL	GROUND FACE BLOCK - (COLOR)
31	GROUND FACE CMU BLOCK CAP	GROUND FACE BLOCK - (COLOR)
32	JOINT IN CMU WITH INSERTED METAL STUB	METAL STUB EVERY 6'-8" (6 BLOCKS) ALONG WALL
33	HORIZONTAL CORRUGATED SIDING	PRE-FINISHED METAL - (COLOR)
34	SCREEN WALL	GROUND FACE BLOCK - (COLOR)
35	PLANTER BASE	PRECAST CONCRETE - (COLOR)
36	GRANITE VENEER PANELS	

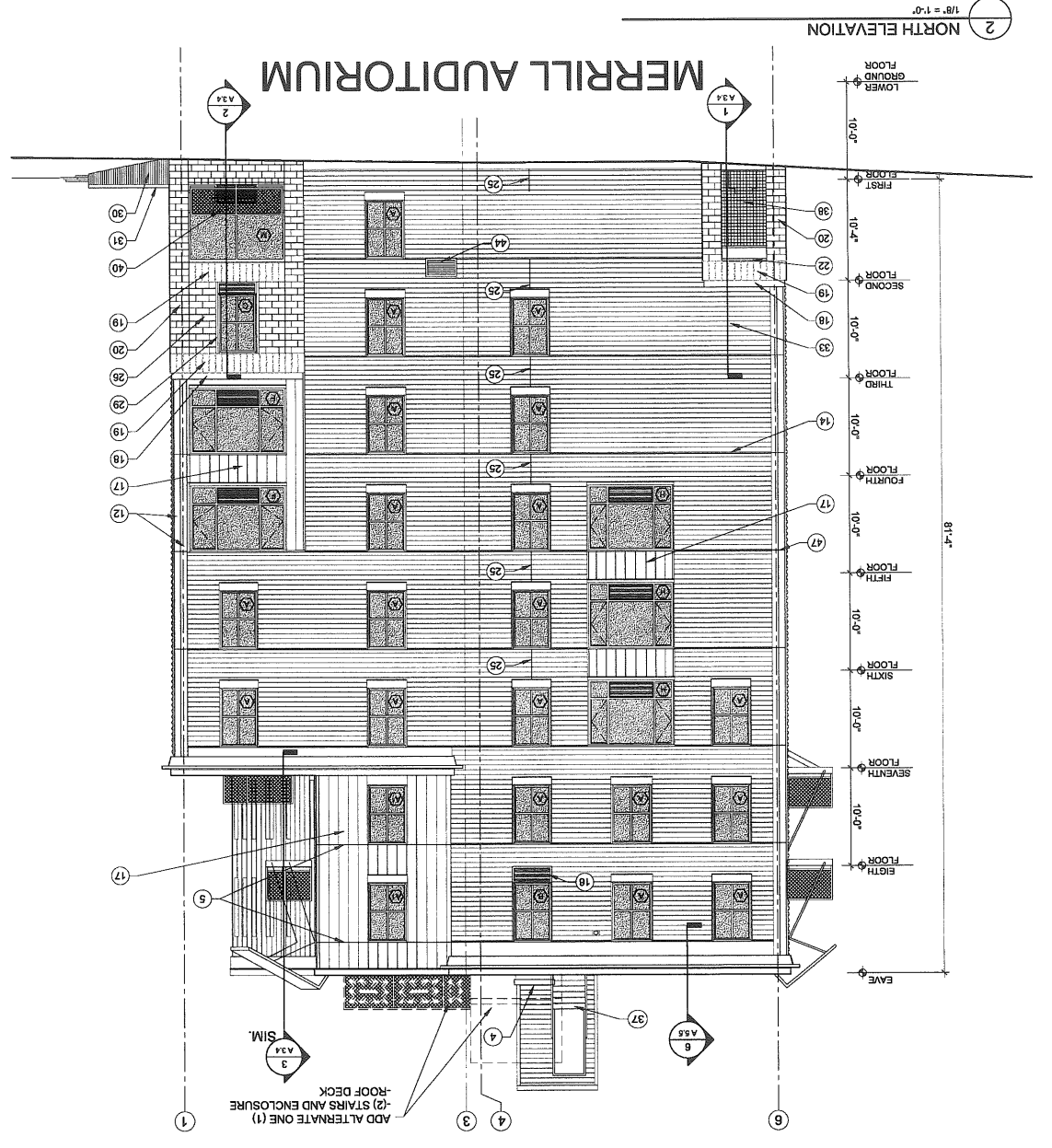
EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

CODE	DESCRIPTION	MATERIAL / COLOR
37	ELEVATOR MACHINE ROOM STAIR AND RAILING	GALV. STL. 2" TUBE FRM. W/2"x2" GALV. STL. MESH
38	CONDENSER ENCLOSURE WITH GATE	GALV. STL. 2" TUBE FRM. W/2"x2" GALV. STL. MESH
39	EXTERIOR DOOR	INSULATED STEEL - PAINTED FINISH
40	PORCH GUARD	GALV. STL. 2" TUBE FRM. W/2"x2" GALV. STL. MESH
41	BOLLARD	CONCRETE FILLED STEEL - PAINTED
42	GAS METERS	
43	ELEVATOR SHAFT LOUVER	PAINTED FINISH
44	MECHANICAL LOUVER	PAINTED FINISH
45	ELECTRIC METERS	
46	COLUMN PROTECTION 32" HIGH MIN.	4" X 4" X 5/16" GALVANIZED STEEL ANGLE
47	BACK SPLICE JOINT ALIGN WITH ACCENT FLASHING	1/4" REVEAL AT BACKSPICE
48	BALCONY BRACKETS	SEE STRUCTURAL DRAWINGS

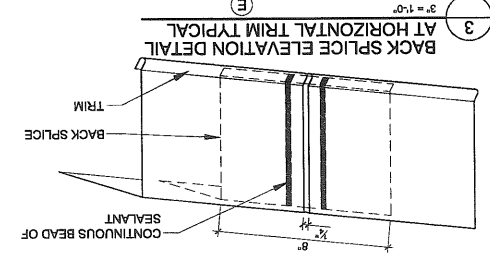
EXT. ELEVATION MATERIALS LEGEND (CONTINUED)



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



ELEVATION NOTES:
 1. ALL RUNS OF METAL TRIM THAT REQUIRE (BOTH HORIZONTAL AND VERTICAL) JOINTS ARE TO BE BACK SPLICE TYPE JOINTS.
 2. NO RIVETS ARE TO BE USED ON METALWORK

NO SET
 Not for Construction
 1.03.06

A2.1

ELEVATIONS
 SHEET TITLE:
 SCALE: AS NOTED
 CHECKED BY: TST
 DRAWN BY: RJS
 PROJECT NO. 0422
 DATE:

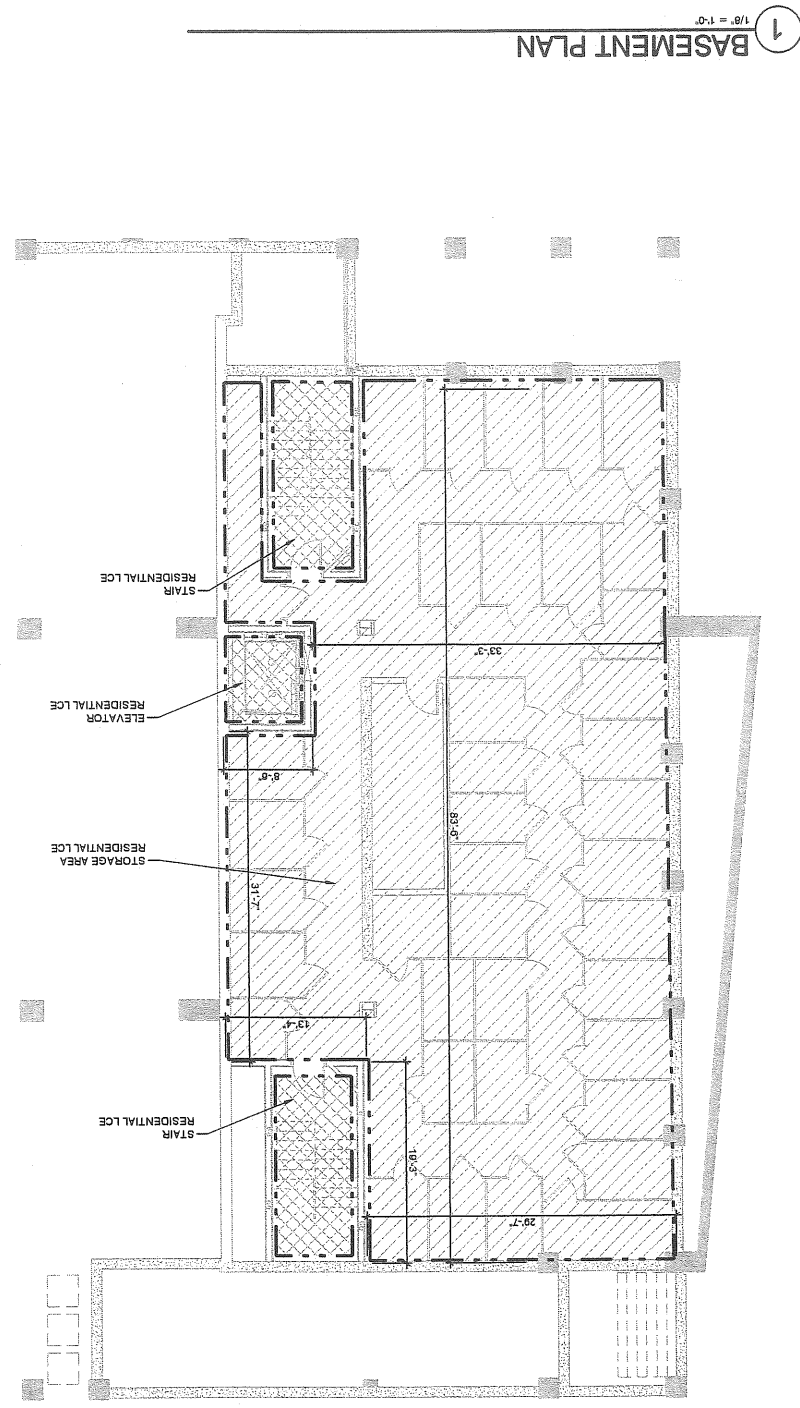
REVISIONS:

1	REVISED PER COMMENTS
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46	REVISED PER COMMENTS
47	REVISED PER COMMENTS
48	REVISED PER COMMENTS

CONSULTANTS:
 T.F.H. ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207.775.6141
 ARCHITECTURE PLANNING

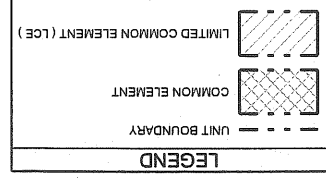
CHESTNUT STREET LOFTS
 URBAN REVITALIZATION PROJECT
 BY CHESTNUT STREET LLC,
 PORTLAND, MAINE

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STATE OF MAINE, CUMBERLAND, SS
 Received _____, 20____
 at _____ h _____ m _____ and recorded in
 Plan Book _____, Page _____
 Attest: _____
 Register

DECLARANT
 CHESTNUT STREET LOFTS, LLC.



UNIT SQUARE FOOTAGE

COMMERCIAL SPACE 001 - 990 SF
COMMERCIAL SPACE 002 - 1,232 SF
UNIT 2N,3N,4N,5N,6N - 1,090 SF
UNIT 2E,3E,4E,5E,6E - 935 SF
UNIT 2SE,3SE,4SE,5SE,6SE - 895 SF
UNIT 2S,3S,4S,5S,6S - 935 SF
UNIT 2W,3W,4W,5W,6W - 1,090 SF
UNIT 2NW,3NW,4NW,5NW,6NW - 1,024 SF
UNIT 5NW - 1,012 SF
UNIT 7E - 1,120 SF
UNIT 7S - 1,050 SF
UNIT 7N - 890 SF
UNIT 7W - 1,065 SF
UNIT 8N - 1,531 SF
UNIT 8S - 1,370 SF
UNIT 8W - 1,160 SF

CHESTNUT STREET LOFTS CONDOMINIUM
 URBAN REVITALIZATION PROJECT
 BY CHESTNUT STREET LOFTS LLC, DECLARANT
 PORTLAND, MAINE

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE:
 PROJECT No. 0422
 DRAWN BY: RJS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE: Condominium Documents
 Plans

CD-1

66

CD-2

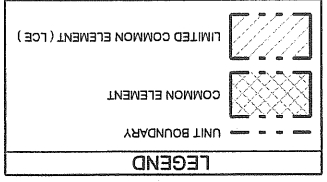
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REVISIONS:

CONSULTANTS: TFM ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207 775 6141 ARCHITECTURE PLANNING

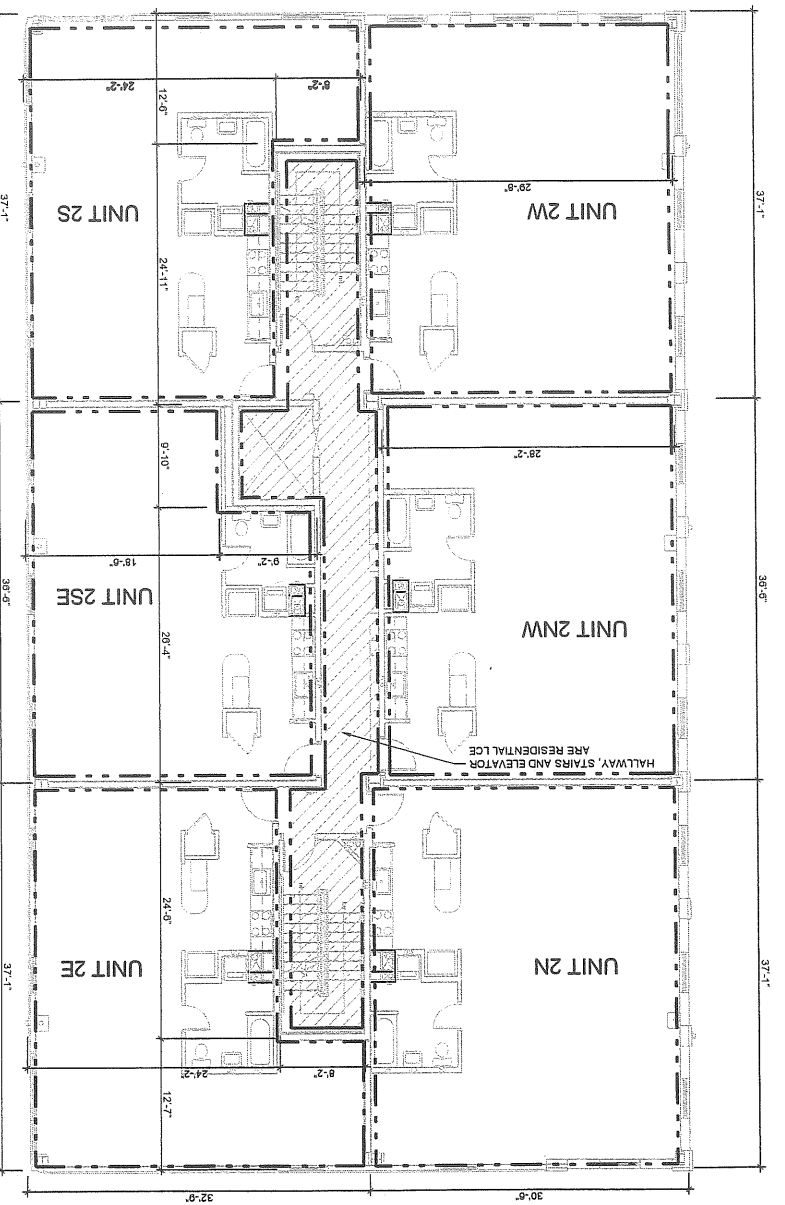
CHESTNUT STREET LOFTS CONDOMINIUM
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LOFTS LLC, DECLARANT
PORTLAND, MAINE

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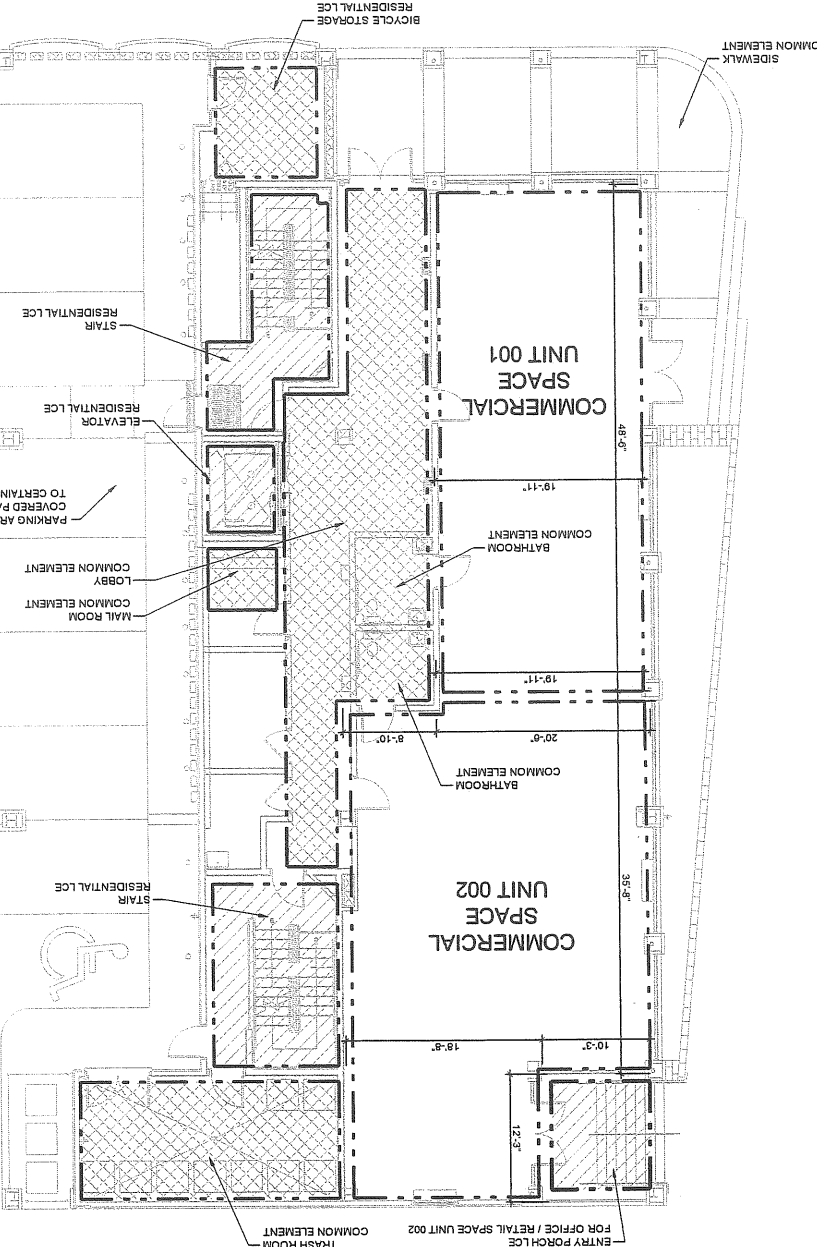


DECLARANT
CHESTNUT STREET LOFTS, LLC.

STATE OF MAINE, CUMBERLAND, SS
Received _____, 20____
at _____ h _____ m _____ and recorded in
Plan Book _____, Page _____
Attest: _____ Register

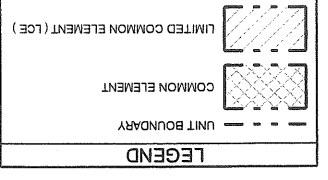
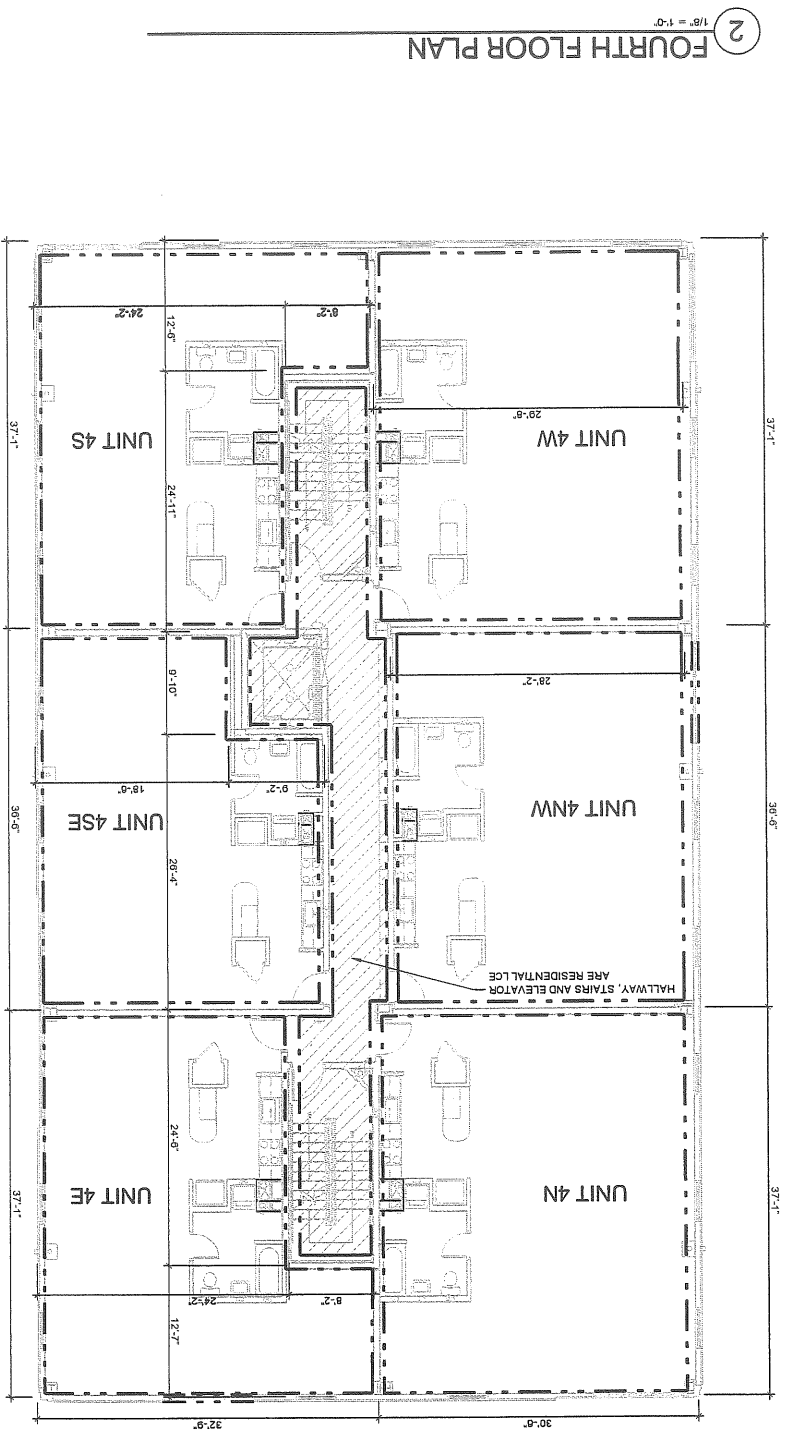
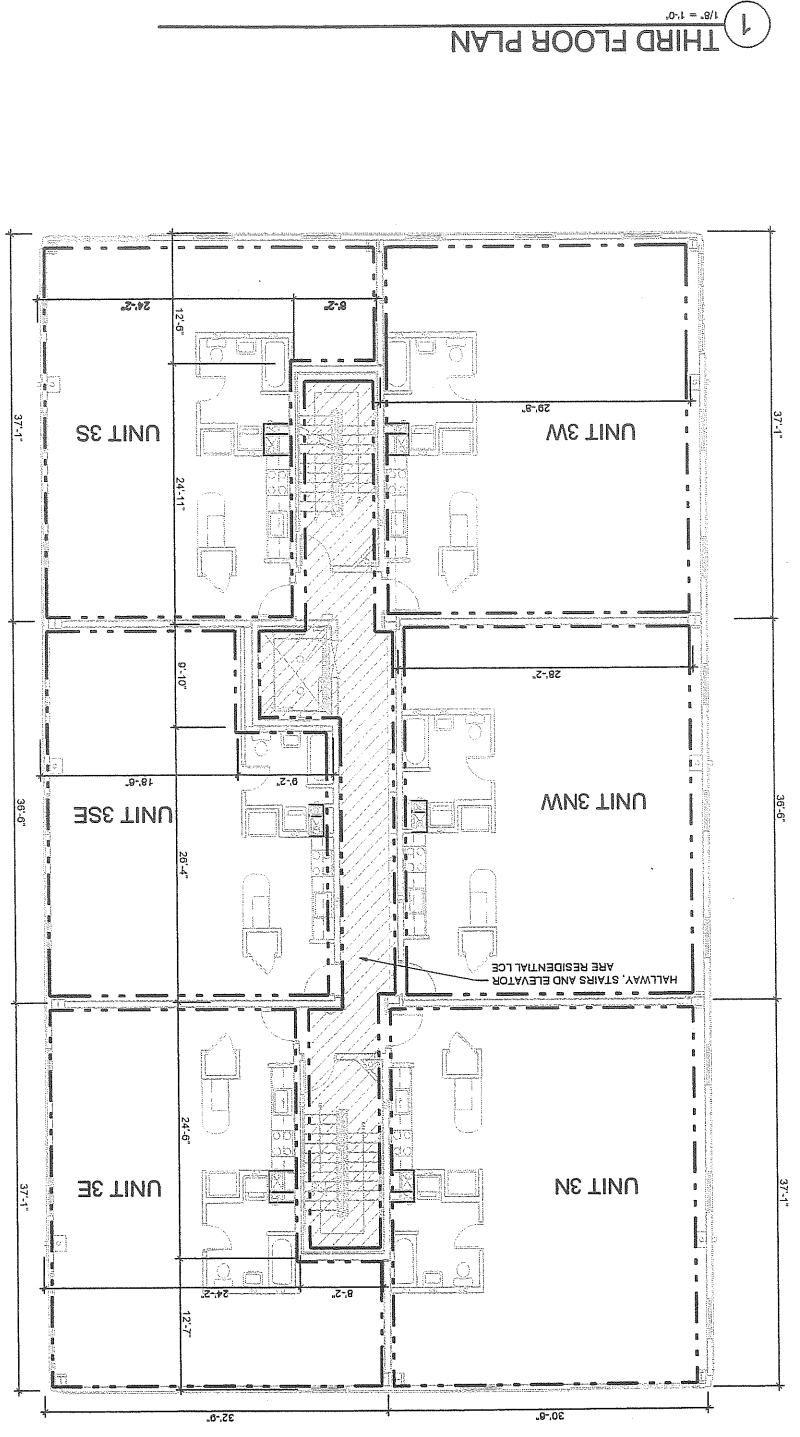


2 SECOND FLOOR PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

G.02



DECLARANT
CHESTNUT STREET LOFTS, LLC.

STATE OF MAINE, CUMBERLAND, SS
 Received _____, 20____
 at _____, h _____ m _____ and recorded in
 Plan Book _____, Page _____
 Attest: _____
 Register

CD-3

DATE: _____
 PROJECT No. 0422
 DRAWN BY: RJS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE: Condominium Documents Plans

REVISIONS:

CONSULTANTS:

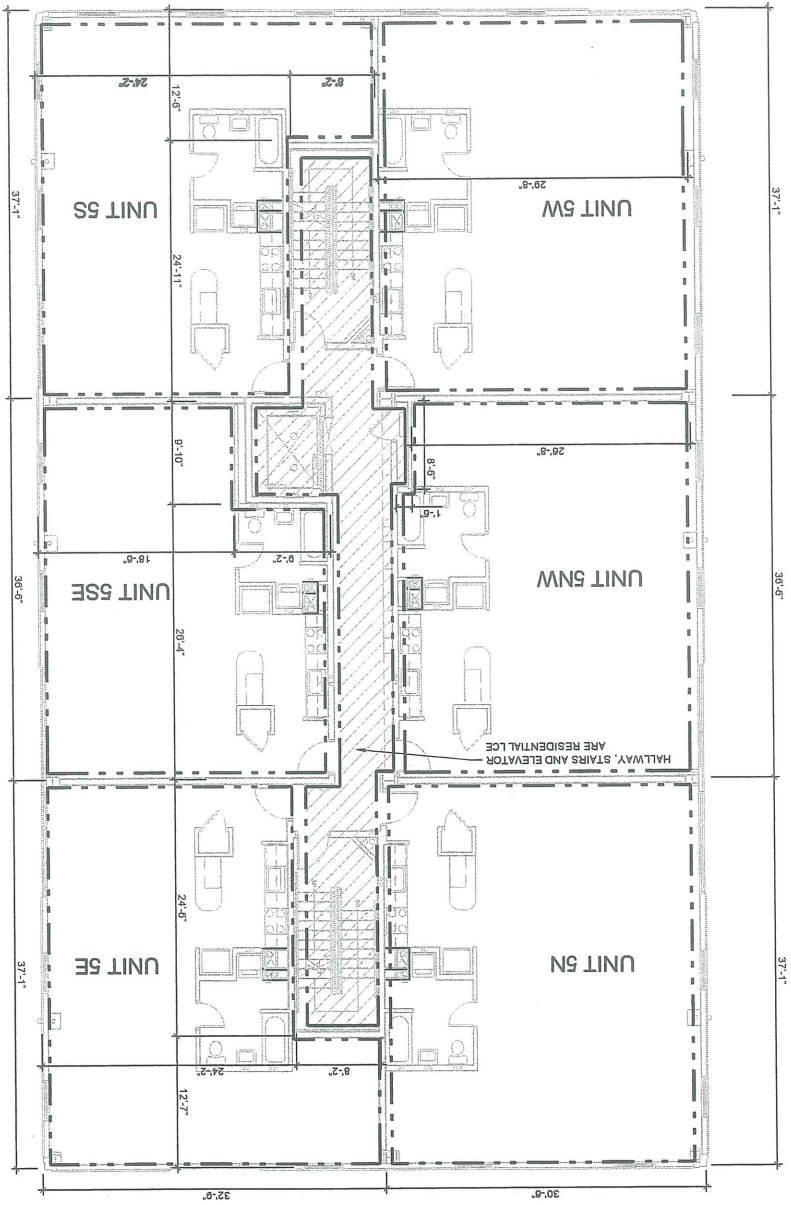
TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 776 6141
 ARCHITECTURE PLANNING

CHESTNUT STREET LOFTS CONDOMINIUM
 URBAN REVITALIZATION PROJECT
 BY CHESTNUT STREET LOFTS LLC, DECLARANT
 PORTLAND, MAINE

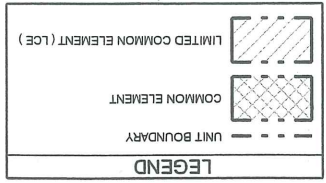
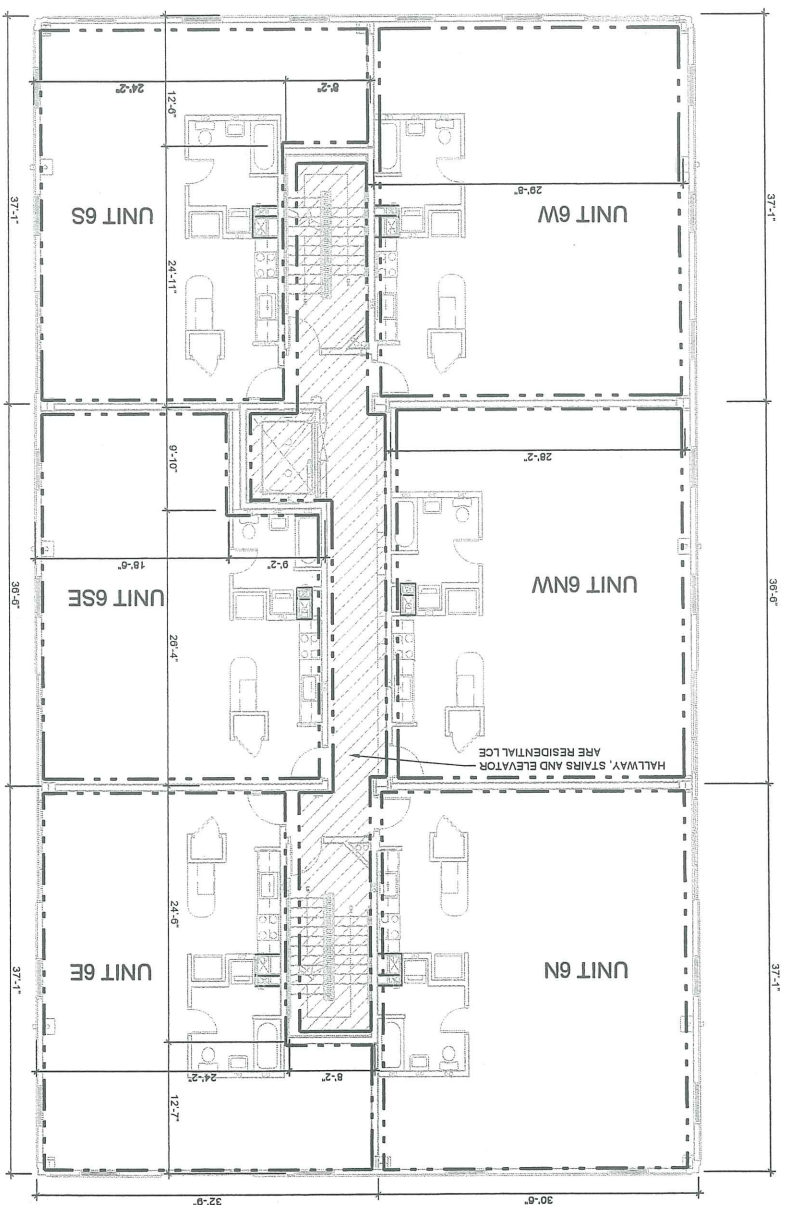
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G.03

1 FIFTH FLOOR PLAN
1/8" = 1'-0"



2 SIXTH FLOOR PLAN
1/8" = 1'-0"



DECLARANT
CHESTNUT STREET LOFTS, LLC.

STATE OF MAINE, CUMBERLAND, SS
Received _____, 20____
at _____ h _____ m _____ and recorded in
Plan Book _____, Page _____
Attest: _____
Register

CD-4

DATE: _____
PROJECT No. 0422
DRAWN BY: RJS
CHECKED BY: TST
SCALE: AS NOTED
SHEET TITLE: Condominium Documents Plans

REVISIONS:

CONSULTANTS:

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 0141
ARCHITECTURE PLANNING

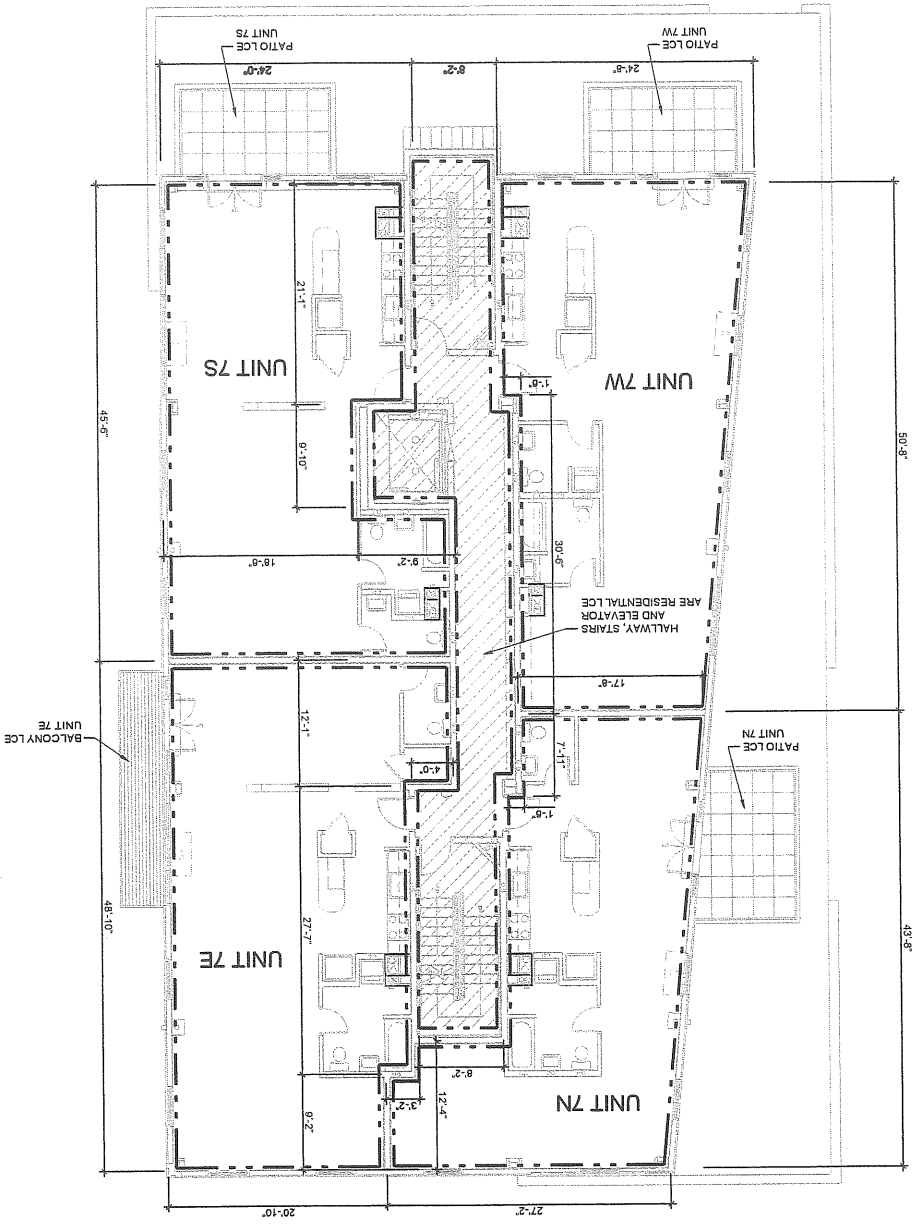


CHESTNUT STREET LOFTS CONDOMINIUM
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LOFTS LLC, DECLARANT
PORTLAND, MAINE

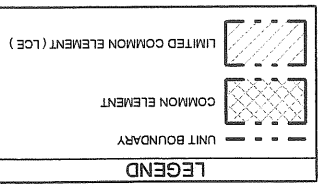
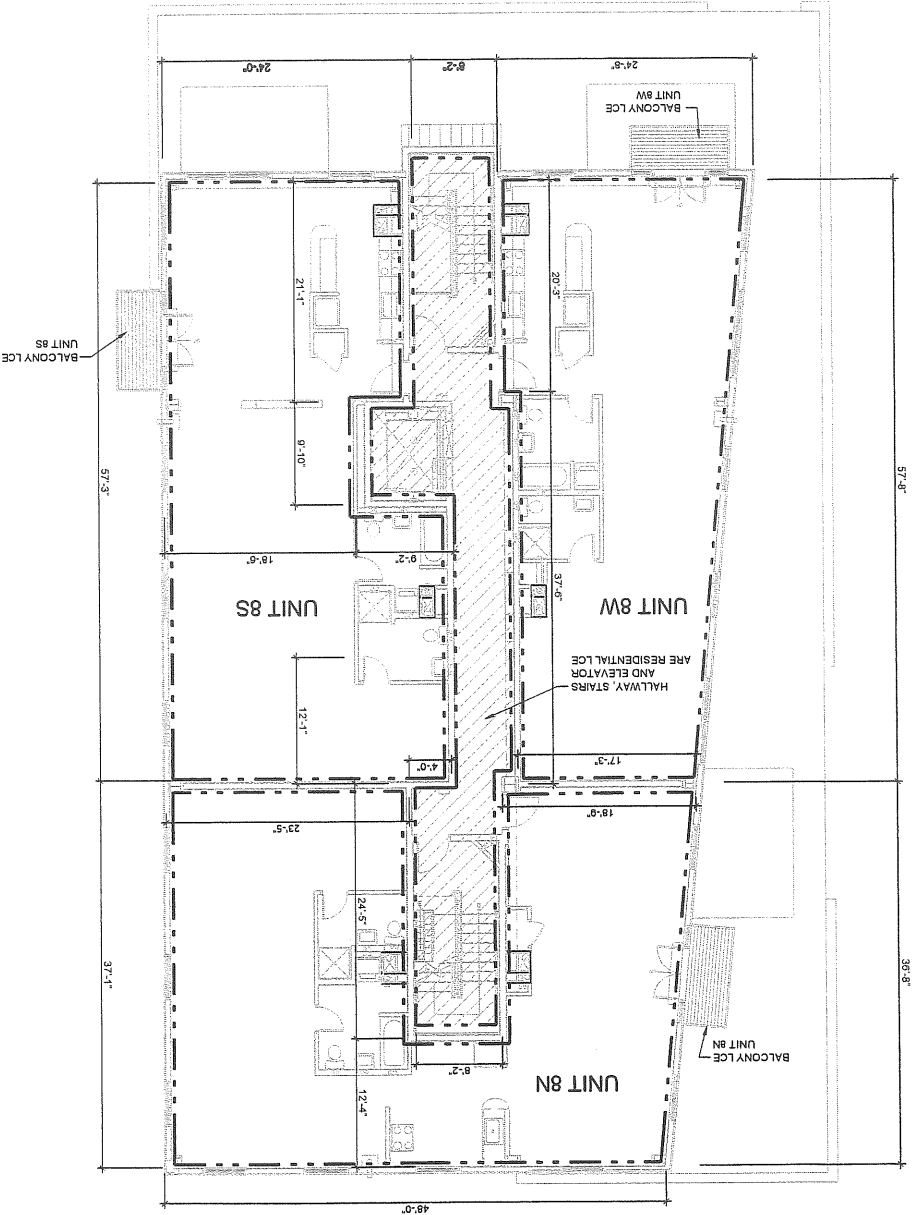
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604

1 SEVENTH FLOOR PLAN
1/8" = 1'-0"



2 EIGHTH FLOOR PLAN
1/8" = 1'-0"



DECLARANT
CHESTNUT STREET LOFTS, LLC.

STATE OF MAINE, CUMBERLAND, SS
 Received _____, 20____
 at _____ h _____ m _____ and recorded in _____ Page _____
 Plan Book _____
 Attest: _____ Register

CD-5

DATE: _____
 PROJECT No. 0422
 DRAWN BY: RJS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE: Condominium Documents Plans

REVISIONS:

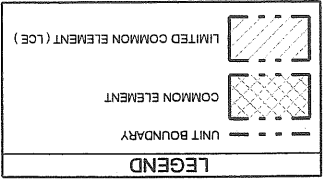
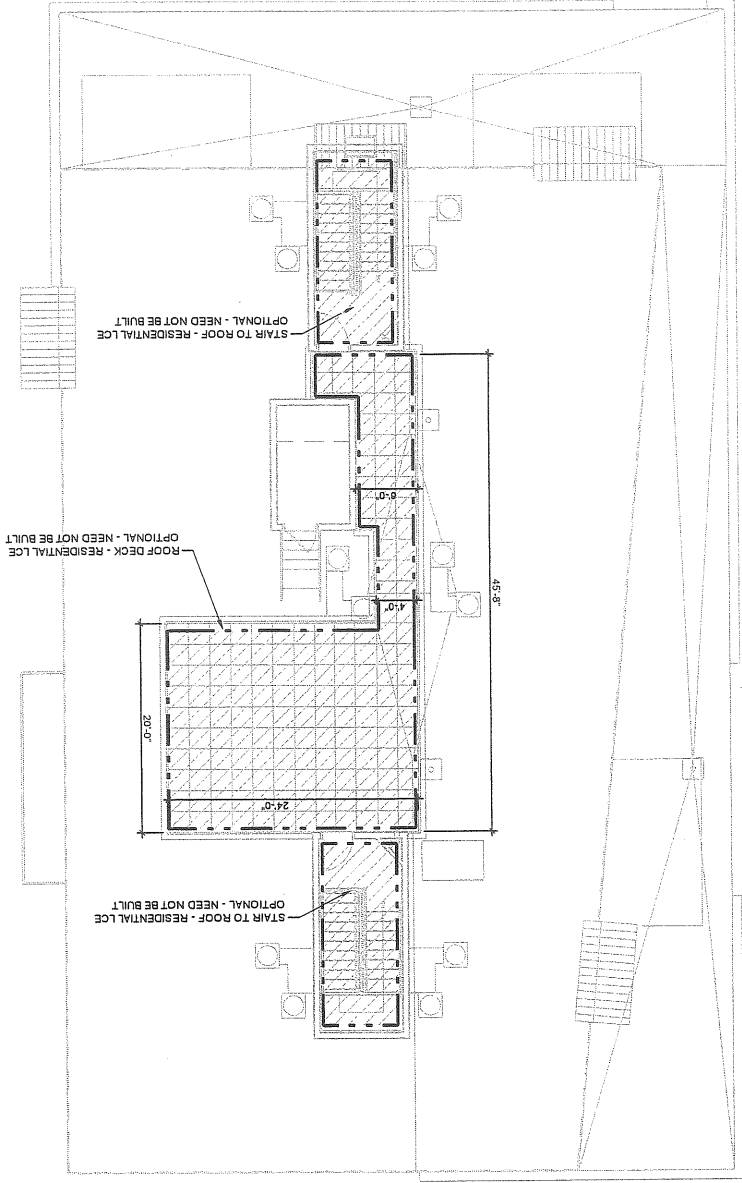
CONSULTANTS:
 TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 0141
 ARCHITECTURE PLANNING

CHESTNUT STREET LOFTS CONDOMINIUM
 URBAN REVITALIZATION PROJECT
 BY CHESTNUT STREET LOFTS LLC, DECLARANT
 PORTLAND, MAINE

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865

1 ROOF PLAN
1/8" = 1'-0"



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 Plan Book _____, Page _____
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 BY CHESTNUT STREET LOFTS LLC, DECLARANT
 PORTLAND, MAINE

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 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

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 PROJECT No. 0422
 DRAWN BY: RJS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE: Condominium Documents Plans
 CD-6

G.O.L.

CD-7

DATE: PROJECT NO. 0422
 DRAWN BY: RJS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE: Condominium Documents Elevations

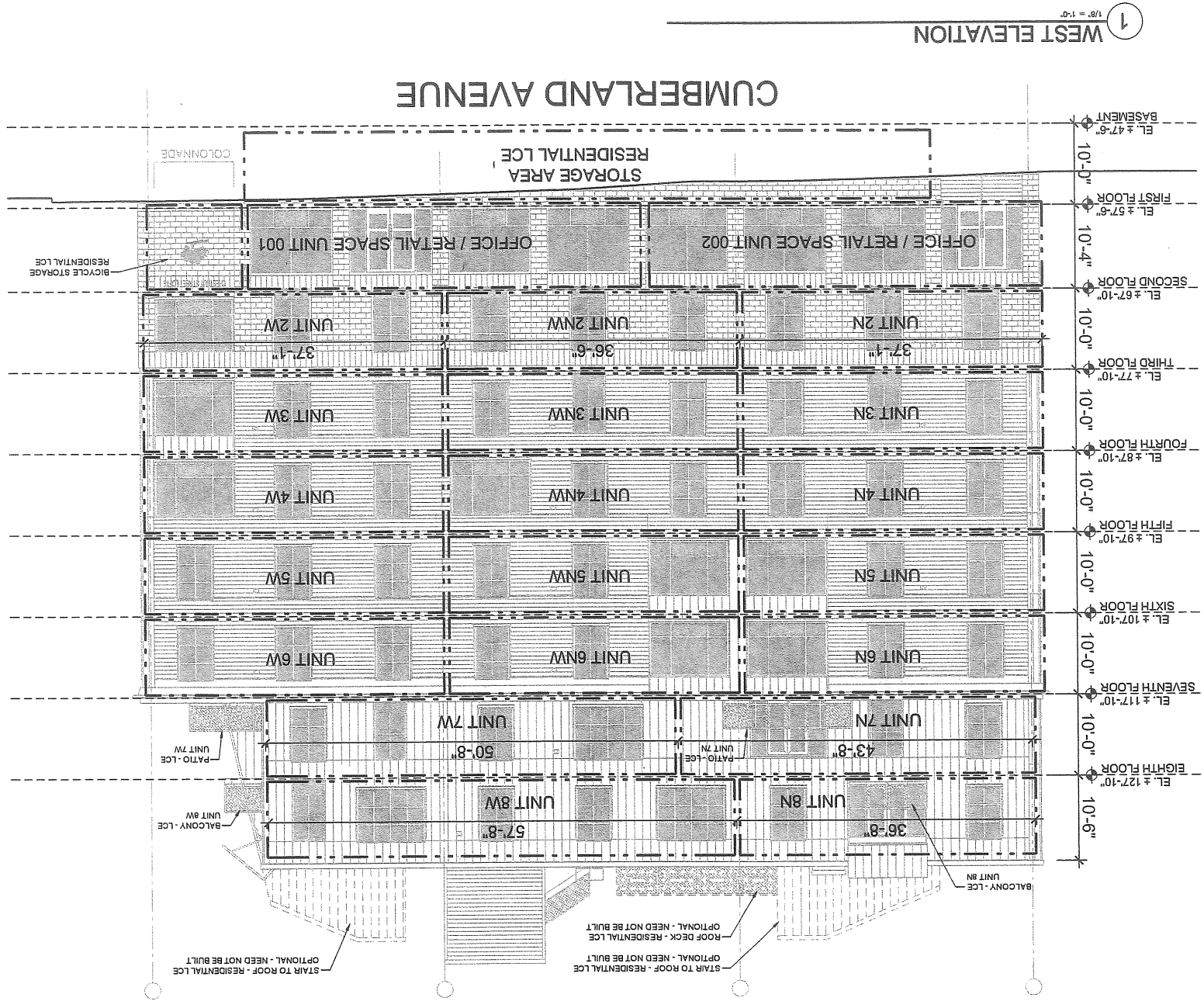
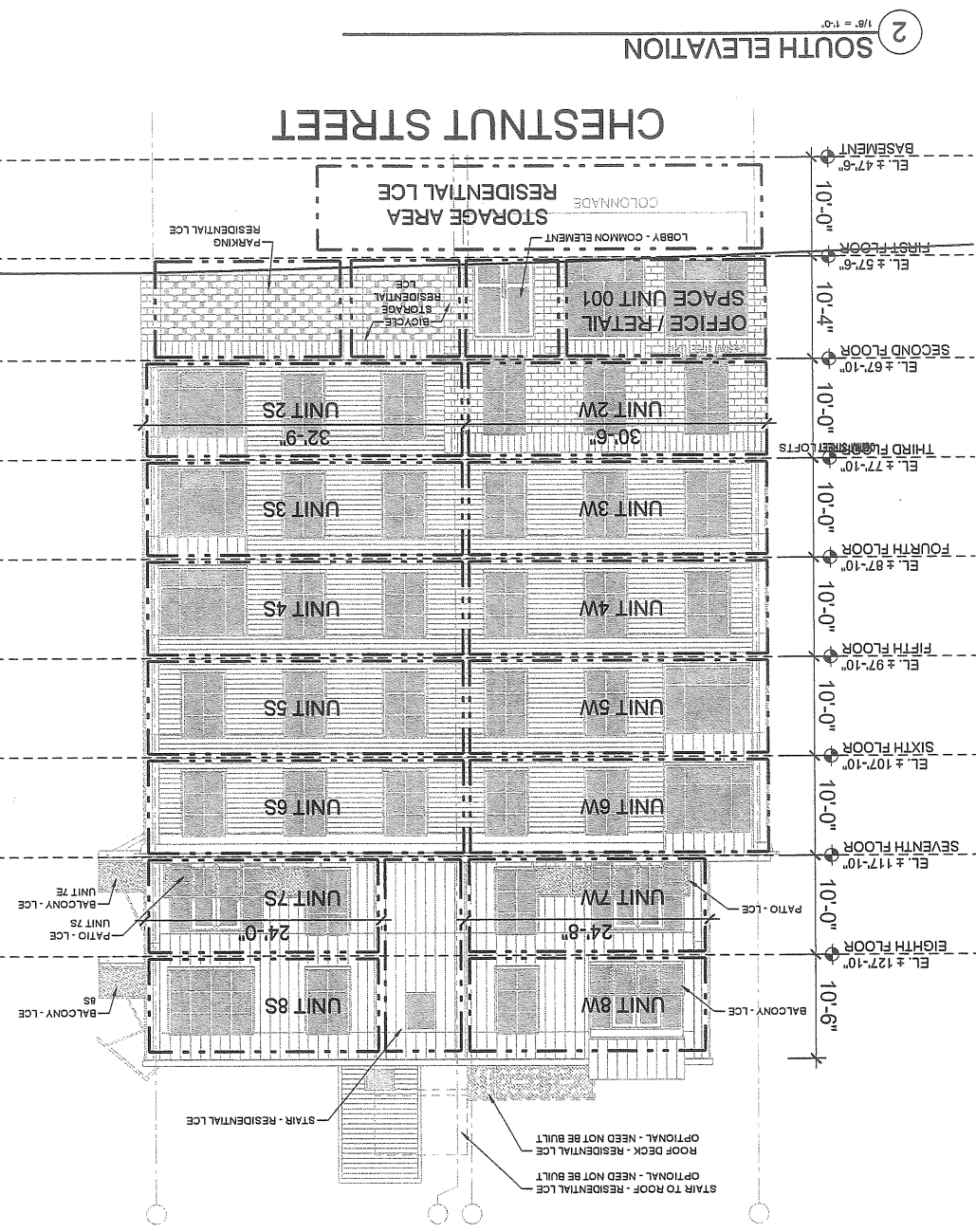
REVISIONS:

CONSULTANTS:

TFH ARCHITECTS
 100 CUMBERLAND STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 776 6141
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 URBAN REVITALIZATION PROJECT
 BY CHESTNUT STREET LOFTS LLC, DECLARANT
 PORTLAND, MAINE

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NOTE:
 FIRST FLOOR ELEVATION BASED ON
 PLAN OF EXISTING CONDITIONS SURVEY 17
 CHESTNUT STREET PORTLAND, MAINE MADE FOR
 LAND USE CONSULTANTS DATED JANUARY 19,
 2005 AND REVISED THROUGH JULY 28, 2005
 PROJECT BENCHMARK:
 BM 1919/93, BRASS DISC IN GRANITE WALL NEAR
 THE SOUTH STEPS OF PORTLAND CITY HALL
 ALONG CONGRESS STREET; ELEVATION = 69.88
 FEET BASED ON NGVD OF 1929.

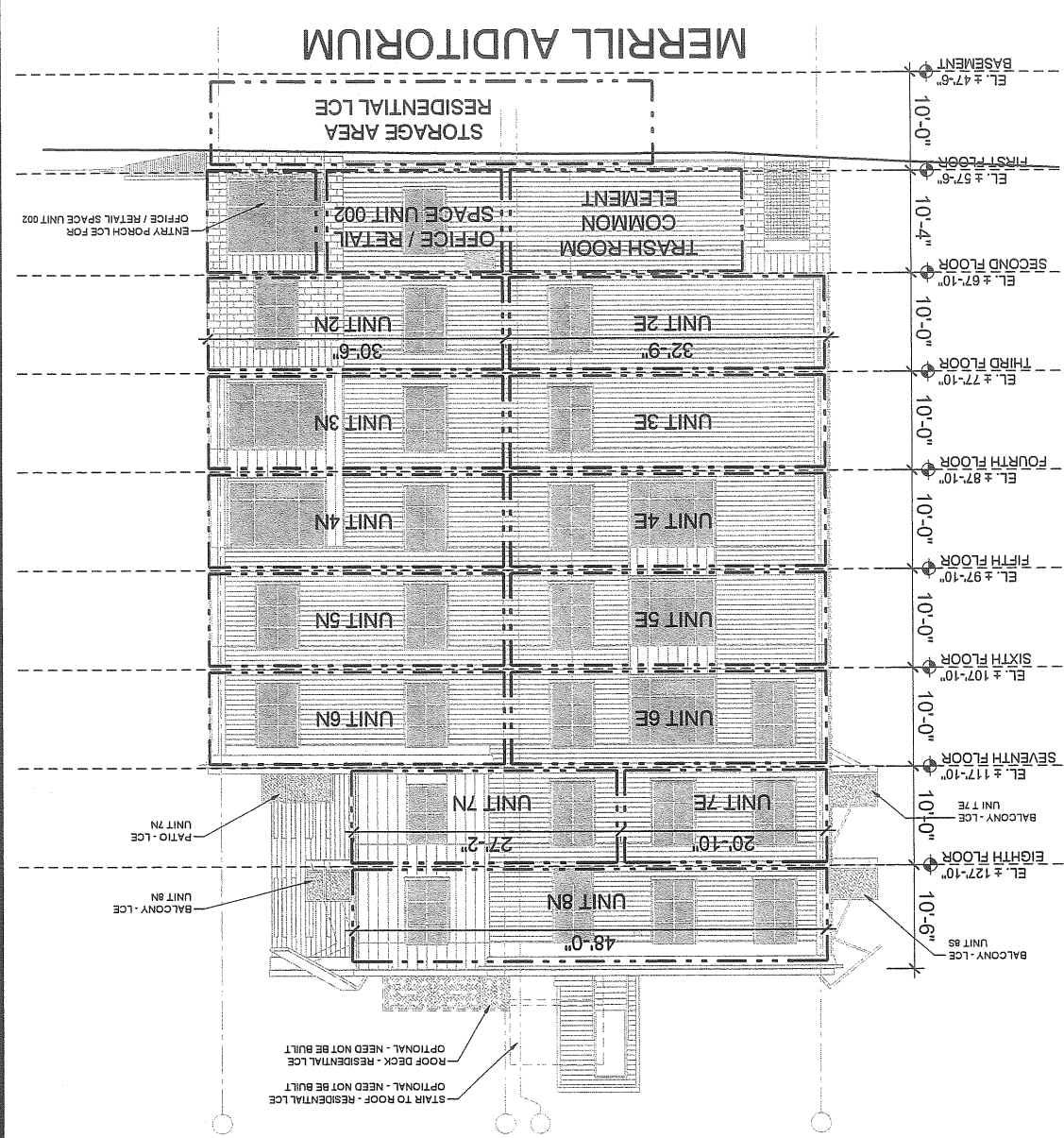
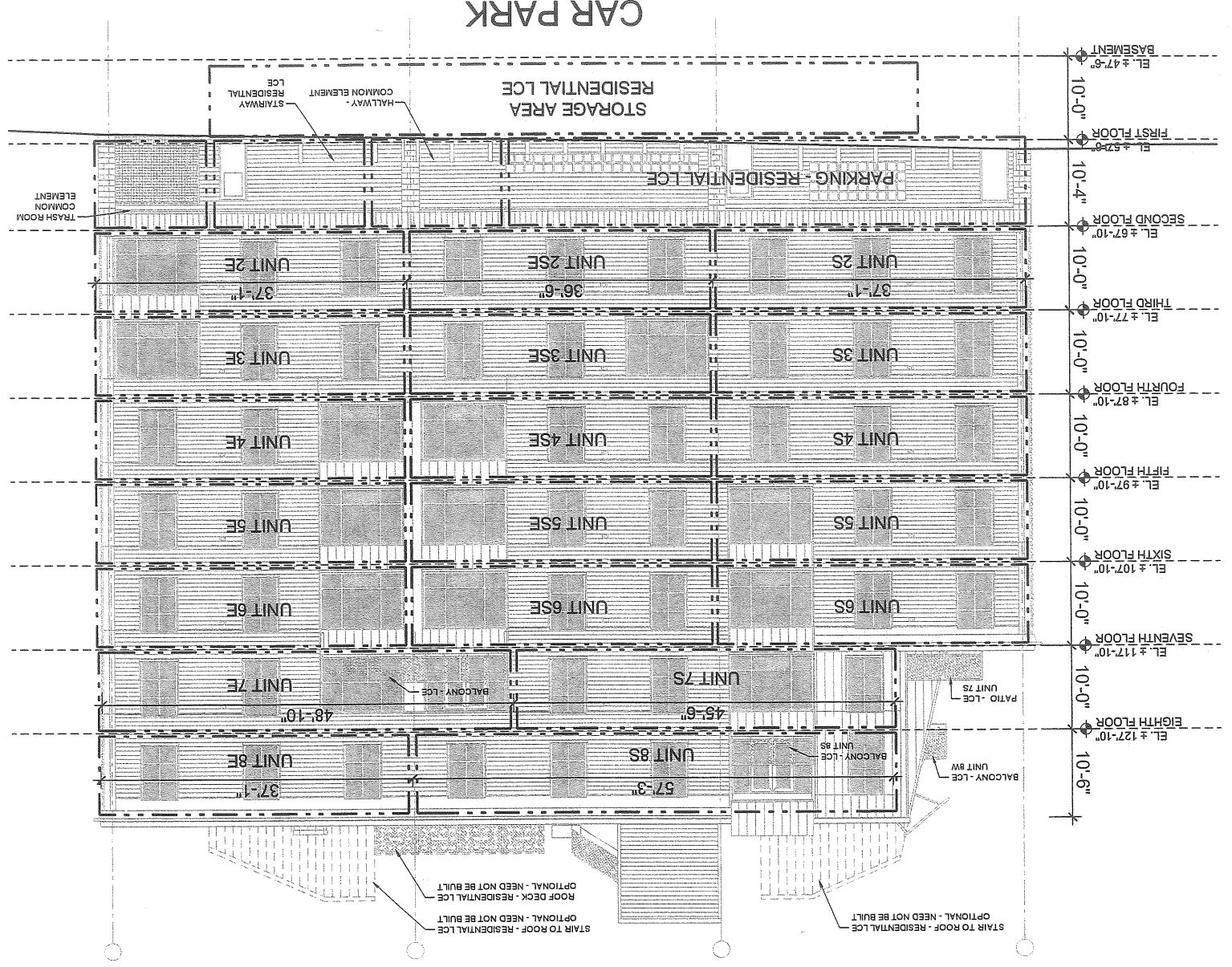
DECLARANT
 CHESTNUT STREET LOFTS, LLC.
 LEGEND
 --- UNIT BOUNDARY

STATE OF MAINE, CUMBERLAND, SS
 REGISTRY OF DEEDS
 Received _____, 20____
 at _____ h _____ m _____ and recorded in
 Plan Book _____, Page _____
 Attest: _____
 Register

609

1 EAST ELEVATION

2 NORTH ELEVATION



NOTE:
FIRST FLOOR ELEVATION BASED ON
"PLAN OF EXISTING CONDITIONS SURVEY" 17
CHESTNUT STREET PORTLAND, MAINE MADE FOR
LAND USE CONSULTANTS DATED JANUARY 19,
2005 AND REVISED THROUGH JULY 29, 2005
PROJECT BENCHMARK:
BM 1919.28, BRASS DISC IN GRANITE WALL NEAR
THE SOUTH STAIRS OF PORTLAND CITY HALL
ALONG CONGRESS STREET. ELEVATION = 88.66
FEET BASED ON NGVD OF 1929.

DECLARANT
CHESTNUT STREET LOFTS, LLC.

LEGEND
--- UNIT BOUNDARY

STATE OF MAINE, CUMBERLAND, SS
REGISTRY OF DEEDS
Received _____, 20____
at _____, h _____ m _____ and recorded in
Plan Book _____, Page _____
Attest: _____
Register

CD-8

DATE: _____
PROJECT NO. 0422
DRAWN BY: RJS
CHECKED BY: TST
SCALE: AS NOTED
SHEET TITLE: Condominium Elevations

REVISIONS:

CONSULTANTS:

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 778 6141
ARCHITECTURE PLANNING

CHESTNUT STREET LOFTS CONDOMINIUM
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LOFTS LLC, DECLARANT
PORTLAND, MAINE

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6.08

- Utilities:**
- * WATER: PORTLAND WATER DISTRICT - DAVID COFFIN, ENGINEERING 207-774-5961
 - * SEWER: CITY OF PORTLAND DPW - BRAD ROLAND 207-874-8846
 - * ELECTRIC: CMP - BARBARA WACKER 207-490-3074
 - * TELEPHONE: VERIZON - GEORGE HILLMAN 207-797-1798
 - * CABLE: TIME WARNER CABLE - DEB PAIEMENT 207-253-2662

Project Team

Engineering, Permitting & Landscape Architecture:

TFH ARCHITECTS
100 Commercial Street
Portland, ME 04101
(207) 775-6141

LAND USE CONSULTANTS, INC.
966 Riverside Street
Portland, ME 04103
(207) 878-3313

Traffic:

TTCOMB ASSOCIATES
133 Gray Road
Falmouth, ME 04105
(207) 797-9199

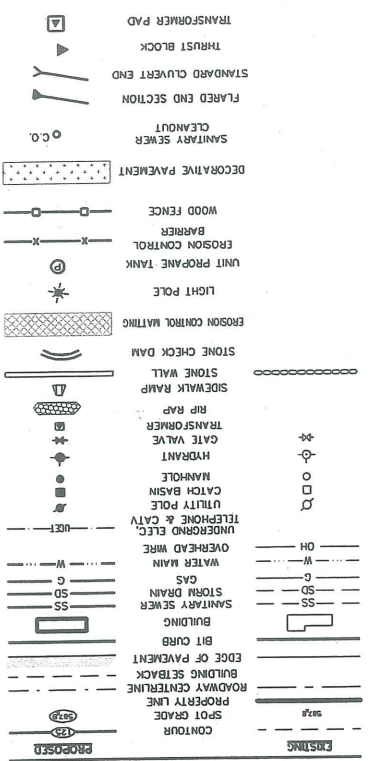
JOHN MURPHY
221 Brown Road
West Baldwin, ME 04091
(207) 625-8222

Survey:

Final Subdivision & Site Plan 29 Chestnut Street Portland, Maine 04101

Prepared For:
Chestnut Street Lofts, LLC
One India Street, Portland, Maine 04101

- General Notes:**
1. PLANNING AND TOPOGRAPHIC DETAIL SHOWN HEREON IS THE RESULT OF A PLAN ON THE GROUND FIELD SURVEY PERFORMED BY TTCOMB ASSOCIATES AND PLAN ENLARGED EXISTING CONDITIONS SURVEY. DATED JANUARY 19, 2005.
 2. NORTH AS SHOWN HEREON IS BASED ON GRID NORTH, MAINE STATE COORDINATE SYSTEM.
 3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF PORTLAND CITY HALL ALONG CONGRESS STREET ELEVATION= 99.66 FEET BASED ON MVD OF 1929.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW.
 5. TO PERFORM THE WORK SHOWN ON THESE PLANS.
 6. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
 7. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND STANDARDS & APPLICABLE UTILITY COMPANIES STANDARDS.
 8. CONTRACTOR SHALL VERIFY LOCATIONS & DEPTHS OF ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
 9. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
 10. NO BASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY UNLESS THE NOTIFICATION IS OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. NO ERECTION OF BASTING WILL BE PERMITTED WITHOUT A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE ENGINEER.
 11. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
 13. MILETS AND OUTLETS OF ALL DRAIN LINES SHALL BE RAP RAPPED UNLESS OTHERWISE NOTED ON PLANS OR DIRECTED BY THE ENGINEER.
 14. COUNTY SHALL BE USED UNDER ALL PAVED AREAS IF REQUIRED FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH PRACTICES OF THE DEP "NAME EROSION & SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES," LATEST EDITION.
 16. ALL TRAFFIC MARKINGS AND SIGNS SHALL COMPLY WITH MASH 10 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1988 OR LATER VERSION.
 17. CONSTRUCT UTILITY SERVICE CONNECTIONS TO THE FEET BEYOND STREET LINE. PROVIDE MINIMAL PITCH OF 1/8" PER FOOT FOR SEWER AND DRAINAGE LINES.



Legend

- DWG # 0
- COVER SHEET
 - (1 of 1) EXISTING CONDITIONS & STANDARD BOUNDARY PLAN
 - (1 of 1) RECORDING PLAN
 - C-1 EXISTING CONDITIONS & REMOVALS
 - C-2 LAYOUT
 - C-3 UTILITY
 - C-4 GRADING, DRAINAGE & EROSION CONTROLS
 - C-5 LANDSCAPE
 - C-5A LIGHTING-PHOTOMETRICS
 - C-6 DETAILS
 - C-7 DETAILS
 - C-8 DETAILS
 - ARCHITECTURAL PLANS
 - CUMBERLAND AVENUE STREETSCAPE
 - A-2.0 EXTERIOR ELEVATIONS
 - A-2.1 EXTERIOR ELEVATIONS

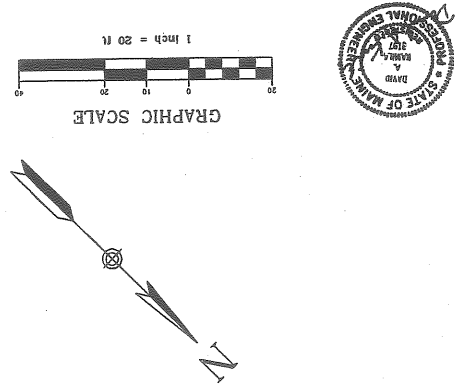
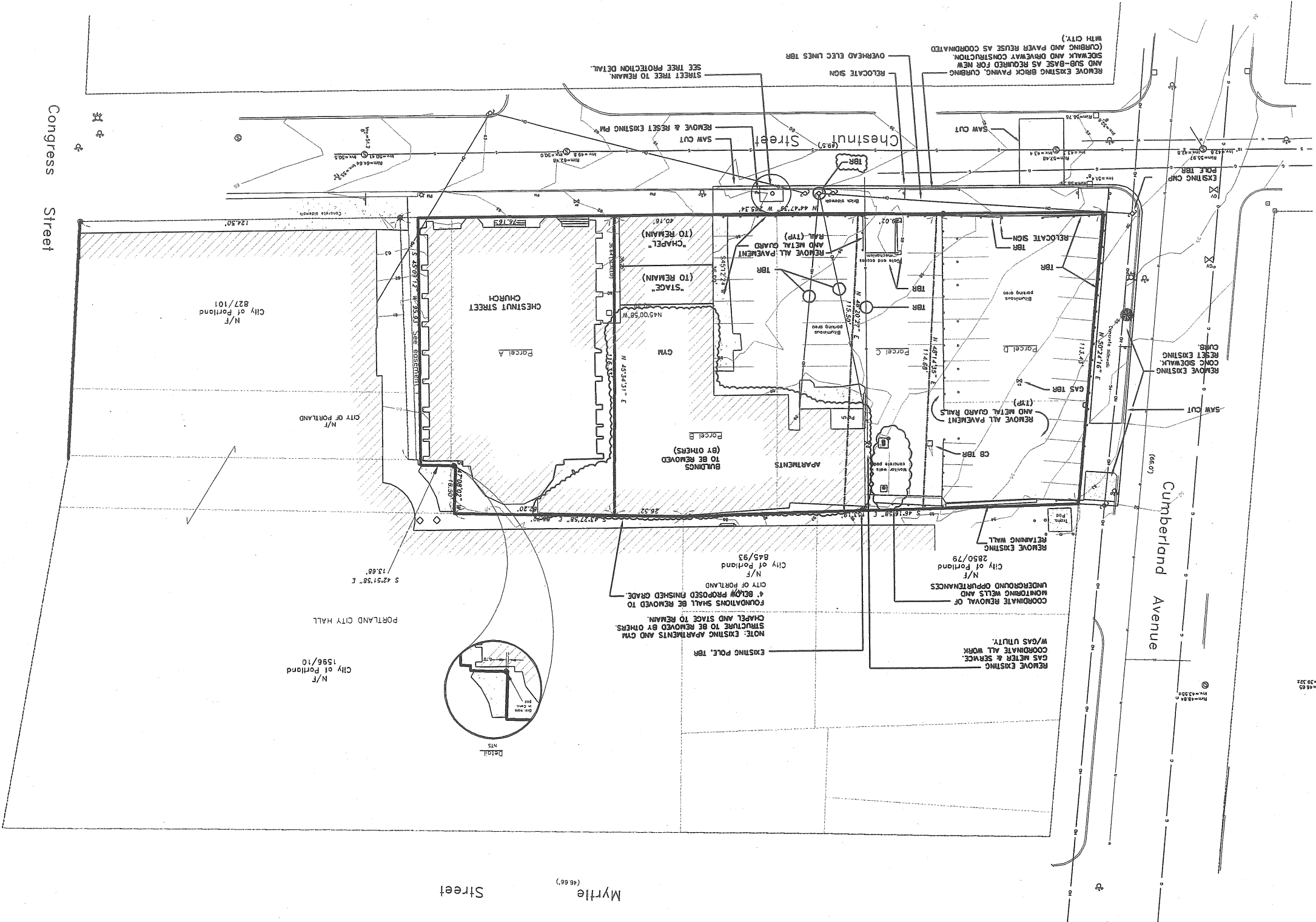
Index Of Drawings

TFH ARCHITECTS
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www.tfharchitects.com

Land Use Consultants, Inc.
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Fax (207) 878 - 0201
www.landuseinc.com



12/20/05 Revised Preliminary Re-Review
8/23/05 Final Review - City of Portland
Issue: 7/19/05 Preliminary Review - City of Portland



- NOTES:**
1. PAVEMENT SHALL BE REMOVED TO THE LIMITS SHOWN PRIOR TO CONSTRUCTION. PAVEMENT SHALL BE REMOVED AND REBUILT AS SHOWN ON LAYOUT & UTILITIES PLAN, SHEET PC-2 PRIOR TO FINAL ACCEPTANCE.
 2. TOPOGRAPHIC AND BOUNDARY INFORMATION FROM A GROUND SURVEY BY TTCOAS ASSOCIATES, DATED JANUARY 19, 2005.
 3. EXISTING UTILITIES HAVE NOT BEEN DETECTED OR LOCATED BY SURVEY EXCEPT FOR SURFACE FEATURES AS SHOWN HEREON. CONTRACTOR SHALL PROCEED WITH CAUTION WHEN WORKING IN THIS AREA TO AVOID POTENTIAL UNCHARTERED UTILITIES OR SERVICES.
 4. UTILITIES AND LOCATIONS SHOWN ON THIS PLAN ARE ASSUMED BASED ON PLANS OBTAINED FROM THE CITY OF PORTLAND AND FIELD LOCATION SURVEY BY MICHAEL KESSO, SURVEYOR, AND ARE NOT BASED ON "AS-BUILT" INFORMATION. ASSUMED LOCATIONS ARE INDICATED BASED ON LIMITED INFORMATION PROVIDED BY UTILITIES LOCATION DETECTION CONTRACTORS, AS MARKED IN THE FIELD.
 5. EXISTING ITEMS TO REMAIN SHALL NOT BE REMOVED OR DAMAGED BY CONSTRUCTION EQUIPMENT.
 6. EXISTING SIGNS SHALL BE REMOVED AND REINSTALLED. LOCATIONS TO BE REBANNED BY OWNER.
 7. REFER TO DETAIL SHEETS FOR LANDSCAPE PRESENTATION AND MAINTENANCE NOTES.
 8. ITEMS INDICATED "TO BE REMOVED" (TBR) SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. ON AFFECTED AREAS ITEMS REMOVED FOR DISPOSAL SHALL REMAIN PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OFFSITE, UNLESS OTHERWISE NOTED TO BE RELOCATED, REUSED, PRESENTED OR TO REMAIN AS PROPERTY OF OWNER.
 9. GRANTIE CURBING AND SIDEWALK BRICKS SHALL BE STORED ON-SITE BY CONTRACTOR. CONTRACTOR SHALL REMAIN RESPONSIBLE FOR REUSE OR DISPOSAL OF EXCESS BRICKS UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL COORDINATE REMOVALS WITH OTHER CERTAIN PORTIONS OF THE SITE. MAY BE REQUIRED TO PREPARE, OBTAIN OR MARKET CONSENTS AND SPECIAL CONSIDERING REQUIREMENTS TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION. THEREFORE, CERTAIN ITEMS INDICATED HEREON, TO BE REMOVED, MAY REMAIN IN PLACE, OR IN SERVICE. TEMPORARILY, UNTIL SUCH ITEMS ARE REQUIRED TO BE REMOVED FOR SCHEDULED CONSTRUCTION.
 11. ALL ITEMS NOT INDICATED TO BE REMOVED SHALL REMAIN, UNLESS OTHERWISE INDICATED OR DIRECTED BY OWNER.
 12. EXISTING UTILITIES ABANDONED OR PARTIALLY REMOVED SHALL BE REMOVED TO REMAINING OR PLACED ON TRENCHES IN ACCORDANCE WITH UTILITY COMPANY STANDARDS OR RECOMMENDATIONS.
 13. COORDINATE ALL DEMOLITION WITH OWNER AND CITY OF PORTLAND.
 14. SECURE CONSTRUCTION SITE BEFORE COMMENCING DEMOLITION.

CHESTNUT STREET LOFTS
 29 CHESTNUT ST., PORTLAND, ME 04101
 PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

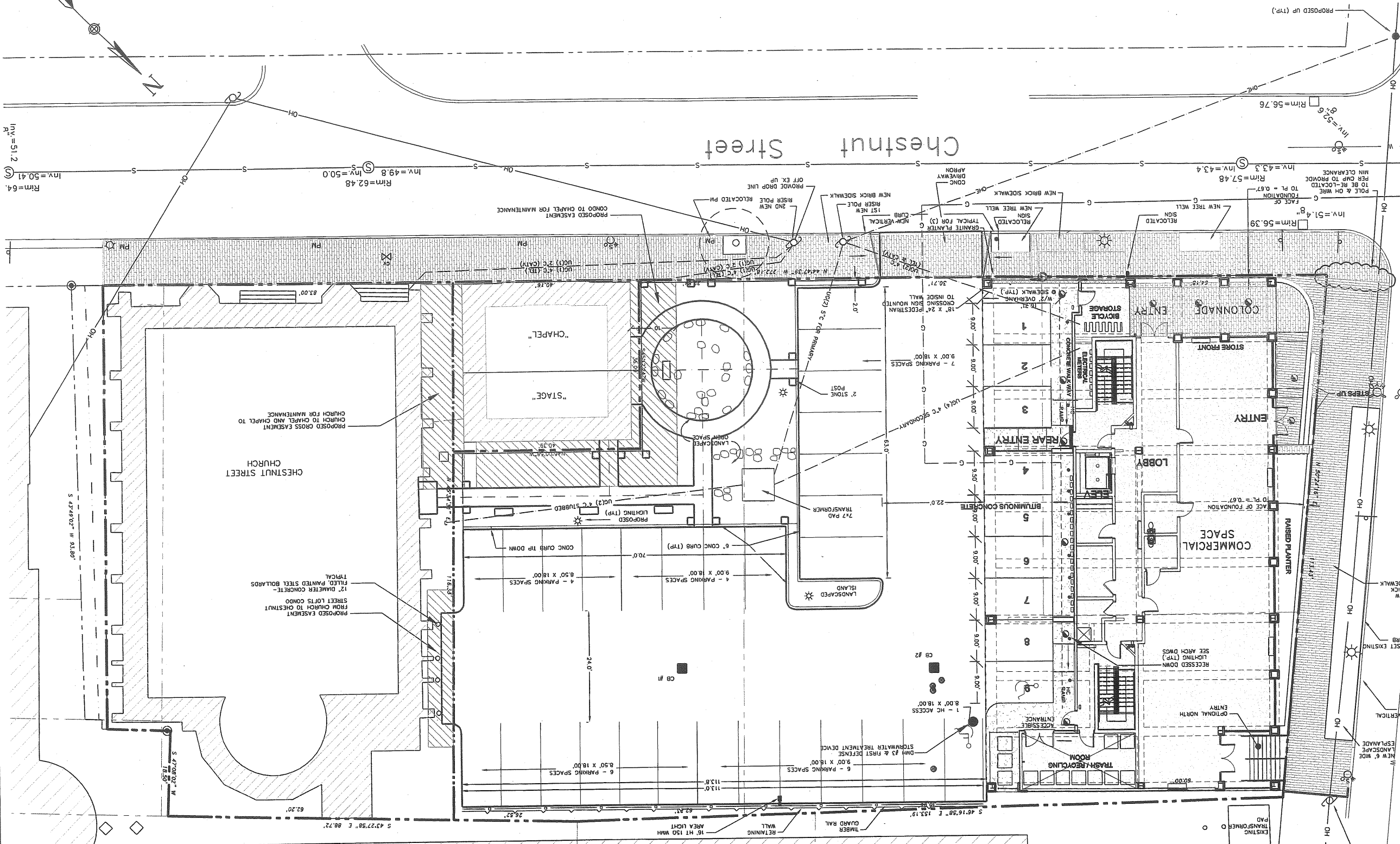
TTCO ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE: 207 775 9141
 ARCHITECTURE PLANNING

TTCO
 888 HUNTSBORO STREET
 PORTLAND MAINE 04105
 PHONE: (207) 978-3301
 FAX: (207) 978-3301
 www.ttco.com

Revision	Date
ISSUED FOR PRELIMINARY REVIEW	07/20/05
FINAL DESIGN	07/23/05
REMOVED/NOTED UTILITY POLE	12/08/05

EXISTING CONDITIONS & REMOVALS
 Job No. 4376
 Drawing
 C-1

lumberlan



Drawing
Job No. 4376
C-2

LAYOUT PLAN

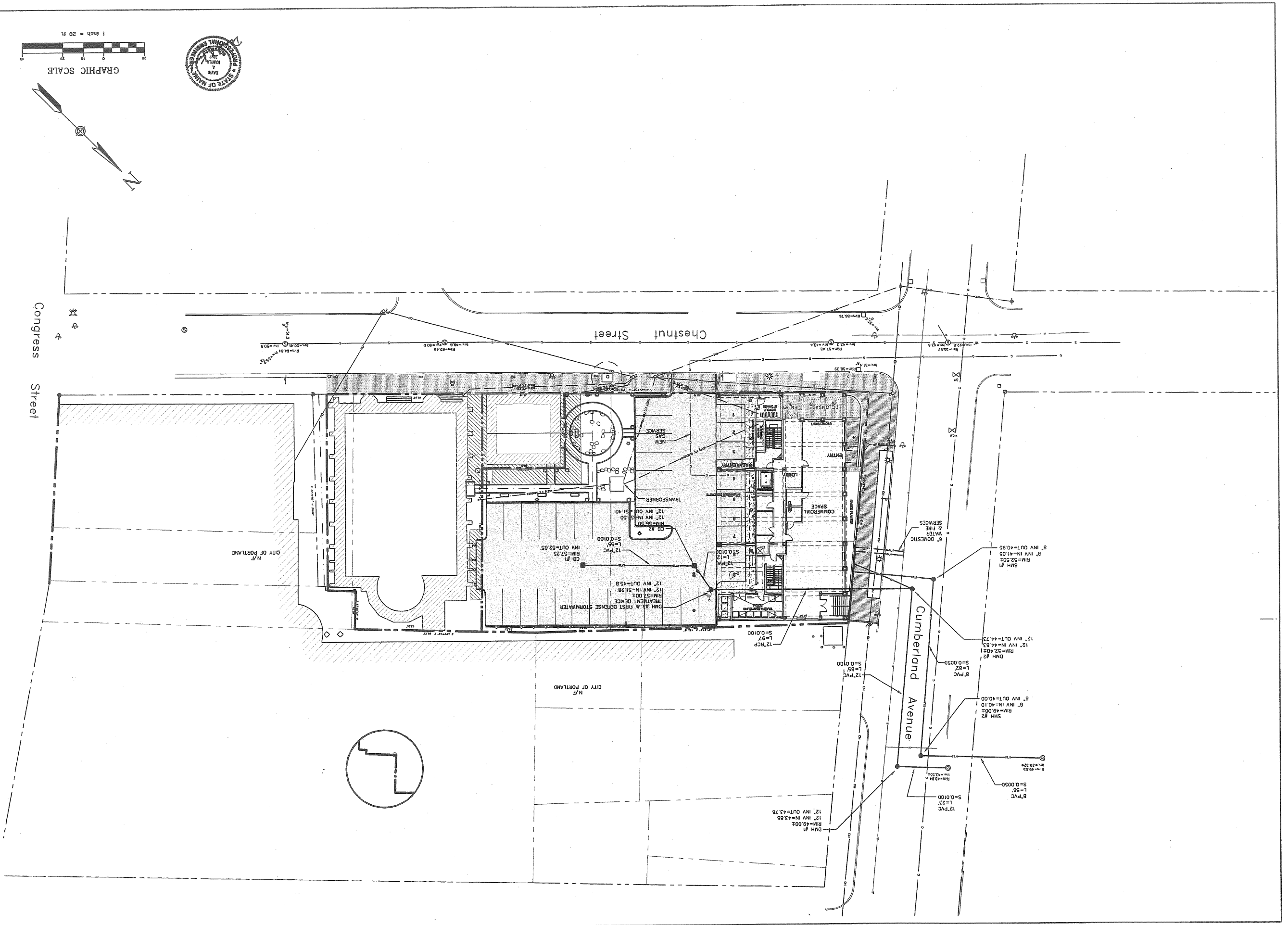
Revision	Date
DESIGN FOR PERMITS REVIEW	12/19/05
SEAL REVIEWED	12/20/05
REVISED BUILDING FOOTPRINT	12/20/05

CHESTNUT STREET LOFTS
29 CHESTNUT ST, PORTLAND, ME 04101
PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
ONE INDIA STREET
PORTLAND, ME 04101

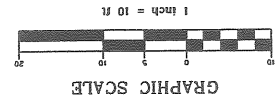
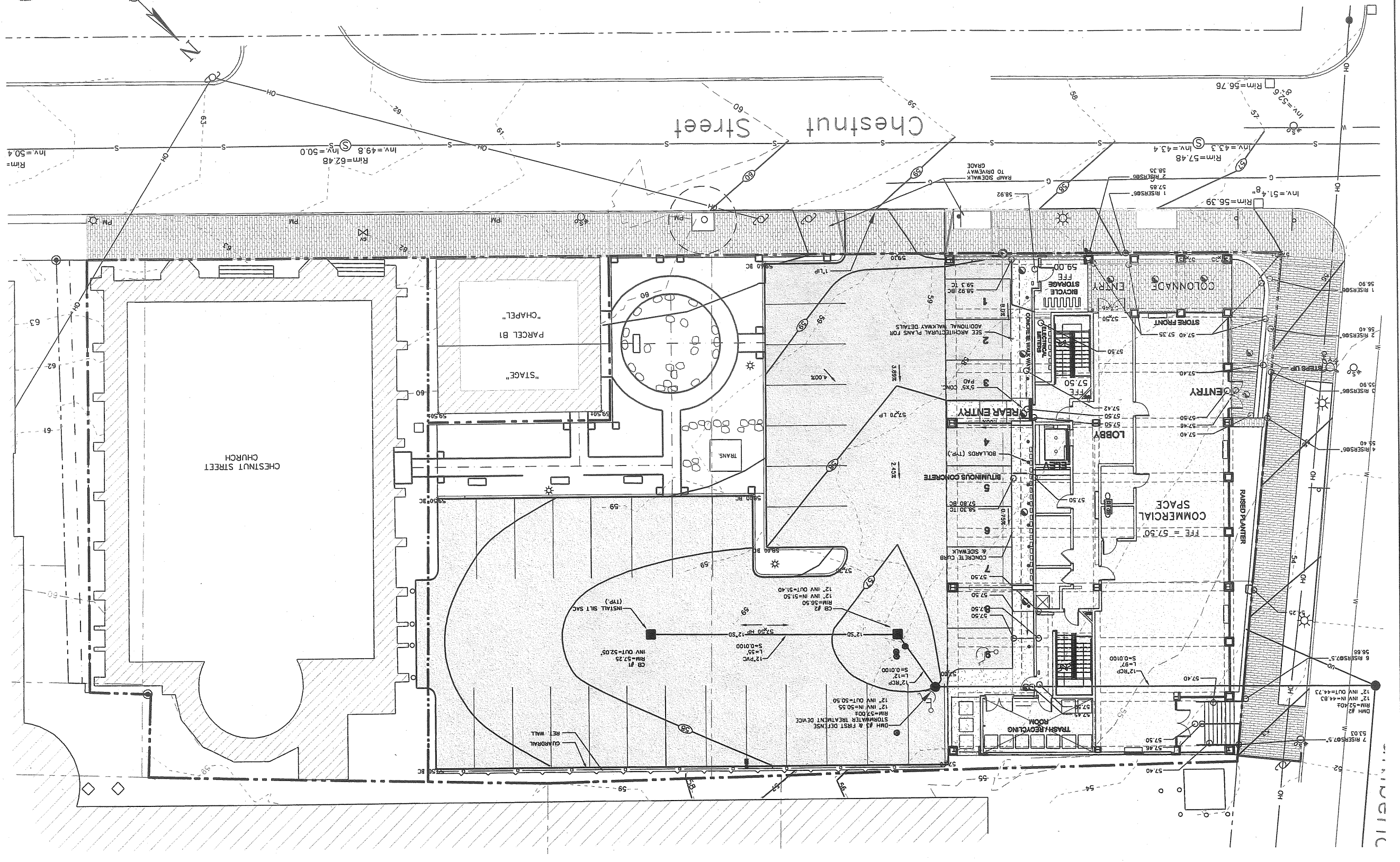
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Land Use Consultants, Inc.

408 ANGLICAN STREET
PORTLAND, MAINE 04101
Phone (207) 278-3313
Fax (207) 278-3311



<p>UTILITY PLAN</p>		<p>Job No. 4376 Drawing C-3</p>	
<p>Designed PL/C/T/NE Drawn CAK Checked DAK Scale 1" = 20' Date 8-23-05</p>	<p>Revision REVISED BUILDING FOOTPRINT ADDED NEW UTILITY POLES MOVED TRANSFORMER</p>	<p>Date 1/20/05</p>	<p>PREPARED FOR: CHESTNUT STREET LOFTS, LLC 29 CHESTNUT ST. PORTLAND, ME 04101 ONE INDIA STREET PORTLAND, ME 04101</p>
<p>TWO TECH ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207 775 6141 ARCHITECTURE PLANNING</p>		<p>588 RIVERSIDE STREET PORTLAND, MAINE 04103 PHONE (207) 578 - 3313 FAX (207) 578 - 0281 www.twoarch.com</p>	



Job No. 4376
 Drawing C-4

GRADING, DRAINAGE
 & EROSION CONTROLS

Designed PLC	Drawn CAH
Checked DAK	Scale 1" = 10'
Date 6-1-05	

Revision	Date
1. REVISION FOR PERMITS REVIEW	07/19/05
2. REVISION FOR PERMITS REVIEW	08/22/05
3. REVISED BUILDING FOOTPRINT	07/07/05

CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR:
 CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

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 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
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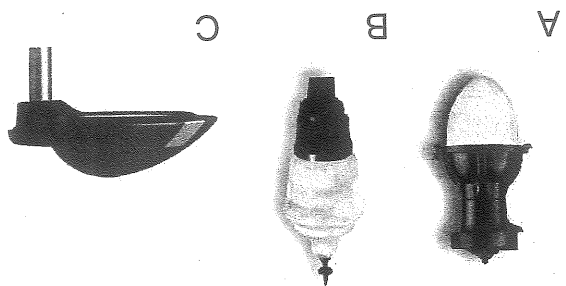
TFH
 966 AVERIDGE STREET
 PORTLAND, MAINE 04103
 Phone (207) 878-3133
 Fax (207) 878-3201
 Website www.tfhinc.com

LUMINAIRE SCHEDULE

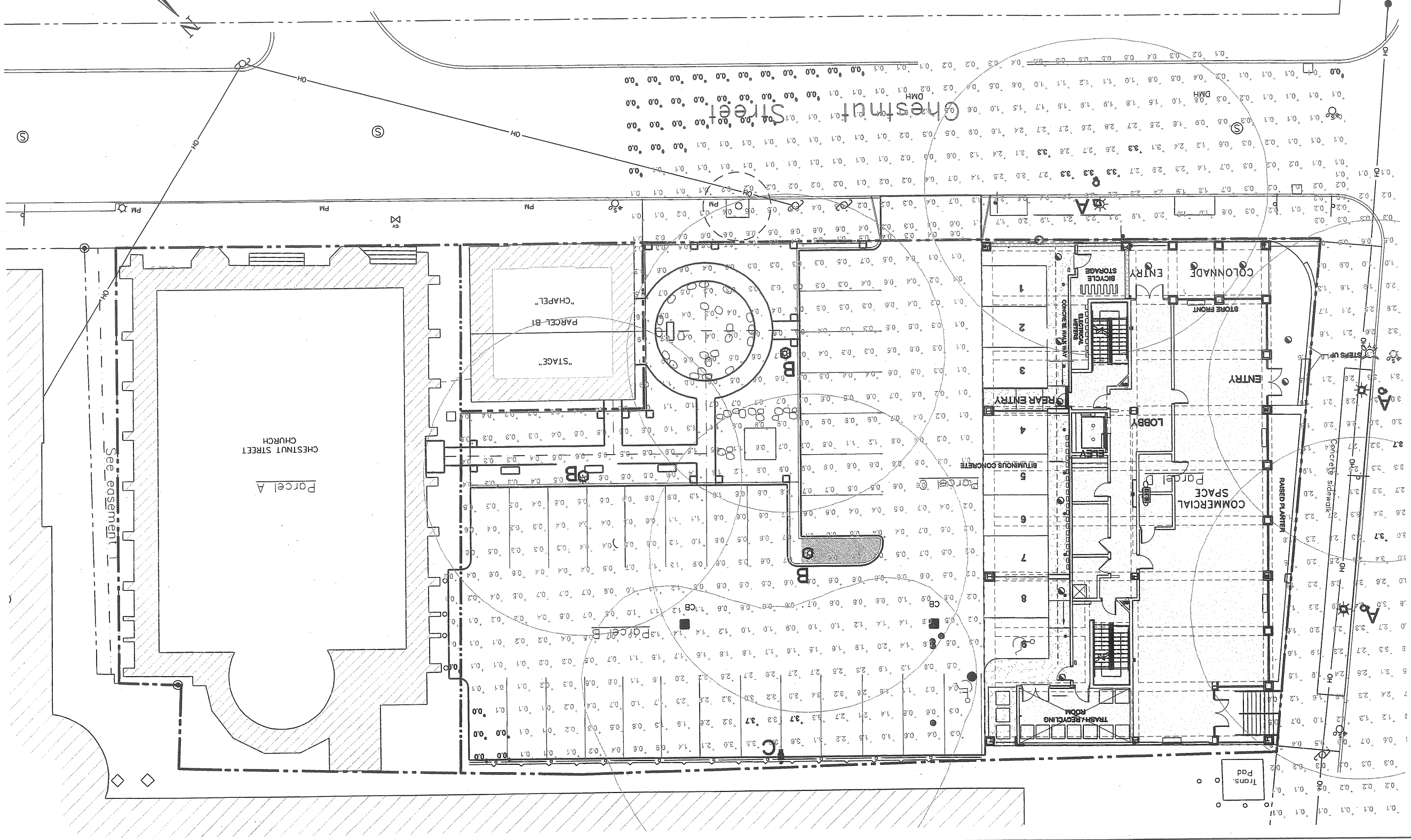
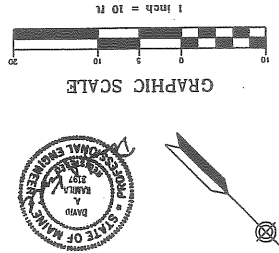
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○	B	3	QV170D40X00X0KX	GRANVILLE 70W CLEAR MH	4020IES	5900	0.65	70
○	C	1	P175A400W0X	PECHINA 175W CLEAR MH	1024XIES	12800	0.61	1

STATISTICS

Description	Symbol	Qty	Watts	LF	Watts	Watts	Watts
Footcandle		0.76	1276	0.076	N/A	N/A	N/A
Footcandle		0.86	3776	0.076	N/A	N/A	N/A
Footcandle		0.76	1276	0.076	N/A	N/A	N/A
Footcandle		0.76	1276	0.076	N/A	N/A </tr	



PROGRESS PLAN
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CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101

PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

TWC ARCHITECTS
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Revision	Date	Description
1	7/19/05	PRELIMINARY REVIEW
2	7/23/05	FINAL REVIEW
3	7/29/05	REVISED BUILDING FOOTPRINT (7/29/05)

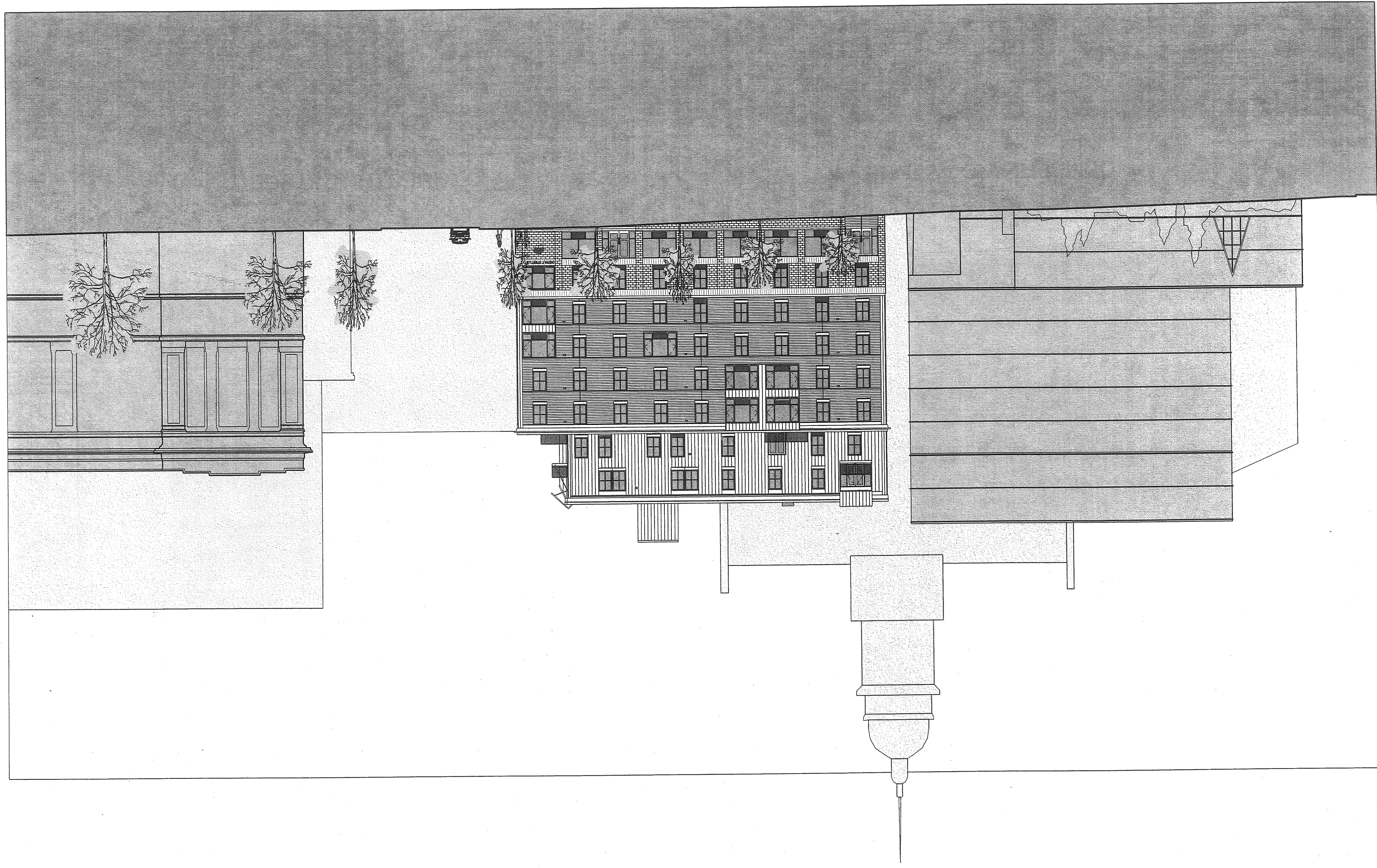
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 Scale 1" = 10'
 Date 6-1-05

Job No. 4376
 Drawing C-5A

**LIGHTING-
 PHOTOMETRICS**

CUMBERLAND AVENUE STREETSCAPE

CHESTNUT STREET LOFTS
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC
PORTLAND, MAINE
CHESTNUT STREET



CODE	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	TRIM	PRE-FINISHED METAL - (COLOR)
3	HORIZONTAL CORRUGATED SIDING	PRE-FINISHED METAL - (COLOR)
4	ROOF ACCESS HATCH	PRE-FINISHED METAL - (COLOR)
5	COPING	PRE-FINISHED METAL - (COLOR)
6	CANOPY	GALVANIZED STEEL
7	BALCONY AND SUPPORT	GALVANIZED STEEL
8	BALCONY GUARD	GALVANIZED STEEL 2" TUBE FRAME WITH 2"x2" GALV. STL. MESH
9	BALCONY DECK FRAME	GALVANIZED STEEL CHANNELS
10	VERTICAL CONCEALED FASTENER SIDING	PRE-FINISHED METAL - (COLOR)

EXTERIOR ELEVATION MATERIALS LEGEND

CODE	DESCRIPTION	MATERIAL / COLOR
11	CORNICE	PRE-FINISHED METAL - (COLOR)
12	TRIM	PRE-FINISHED METAL - (COLOR)
13	BOILER VENT	METAL - COLOR TO MATCH ADJACENT SIDING
14	HORIZONTAL TRIM	PRE-FINISHED METAL - (COLOR)
15	WINDOW SILL TRIM	PRE-FINISHED METAL - (COLOR)
16	LOUVER	
17	VERTICAL CONCEALED FASTENER SIDING	PRE-FINISHED METAL - (COLOR)
18	TRANSITION BELT TRIM	PRE-FINISHED METAL - (COLOR)
19	MASONRY SOLDIER COURSE	MONUMENTAL SERIES GROUND FACE BLOCK - (COLOR)
20	MASONRY COLUMN VENEER	GROUND FACE BLOCK - (COLOR)

EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

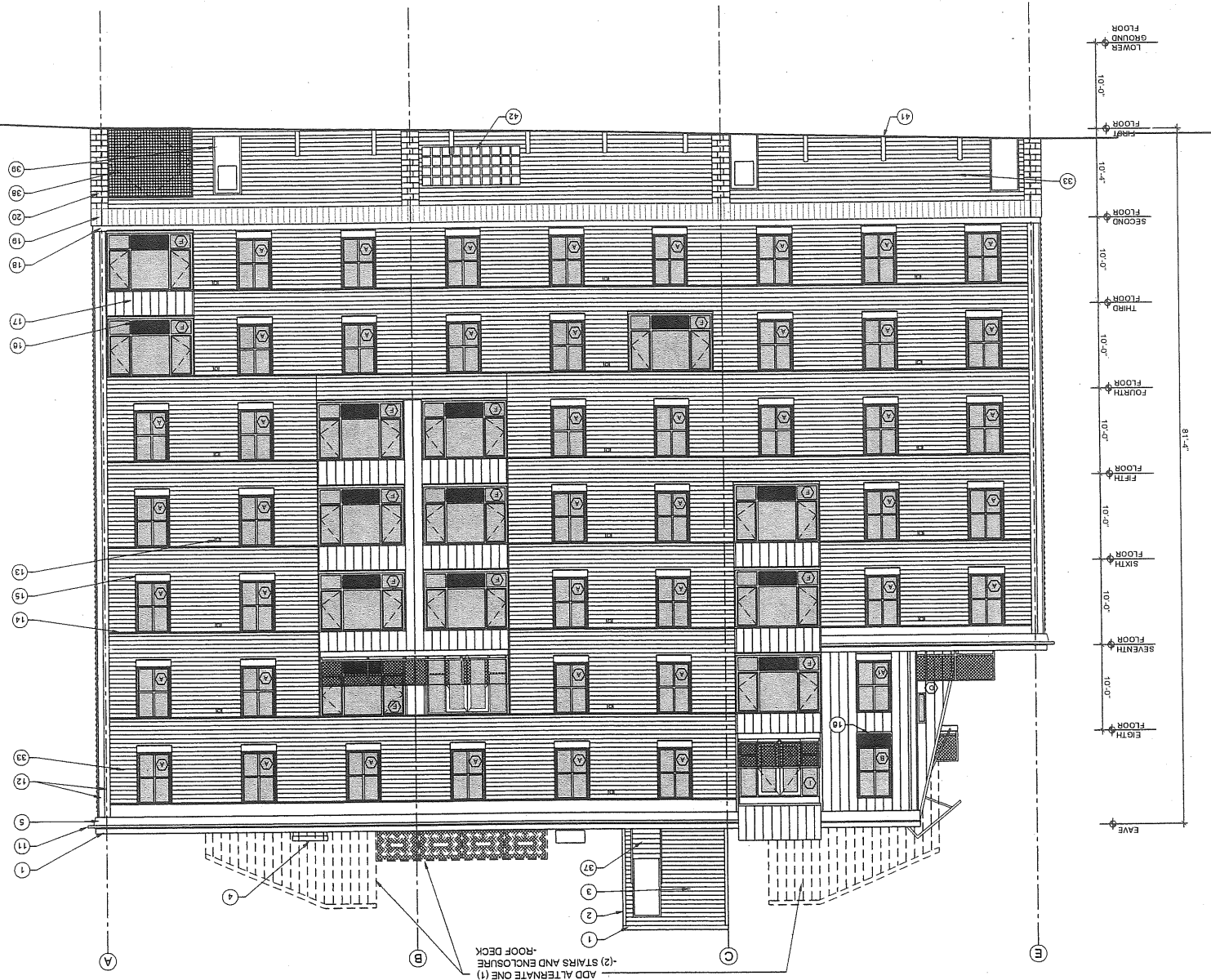
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21	DIMENSIONAL LETTER BUILDING SIGNAGE	ANODIZED ALUMINUM
22	TRIM	PRE-FINISHED METAL - (COLOR)
23	CHESTNUT STREET LOFTS RAISED LOGO	ANODIZED ALUMINUM
24	STEPS	BRICK - COORDINATE WITH CIVIL DRAWINGS
25	JOINT BETWEEN PANELS	
26	MASONRY FIELD	GROUND FACE BLOCK - (COLOR)
27	HAND RAIL	GALVANIZED STEEL
28	POURED CONCRETE STEPS	
29	JAMB TRIM	PRE-FINISHED METAL - (COLOR)
30	PLANTER WALL	GROUND FACE BLOCK - (COLOR)

EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

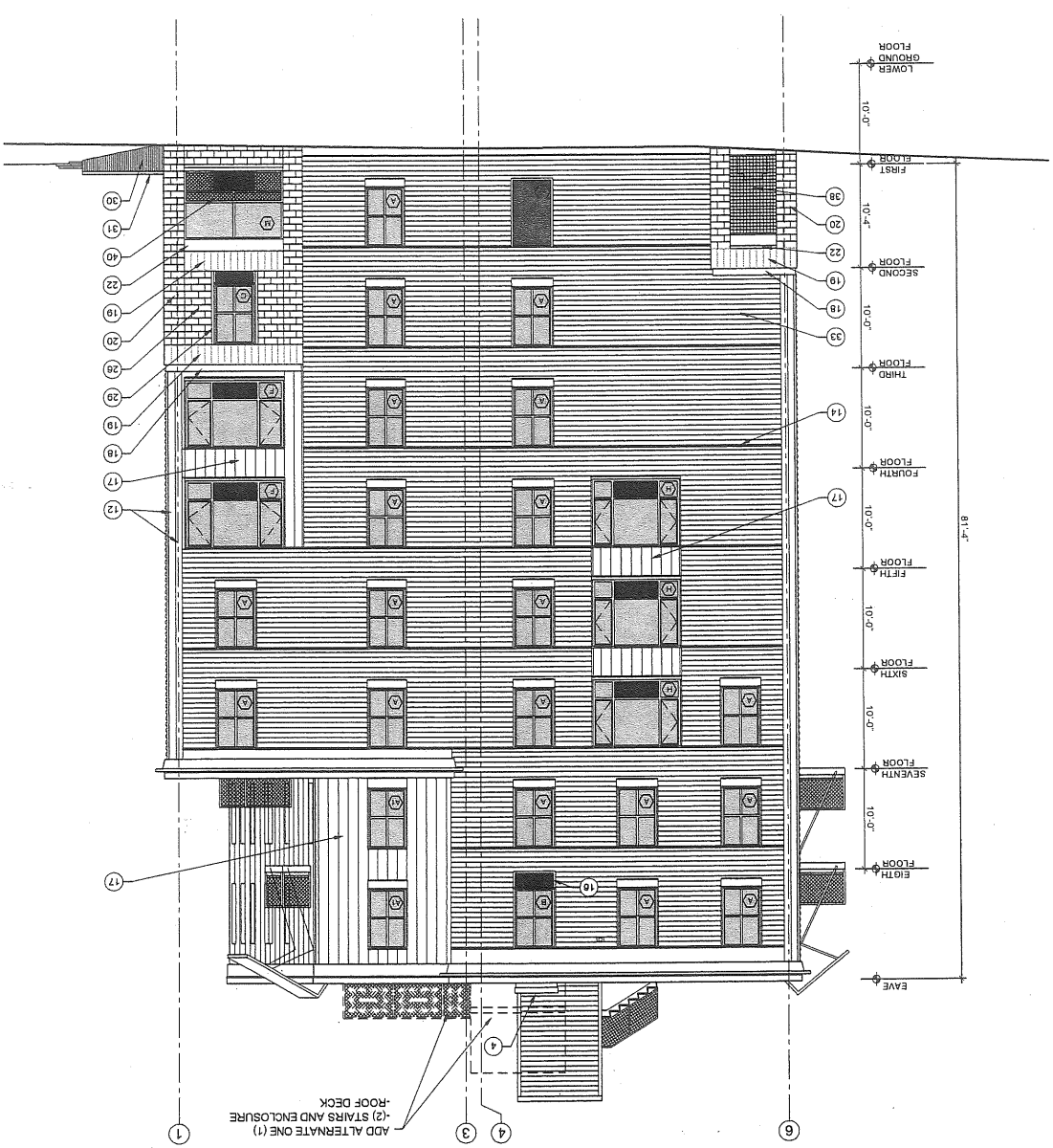
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31	GROUND FACE CMU BLOCK CAP	GROUND FACE BLOCK - (COLOR)
32	JOINT IN CMU WITH INSERTED METAL STUD	METAL TAB EVERY 8"-8" (5 BLOCKS) ALONG WALL
33	HORIZONTAL CORRUGATED SIDING	PRE-FINISHED METAL - (COLOR)
34	SCREEN WALL	GROUND FACE BLOCK - (COLOR)
35	PLANTER BASE	PRECAST CONCRETE - (COLOR)
36	GRANITE VENEER PANELS	FLAMED FINISH - COLOR - FRESHWATER PEARL
37	ELEVATOR MACHINE ROOM STAIR AND RAILING	GALVANIZED STEEL
38	CONDENSER ENCLOSURE WITH GATE	GALV. STL. 2" TUBE FRM. W/2"x2" GALV. STL. MESH
39	EXTERIOR DOOR	INSULATED STEEL - PAINTED FINISH
40	PORCH GUARD	GALV. STL. 2" TUBE FRM. W/2"x2" GALV. STL. MESH
41	BOLLARD	CONCRETE FILLED STEEL - PAINTED
42	GAS METERS	

EXT. ELEVATION MATERIALS LEGEND (CONTINUED)

1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



MERRILL AUDITORIUM

CAR PARK

CHESTNUT STREET LOFTS
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC,
PORTLAND, MAINE

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TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141

CONSULTANTS:
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Latta Consulting
555 North 20th
Portland, ME 04103
503-763-3513
STRUCTURAL
Stanton Design Consulting
505 Commercial Street
Portland, ME 04103
MECHANICAL
Chestnut Street Lofts LLC
22 Commercial Drive
Portland, ME 04103
MECHANICAL
207-524-6038
ELECTRICAL
207-524-7548
207-524-6038
MECHANICAL
207-524-6038

PROJECT No. 0422
DRAWN BY: RJS
CHECKED BY: TST
SCALE: AS NOTED
SHEET TITLE: ELEVATIONS

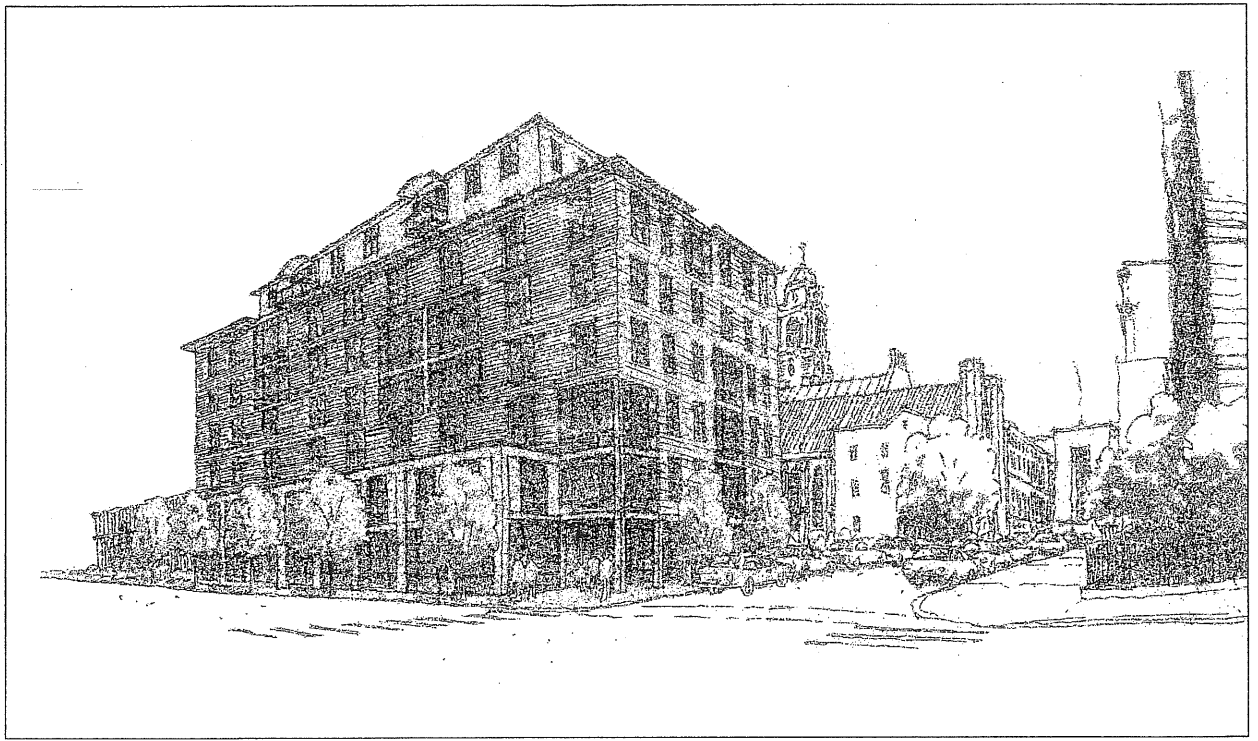
A2.1

PROCESSED PRINT ONLY
12.19.09

Preliminary Subdivision & Site Plan

General Notes:

1. PLANIMETRIC AND TOPOGRAPHIC DETAIL SHOWN HEREON IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED BY TITCOMB ASSOCIATES AND PLAN ENTITLED "EXISTING CONDITIONS SURVEY", DATED JANUARY 19, 2005.
2. NORTH AS SHOWN HEREON IS BASED ON GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE.
3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF PORTLAND DATUM, BENCHMARK, BRASS DISC IN GRANITE WALL NEAR THE SOUTH STEPS OF PORTLAND CITY HALL ALONG CONGRESS STREET. ELEVATION- 69.66 FEET BASED ON NVD OF 1929.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
6. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
7. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND STANDARDS & APPLICABLE UTILITY COMPANIES STANDARDS.
8. CONTRACTOR SHALL VERIFY LOCATIONS & DEPTHS OF ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
9. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
10. NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
11. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
13. INLETS AND OUTLETS OF ALL DRAIN LINES SHALL BE RIP RAPPED UNLESS OTHERWISE NOTED ON PLANS OR DIRECTED BY THE ENGINEER.
14. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS IF REQUIRED FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROLS AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH PRACTICES OF THE DEP "MAINE EROSION & SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," LATEST EDITION.
16. ALL TRAFFIC MARKINGS AND SIGNAGE SHALL COMPLY WITH AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1998 OR LATER VERSION.
17. CONSTRUCT UTILITY SERVICE CONNECTIONS TO FIVE FEET BEYOND STREET LINE. PROVIDE MINIMAL PITCH OF 1/8" PER FOOT FOR SEWER AND DRAINAGE LINES.



SOUTHWEST VIEW

Chestnut Street Lofts

29 Chestnut Street
Portland, Maine 04101

Prepared For:
Chestnut Street, LLC
One India Street, Portland, Maine 04101

Utilities:

- * WATER: PORTLAND WATER DISTRICT - DAVID COFFIN, ENGINEERING 207-774-5961
- * SEWER: CITY OF PORTLAND DPW - BRAD ROLAND 207-874-8846
- * ELECTRIC: CMP - BARBARA WACKER 207-490-3074
- * TELEPHONE: VERIZON - GEORGE HILLMAN 207-797-1798
- * CABLE: TIME WARNER CABLE - DEB PAIEMENT 207-253-2662

Project Team

Architect:

TFH ARCHITECTS
100 Commercial Street
Portland, ME 04101
(207) 775-6141

Survey:

TITCOMB ASSOCIATES
133 Gray Road
Falmouth, ME 04105
(207) 797-9199

Engineering, Permitting & Landscape Architecture:

LAND USE CONSULTANTS, INC.
966 Riverside Street
Portland, ME 04103
(207) 878-3313

Traffic:

JOHN MURPHY
221 Brown Road
West Baldwin, ME 04091
(207) 625-8222

Legend

EXISTING		PROPOSED
---	CONTOUR	---
---	SPOT GRADE	---
---	PROPERTY LINE	---
---	ROADWAY CENTERLINE	---
---	BUILDING SETBACK	---
---	EDGE OF PAVEMENT	---
---	BIT CURB	---
---	BUILDING	---
---	SANITARY SEWER	---
---	STORM DRAIN	---
---	GAS	---
---	WATER MAIN	---
---	OVERHEAD WIRE	---
---	UNDERGRND ELEC.	---
---	TELEPHONE & CATV	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	MANHOLE	---
---	HYDRANT	---
---	GATE VALVE	---
---	TRANSFORMER	---
---	RIP RAP	---
---	SIDEWALK RAMP	---
---	STONE WALL	---
---	STONE CHECK DAM	---
---	EROSION CONTROL MATING	---
---	LIGHT POLE	---
---	UNIT PROPANE TANK	---
---	EROSION CONTROL BARRIER	---
---	WOOD FENCE	---
---	DECORATIVE PAVEMENT	---
---	SANITARY SEWER CLEANOUT	---
---	FLARED END SECTION	---
---	STANDARD CULVERT END	---
---	THRUST BLOCK	---
---	TRANSFORMER PAD	---

Index Of Drawings

DWG #	Description
0	COVER SHEET
(1 of 1)	EXISTING CONDITIONS & STANDARD BOUNDARY PLAN
C-1	EXISTING CONDITIONS & REMOVALS
C-2	LAYOUT & UTILITIES
C-3	GRADING, DRAINAGE & EROSION CONTROLS
C-4	LANDSCAPING & LIGHTING
C-5	DETAILS
C-6	DETAILS
C-7	DETAILS
ARCHITECTURAL PLANS	
-	EXTERIOR ELEVATIONS
-	FLOOR PLANS (BASEMENT, FIRST, SECOND)
-	FLOOR PLANS (TYPICAL 3RD - 6TH, 7TH AND 8TH)

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TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

TUC
engineers
planners
landscape
architects

966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878 - 3313
Fax (207) 878 - 0201
landuse@landuseinc.net

Land Use Consultants, Inc.

- NOTES**
- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 - (2) Bearings are referenced to grid north, Maine State Plane Coordinate System, west zone.
 - (3) All utility locations shown on this plan are approximate, based on location of visible features and information provided by others. Dig Safe and/or the appropriate utilities should be contacted prior to any construction.

AREA

Parcel A: 9,035 square feet
 Parcel B: 10,637 square feet
 Parcel C: 3,540 square feet
 Parcel D: 7,056 square feet
Total: 30,268 square feet

EASEMENTS AND ENCUMBRANCES

- (1) Rights to use a passageway as conveyed to the City of Portland by the Trustees of the Methodist Society in Portland; Book 1351, Page 72; Book 1351, Page 75; Book 889, Page 295 (see reference 6).

- PLAN REFERENCES**
- (1) Plan of the Methodist Church made by E. C. Jordan, Civil Engineer dated September 1875, recorded in the Cumberland County Registry of Deeds in Plan Book 4, Page 6.
 - (2) Plan of "City of Portland City Property" (City Hall) on file with the City of Portland Engineering Department, undated, plan number 28.
 - (3) Plan of "City of Portland City Property" on file with the City of Portland Engineering Department, undated, plan number 235.
 - (4) "City of Portland, Maine; Department of Public Works" plan of the "Location of New City Hall" dated March 18, 1918 obtained from City of Portland Engineering Department, plan number 122/12.
 - (5) City of Portland Engineering Department, Transit Book notes pages 2-5, and 18-19 depicting preliminary and final survey of "Chestnut Street Survey" to establish line between City Hall lot and Chestnut Street Church, dated August 29, 1929 and November 29, 1929 respectively.
 - (6) "City of Portland, Maine; Department of Public Works City Hall Lot-Showing Land Under Lease to City of Portland by Trustees of the Methodist Society of Portland" dated March 29, 1930, plan number 405/45.
 - (7) City of Portland Engineering Department right of way information.
 - (8) Site Plan "Proposed Office Building 31 Chestnut St. Place made for 31 Chestnut St. Place Associates by Sebago Technics dated June 23, 1987.

OWNERS OF RECORD

Parcel A: Methodist Society of Portland-Book 272, Page 46; Book 272, Page, 82; Book 301, Page 123
 Parcel B: Chestnut Street Community House-Book 1174, Page 130
 Parcel C: Chestnut Street Community House-Book 2251, Page 215
 Parcel D: Chestnut Street United Methodist Church-Book 10859, Page 001

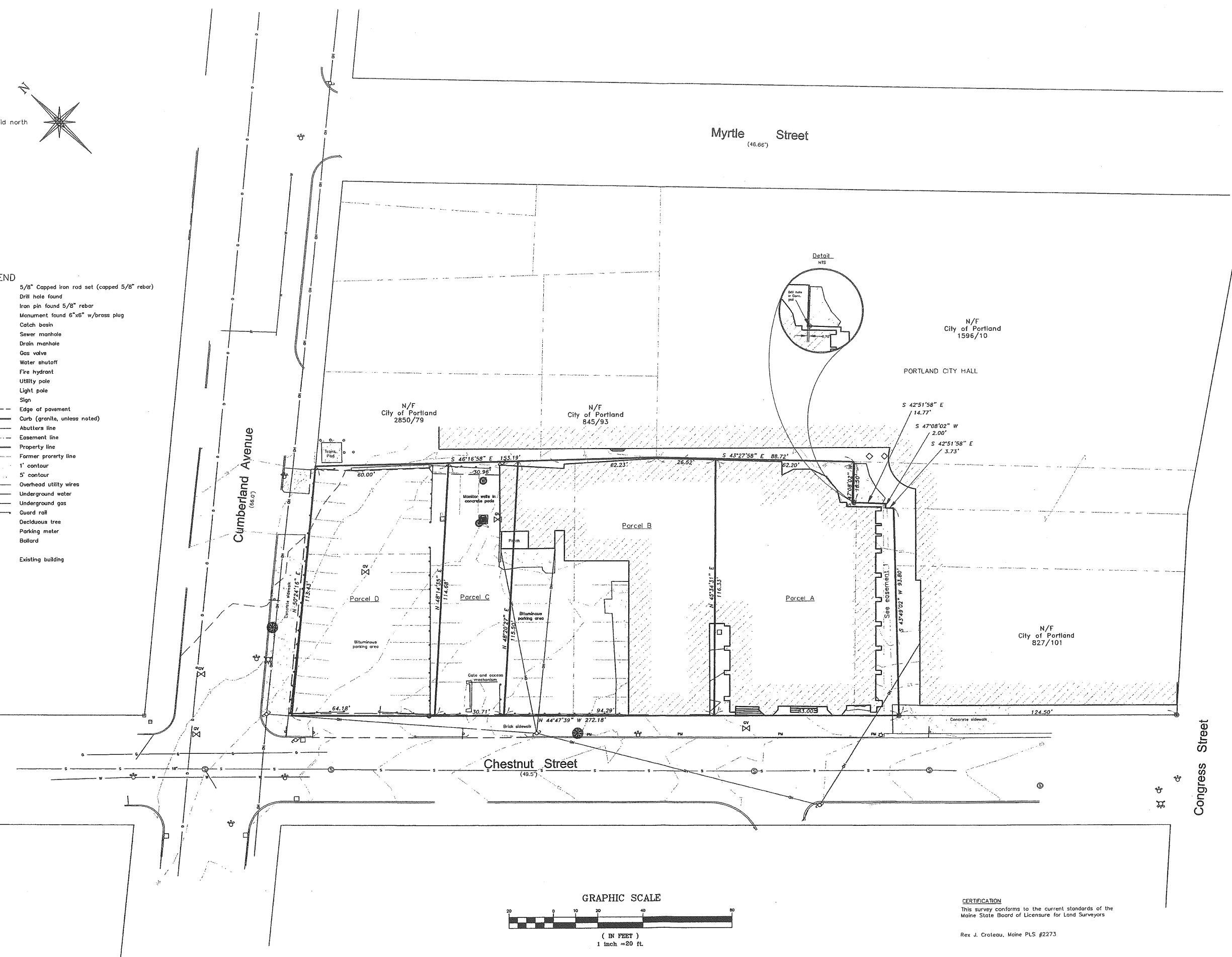
PRELIMINARY

PLAN OF
Existing Conditions Survey
17 Chestnut Street Portland, Maine

MADE FOR
Land Use Consultants
966 Riverside Street Portland, Maine

JOB# 204115	DATE: January 19, 2005	SCALE: 1"=20'
BOOK# 771	Pitcomb Associates 133 Gray Road Falmouth, Maine 04105 (207)797-9110	
204115.dwg		
FILE#		

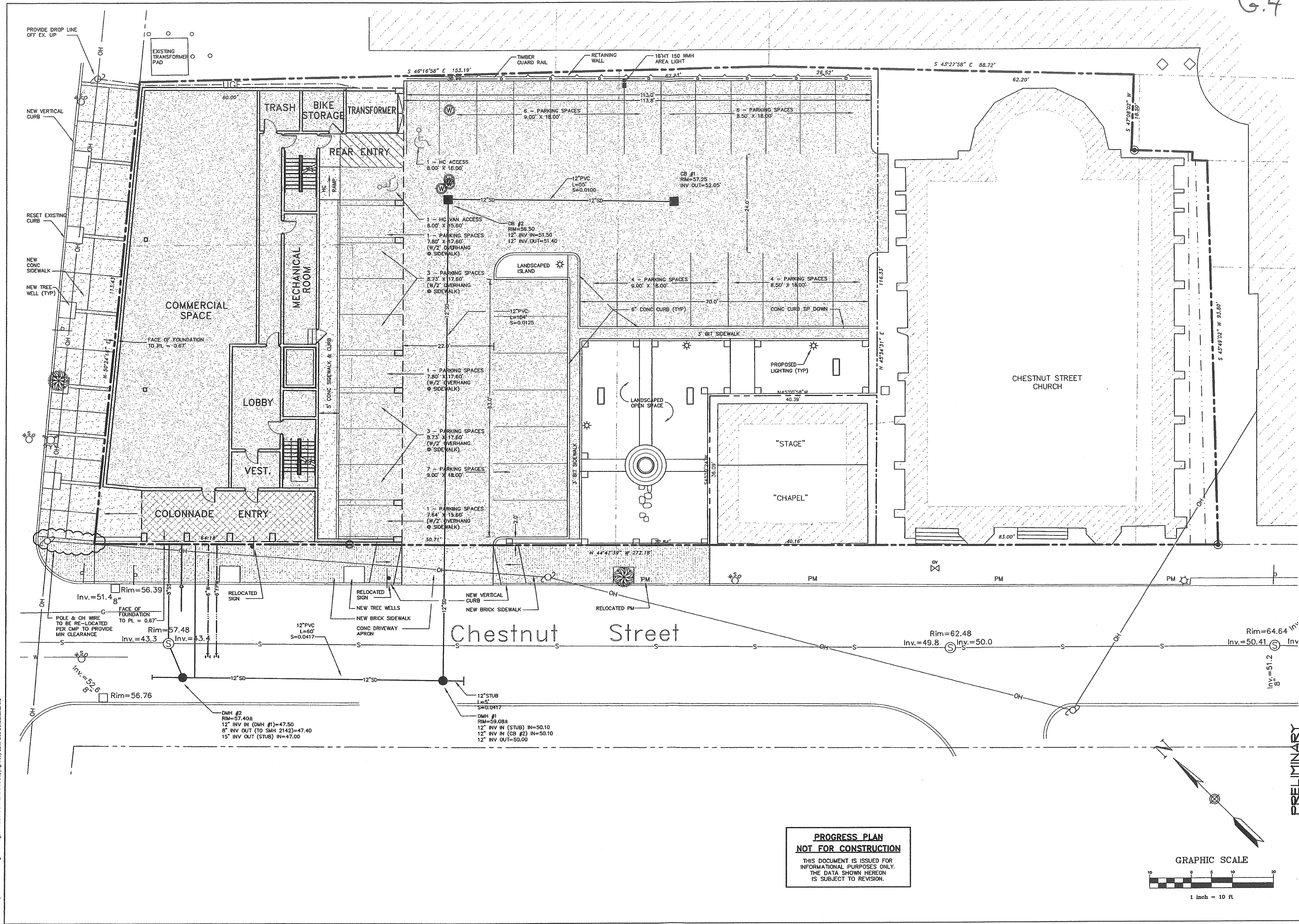
- LEGEND**
- 5/8" Capped iron rod set (capped 5/8" rebar)
 - Drill hole found
 - Iron pin found 5/8" rebar
 - Monument found 6"x6" w/brass plug
 - Catch basin
 - Sewer manhole
 - Drain manhole
 - Gas valve
 - Water shutoff
 - Fire hydrant
 - Utility pole
 - Light pole
 - Sign
 - Edge of pavement
 - Curb (granite, unless noted)
 - Abutters line
 - Easement line
 - Property line
 - Former property line
 - 1' contour
 - 5' contour
 - OH Overhead utility wires
 - W Underground water
 - U Underground gas
 - Guard rail
 - Deciduous tree
 - Parking meter
 - Bollard
 - Existing building



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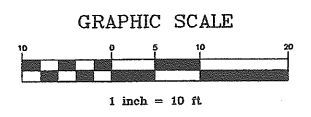
CERTIFICATION
 This survey conforms to the current standards of the
 Maine State Board of Licensure for Land Surveyors
 Rex J. Creteau, Maine PLS #2273

G.4



**PROGRESS PLAN
NOT FOR CONSTRUCTION**

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THE DATA SHOWN HEREON
IS SUBJECT TO REVISION.



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www.lucaslandscap.com

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ARCHITECTURE PLANNING
Land Use Consultants, Inc.

CHESTNUT STREET LOFTS
29 CHESTNUT ST, PORTLAND, ME 04101

PREPARED FOR:
CHESTNUT STREET, LLC
ONE INDIA STREET
PORTLAND, ME 04101

Designed	PL/CT/ME	Revision	Date
Drawn	CAM		
Checked	DAK		
Scale	1" = 10'		
Date	6-1-05		

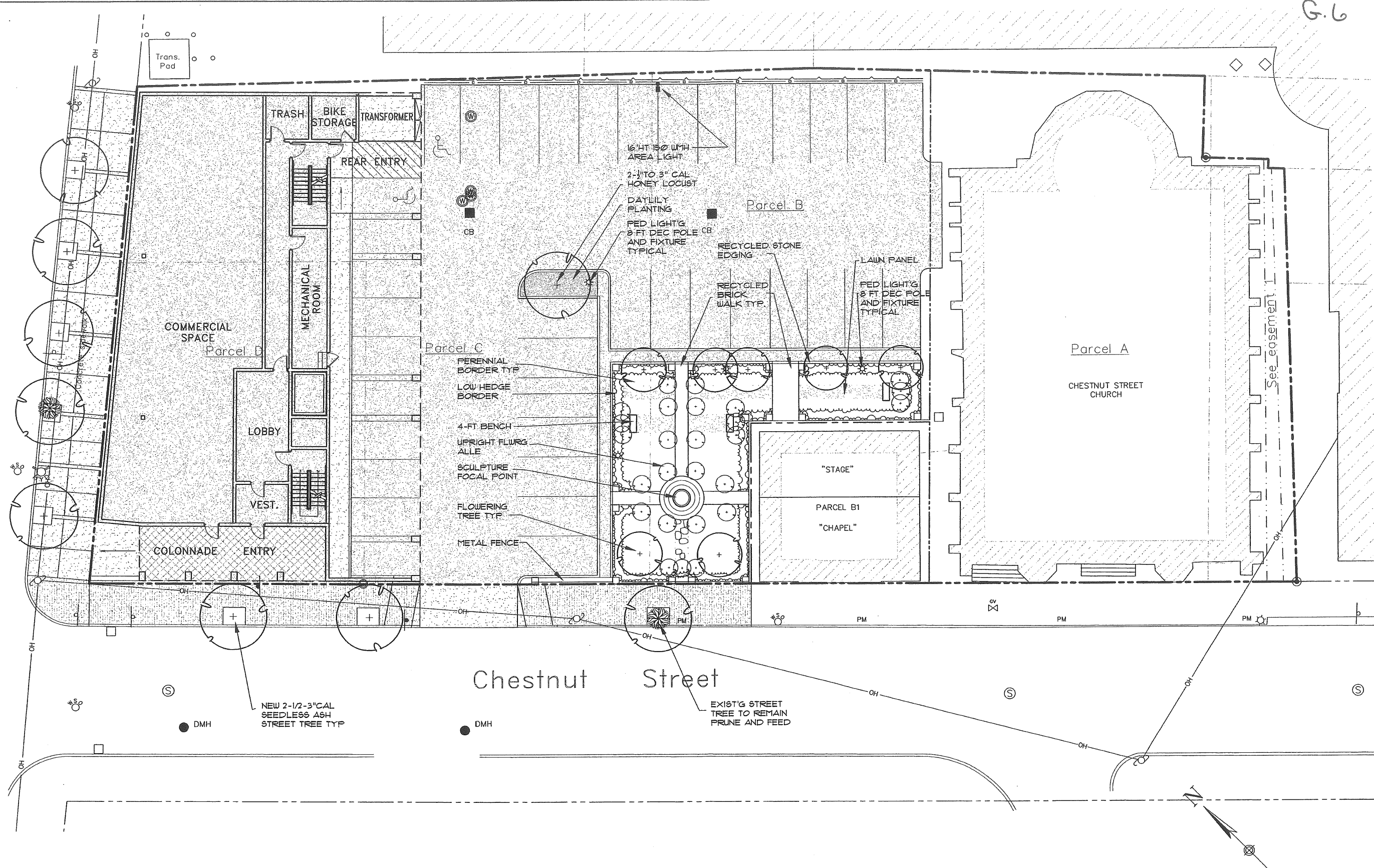
PRELIMINARY

LAYOUT & UTILITIES

Job No. 4376
Drawing
C-2

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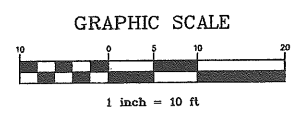
LUC
 ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING

CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR:
 CHESTNUT STREET, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

Revision	Date

PRELIMINARY
LANDSCAPING & LIGHTING
 Job No. 4376
 Drawing
C-4

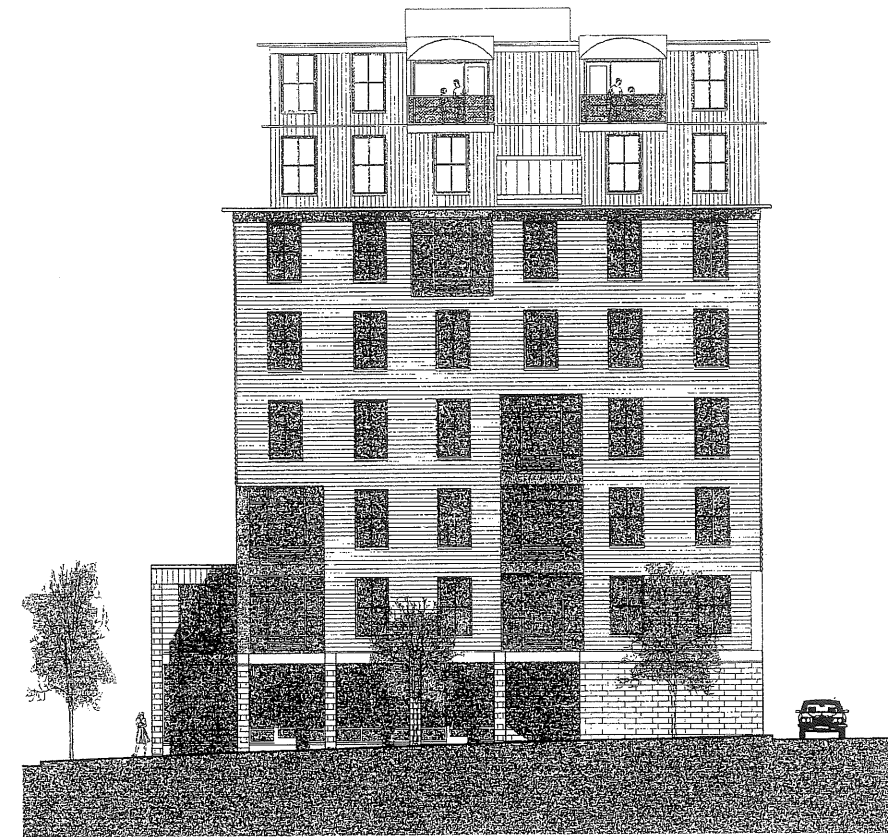
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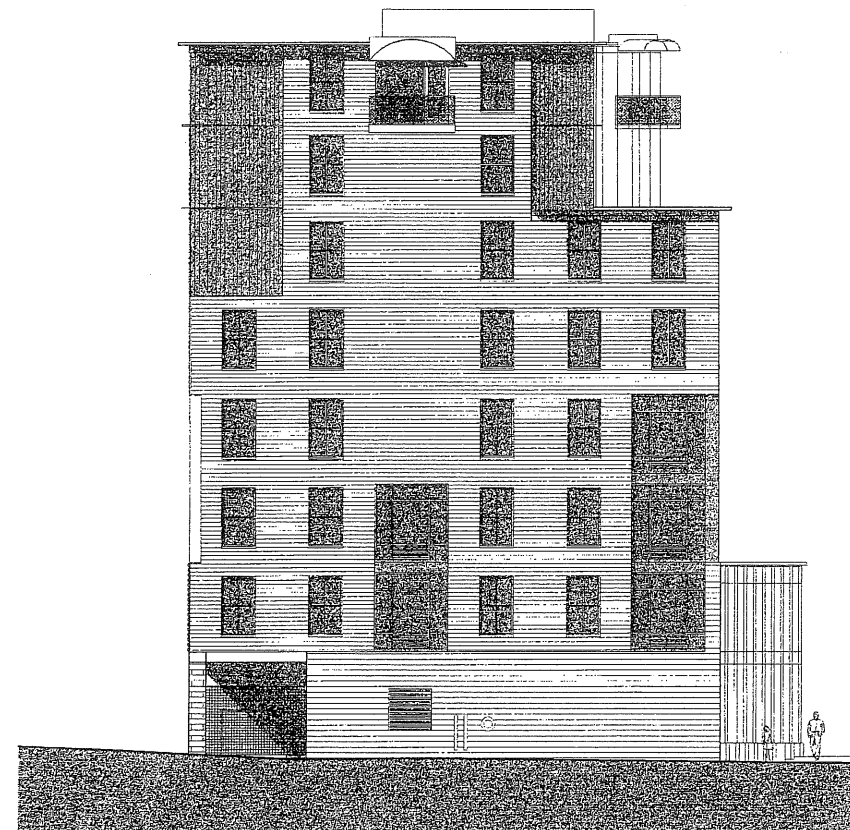
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WEST (CUMBERLAND AVENUE) ELEVATION



SOUTH (CHESTNUT STREET) ELEVATION



NORTH ELEVATION



EAST ELEVATION

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SCHEMATIC ELEVATIONS
SCALE: 3/32"=1'-0"

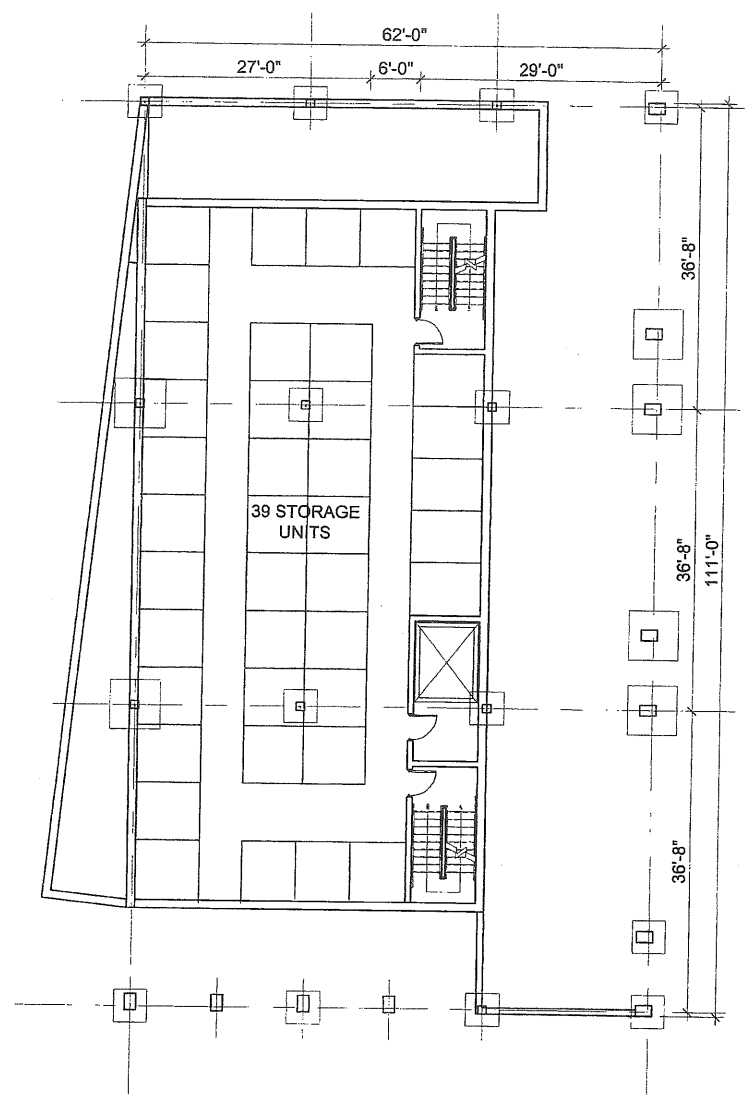


CHESTNUT STREET LOFTS

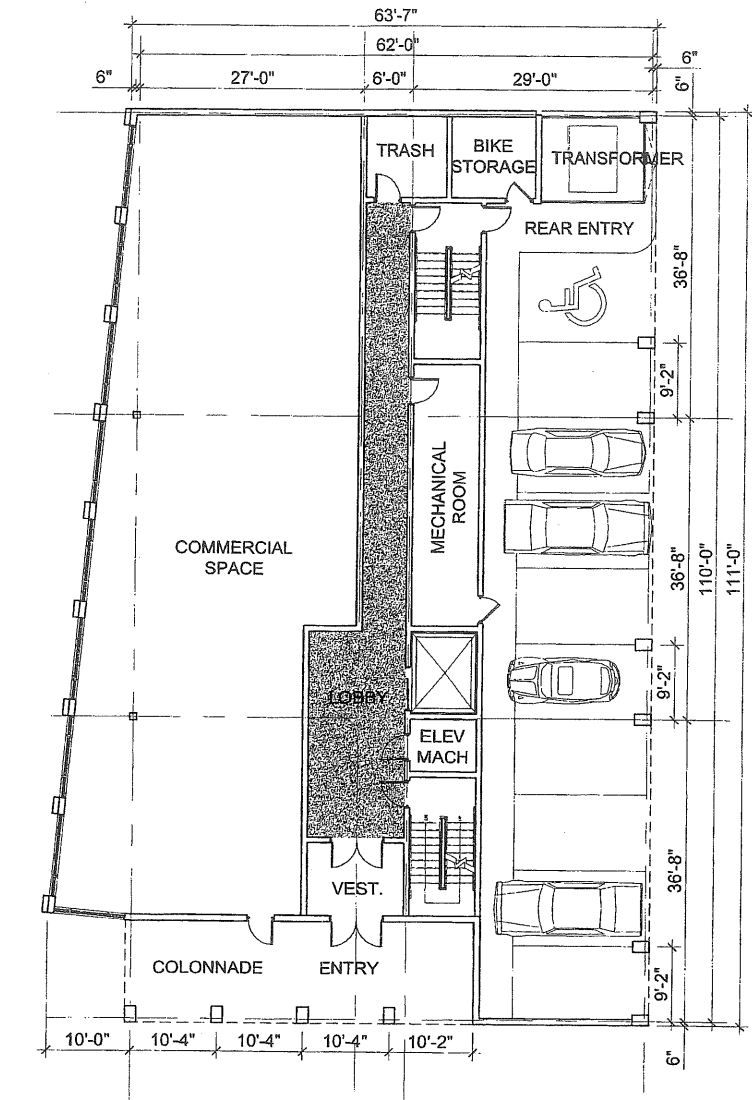
HOUSING AND SURFACE PARKING, CHAPEL REMAINS

JUNE 7, 2005

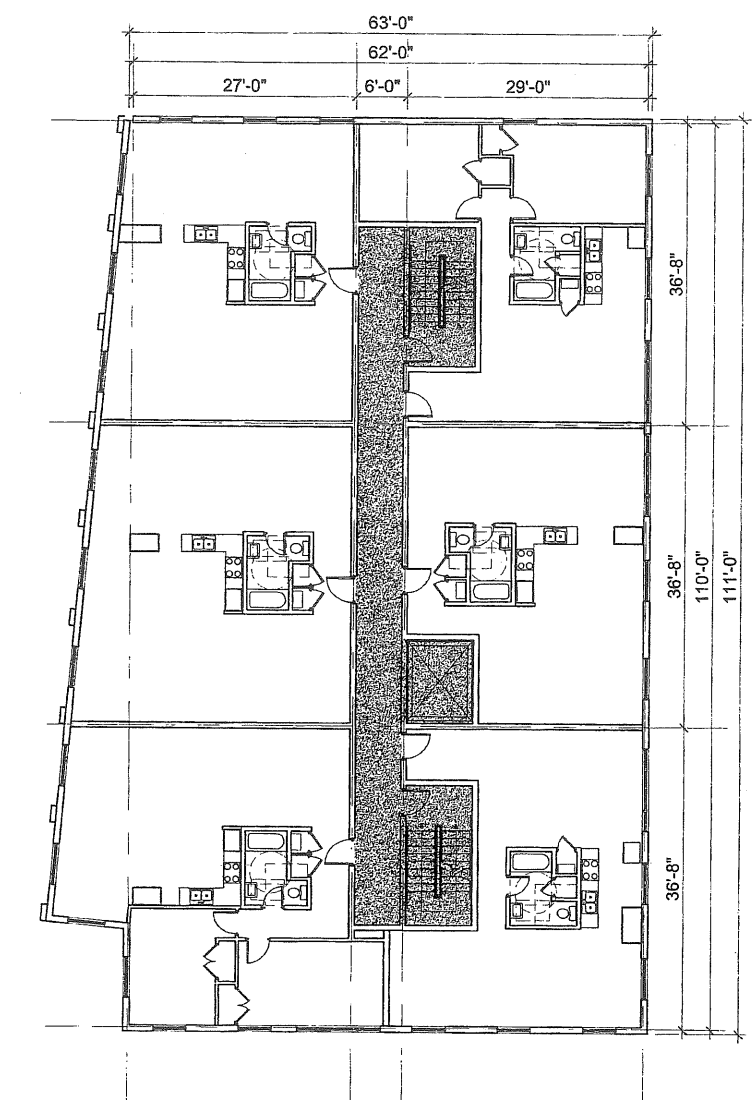
CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET PORTLAND, MAINE



BASEMENT PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

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Not for Construction

SCHEMATIC FLOOR PLANS
SCALE: 3/32"=1'-0"

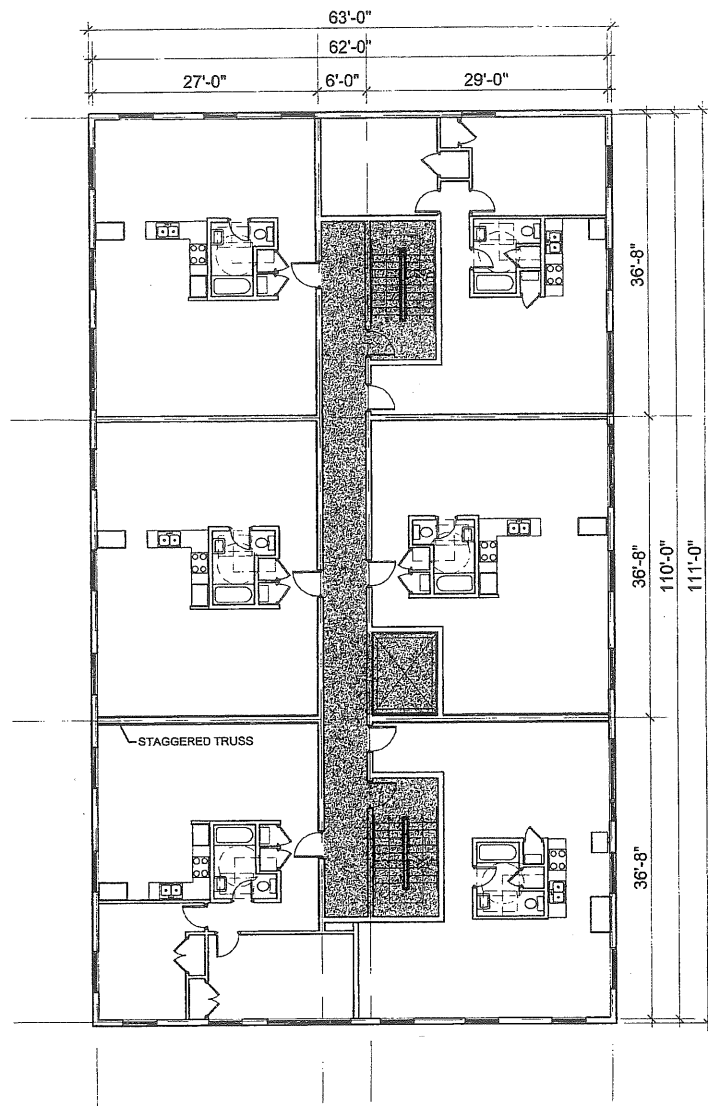


CHESTNUT STREET LOFTS

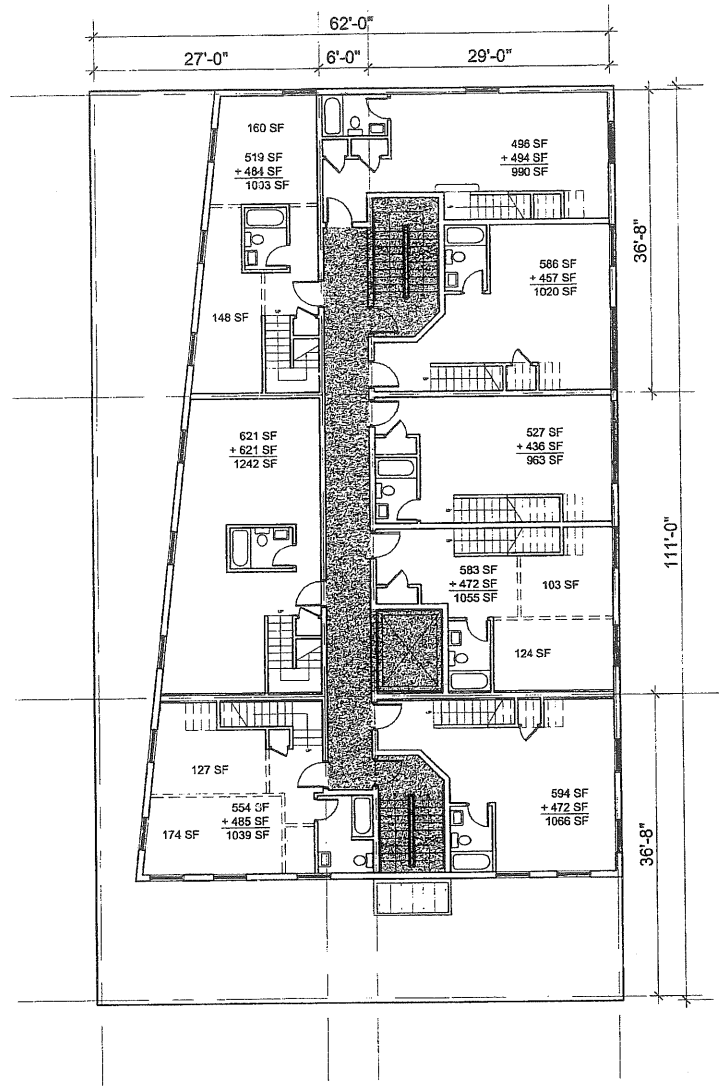
HOUSING AND SURFACE PARKING, CHAPEL REMAINS

JUNE 7, 2005

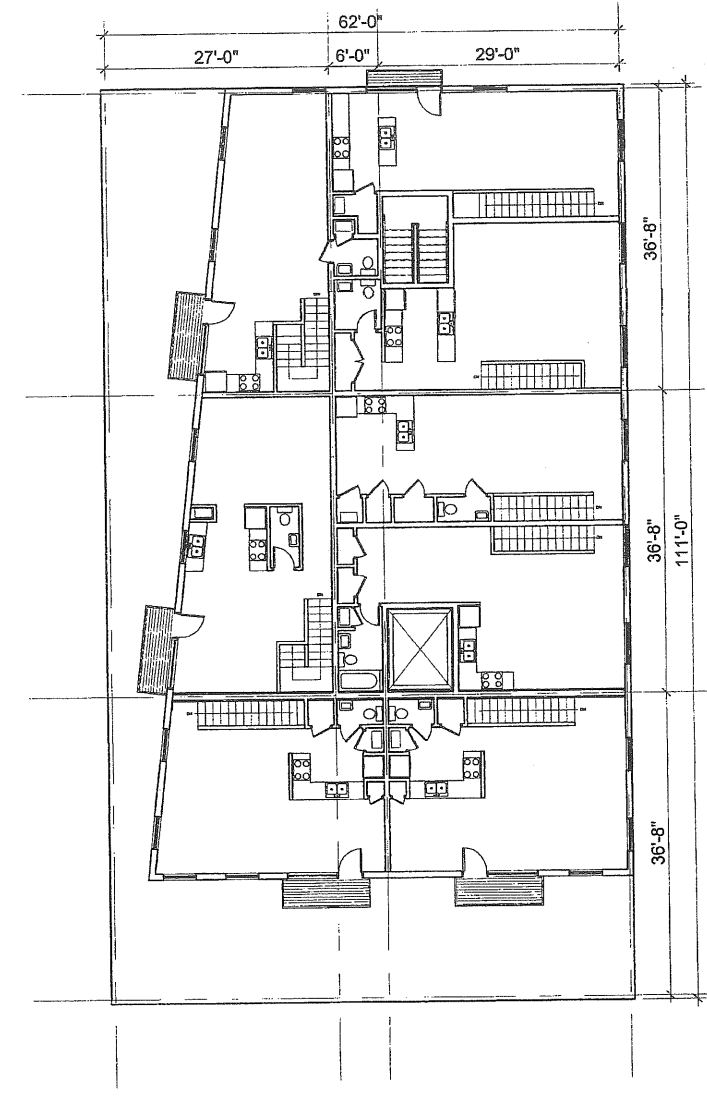
CHESTNUT STREET CHURCH PROPERTY
 URBAN REVITALIZATION PROJECT
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 CHESTNUT STREET PORTLAND, MAINE



THIRD THROUGH SIXTH FLOOR PLANS



SEVENTH FLOOR PLAN



EIGHTH FLOOR PLAN

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SCHEMATIC FLOOR PLANS
SCALE: 3/32"=1'-0"

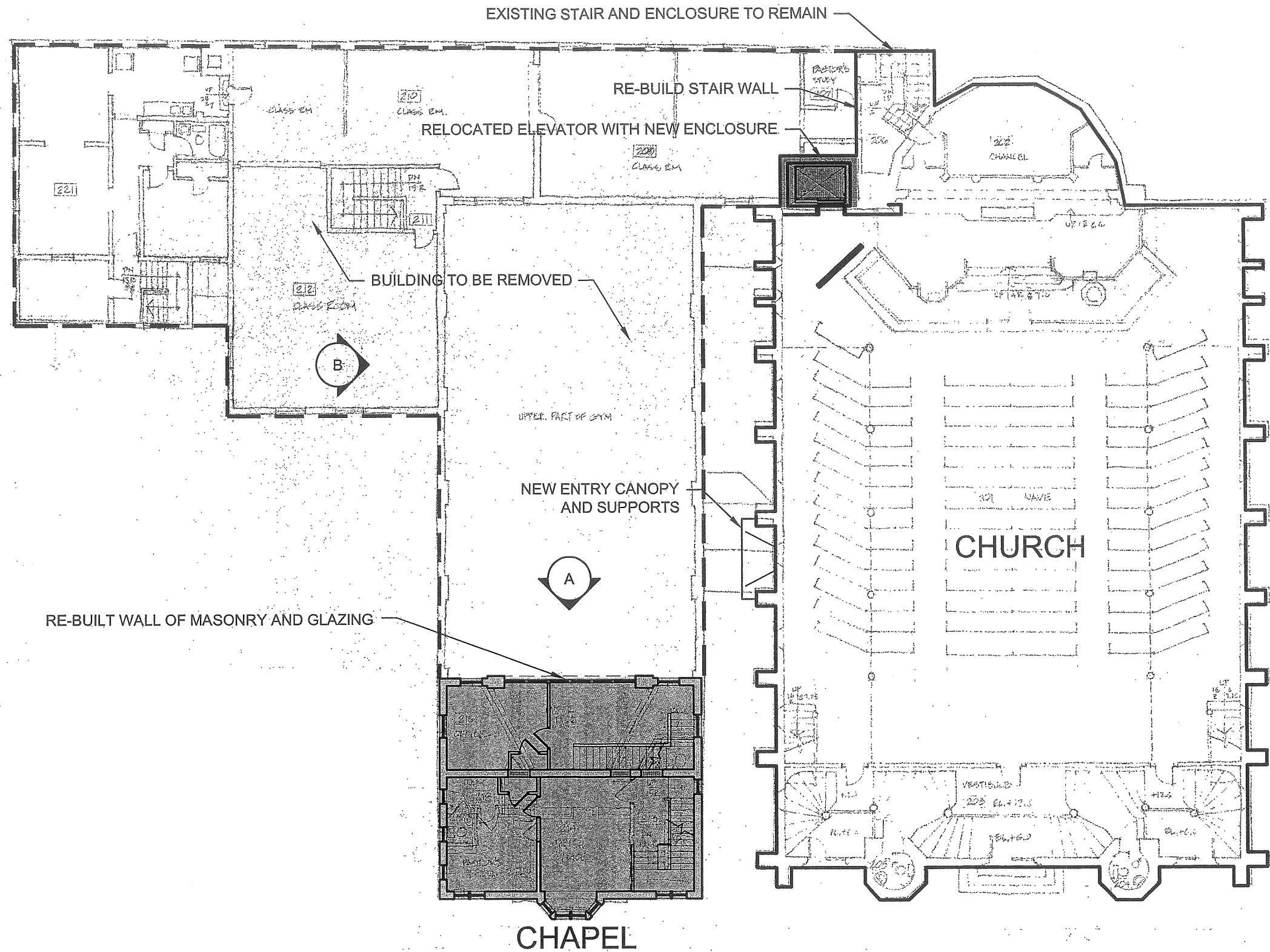


CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS

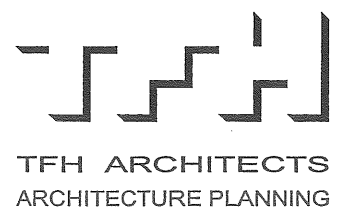
JUNE 7, 2005

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CHESTNUT STREET PORTLAND, MAINE



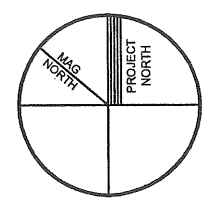
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SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"

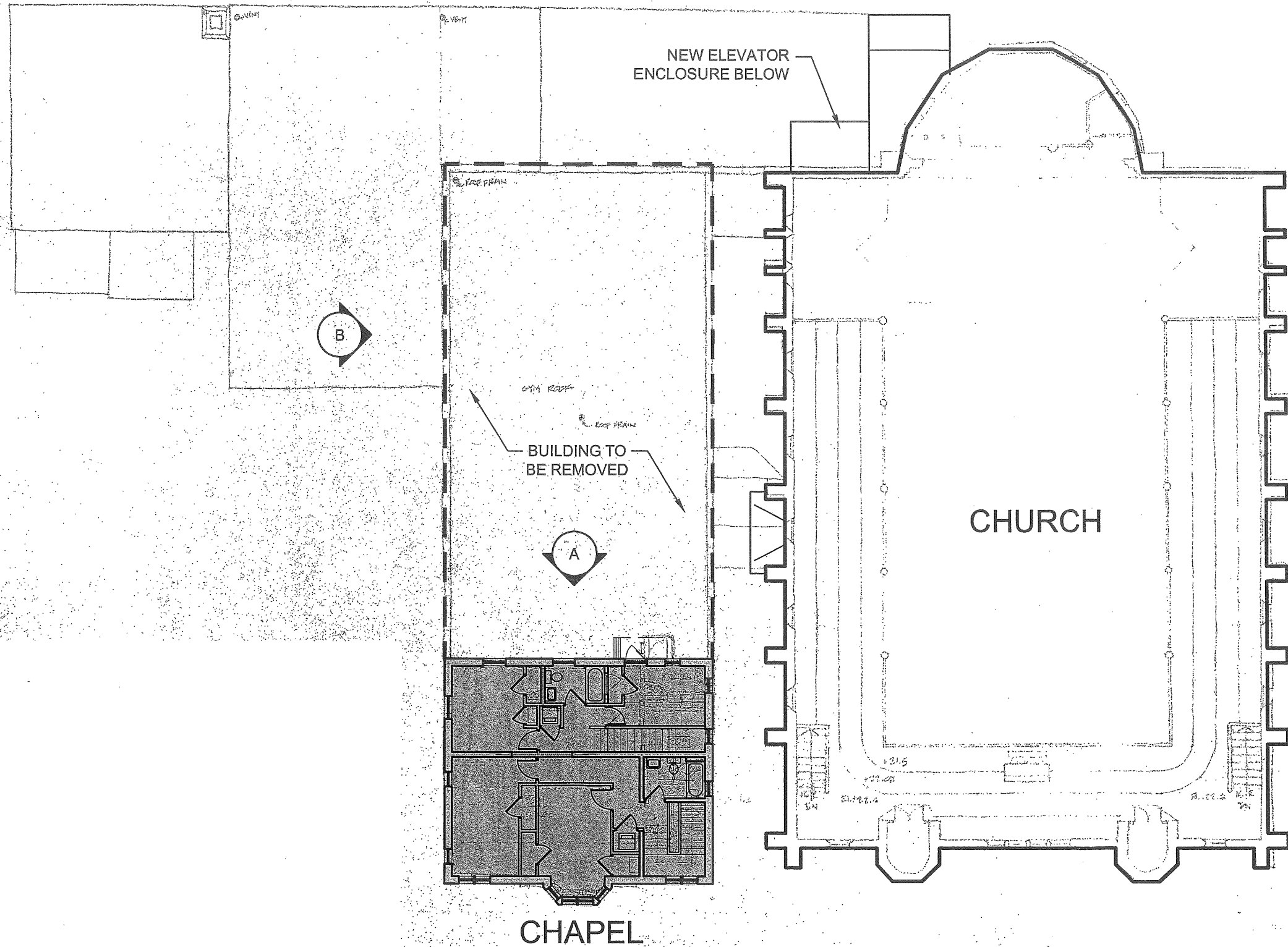


CHESTNUT STREET UNITED METHODIST CHURCH AND CHAPEL ALTERATIONS

JULY 27, 2005

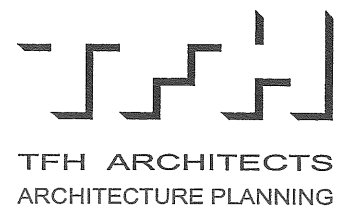


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CHESTNUT STREET PORTLAND, MAINE



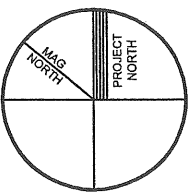
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THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"



CHESTNUT STREET UNITED METHODIST CHURCH AND CHAPEL ALTERATIONS

JULY 27, 2005

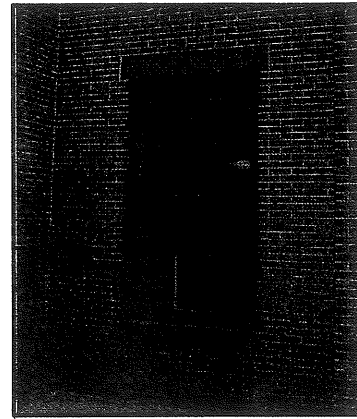
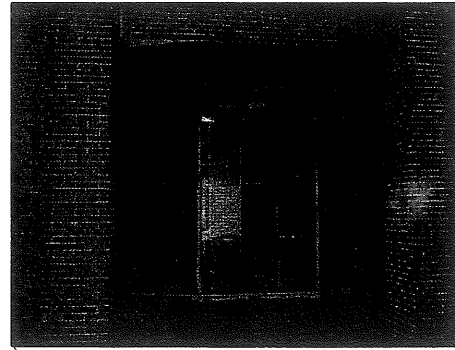


CHESTNUT STREET CHURCH PROPERTY
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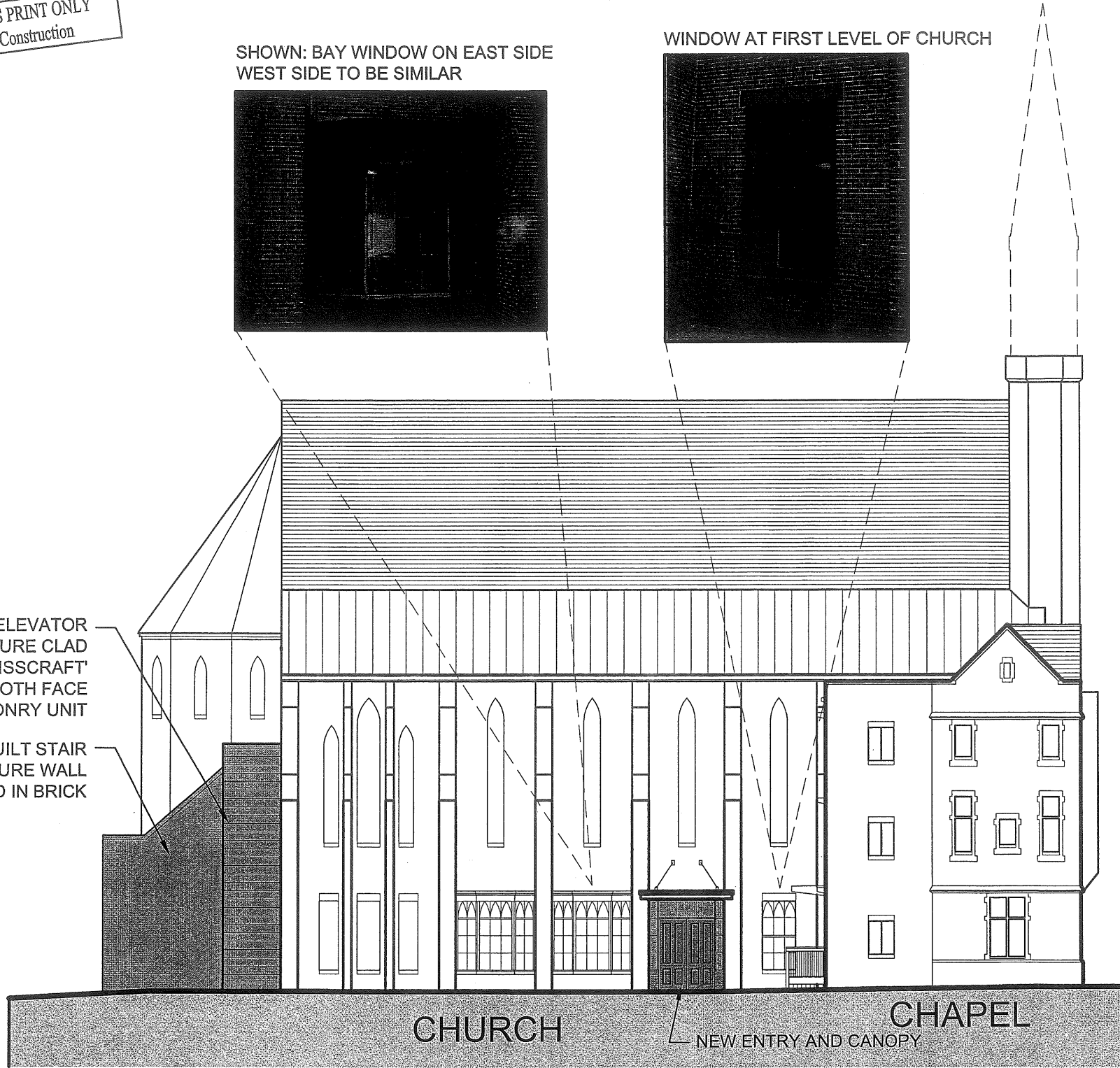
SHOWN: BAY WINDOW ON EAST SIDE
WEST SIDE TO BE SIMILAR

WINDOW AT FIRST LEVEL OF CHURCH

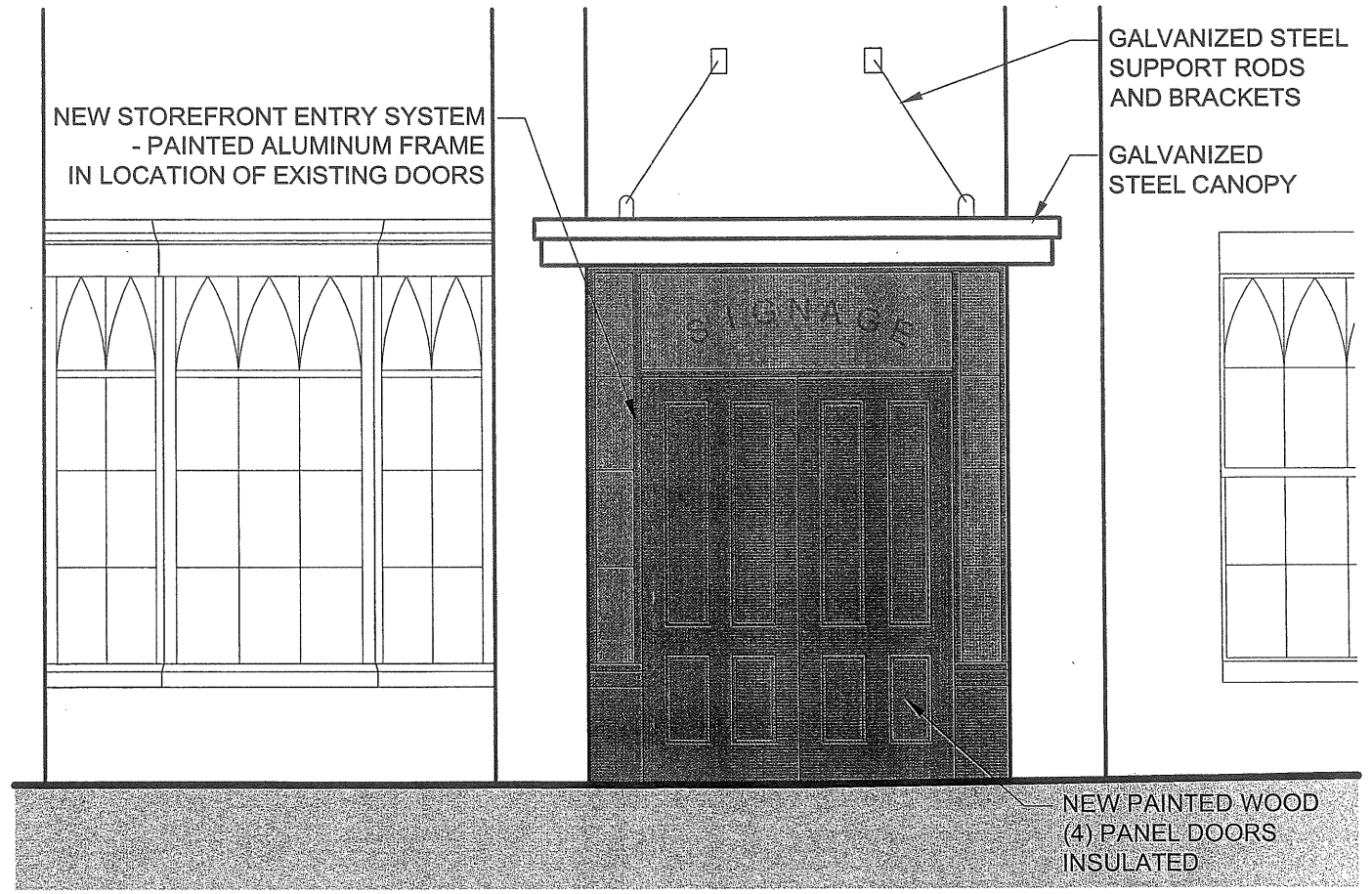


NEW ELEVATOR
ENCLOSURE CLAD
IN 'ARISSCRAFT'
SMOOTH FACE
MASONRY UNIT

RE-BUILT STAIR
ENCLOSURE WALL
CLAD IN BRICK



PROPOSED WEST ELEVATION (INDICATED AS ELEVATION (B) ON PLAN)
SCALE: 1/16"=1'-0"



NEW ENTRY AND CANOPY
SCALE: 1/4"=1'-0"

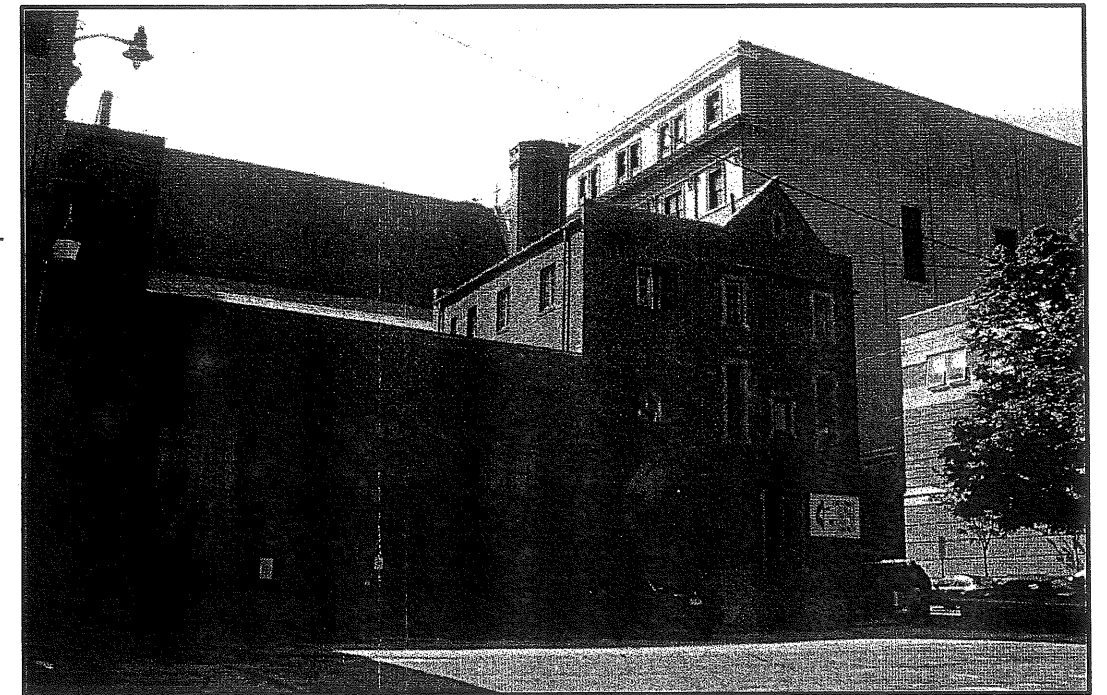
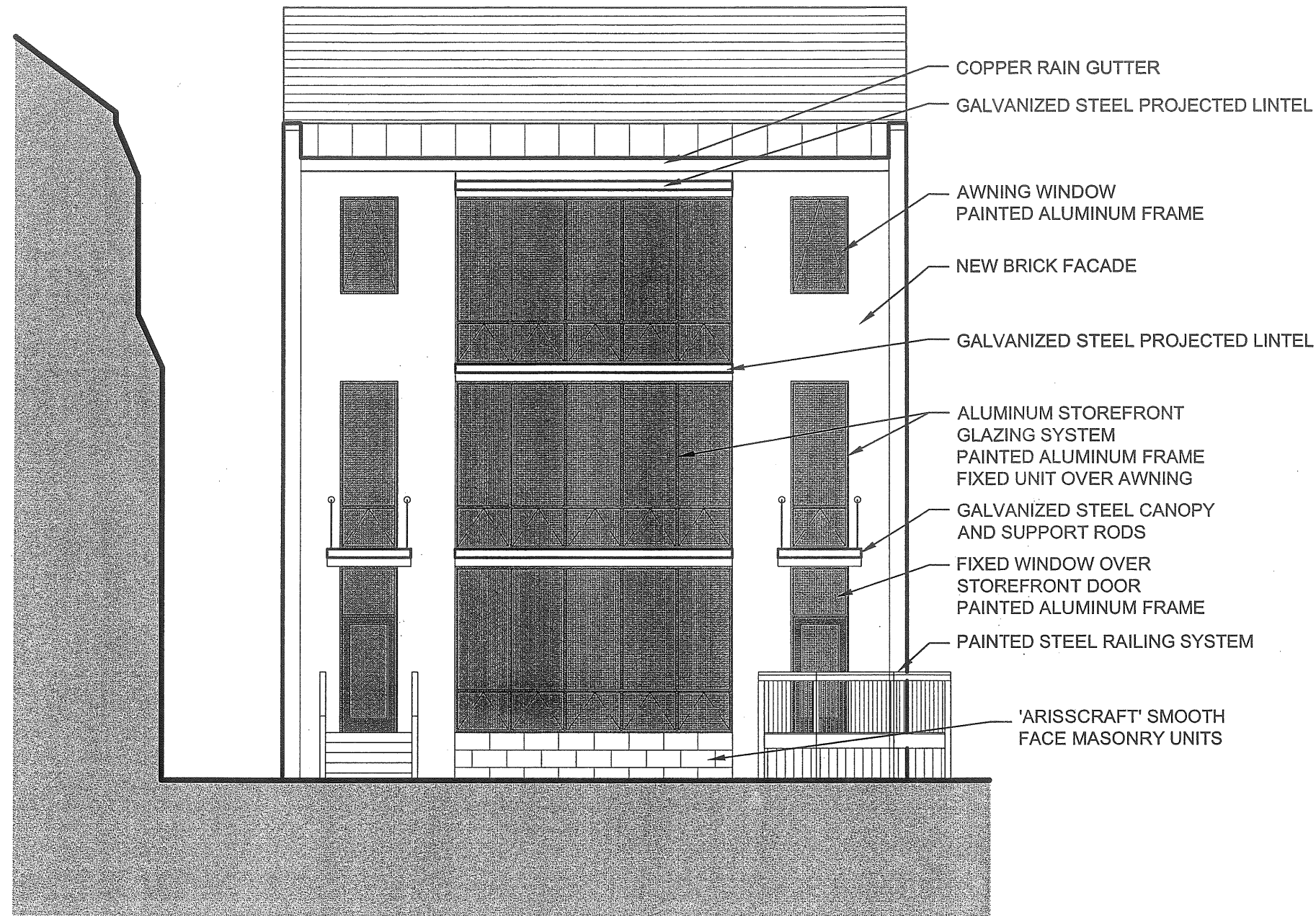
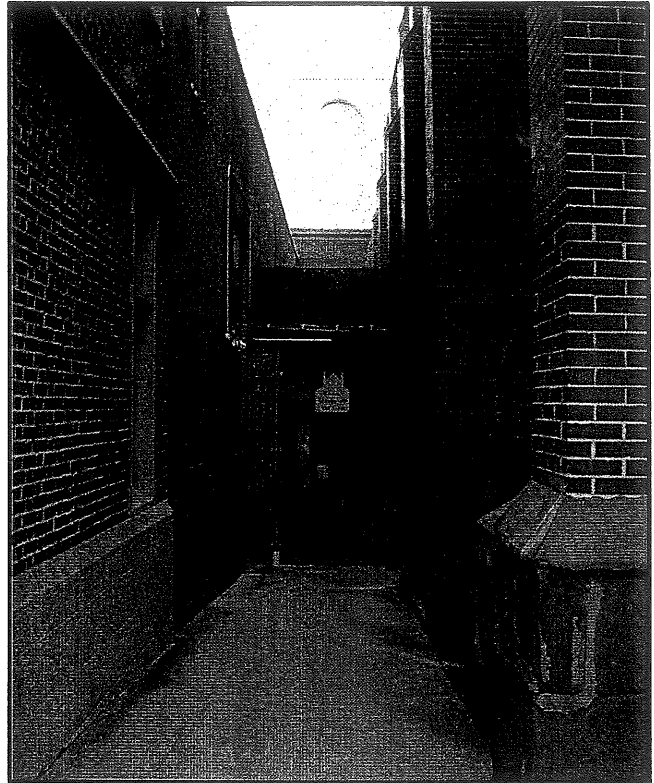


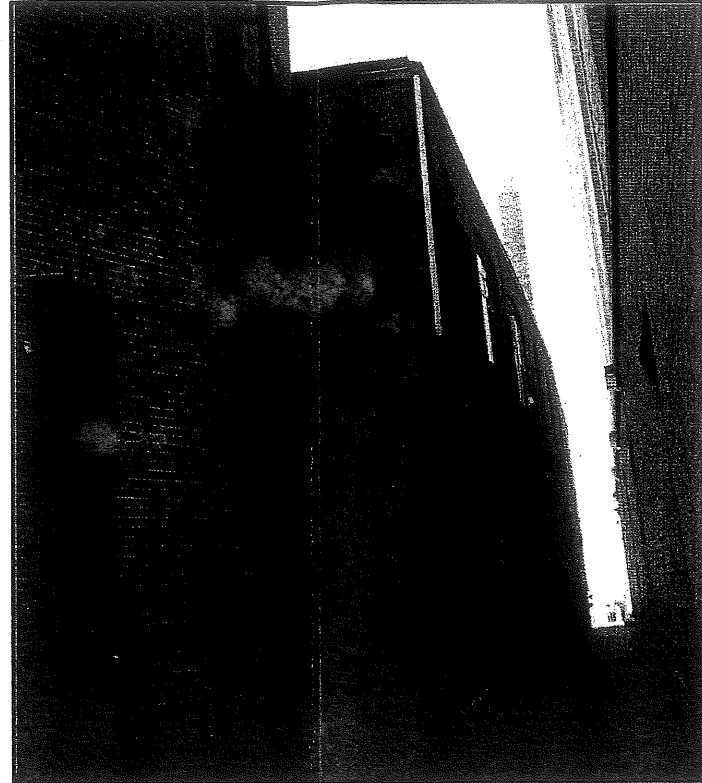
PHOTO OF CHAPEL FROM NORTHWEST CORNER

PROPOSED CHAPEL NORTH ELEVATION (INDICATED AS ELEVATION (A) ON PLAN)
SCALE: 1/8"=1'-0"

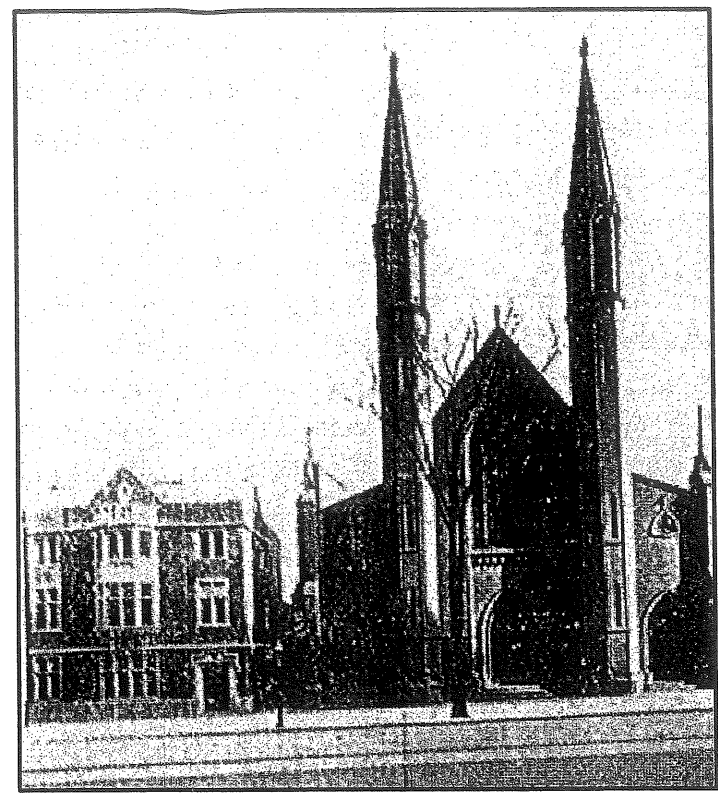
PROGRESS PRINT ONLY
Not for Construction



VIEW LOOKING DOWN ENTRY PASSAGE
BETWEEN CHURCH AND CHAPEL

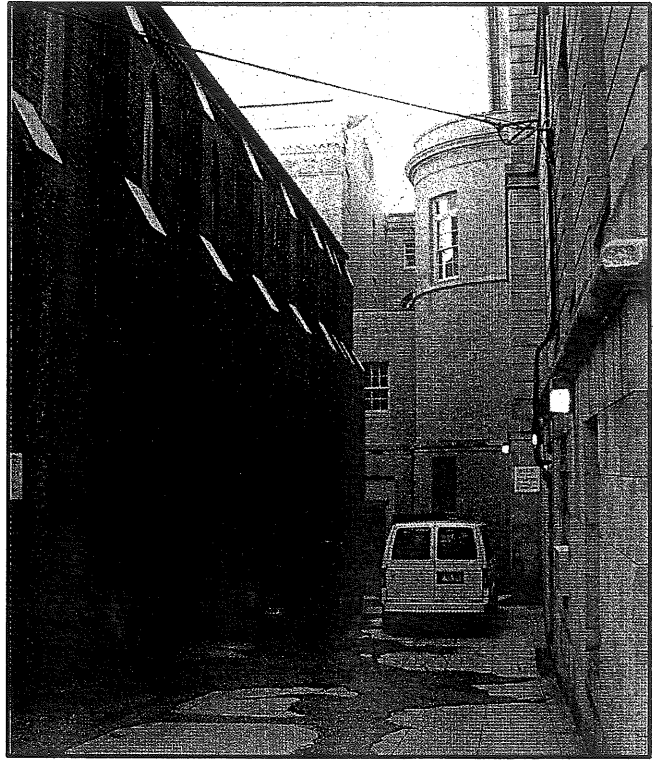


VIEW LOOKING AT EXISTING STAIR
CHURCH APSE ON THE LEFT

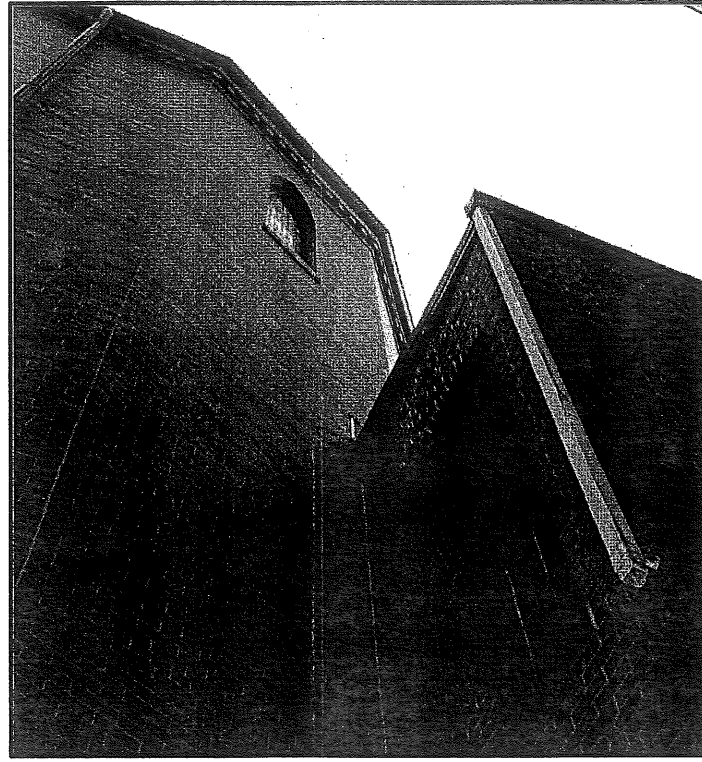


HISTORIC PHOTO OF CHURCH AND CHAPEL

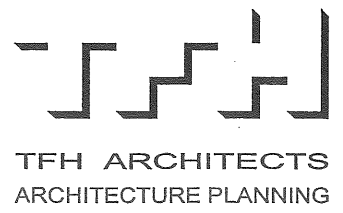
A.H. B.8



VIEW LOOKING DOWN ALLEY BETWEEN CITY HALL AND CHURCH
WEST ELEVATION TO BE APPEAR SIMILAR



VIEW LOOKING UP AT EXISTING STAIR
CHURCH APSE ON THE LEFT



CHESTNUT STREET UNITED METHODIST CHURCH AND CHAPEL ALTERATIONS

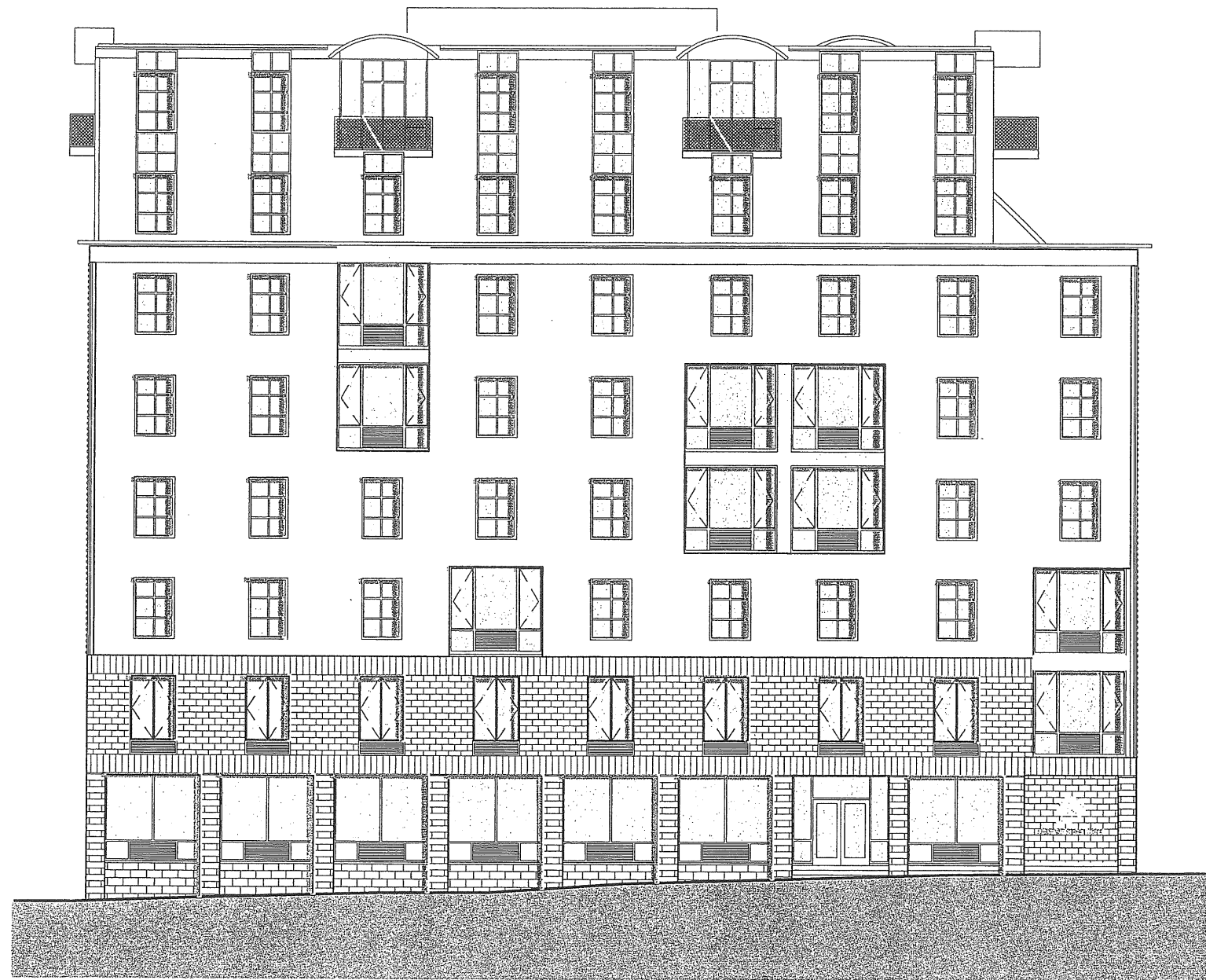
JULY 27, 2005

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET PORTLAND, MAINE

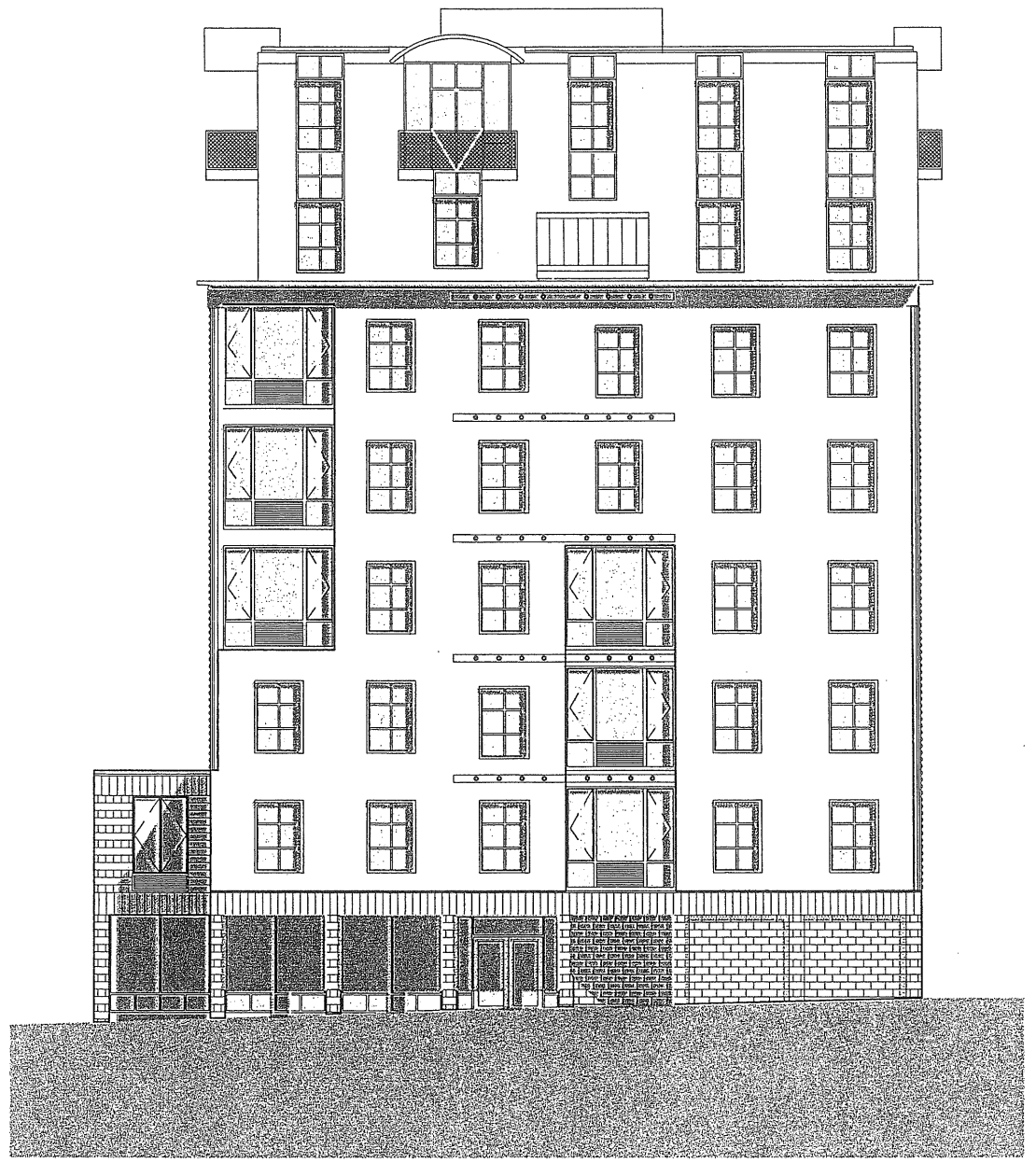
CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 3, 2005

PROGRESS PRINT ONLY
Not for Construction



CUMBERLAND AVENUE ELEVATION
SCALE: 1/16"=1'-0"



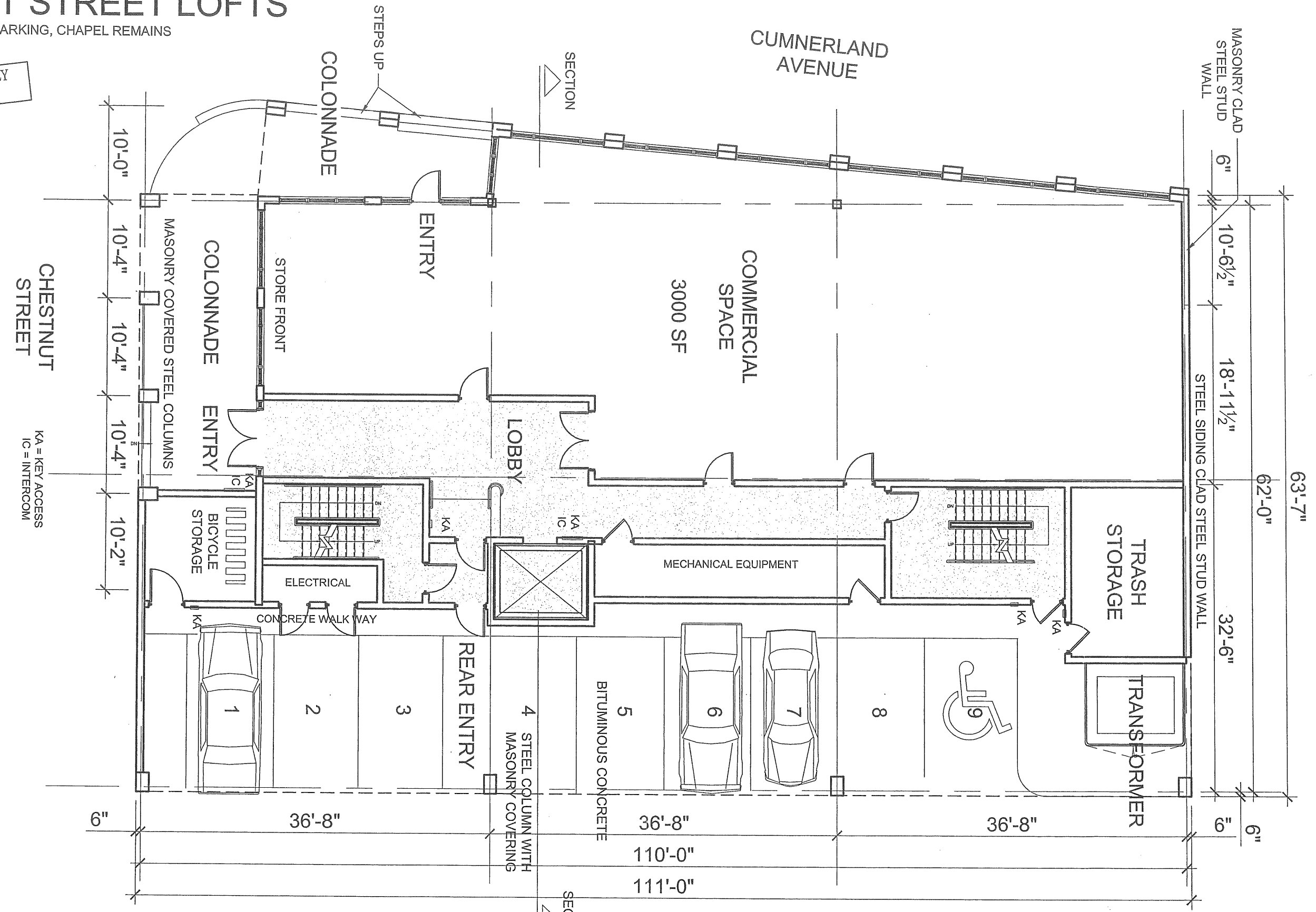
CHESTNUT STREET ELEVATION
SCALE: 1/16"=1'-0"

CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 3, 2005

A# 1.2

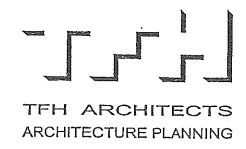
PROGRESS PRINT ONLY
Not for Construction

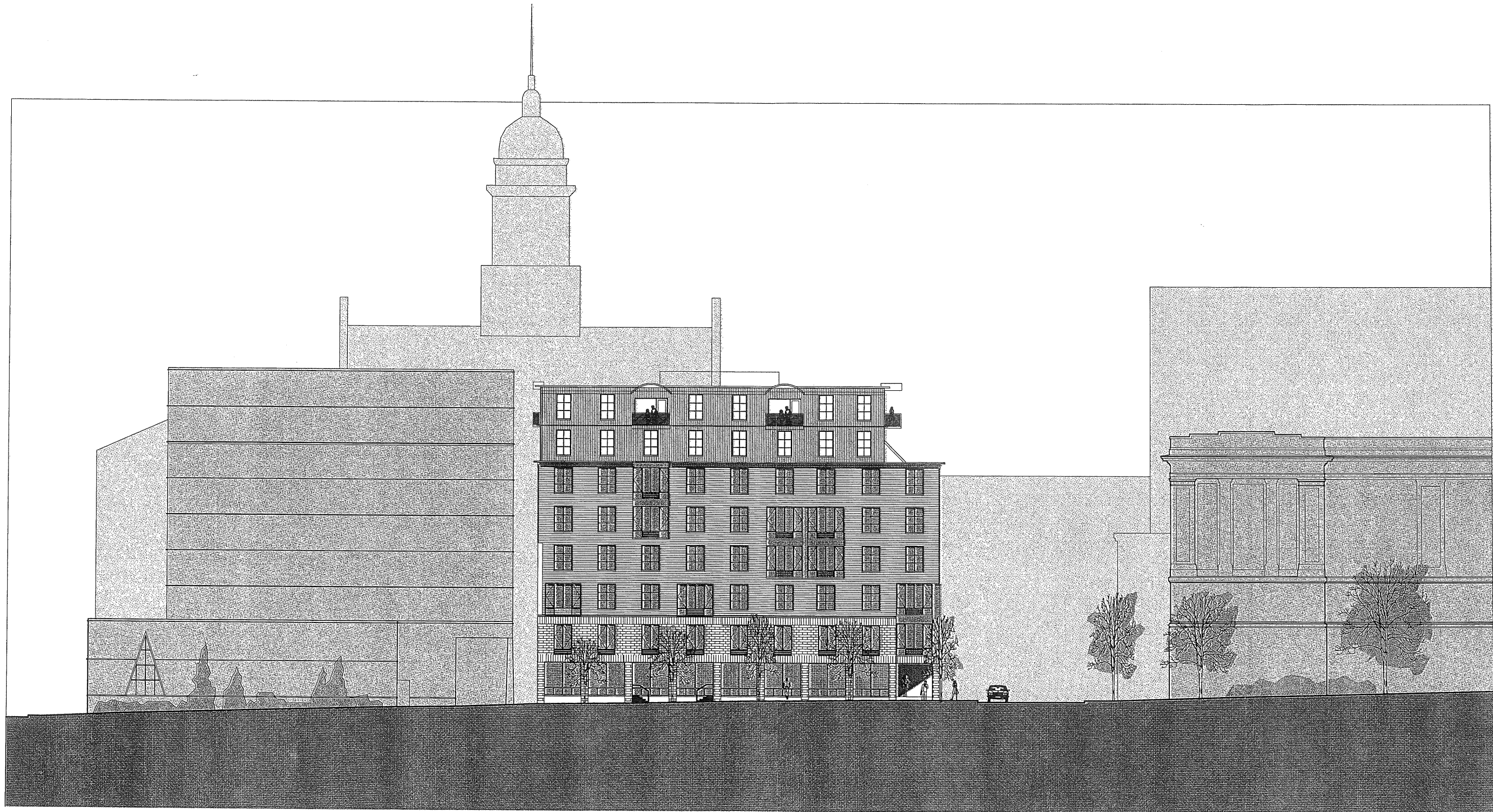


FIRST FLOOR PLAN

SCALE: 3/32"=1'-0"

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET PORTLAND, MAINE





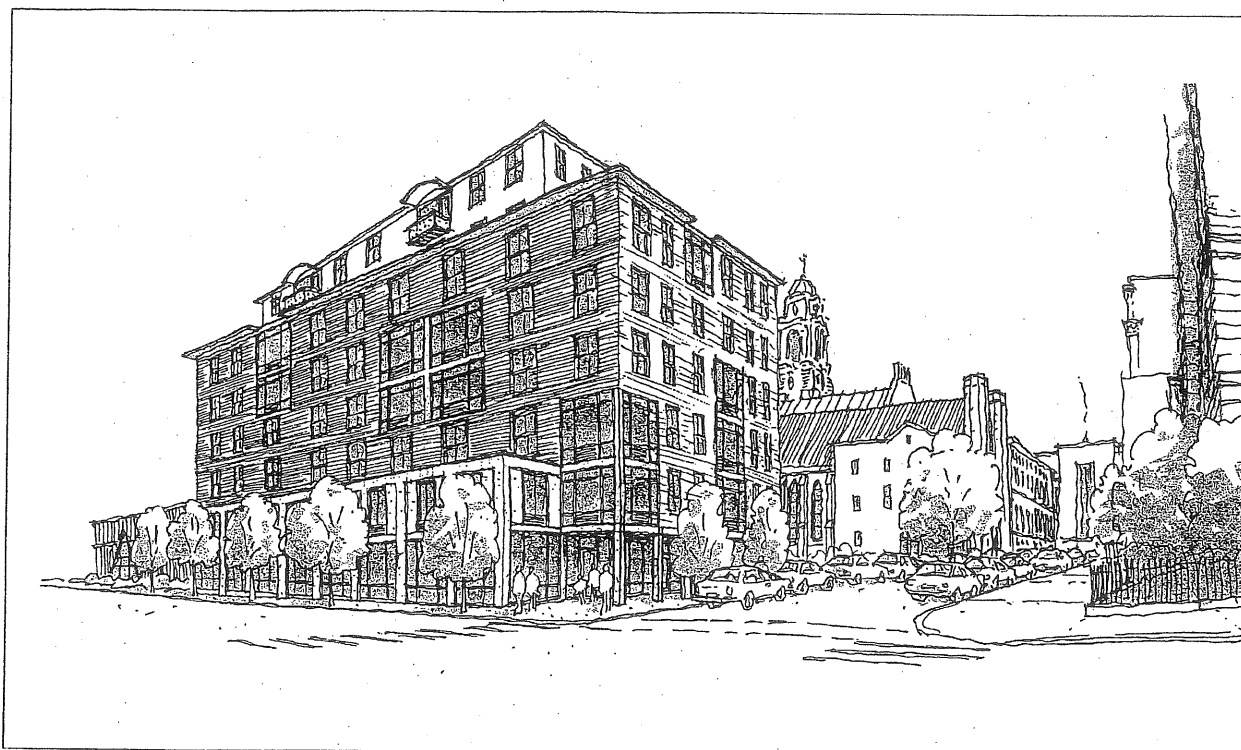
CUMBERLAND AVENUE STREETSCAPE

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY BERMAN ASSOCIATES
CHESTNUT STREET PORTLAND, MAINE

Preliminary Subdivision & Site Plan

General Notes:

1. PLANIMETRIC AND TOPOGRAPHIC DETAIL SHOWN HEREON IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED BY TITCOMB ASSOCIATES AND PLAN ENTITLED "EXISTING CONDITIONS SURVEY", DATED JANUARY 19, 2005.
2. NORTH AS SHOWN HEREON IS BASED ON GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE.
3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF PORTLAND DATUM, BENCHMARK, BRASS DISC IN GRANITE WALL NEAR THE SOUTH STEPS OF PORTLAND CITY HALL ALONG CONGRESS STREET, ELEVATION= 69.66 FEET BASED ON NVD OF 1929.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
6. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
7. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND STANDARDS & APPLICABLE UTILITY COMPANIES STANDARDS.
8. CONTRACTOR SHALL VERIFY LOCATIONS & DEPTHS OF ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
9. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
10. NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
11. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED EARTHWORK MATERIALS.
13. INLETS AND OUTLETS OF ALL DRAIN LINES SHALL BE RIP RAPPED UNLESS OTHERWISE NOTED ON PLANS OR DIRECTED BY THE ENGINEER.
14. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS IF REQUIRED FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROLS AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH PRACTICES OF THE DEP "MAINE EROSION & SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," LATEST EDITION.
16. ALL TRAFFIC MARKINGS AND SIGNAGE SHALL COMPLY WITH AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1998 OR LATER VERSION.
17. CONSTRUCT UTILITY SERVICE CONNECTIONS TO FIVE FEET BEYOND STREET LINE. PROVIDE MINIMAL PITCH OF 1/8" PER FOOT FOR SEWER AND DRAINAGE LINES.



SOUTHWEST VIEW

Legend

EXISTING	PROPOSED
---	CONTOUR
---	SPOT GRADE
---	PROPERTY LINE
---	ROADWAY CENTERLINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
---	BIT CURB
---	BUILDING
SS	SANITARY SEWER
SD	STORM DRAIN
G	GAS
W	WATER MAIN
OH	OVERHEAD WIRE
---	UNDERGROUND WIRE
---	TELEPHONE & CATV
---	UTILITY POLE
---	CATCH BASIN
---	MANHOLE
---	HYDRANT
---	GATE VALVE
---	TRANSFORMER
---	RIP RAP
---	SIDEWALK RAMP
---	STONE WALL
---	STONE CHECK DAM
---	EROSION CONTROL MATING
---	LIGHT POLE
---	UNIT PROPANE TANK
---	EROSION CONTROL BARRIER
---	WOOD FENCE
---	DECORATIVE PAVEMENT
---	SANITARY SEWER CLEANOUT
---	FLARED END SECTION
---	STANDARD CULVERT END
---	THRUST BLOCK
---	TRANSFORMER PAD

Chestnut Street Lofts

29 Chestnut Street
Portland, Maine 04101

Prepared For:
Chestnut Street Lofts, LLC
One India Street, Portland, Maine 04101

Index Of Drawings

DWG #	Description
0	COVER SHEET
(1 of 1)	EXISTING CONDITIONS & STANDARD BOUNDARY PLAN
(1 of 1)	RECORDING PLAT
C-1	EXISTING CONDITIONS & REMOVALS
C-2	LAYOUT & UTILITIES
C-3	GRADING, DRAINAGE & EROSION CONTROLS
C-4	LANDSCAPING & LIGHTING
C-5	DETAILS
C-6	DETAILS
C-7	DETAILS
ARCHITECTURAL PLANS	
-	EXTERIOR ELEVATIONS
-	FLOOR PLANS (BASEMENT, 1ST)
-	FLOOR PLANS (2ND & TYPICAL 3-5)
-	FLOOR PLANS (6TH AND ROOF)
-	FLOOR PLANS (7TH & 8TH)
-	BUILDING SECTION & DETAILS
-	SCHEMATIC STRUCTURAL LAYOUT

Utilities:

- * WATER: PORTLAND WATER DISTRICT - DAVID COFFIN, ENGINEERING 207-774-5961
- * SEWER: CITY OF PORTLAND DPW - BRAD ROLAND 207-874-8846
- * ELECTRIC: CMP - BARBARA WACKER 207-490-3074
- * TELEPHONE: VERIZON - GEORGE HILLMAN 207-797-1798
- * CABLE: TIME WARNER CABLE - DEB PAIEMENT 207-253-2662

Project Team

Architect:

TFH ARCHITECTS
100 Commercial Street
Portland, ME 04103
(207) 775-6141

Survey:

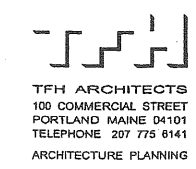
TITCOMB ASSOCIATES
133 Gray Road
Falmouth, ME 04105
(207) 797-9199

Engineering, Permitting & Landscape Architecture:

LAND USE CONSULTANTS, INC.
966 Riverside Street
Portland, ME 04103
(207) 878-3313

Traffic:

JOHN MURPHY
221 Brown Road
West Buxton, ME 04091
(207) 625-8222

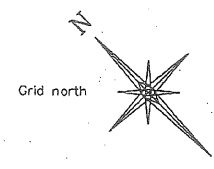


TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING



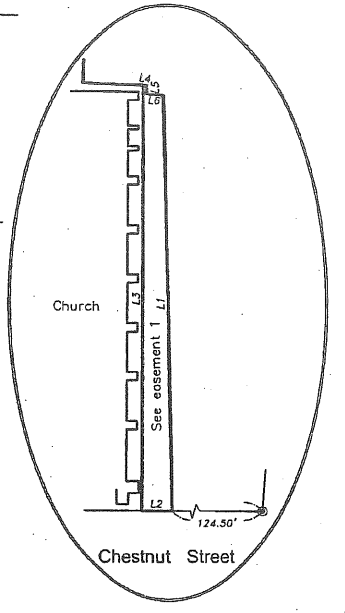
engineers
planners
landscape
architects
LUC
966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878 - 3313
Fax (207) 878 - 0201
landuse@landuseinc.net
Land Use Consultants, Inc.

K2



- LEGEND**
- 5/8" Capped iron rod set (capped 5/8" rebar)
 - Drill hole found
 - Iron pin found 5/8" rebar
 - Monument found 6"x6" w/brass plug
 - Catch basin
 - Sewer manhole
 - Drain manhole
 - Gas valve
 - Water shutoff
 - Fire hydrant
 - Utility pole
 - Light pole
 - Sign
 - Edge of pavement
 - Curb (granite, unless noted)
 - Abutters line
 - Easement line
 - Property line
 - Former property line
 - 1' contour
 - 5' contour
 - OH Overhead utility wires
 - W Underground water
 - U Underground gas
 - Guard rail
 - Deciduous tree
 - PM Parking meter
 - Bollard
 - Existing building

LINE	LENGTH	BEARING
L1	93.80	S43°49'02" W
L2	6.84	N44°47'39" W
L3	95.93	N45°09'12" E
L4	0.99	S42°51'58" E
L5	2.00	S47°08'02" W
L6	3.73	S42°51'58" E



- NOTES**
- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 - (2) Bearings are referenced to grid north, Maine State Plane Coordinate System, west zone.
 - (3) All utility locations shown on this plan are approximate, based on location of visible features and information provided by others. Dig Safe and/or the appropriate utilities should be contacted prior to any construction.

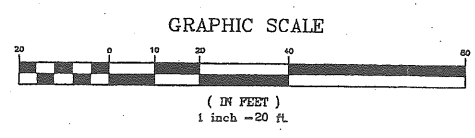
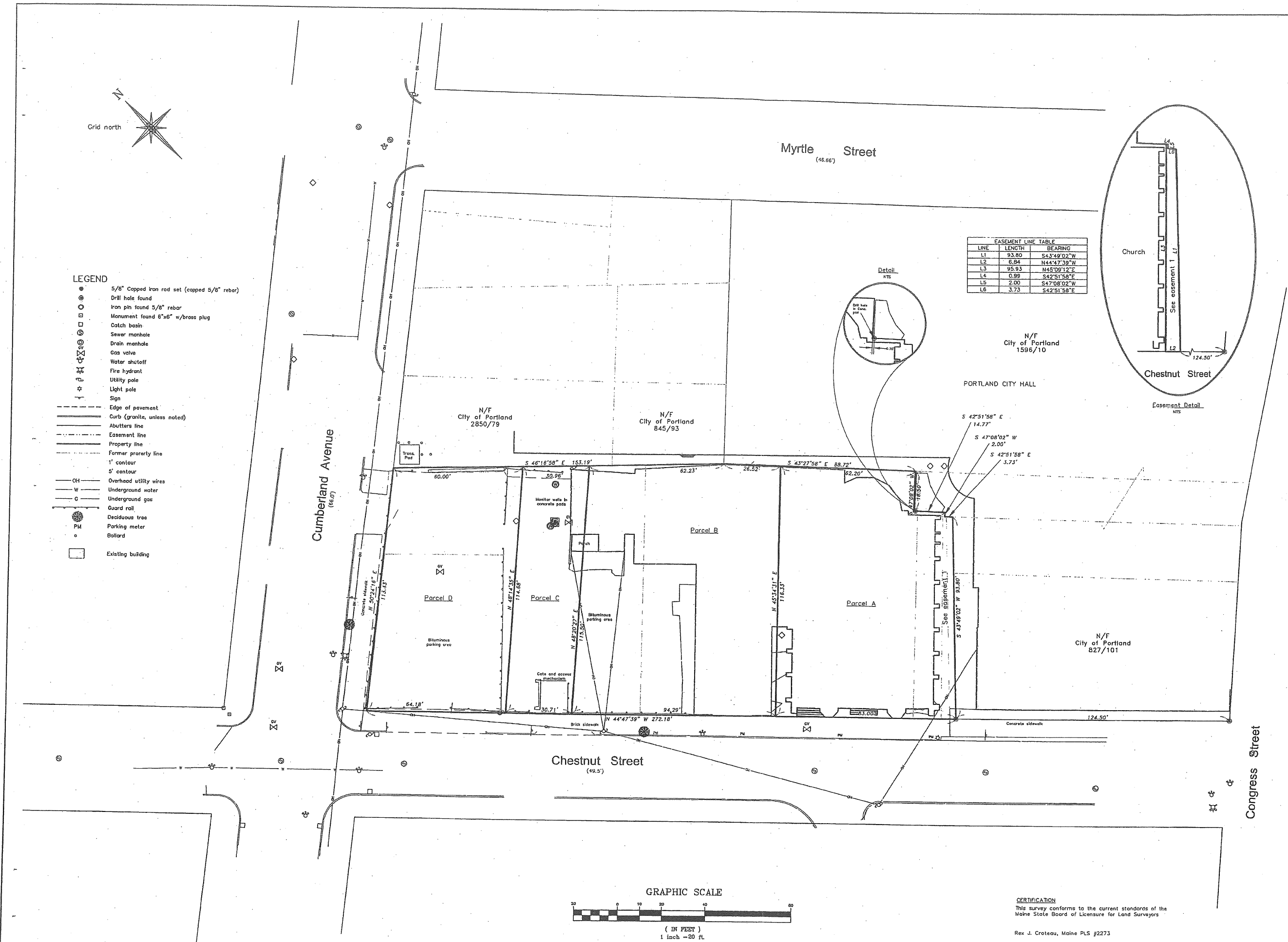
AREA

Parcel A:	9,035 square feet
Parcel B:	10,637 square feet
Parcel C:	3,540 square feet
Parcel D:	7,056 square feet
Total:	30,268 square feet

- EASEMENTS AND ENCUMBRANCES**
- (1) Rights to use a passageway as conveyed to the City of Portland by the Trustees of the Methodist Society in Portland; Book 1351, Page 72; Book 1351, Page 75; Book 889, Page 295 (see reference 6 and Easement Detail).

- PLAN REFERENCES**
- (1) Plan of the Methodist Church made by E. C. Jordan, Civil Engineer dated September 1876, recorded in the Cumberland County Registry of Deeds in Plan Book 4, Page 6.
 - (2) Plan of "City of Portland City Property" (City Hall) on file with the City of Portland Engineering Department, undated, plan number 28.
 - (3) Plan of "City of Portland City Property" on file with the City of Portland Engineering Department, undated, plan number 235.
 - (4) "City of Portland, Maine; Department of Public Works" plan of the "Location of New City Hall" dated March 16, 1918 obtained from City of Portland Engineering Department, plan number 122/12.
 - (5) City of Portland Engineering Department, Transit Book notes pages 2-5, and 18-19 depicting preliminary and final survey of "Chestnut Street Survey to establish line between City Hall lot and Chestnut Street Church", dated August 29, 1929 and November 29, 1929 respectively.
 - (6) "City of Portland, Maine; Department of Public Works City Hall Lot-Showing Land Under Lease to City of Portland by Trustees of the Methodist Society of Portland" dated March 29, 1930, plan number 405/45.
 - (7) City of Portland Engineering Department right of way information.
 - (8) Site Plan "Proposed Office Building 31 Chestnut St. Place made for 31 Chestnut St. Place Associates by Sebago Technics dated June 23, 1987.

- OWNERS OF RECORD**
- Parcel A: Methodist Society of Portland-Book 272, Page 46; Book 272, Page, 82; Book 301, Page 123
 - Parcel B: Chestnut Street Community House-Book 1174, Page 130
 - Parcel C: Chestnut Street Community House-Book 2251, Page 215
 - Parcel D: Chestnut Street United Methodist Church-Book 10859, Page 001



CERTIFICATION
 This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors
 Rex J. Croteau, Maine PLS #2273

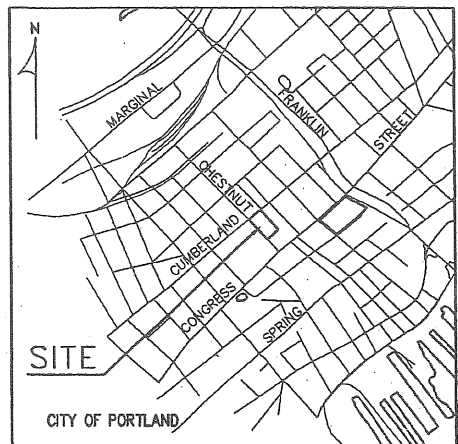
Rev. 1	6/26/05	Easement Detail	RJC
PLAN OF Existing Conditions Survey			
17 Chestnut Street Portland, Maine			
MADE FOR Land Use Consultants			
966 Riverside Street Portland, Maine			
JOB# 204115	DATE: January 19, 2005	SCALE: 1"=20"	
BOOK# 771	Titcomb Associates		
204115_R2.dwg	133 Gray Road Falmouth, Maine 04105 (207)797-9199		
FILE#			

PROJECT DATA - CHESTNUT ST:

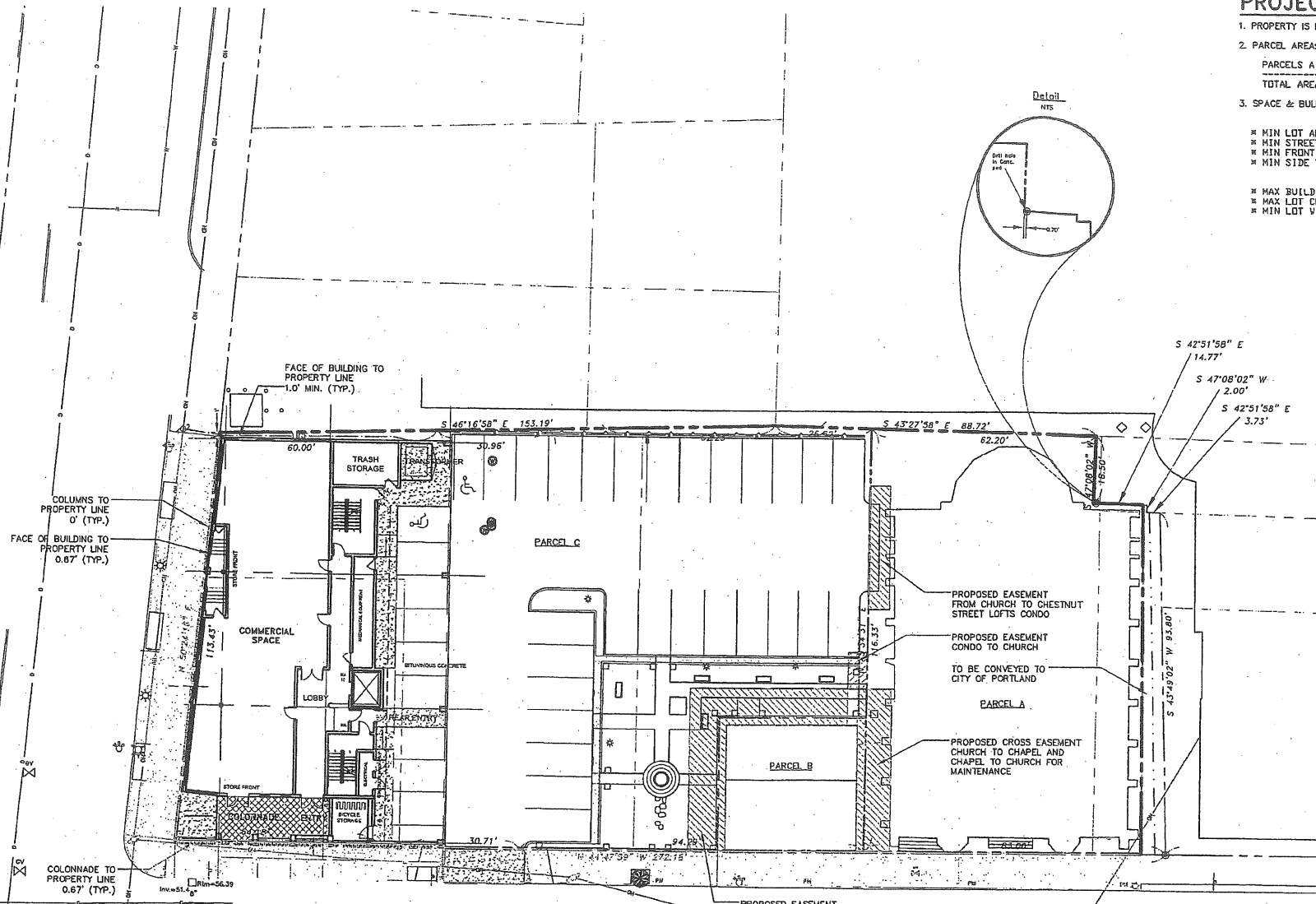
- PROPERTY IS LOCATED IN THE B-3 DOWNTOWN BUSINESS ZONE
- PARCEL AREA:

PARCELS A TO C	30,268 SF
TOTAL AREA	30,268 SF
- SPACE & BULK REGULATIONS: B-3 DOWNTOWN BUSINESS ZONE

MIN LOT AREA	REQUIRED: NONE	PROVIDED: 30,268 SF
MIN STREET FRONTAGE	REQUIRED: 15'	PROVIDED: 265'
MIN FRONT & REAR YARD	REQUIRED: NONE	PROVIDED: NONE
MIN SIDE YARD	REQUIRED: NONE	PROVIDED: NONE
MAX BUILDING HEIGHT	REQUIRED: 35'	PROVIDED: 35'
MAX LOT COVERAGE	REQUIRED: 100%	PROVIDED: 100%
MIN LOT WIDTH	REQUIRED: NONE	PROVIDED: NONE



TWO
 ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING



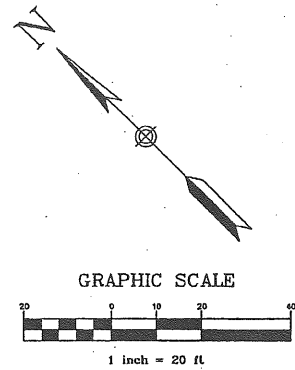
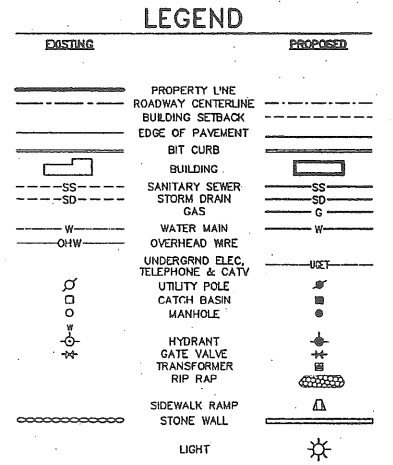
PLAN REFERENCES:

- PLAN OF THE METHODIST CHURCH MADE BY E. C. JORDAN, CIVIL ENGINEER DATED SEPTEMBER 1876, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 4, PAGE 6.
- PLAN OF "CITY OF PORTLAND CITY PROPERTY" (CITY HALL) ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT, UNDATED, PLAN NUMBER 28.
- PLAN OF "CITY OF PORTLAND CITY PROPERTY" ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT, UNDATED, PLAN NUMBER 235.
- "CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS" PLAN OF THE "LOCATION OF NEW CITY HALL" DATED MARCH 18, 1918 OBTAINED FROM CITY OF PORTLAND ENGINEERING DEPARTMENT, PLAN NUMBER 122/12.
- CITY OF PORTLAND ENGINEERING DEPARTMENT, TRANSIT BOOK NOTES PAGES 2-5, AND 18-19 DEPICTING PRELIMINARY AND FINAL SURVEY OF "CHESTNUT STREET SURVEY TO ESTABLISH LINE BETWEEN CITY HALL LOT AND CHESTNUT STREET CHURCH", DATED AUGUST 29, 1929 AND NOVEMBER 29, 1929 RESPECTIVELY.
- "CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS CITY HALL LOT-SHOWING LAND UNDER LEASE TO CITY OF PORTLAND BY TRUSTEES OF THE METHODIST SOCIETY OF PORTLAND" DATED MARCH 29, 1930, PLAN NUMBER 405/45.
- CITY OF PORTLAND ENGINEERING DEPARTMENT RIGHT OF WAY INFORMATION.
- SITE PLAN "PROPOSED OFFICE BUILDING 31 CHESTNUT ST. PLACE MADE FOR 31 CHESTNUT ST. PLACE ASSOCIATES BY SEBAGO TECHNIQS DATED JUNE 23, 1987.

EASEMENTS AND ENCUMBRANCES:

- RIGHTS TO USE A PASSAGEWAY AS CONVEYED TO THE CITY OF PORTLAND BY THE TRUSTEES OF THE METHODIST SOCIETY IN PORTLAND, BOOK 1351/PAGE 72; BOOK 1351/PAGE 75; BOOK 889/PAGE 285 (SEE REFERENCE 6 AND EASEMENT DETAIL).

LOCUS
 SCALE: 1"=1000' ±



APPROVED BY CITY OF PORTLAND
 PLANNING BOARD: _____ (DATE)

NOTES:

- BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, UNLESS OTHERWISE SPECIFIED.
- BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE.
- ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE, BASED ON LOCATION OF VISIBLE FEATURES AND INFORMATION PROVIDED BY OTHERS. DIG SAFE AND/OR THE APPROPRIATE UTILITIES SHOULD BE CONTACTED PRIOR TO ANY CONSTRUCTION.

OWNER OF RECORD

- PARCEL A: METHODIST SOCIETY OF PORTLAND-BOOK 272/PAGE 46, 82; BOOK 301/PAGE 123
- PARCEL B: CHESTNUT STREET COMMUNITY HOUSE-BOOK 1174/PAGE 130
- PARCEL C: CHESTNUT STREET COMMUNITY HOUSE-BOOK 2251/PAGE 215 & CHESTNUT STREET UNITED METHODIST CHURCH-BOOK 10859/PAGE 001

CERTIFICATION:

THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS.

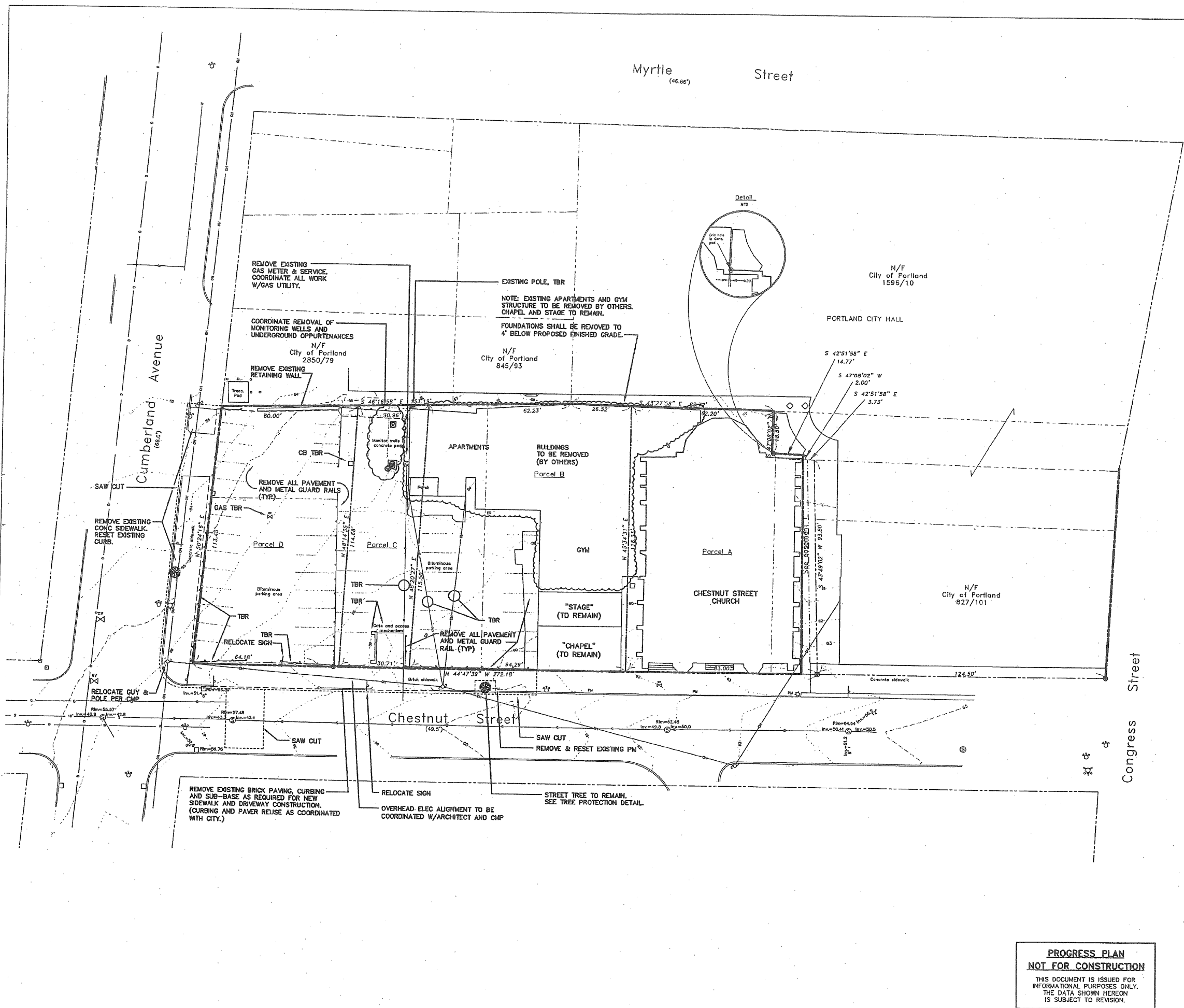
REX J. CROTEAU, PLS #2273

CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR:
 CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

Designed	PLC/TNE	Revision	Date
Drawn	TDD		
Checked	DAK		
Scale	1" = 20'		
Date	1-19-05		

RECORDING PLAT
 CHESTNUT STREET
 LOFTS

Job No. 4376
 Drawing



- NOTES:**
1. PAVEMENT SHALL BE REMOVED TO THE LIMITS SHOWN PRIOR TO CONSTRUCTION. PAVEMENT SHALL BE REMOVED AND REBUILT AS INDICATED ON LAYOUT & UTILITIES PLAN, SHEET #C-2 PRIOR TO FINAL ACCEPTANCE.
 2. TOPOGRAPHIC AND BOUNDARY INFORMATION FROM A GROUND SURVEY BY TITCOMB ASSOCIATES, DATED JANUARY 19, 2005.
 3. EXISTING UTILITIES HAVE NOT BEEN DETECTED OR LOCATED BY SURVEY WEXCEPT FOR SURFACE FEATURES AS SHOWN. HOWEVER, CONTRACTOR SHALL PROCEED WITH CAUTION WHEN WORKING IN THIS AREA TO AVOID POTENTIAL UNCHARTED UTILITIES OR SERVICES.
 4. UTILITIES AND LOCATIONS SHOWN ON THIS PLAN ARE ASSUMED BASED ON PLANS OBTAINED FROM CITY OF PORTLAND AND FIELD LOCATION SURVEY BY TITCOMB ASSOC SURVEYORS, AND ARE NOT BASED ON "AS-BUILT" INFORMATION. ASSUMED LOCATIONS ARE INDICATED BASED ON LIMITED INFORMATION PROVIDED BY UTILITIES LOCATION DETECTION CONTRACTORS, AS MARKED IN THE FIELD.
 5. EXISTING ITEMS TO REMAIN SHALL NOT BE REMOVED OR DAMAGED BY CONSTRUCTION EQUIPMENT.
 6. EXISTING SIGNS SHALL BE REMOVED AND REINSTALLED. LOCATIONS TO BE DETERMINED BY ENGINEER.
 7. REFER TO DETAIL SHEETS FOR LANDSCAPE PRESERVATION AND MAINTENANCE NOTES.
 8. ITEMS INDICATED "TO BE REMOVED" (TBR) SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO COMMENCING WORK ON AFFECTED AREAS. ITEMS REMOVED FOR DISPOSAL SHALL REMAIN PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OFFSITE, UNLESS OTHERWISE NOTED TO BE RELOCATED, REUSED, PRESERVED OR TO REMAIN AS PROPERTY OF OWNER.
 9. GRANITE CURBING AND SIDEWALK BRICKS SHALL BE STOCKPILED ONSITE BY CONTRACTOR, AND SHALL REMAIN PROPERTY OF OWNER, FOR REUSE ONSITE, UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL COORDINATE REMOVALS WITH OWNER. CERTAIN PORTIONS OF THE SITE MAY BE DEVELOPED OR PHASED, DEPENDING ON MARKET CONDITIONS AND SPECIFIC SCHEDULING REQUIREMENTS TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION. THEREFORE, CERTAIN ITEMS, INDICATED HEREIN, TO BE REMOVED, MAY REMAIN IN PLACE, OR IN SERVICE TEMPORARILY, UNTIL SUCH ITEMS ARE REQUIRED TO BE REMOVED FOR SCHEDULED CONSTRUCTION.
 11. ALL ITEMS NOT INDICATED TO BE REMOVED SHALL REMAIN, UNLESS OTHERWISE INDICATED OR DIRECTED BY OWNER.
 12. EXISTING UTILITIES ABANDONED OR PARTIALLY REMOVED SHALL BE PERMANENTLY CAPPED, PLUGGED OR TERMINATED IN ACCORDANCE WITH UTILITY COMPANIES STANDARDS OR RECOMMENDATIONS.
 13. COORDINATE ALL DEMOLITION WITH OWNER AND CITY OF PORTLAND.
 14. SECURE CONSTRUCTION SITE BEFORE COMMENCING DEMOLITION.

TWO
 TITCOMB ASSOCIATES
 866 RIVERSIDE STREET
 PORTLAND, MAINE 04103
 Voice (207) 878-2332
 Fax (207) 878-2333
 Internet www.titcomb.com

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING
 Land Use Consultants, Inc.

CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

Revision	Date
ISSUED FOR PRELIMINARY REVIEW	07/19/05

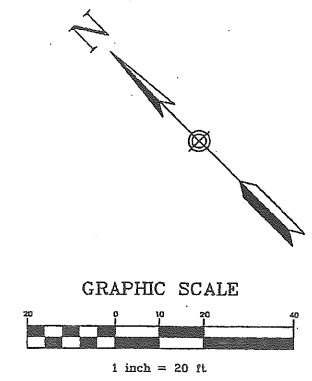
PRELIMINARY

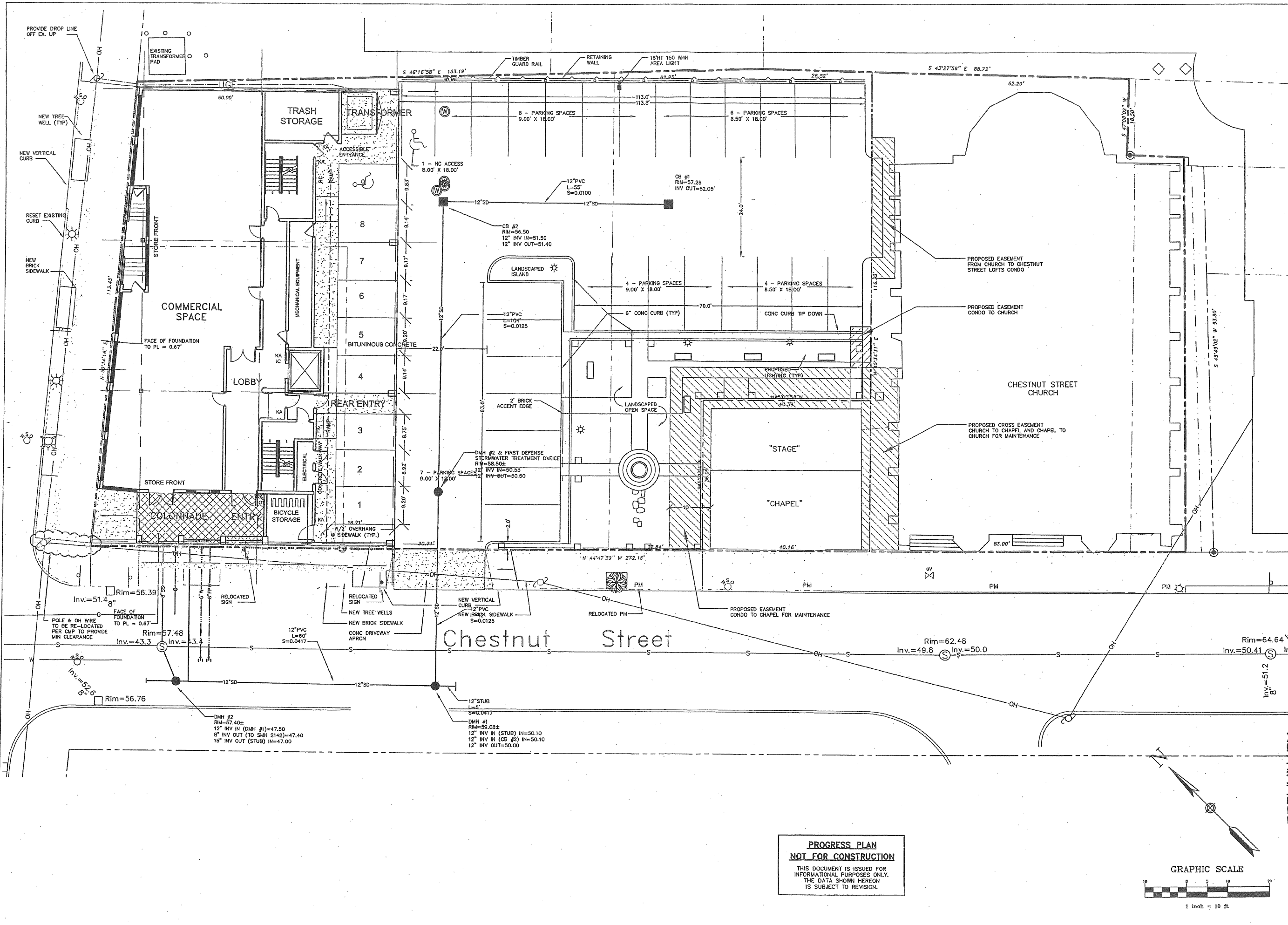
EXISTING CONDITIONS & REMOVALS

Job No. 4376
 Drawing

C-1

**PROGRESS PLAN
 NOT FOR CONSTRUCTION**
 THIS DOCUMENT IS ISSUED FOR INFORMATIONAL PURPOSES ONLY. THE DATA SHOWN HEREON IS SUBJECT TO REVISION.





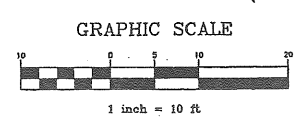
IUC
JJL ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CHESTNUT STREET LOFTS
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 ONE INDIA STREET
 PORTLAND, ME 04101

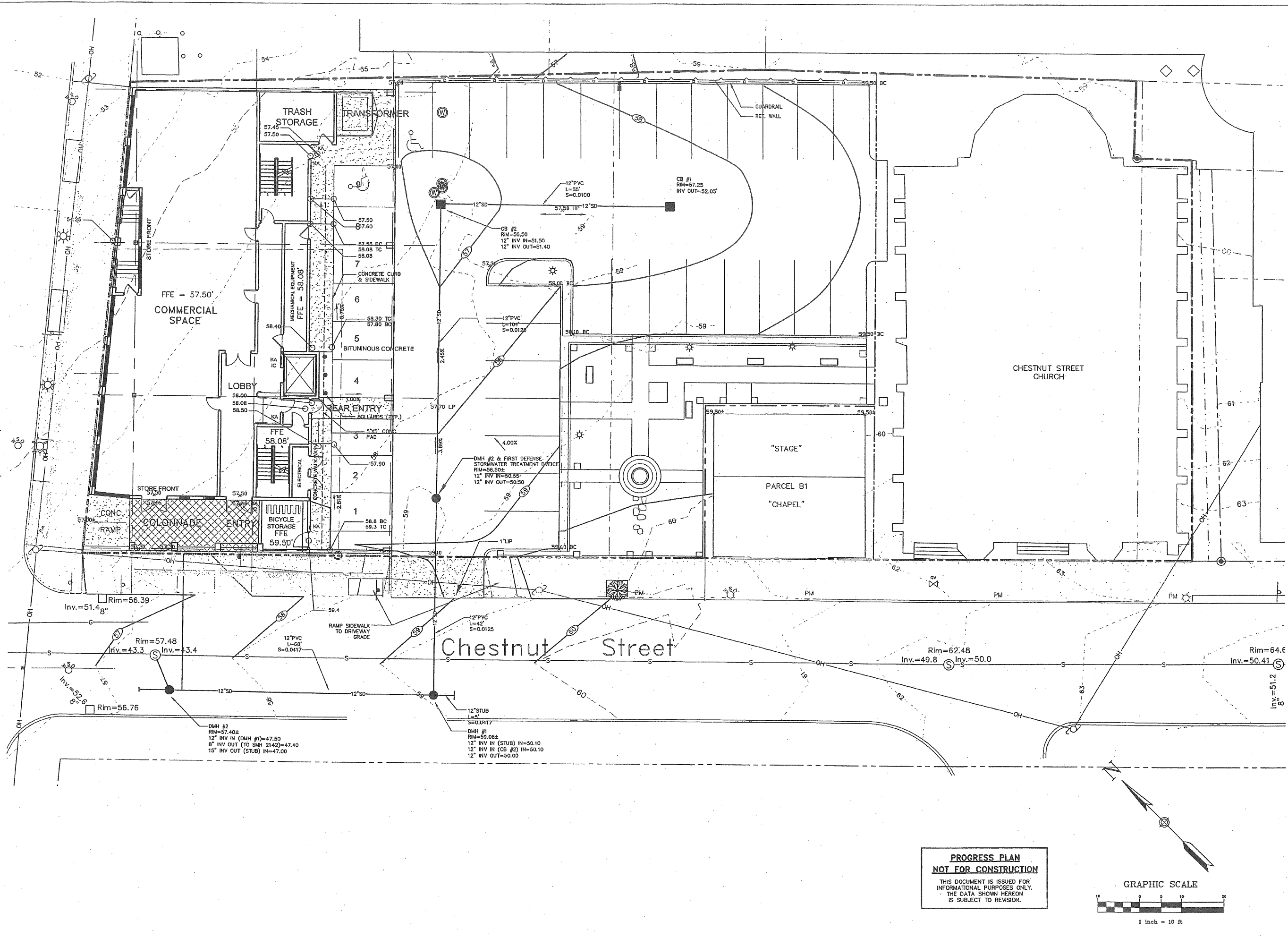
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Drawn	CAM	ISSUED FOR PRELIMINARY REVIEW	07/19/05
Checked	DAK		
Scale	1" = 10'		
Date	6-1-05		

PRELIMINARY
LAYOUT & UTILITIES
 Job No. 4376
 Drawing
 C-2

PROGRESS PLAN
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K.6



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 FAX (603) 875-0201
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CHESTNUT STREET LOFTS
 29 CHESTNUT ST, PORTLAND, ME 04101
 PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
 ONE INDIA STREET
 PORTLAND, ME 04101

Revision	Date
ISSUED FOR PRELIMINARY REVIEW	07/19/05

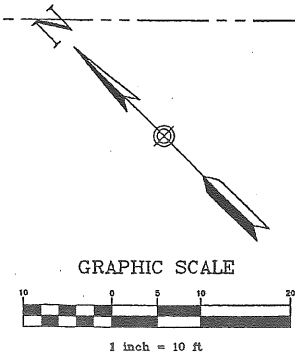
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Checked DAK	
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Date 6-1-05	

PRELIMINARY

GRADING, DRAINAGE & EROSION CONTROLS

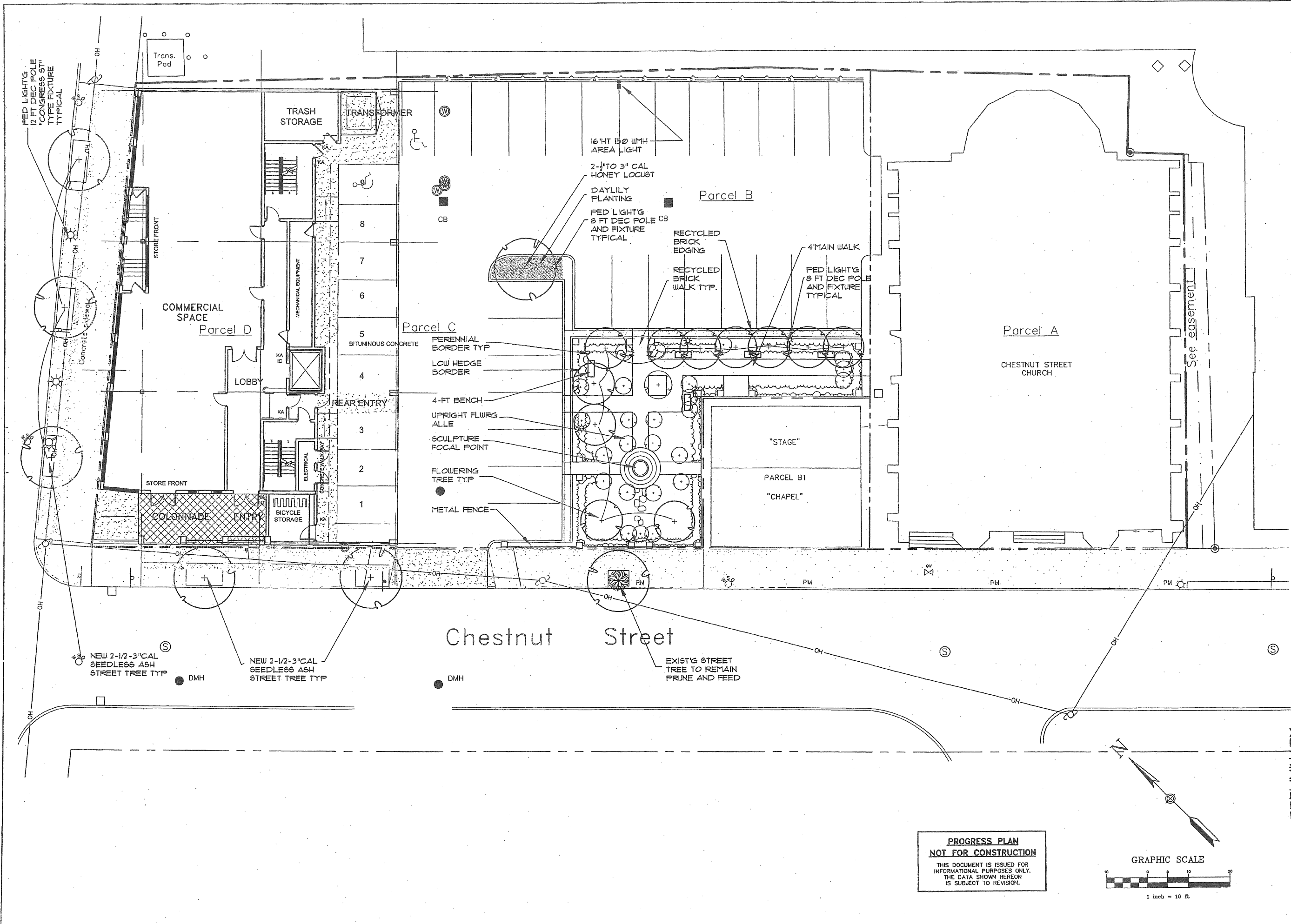
Job No. 4376
 Drawing
 C-3

PROGRESS PLAN
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J:\SSK\Proj\4376\chestrndwg\4376.dwg GRADING, 7/19/2005 3:08:02 PM

K.7



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 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 776 6141
 ARCHITECTURE PLANNING

CHESTNUT STREET LOFTS
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Revision	Date
PRELIMINARY REVIEW	7/19/05

Designed TNE	
Drawn TNE	
Checked DAK	
Scale 1" = 10'	
Date 6-1-05	

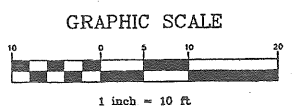
PRELIMINARY

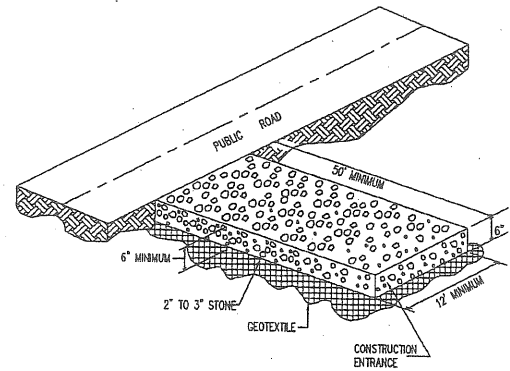
LANDSCAPING & LIGHTING

Job No. 4376
Drawing

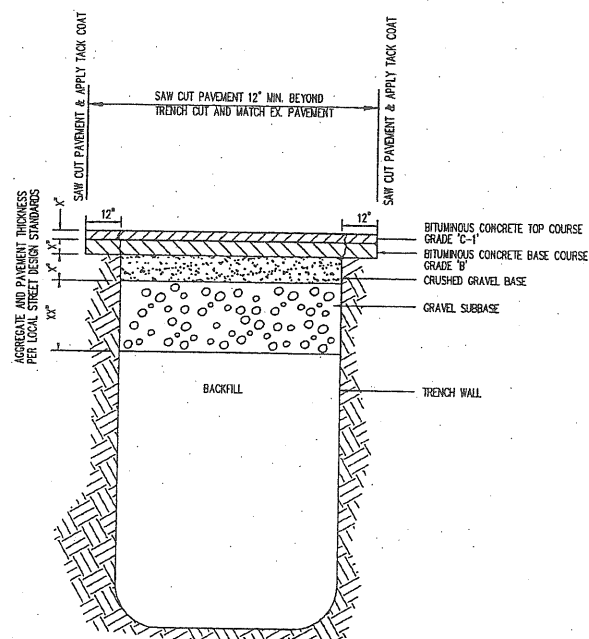
C-4

PROGRESS PLAN
NOT FOR CONSTRUCTION
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 IS SUBJECT TO REVISION.





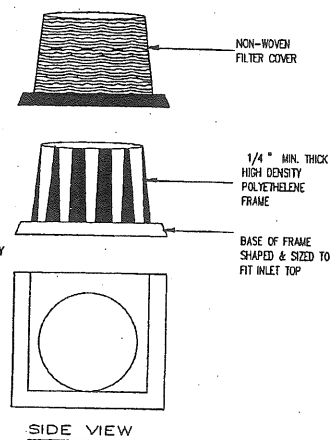
7 CONSTRUCTION ENTRANCE
NOT TO SCALE



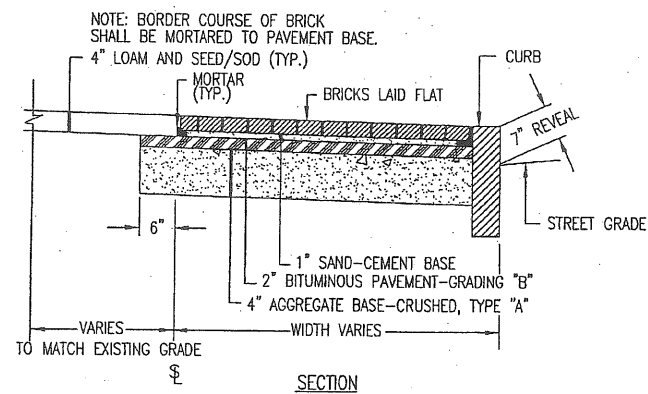
6 EXISTING STREET TRENCH REPAIR DETAIL
NOT TO SCALE

TYPICAL CONSTRUCTION SEQUENCE FOR SILT-SAVER FRAME & FILTER

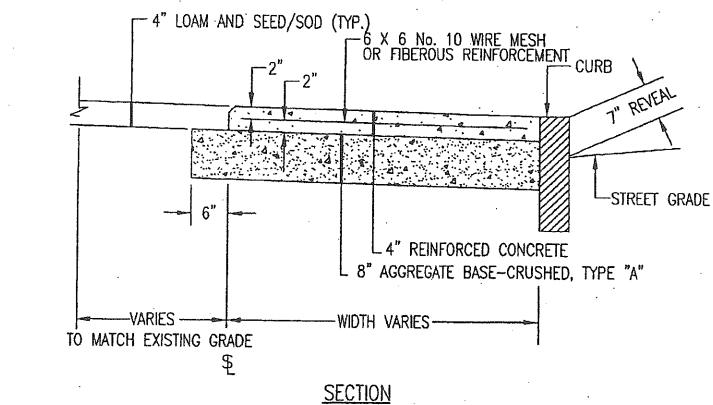
1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
3. SLIDE THE FILTER OVER THE FRAME.
4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.



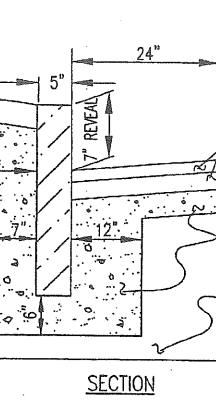
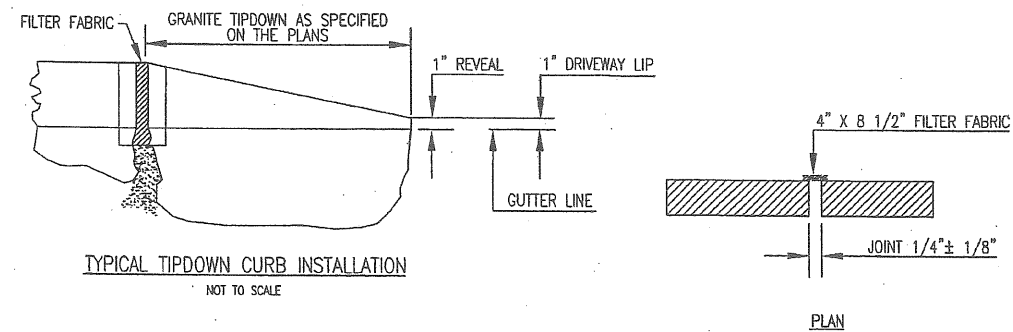
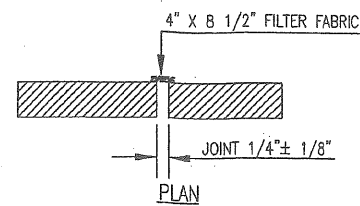
5 SILT SAVER FRAME & FILTER
NOT TO SCALE



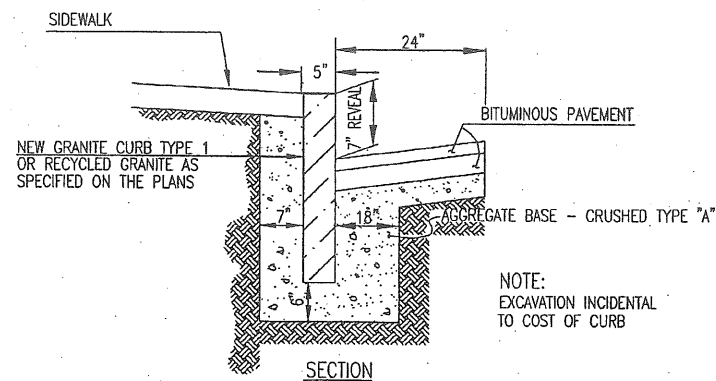
4 BRICK SIDEWALK DETAIL - NO ESPLANADE
NOT TO SCALE



3 REINFORCED CONCRETE SIDEWALK DETAIL - NO ESPLANADE
NOT TO SCALE



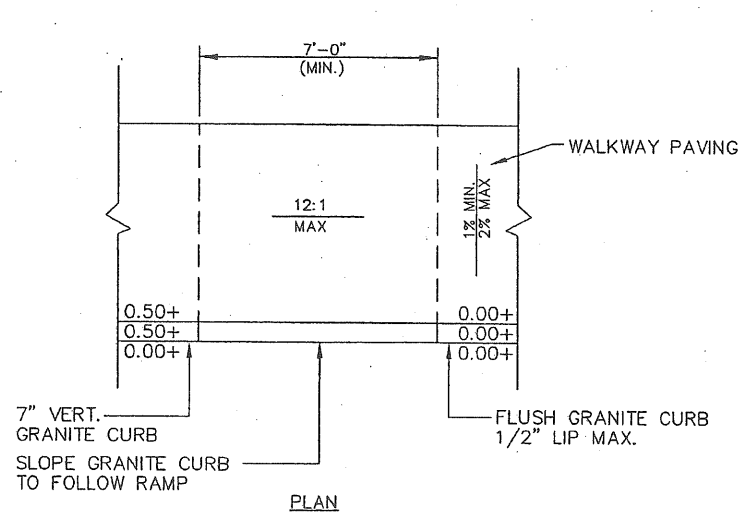
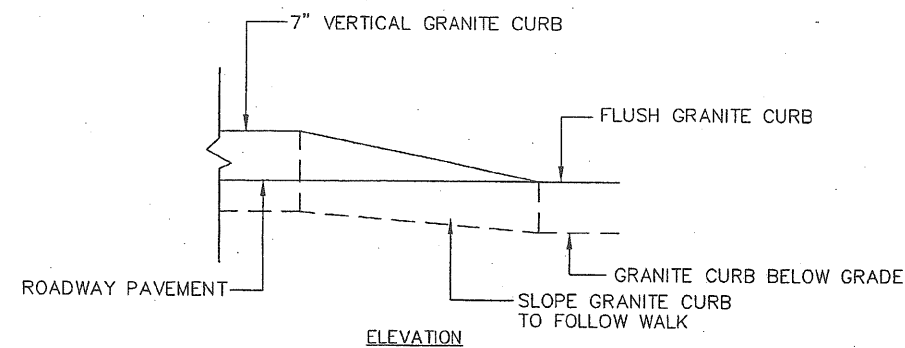
INSTALLATION OF CURB
NOT TO SCALE



CURB REPLACEMENT DETAIL
NOT TO SCALE

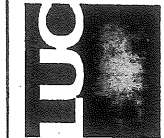
NOTE:
EXCAVATION INCIDENTAL
TO COST OF CURB

2 TYPICAL INSTALLATION OF CURB
NOT TO SCALE



1 CURB RAMP - TYPE 'B'
NOT TO SCALE

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CHESTNUT STREET LOFTS
29 CHESTNUT STREET, PORTLAND, MAINE 04101

PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
ONE INDIA STREET
PORTLAND, MAINE 04101

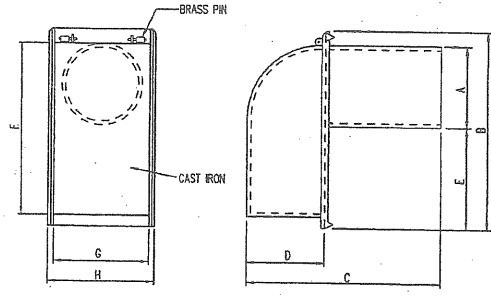
Revision	Date
ISSUED FOR PRELIMINARY REVIEW	07/19/05

Designed PLC	
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Checked PLC	
Scale NO SCALE	
Date 6-1-05	

DETAILS

Job No. 4376
Drawing

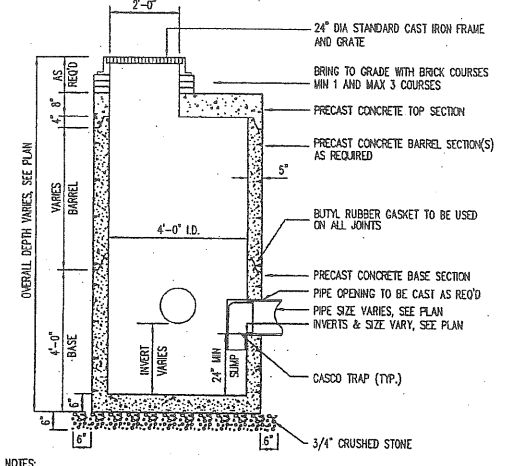
C-5



SIZE	A	B	C	D	E	F	G	H
6 IN.	5 1/2	13 3/8	13 3/8	5 3/8	5 7/8	11 5/8	6 1/2	7 1/4
8 IN.	7 1/2	15	15 3/8	5 1/2	5 3/8	13 3/4	8 3/4	9 3/8
10 IN.	9 1/2	16	16 1/4	6	4 1/2	14 1/8	11 1/2	12 3/8
12 IN.	11 1/2	17	17	8	3 1/2	17	12 1/2	13 3/8

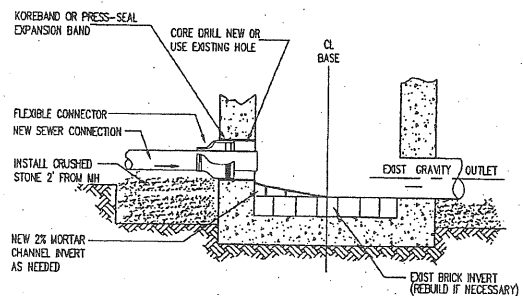
NOTE - SEE PLANS FOR SIZE AND LOCATION

13 CASCO TRAP
NOT TO SCALE

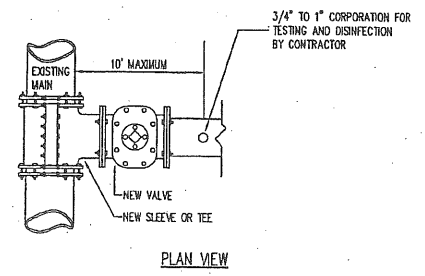


NOTES:
1. CONCRETE 4000 PSI AFTER 28 DAYS.
2. REINFORCING #2 @ 12\"/>

10 PRECAST CONCRETE CATCH BASIN-FLAT TOP
NOT TO SCALE

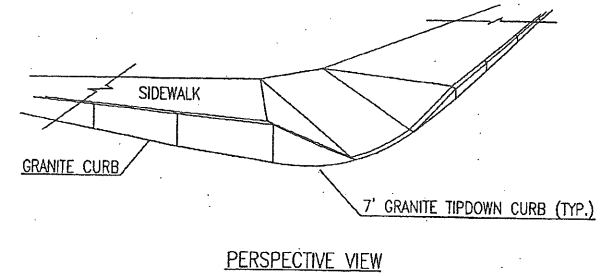
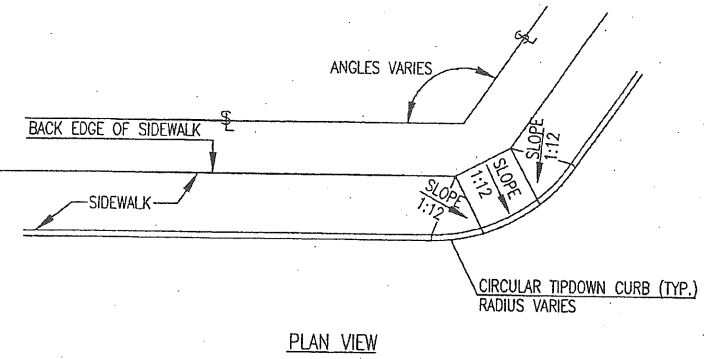


12 FLEXIBLE CONNECTION TO EXISTING MANHOLE
NOT TO SCALE

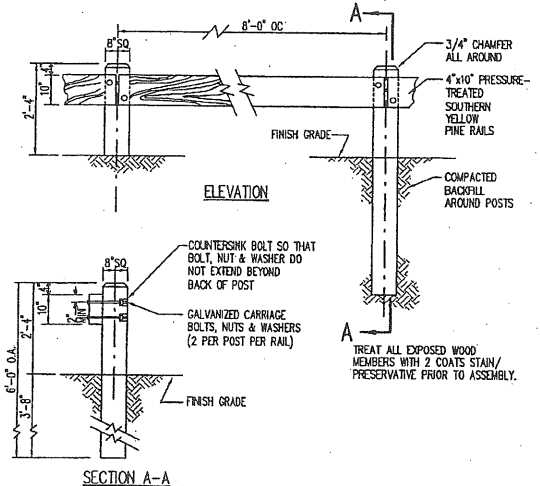


PROCEDURES:
1. NEW VALVE TO REMAIN SHUT AND ONLY OPERATED BY DISTRICT FOR FLUSHING, TESTING, DISINFECTING, ETC.
2. THE TESTING CORPORATION LOCATION MUST BE ACCESSIBLE BY:
A. LEAVING THE EXCAVATION OPEN DURING TESTING - DISINFECTING PERIOD, OR BY:
B. INSTALLING A "JUMPER LINE" TO THE GROUND SURFACE WITH THE CORPORATION BEING AN ANGLE VALVE IN A VALVE BOX, OR BY USING A SERVICE BOX AND ROD. AFTER COMPLETION OF THE HYDROSTATIC TEST AND THE DISINFECTING PROCEDURE:
(1) THE ANGLE VALVE IS SHUT,
(2) THE "JUMPER LINE" IS CUT OFF BELOW THE GROUND, AND
(3) THE BOX IS PULLED.

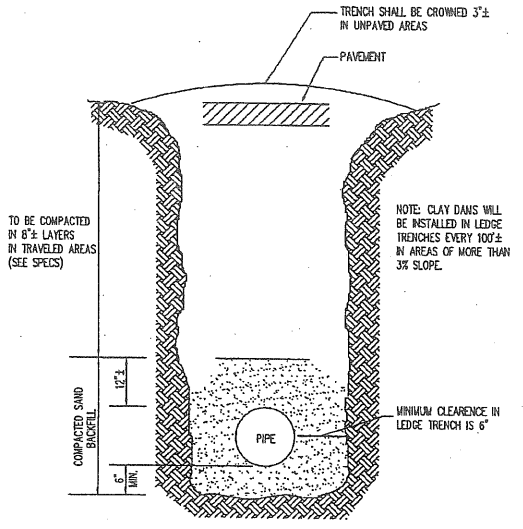
9 NEW WATER MAIN CONNECTION TO EXISTING MAIN
NOT TO SCALE



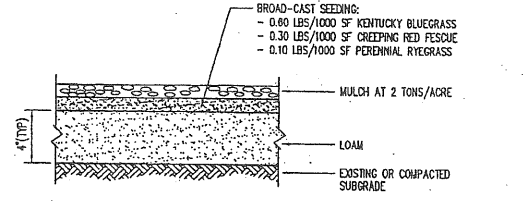
11 PEDESTRIAN RAMP @ STREET CORNER
NOT TO SCALE



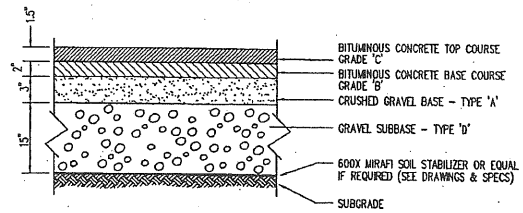
8 TIMBER GUARDRAIL
NOT TO SCALE



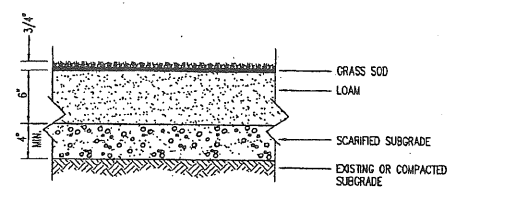
7 SECTION THRU LEDGE TRENCH
NOT TO SCALE



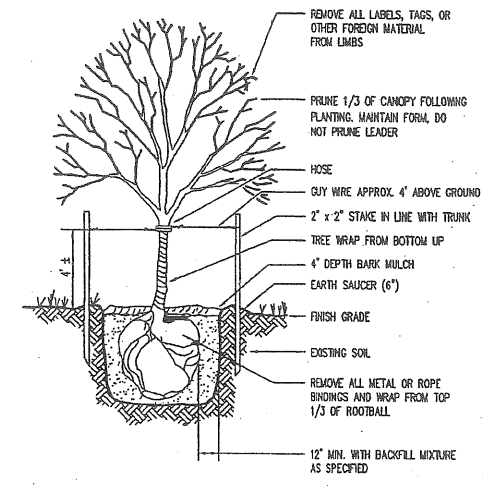
6 LOAM & SEED
NOT TO SCALE



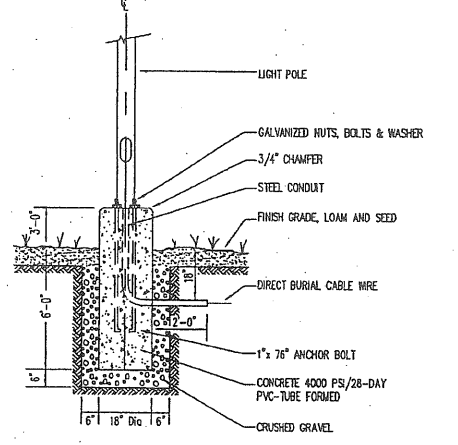
5 NEW BITUMINOUS CONCRETE DRIVE & PARKING
NOT TO SCALE



4 GRASS SOD
NOT TO SCALE

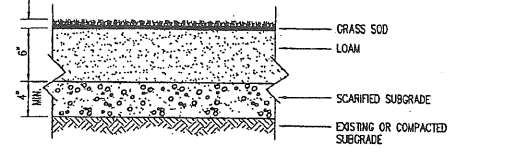


3 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



2 CONCRETE LIGHT POLE BASE
NOT TO SCALE

NOTES:
1. SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
2. COORDINATE WITH ELECTRICAL SPECIFICATIONS.
3. GALV-CALVANIZE ALL CUTS.
4. FORM WITH FIBERGLASS OR PVC SMOOTH-FACED FORMS.



1 PAVEMENT SAW-CUT
NOT TO SCALE

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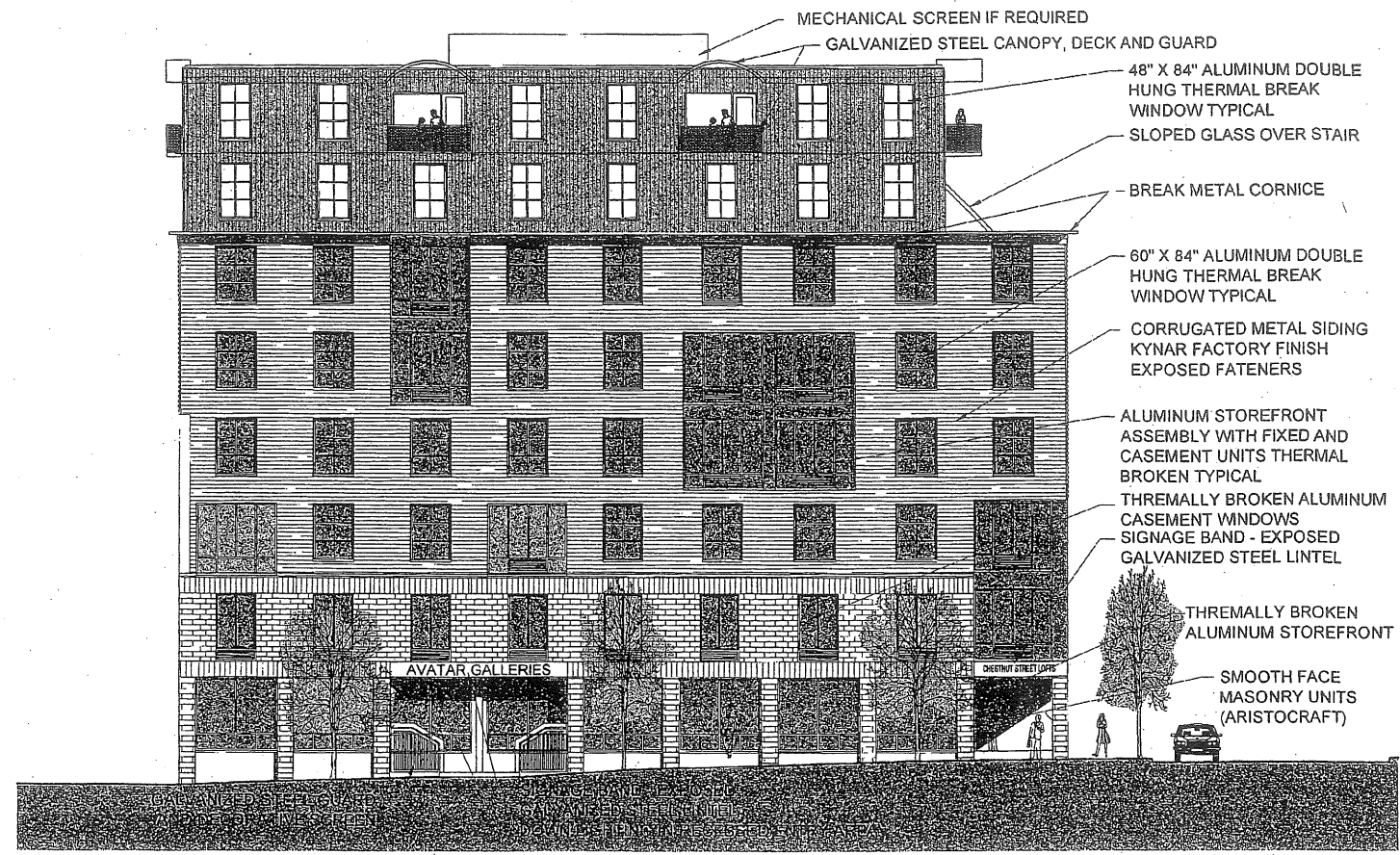
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CHESTNUT STREET LOFTS
29 CHESTNUT STREET, PORTLAND, MAINE 04101
PREPARED FOR:
CHESTNUT STREET LOFTS, LLC
ONE INDIA STREET
PORTLAND, MAINE 04101

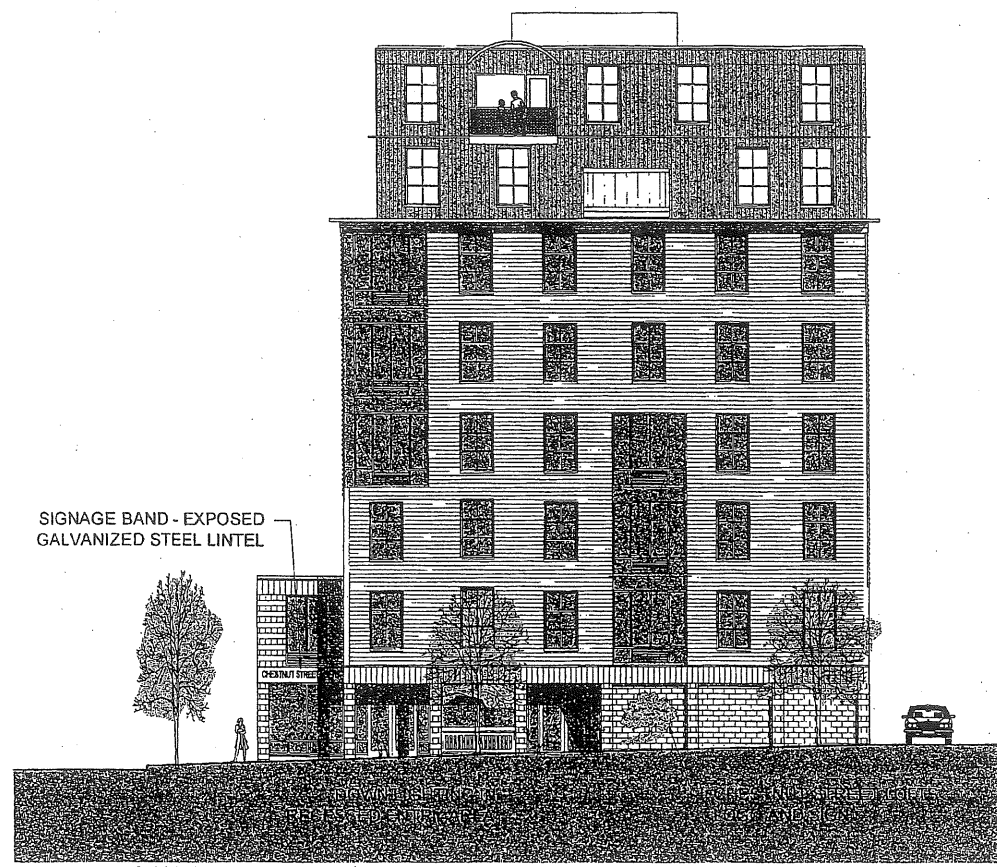
Revision	Date
ISSUED FOR PRELIMINARY REVIEW	07/19/05

Designed	FLC
Drawn	CAT
Checked	FLC
Scale	NO SCALE
Date	6-1-05

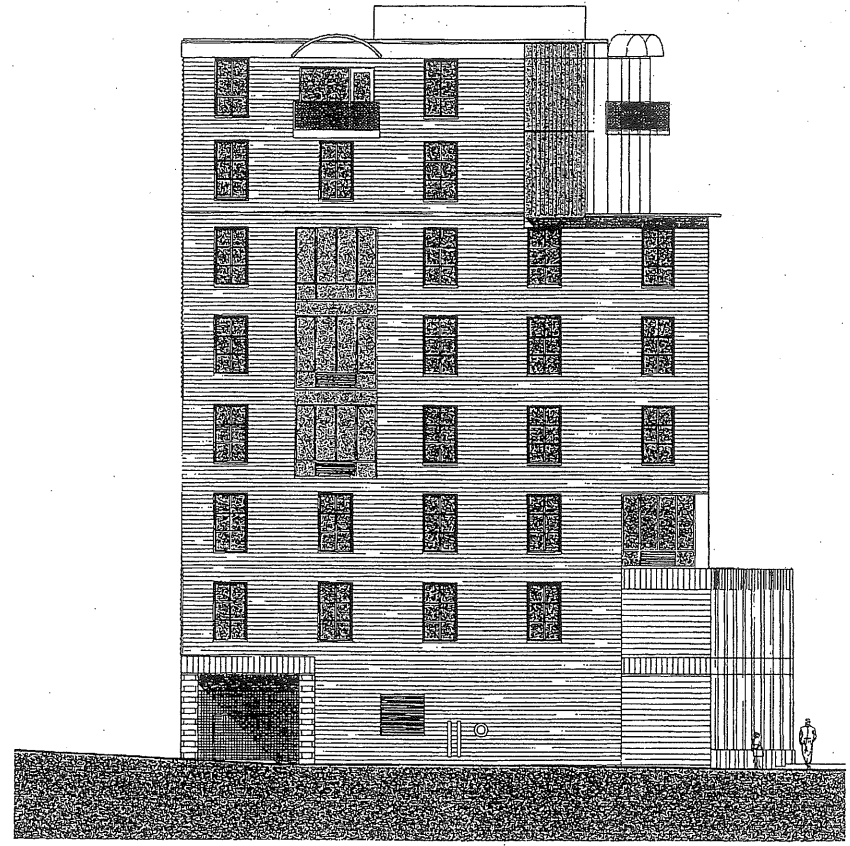
K: 11



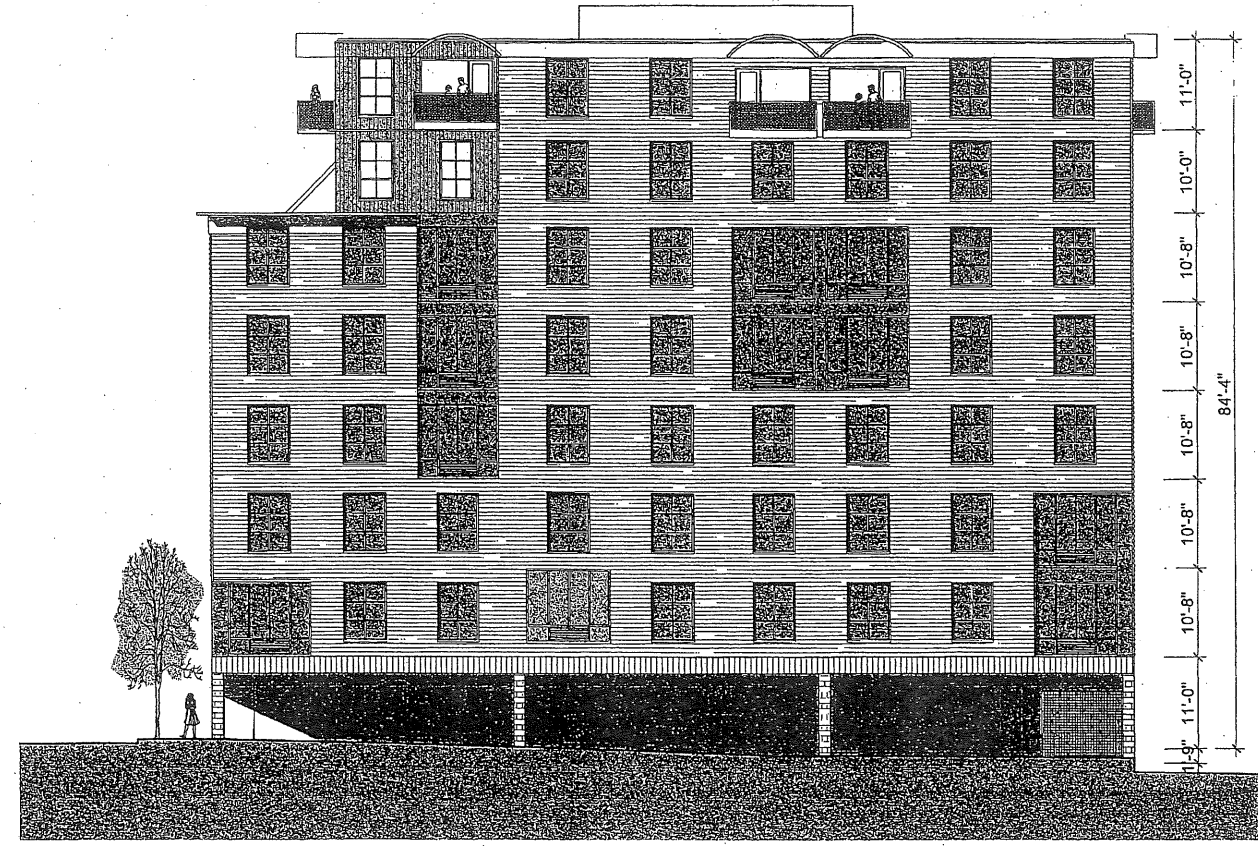
WEST (CUMBERLAND AVENUE) ELEVATION



SOUTH (CHESTNUT STREET) ELEVATION



NORTH ELEVATION



EAST ELEVATION

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SCHEMATIC ELEVATIONS
SCALE: 3/32"=1'-0"

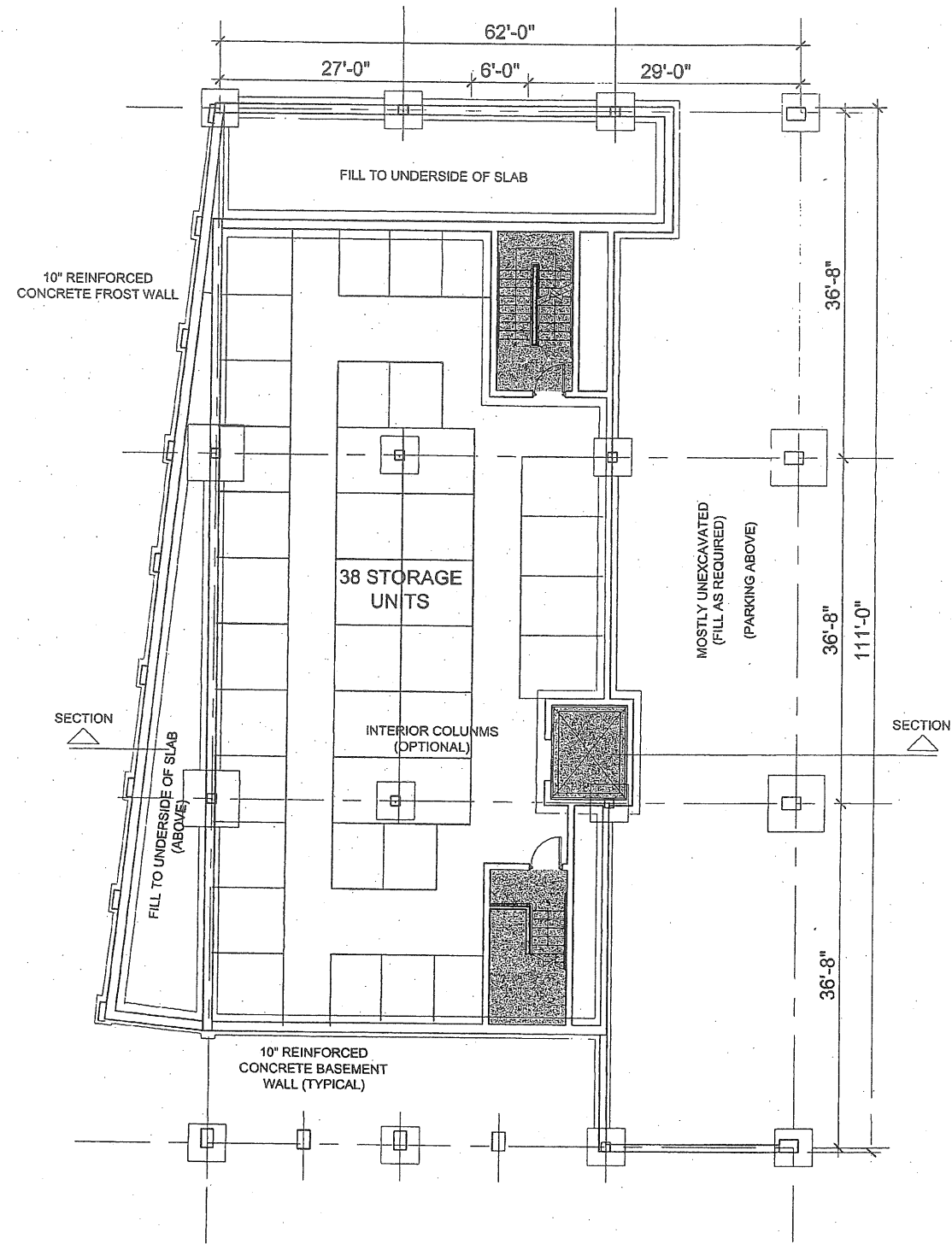


CHESTNUT STREET LOFTS

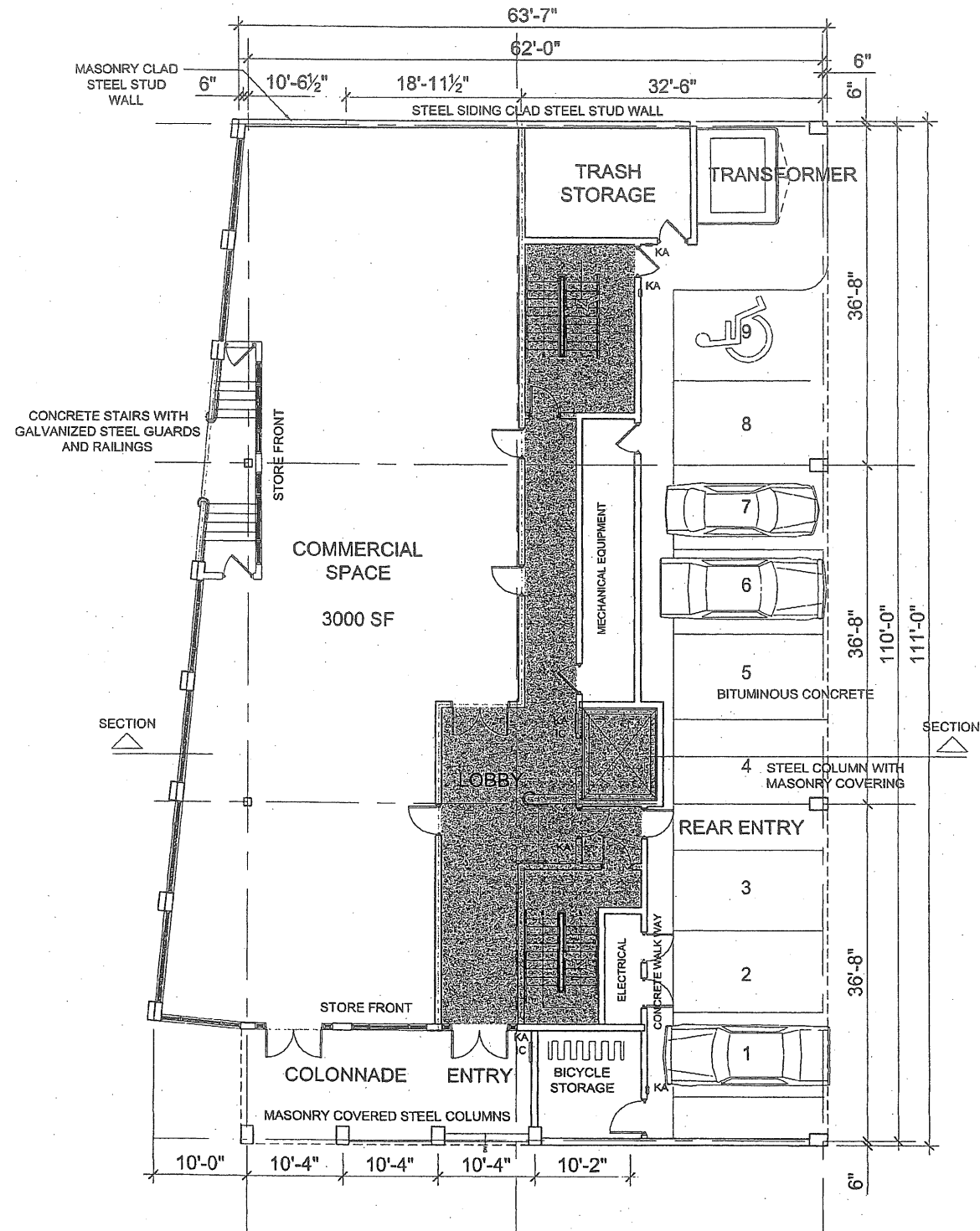
HOUSING AND SURFACE PARKING, CHAPEL REMAINS

JULY 19, 2005

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET PORTLAND, MAINE



BASEMENT PLAN

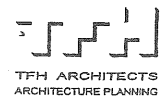


FIRST FLOOR PLAN

KA = KEY ACCESS
IC = INTERCOM

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SCHEMATIC FLOOR PLANS
SCALE: 1/8"=1'-0"



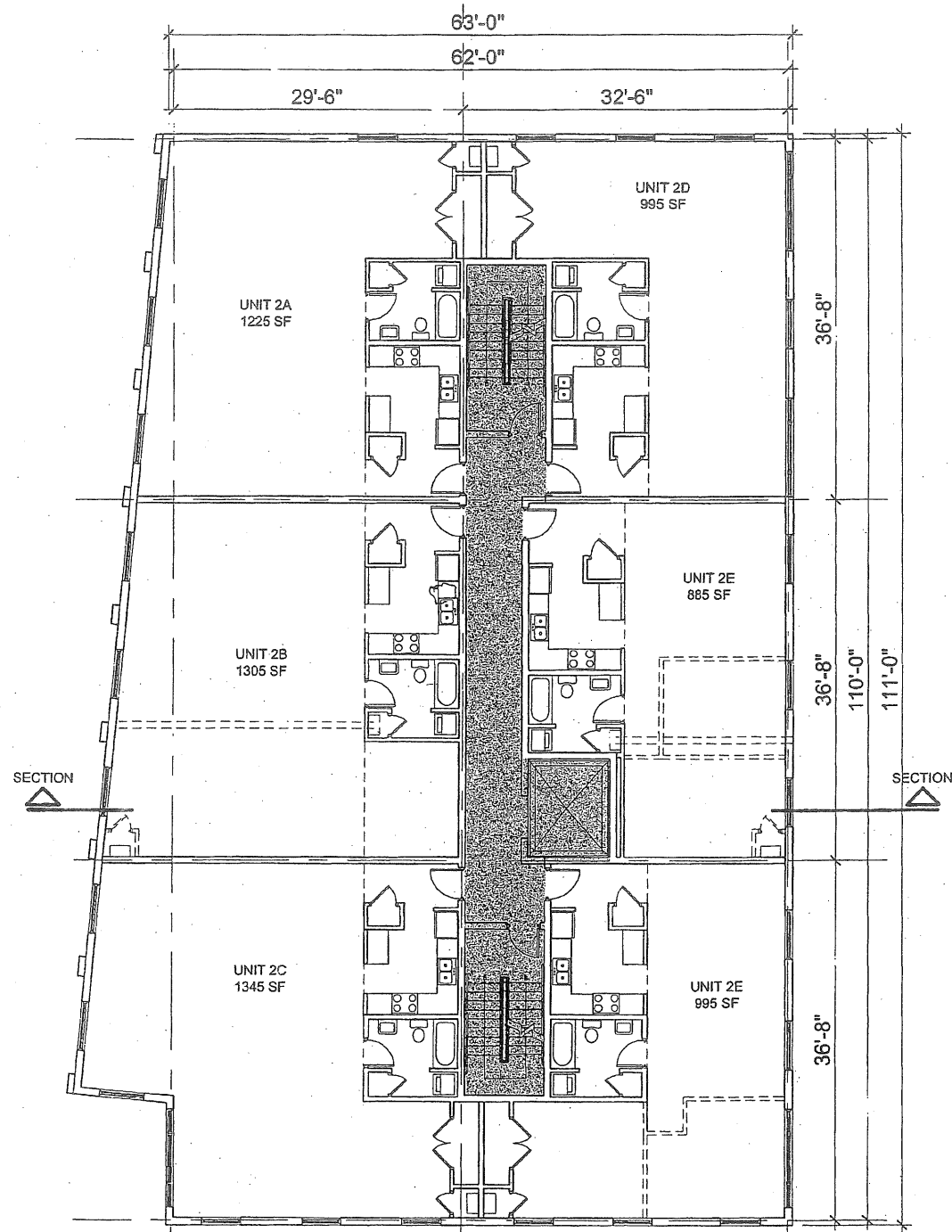
CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS

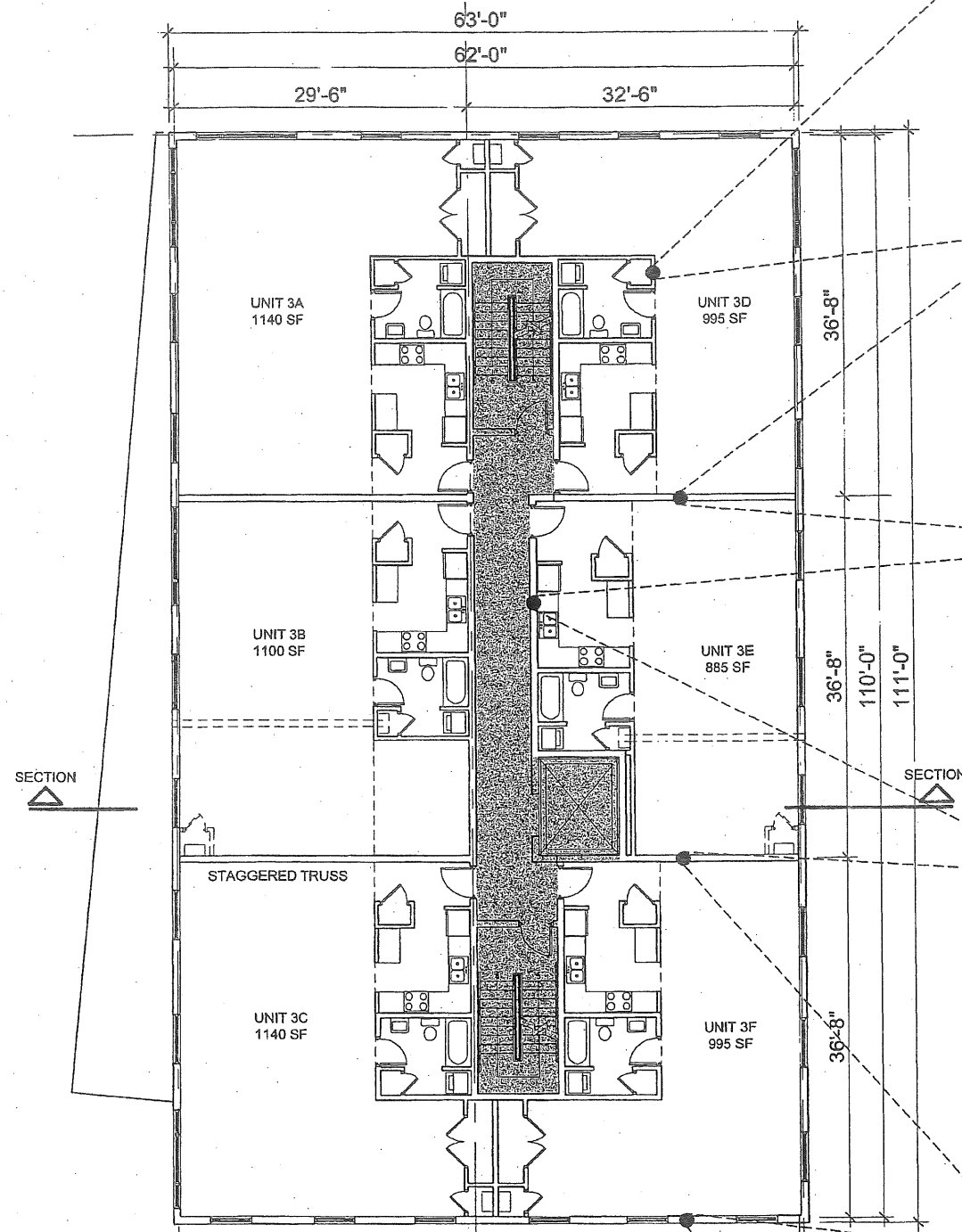
JULY 19, 2005

CHESTNUT STREET CHURCH PROPERTY
URBAN REVITALIZATION PROJECT
BY CHESTNUT STREET LLC.
CHESTNUT STREET PORTLAND, MAINE

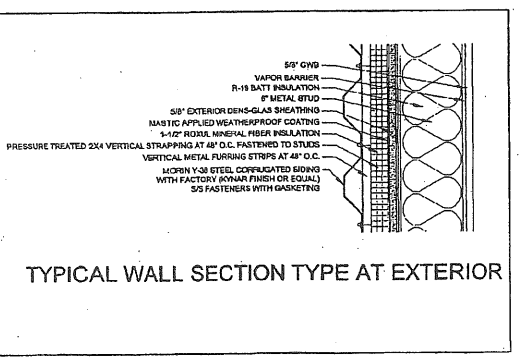
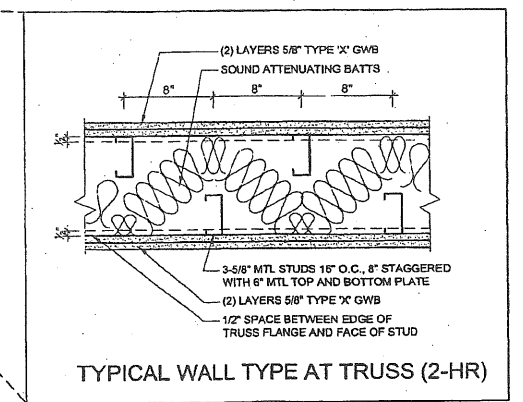
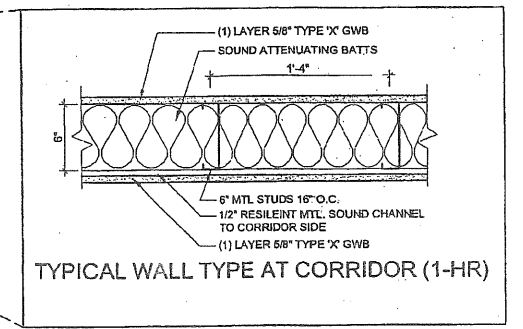
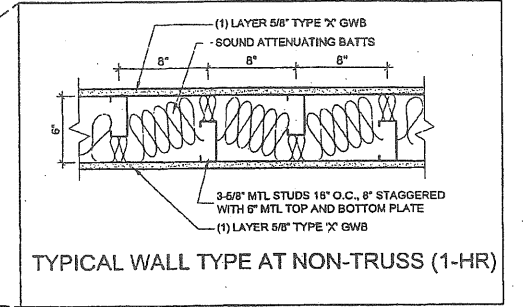
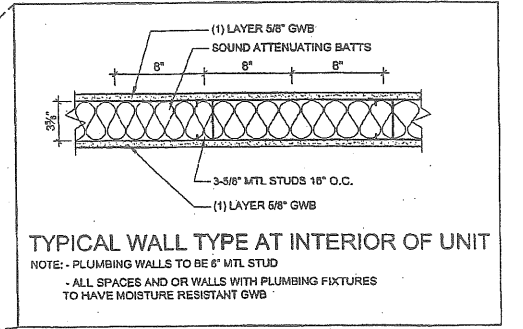
K. 13



SECOND FLOOR PLAN



THIRD - FIFTH FLOOR PLAN TYPICAL



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SCHEMATIC FLOOR PLANS
SCALE: 1/8"=1'-0"



CHESTNUT STREET LOFTS

HOUSING AND SURFACE PARKING, CHAPEL REMAINS

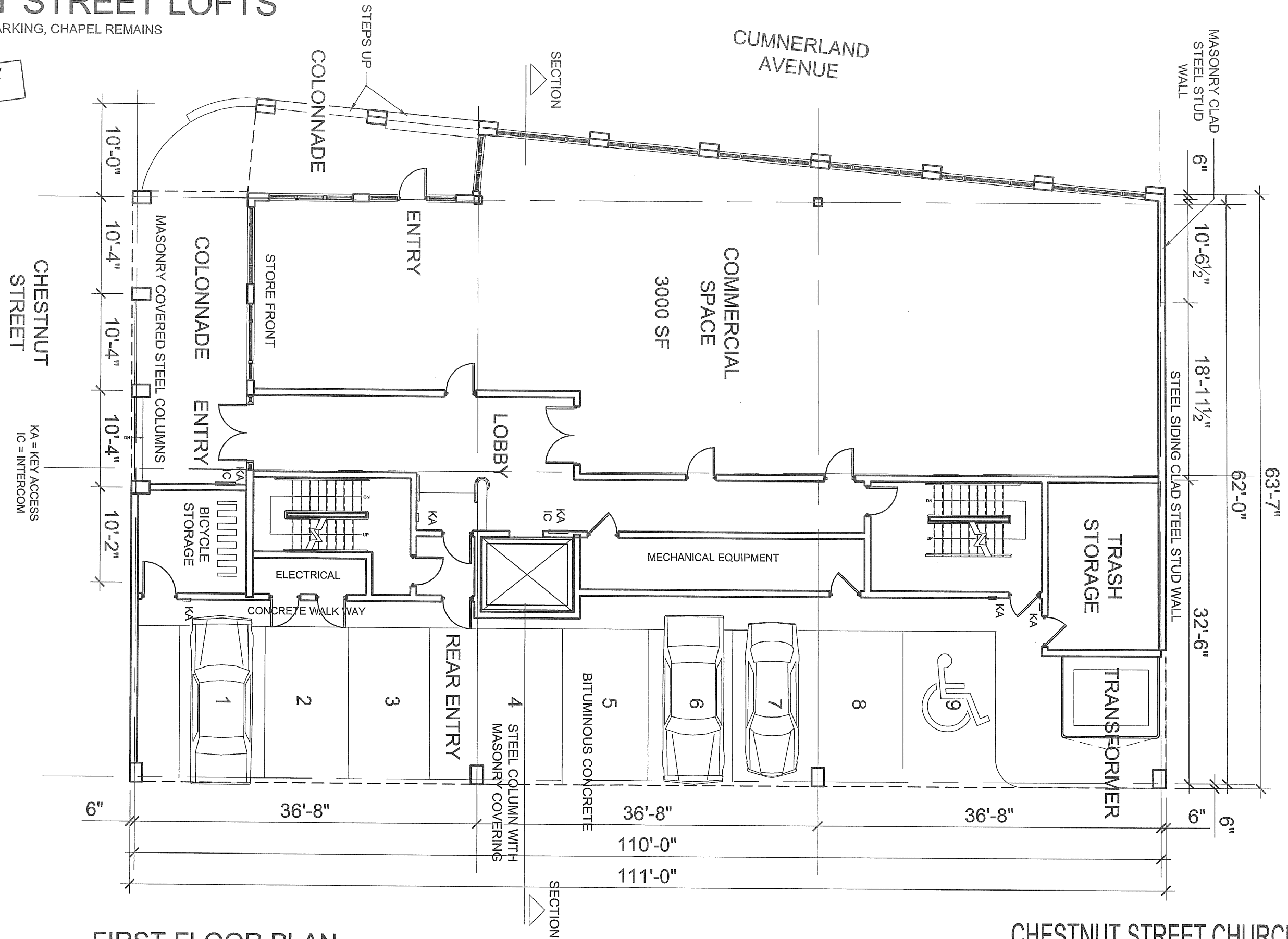
JULY 19, 2005

CHESTNUT STREET CHURCH PROPERTY
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BY CHESTNUT STREET LLC.
CHESTNUT STREET PORTLAND, MAINE

CHESTNUT STREET LOFTS

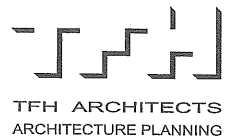
HOUSING AND SURFACE PARKING, CHAPEL REMAINS
AUGUST 3, 2005

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FIRST FLOOR PLAN

SCALE: 3/32"=1'-0"



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