

27-B-8  
21 Elm St.

2006-0193

Addition  
Greater Portland Transit

~~Re-Scall~~  
~~Scall~~

  
~~Scall~~

on Spreadsheet

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

2006-0193  
Application I. D. Number  
  
10/3/2006  
Application Date  
  
Greater Portland Transit  
Project Name/Description

Greater Portland Transit  
Applicant  
114 Valley Street, Portland, ME 04102  
Applicant's Mailing Address

Consultant/Agent  
Applicant Ph: (207) 774-0351 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

21 - 21 Elm St, Portland, Maine  
Address of Proposed Site  
027 B008001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units 23,830 Acreage of Site \_\_\_\_\_ Zoning B3

**Check Review Required:**

- |                                                             |                                                      |                                                |                                                  |
|-------------------------------------------------------------|------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |                                                | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date \_\_\_\_\_

**Planning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 OK to Issue Building Permit \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	





#2006-0193  
21 Elm St.  
miner SP  
Sent to Immediate  
abutter



Maguire Group Inc.  
Architects/Engineers/Planners  
33 Commercial Street, Suite 1  
Foxborough, MA 02035  
Telephone: 508-543-1700  
Fax: 508-543-5157

September 14, 2006



Ms. Sarah Greene Hopkins  
Planning & Development Department  
Planning Division  
389 Congress Street  
Portland, ME 04101

**Re: Site Plan Review, Greater Portland Transit District  
Elm Street Station, 21 Elm Street, Portland, ME  
MGI No. 17859**

Dear Ms. Hopkins:

Enclosed please find copies of full size site plans, 11x17 plan copies and copies of this application. A stamped existing survey will be arriving via separate cover from Four Points Associates.

The project involves renovating and adding to the existing Metro station located at the Elm Street Parking Garage (21 Elm Street). This project was designed to have a base bid along with three options and one alternate and are described as follows:

- a. The *base bid* was to renovate the existing space and add to it within the existing footprint of the garage, which totals 1170 s.f.
- b. *Option 1* includes the Base bid (1170 s.f.) along with repaving of the plaza.
- c. *Option 2* includes the Base bid (1170 s.f.) along with an expansion into the plaza of 680 s.f., for a total project of 1850 s.f.
- d. *Option 3* includes the Base bid (1170 s.f.) along with an expansion into the plaza of 680 s.f., for a total project of 1850 s.f. Also included with this option is the repaving of the plaza.
- e. *Alternate 1* includes the addition of awnings to the Elm Street façade.

Bids for the project have been received and Metro is evaluating which of the options may be chosen.

Ms. Sarah Greene Hopkins  
September 14, 2006  
Page 2

If I can be of any further help to you please call me at the number above or on my mobile phone, which is 401-447-7204.



Very truly yours,

**MAGUIRE GROUP INC.**

A handwritten signature in black ink, appearing to read "Steven G. Phillips".

Steven G. Phillips, AIA  
Senior Project Manager

cc: Peter Cavanaugh – Metro  
Paul Bradbury – Portland International Jetport

Enclosures



# City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 21 Elm Street		Zone: B3	
Existing Building Size: 112,000	sq. ft. 6 (Flrs)	Proposed Building Size: 1850	sq. ft. Max.
Existing Acreage of Site: 23,830	sq. ft.	Proposed Acreage of Site: Same	sq. ft.
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart#      Block#      Lot# 27              B              8		<b>Property owner's mailing address:</b> City of Portland 389 Congress Street Portland, ME 04101	<b>Telephone #:</b>  207-879-0300
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b> Steve Phillips, Maguire Group Inc. 33 Commercial Street, Suite 1, Foxborough, MA 03035 508-543-1700		<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b> Mr. Peter Cavanaugh 207-774-0351	<b>Project name:</b> Greater Portland Transit District - Downtown Portland Transportation Center

Fee For Service Deposit (all applications)       (\$200.00)

**Proposed Development (check all that apply)**

New Building     Building Addition     Change of Use     Residential     Office     Retail  
 Manufacturing     Warehouse/Distribution     Parking lot  
 Subdivision (\$500.00) + amount of lots \_\_\_\_\_ (\$25.00 per lot) \$ \_\_\_\_\_ + major site plan fee if applicable  
 Site Location of Development (\$3,000.00)  
 (except for residential projects which shall be \$200.00 per lot \_\_\_\_\_ )  
 Traffic Movement (\$1,000.00)     Storm water Quality (\$250.00)  
 Section 14-403 Review (\$400.00 + \$25.00 per lot)  
 Other \_\_\_\_\_

**Major Development (more than 10,000 sq. ft.)**

Under 50,000 sq. ft. (\$500.00)  
 50,000 - 100,000 sq. ft. (\$1,000.00)  
 Parking Lots over 100 spaces (\$1,000.00)  
 100,000 - 200,000 sq. ft. (\$2,000.00)  
 200,000 - 300,000 sq. ft. (\$3,000.00)  
 Over 300,000 sq. ft. (\$5,000.00)  
 After-the-fact Review (\$1,000.00 + applicable application fee)

**Minor Site Plan Review**

Less than 10,000 sq. ft. (\$400.00)  
 After-the-fact Review (\$1,000.00 + applicable application fee)

**Plan Amendments**

Planning Staff Review (\$250.00)  
 Planning Board Review (\$500.00)

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Mr. Peter Cavanaugh  
Director of Operations  
Greater Portland Transit District  
114 Valley Street  
Portland, ME 04102  
207-774-0351

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: [portlandmaine.gov](http://portlandmaine.gov)

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

9.14.06

**This application is for site review ONLY; a building Permit application and associated fees will be required prior to construction.**





Maguire Group Inc.  
 Architects/Engineers/Planners  
 33 Commercial Street, Suite 1  
 Foxborough, Massachusetts 02035  
 Telephone: 508/543/1700  
 Fax: 508/543-5157  
 Corporate Fax: 508/543-7758

# Letter of Transmittal

TO: *Barbara Barhydt*  
*Planning Dept.*  
 cc: *John Peverada*  
*Parking Div.*

DATE	<i>11/22/06</i>	JOB NO.	<i>17859</i>
ATTENTION	<i>Barbara Barhydt.</i>		
RE:	<i>Portland Metro/ Elm. St. Garage</i>		

WE ARE SENDING YOU

- |                                         |                                                                                                                                         |
|-----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Attached       | <input type="checkbox"/> Under separate cover via _____ the following items:                                                            |
| <input type="checkbox"/> Shop drawings  | <input type="checkbox"/> Prints <input type="checkbox"/> Plans <input type="checkbox"/> Samples <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of letter | <input type="checkbox"/> Change order <input type="checkbox"/> _____                                                                    |

COPIES	DATE	NO.	DESCRIPTION
<i>1</i>	<i>11/22</i>	<i>SKA-1</i>	<i>Site Plan</i>
<i>1</i>	<i>11/22</i>	<i>SKA-2</i>	<i>Ramp Plan</i>

THESE ARE TRANSMITTED as checked below:

- |                                                  |                                                           |                                                             |
|--------------------------------------------------|-----------------------------------------------------------|-------------------------------------------------------------|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted            | <input type="checkbox"/> Resubmit ___ copies for approval   |
| <input type="checkbox"/> For your use            | <input type="checkbox"/> Approved as noted                | <input type="checkbox"/> Submit ___ copies for distribution |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Returned for corrections         | <input type="checkbox"/> Return ___ corrected prints        |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> _____                            |                                                             |
| <input type="checkbox"/> FOR BIDS DUE _____      | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |                                                             |

Remarks:

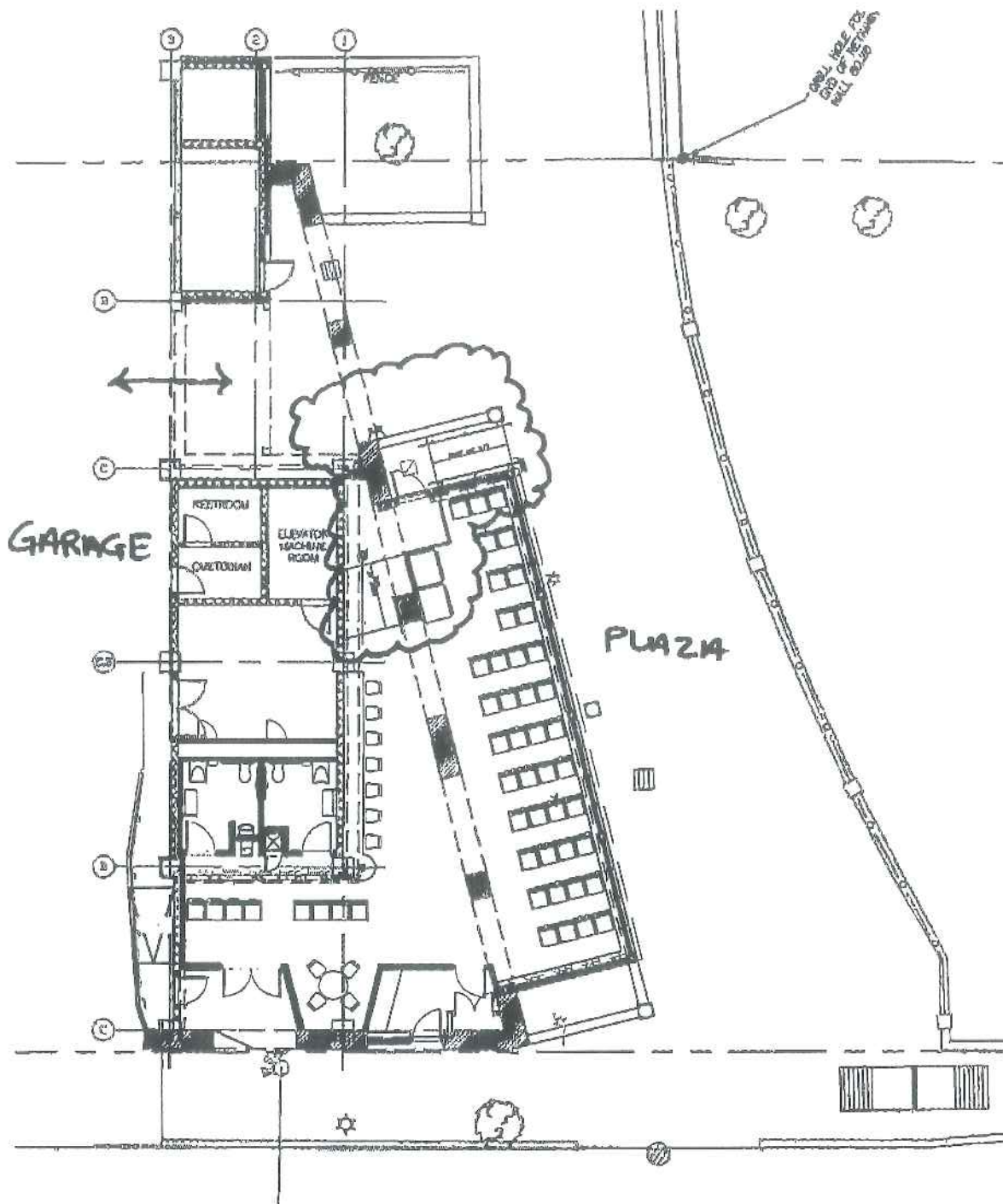
*Dear Barbara,*  
*This is the proposed change to the exterior ramp, which reduces it's size. Please call me Monday to review. Thank you,*  
*Happy Thanksgiving!*  
*Steven Lopin, AIA*

COPY TO \_\_\_\_\_

SIGNED \_\_\_\_\_

*If enclosures are not as noted, kindly notify us at once.*





# SITE PLAN

1/16" = 1'-0"



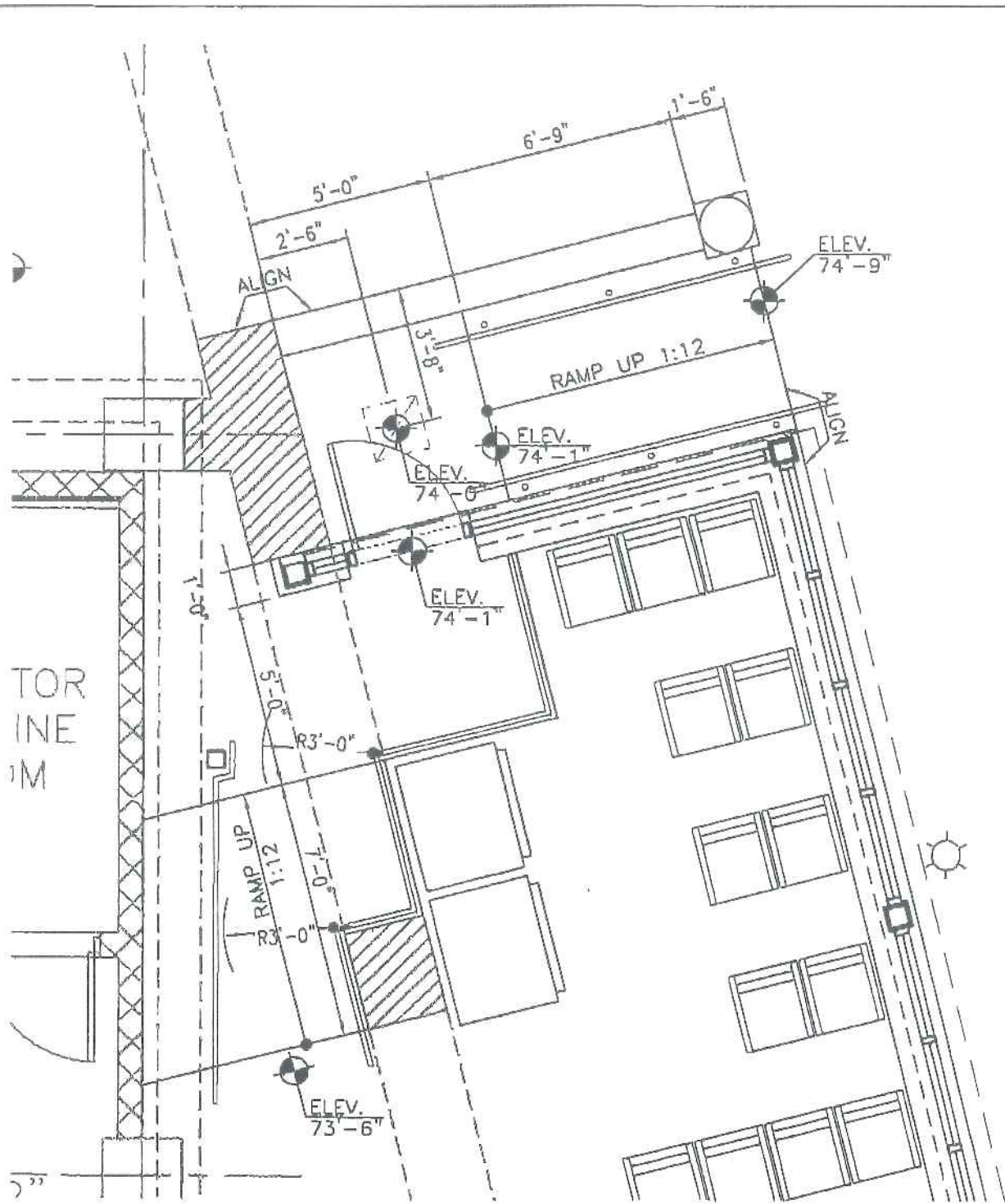
**Maguire Group Inc.**  
 Architects/Engineers/Planners  
 33 Commercial Street, Suite #1  
 Foxborough, Massachusetts 01935

**GREATER PORTLAND TRANSIT DISTRICT**  
**ELM STREET GARAGE LOBBY**

**FLOOR PLAN**  
**GARAGE LEVEL 1**


REF: -  
 DRAWN BY: SL  
 CHK'D BY:  
 DATE: 11/22/06

PROJ. NO.  
 DWG. NO.  
**SKA-1**  
 SHEET OF



# RAMP PLAN

1/4" = 1'-0"

 <p><b>Maguire Group Inc.</b> Architects / Engineers / Planners 33 Commercial Street, Suite #1 Fenborough, Massachusetts 02035</p>	GREATER PORTLAND TRANSIT DISTRICT		REF: -	PROJ. NO.
	ELM STREET GARAGE LOBBY		DRAWN BY: SL	DWG. NO.
	FLOOR PLAN GARAGE LEVEL 1		CHK'D BY:	<b>SKA-2</b>
			DATE: 11/22/06	SHEET OF





# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning and Development Department**  
Lee D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director

November 8, 2006

Mr. Peter Cavanaugh  
METRO Director of Operations  
Greater Portland Transit District  
114 Valley St  
Portland, ME 04102

RE: 21 Elm Street, Addition to Elm Street Garage  
ID #2006-0193, CBL #027 B008001

Dear Mr. Cavanaugh:

On November 8, 2006, the Portland Planning Authority granted minor site plan approval for an addition to the existing Elm Street Garage in the vicinity of #21 Elm Street, with the following condition:

1. Portland Planning Authority shall review the details for the repaving of the plaza.

Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files with seven sets of final plans.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (\*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

*Four Points Associates, Inc.*

*Land Survey Consultants*

[fourpoints@fairpoint.net](mailto:fourpoints@fairpoint.net)

102 Deer Run

Greene, ME. 04236

Ph. 207-946-5710

September 18, 2006

Job #06022

Sarah Hopkins  
Planning Department, City of Portland  
389 Congress Street  
Portland, Maine 04101

**Existing Conditions Survey for Elm Street Depot**

Dear Ms. Hopkins:

Attached are 9 copies of the Existing Conditions Plan we completed for Maguire Group earlier this summer. We have spoken with Al from your office and explained that no final boundary survey has been completed. The boundary would have to include a survey for the entire block bounded by Congress, Elm and Chestnut Streets as well as Cumberland Avenue. We would also have to coordinate our efforts with the City's Survey staff in order to correctly depict the sidelines of the streets prior to determining interior lines of properties within the block.

Since the proposed addition affects such a small area of the total parcel owned by the City of Portland within the block, we agreed a waiver for a boundary survey would be requested. The plan depicts approximate boundaries so the location of proposed improvements relative to the boundaries can be made. This plan is intended to be part of the submission by Maguire Group.

Should you have any questions regarding the survey please feel free to contact us. Thank you for your consideration.

Sincerely,

*Four Points Associates, Inc.*



Donald E. Dostie P.L.S.  
President

Enc: Steve Phillips, Maguire Group



Metro

10/10/06 MS+SH

- ① Materials? base
- ② elevations - along Chestnut
- ③ zoning - height of entry - Ok
- ④ HP - which option would trigger HP review?
- ⑤ RTI ✓

Maguire Group Inc.  
Architects/Engineers/Planners  
33 Commercial Street, Suite 1  
Foxborough, MA 02035  
Telephone: 508-543-1700  
Fax: 508-543-5157

Requires  
minor site plan  
+ design  
HP, B3 - shed roof.

July 12, 2006



City of Portland  
Planning and Development Department  
Planning Division  
389 Congress Street  
Portland, ME 04101

**Re: Downtown Portland Transportation Center  
(Elm Street Garage)**

Attn: Ms. Sarah Greene Hopkins  
Development Review Program Manager

Dear Ms. Hopkins:

Per your conversation with Ed Lenahan of our office, I am forwarding a revised plan of the proposed Downtown Portland Transportation Center for your review.


Your review of 5/31/06 indicates that the footprint should not increase by more than 500 sf. After input from the Fire Marshall, who wants to increase the usable width of the plaza for fire access and input from the Mayor, who would like to maximize the amount of area within the Transportation Center, we have developed the enclosed plan. It totals approximately 676 sf or 176 sf more than the required amount.

We ask that you consider this modest expansion and are available to discuss this with you at your convenience.

Please call me if you have any questions.

Very truly yours,

**MAGUIRE GROUP INC.**

  
Peter Morrison, AIA  
Senior Vice President

cc: J. Monroe  
P. Cavanaugh  
E. Lenahan

Enclosure



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**MEMORANDUM**

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**To:** FILE

**From:** Greg Cass

**Subject:** Application ID: 2006-0193

**Date:**

---

Called for more info 10-10-06

Access w/ either option 2 Or 3 Plan # C102

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**MEMORANDUM**

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**To:** FILE

**From:** Marge Schmuckal

**Subject:** Application ID: 2006-0193

**Date:** 10/23/2006

---

This project was reviewed and approved during the completeness check. All the B-3 Zone requirements are being met.



**From:** Barbara Barhydt  
**To:** Jay Reynolds; Shukria Wiar  
**Date:** 11/8/2006 2:50:56 PM  
**Subject:** Fwd: Re: METRO garage project

>>> Larry Mead 11/8/2006 2:14:00 PM >>>  
Thanks Alex.

>>> Alex Jaegerman 11/8/2006 1:11:54 PM >>>  
Good points Larry. I think we can waive the performance guarantee, that protects the city from itself in this case.

Alex.

>>> Larry Mead 11/8/2006 11:24:24 AM >>>  
Alex,

thanks for the letter related to the building permit. Pete Cavanaugh forwarded it.

With respect to the deposits for performance guarantee and the defects guarantee, is that something that we require to be posted for City projects? Essentially the METRO, although a separate entity, is doing a project with City funds in a city facility for a city policy; all approved by a Board that is controlled by Council appointees.

Larry



Maguire Group Inc.  
 Architects/Engineers/Planners  
 33 Commercial Street, Suite 1  
 Foxborough, Massachusetts 02035  
 Telephone: 508/543/1700  
 Fax: 508/543-5157  
 Corporate Fax: 508/543-7758

# Letter of Transmittal

TO: Ms. Shukria Wiar  
 Planning and Development Department  
 389 Congress Street  
 Portland, ME 04101

DATE November 15, 2006	JOB NO. 17859
ATTENTION <del>Paul Bradbury</del>	
RE: Elm Street Garage	

WE ARE SENDING YOU

- |                                              |                                                                                                                                         |
|----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Attached | <input type="checkbox"/> Under separate cover via _____ the following items:                                                            |
| <input type="checkbox"/> Shop drawings       | <input type="checkbox"/> Prints <input type="checkbox"/> Plans <input type="checkbox"/> Samples <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of letter      | <input type="checkbox"/> Change order <input type="checkbox"/> _____                                                                    |

COPIES	DATE	NO.	DESCRIPTION
9	11/15/06		Full Size Drawing Set

THESE ARE TRANSMITTED as checked below:

- |                                                  |                                                           |                                                             |
|--------------------------------------------------|-----------------------------------------------------------|-------------------------------------------------------------|
| <input type="checkbox"/> For approval            | <input type="checkbox"/> Approved as submitted            | <input type="checkbox"/> Resubmit ___ copies for approval   |
| <input type="checkbox"/> For your use            | <input type="checkbox"/> Approved as noted                | <input type="checkbox"/> Submit ___ copies for distribution |
| <input checked="" type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections         | <input type="checkbox"/> Return ___ corrected prints        |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> _____                            |                                                             |
| <input type="checkbox"/> FOR BIDS DUE _____      | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |                                                             |

Remarks:

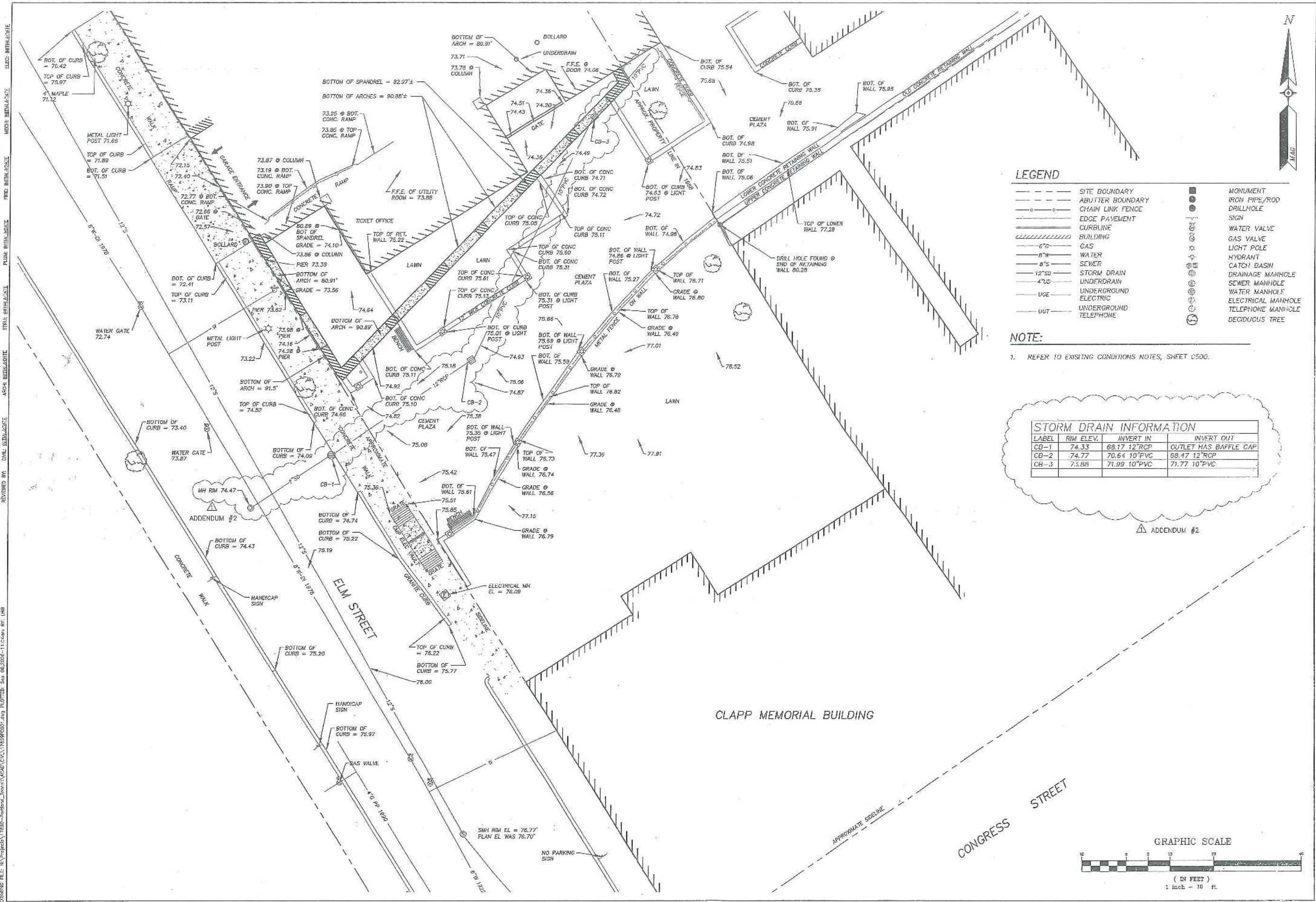
As requested.

COPY TO File

SIGNED Clarke Morrison

*If enclosures are not as noted, kindly notify us at once.*





**LEGEND**

- SITE BOUNDARY
- ABUTTER BOUNDARY
- - - CHAIN LINK FENCE
- - - EDGE PAVEMENT
- CURBLINE
- BUILDING
- 6" CAS
- 8" WATER
- 8" SEWER
- 12" SD STORM DRAIN
- 4" UD UNDERDRAIN
- UGE UNDERGROUND ELECTRIC
- UGT UNDERGROUND TELEPHONE
- MONUMENT
- IRON PIPE/ROD
- DRILLHOLE
- SIGN
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- HYDRANT
- CATCH BASIN
- DRAINAGE MANHOLE
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
- TELEPHONE MANHOLE
- DECIDUOUS TREE

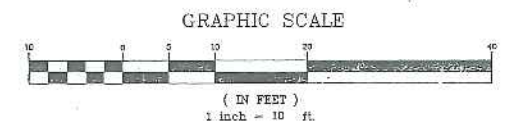
**NOTE:**

- REFER TO EXISTING CONDITIONS NOTES, SHEET 0500.

**STORM DRAIN INFORMATION**

LABEL	RIM ELEV.	INVERT IN	INVERT OUT
CB-1	74.33	68.17 12"RCP	OUTLET HAS BAFFLE CAP
CB-2	74.77	70.64 10"PVC	68.47 12"RCP
CB-3	73.88	71.99 10"PVC	71.77 10"PVC

▲ ADDENDUM #2



MARK	DATE	DESCRIPTION	BY	APP'D
▲	3/29/04	ADDENDUM #2	LH	

**Maguire Group Inc.**  
 Architects / Engineers / Planners  
 33 Commercial Street, Suite 1  
 Foxborough, Massachusetts 02035



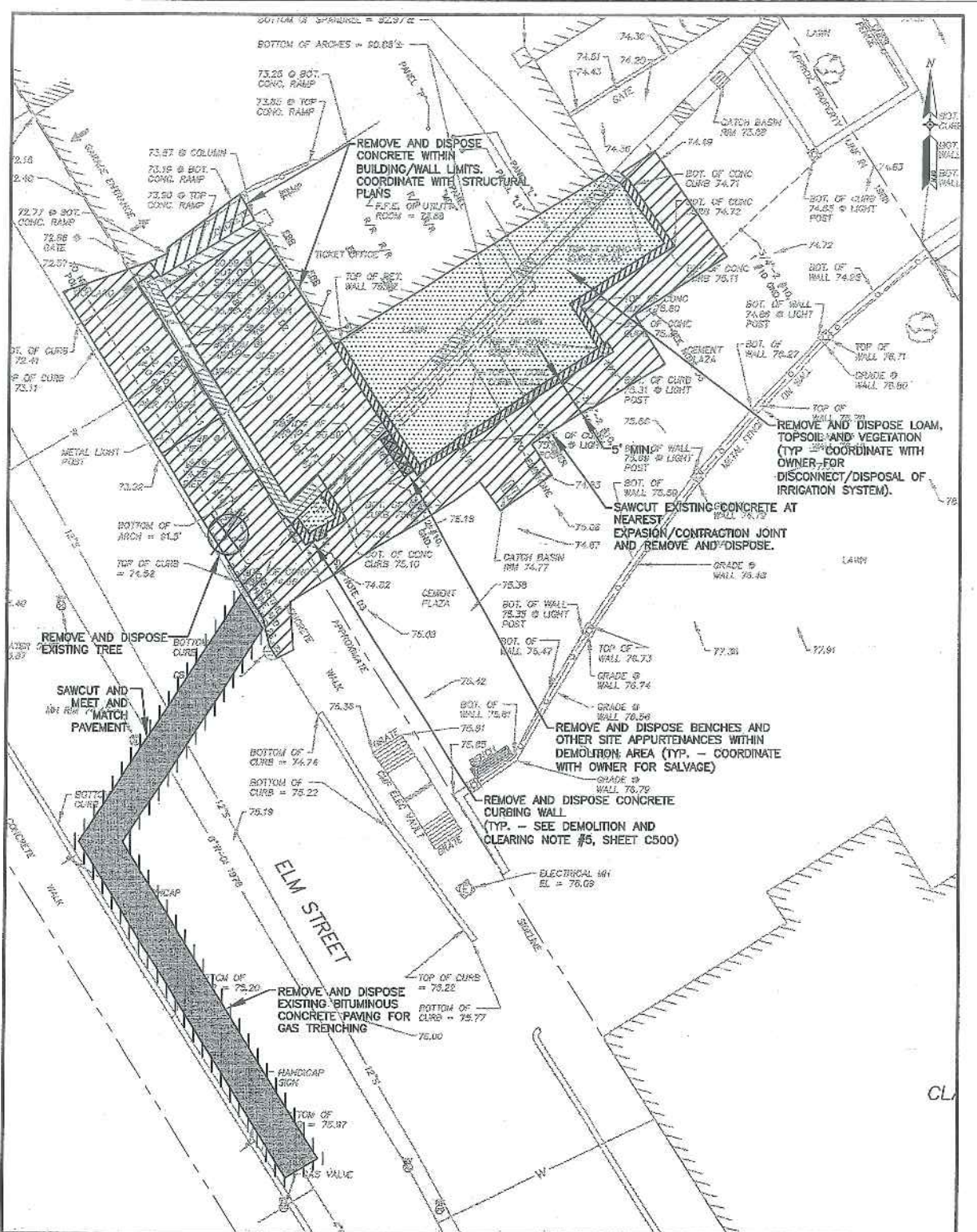
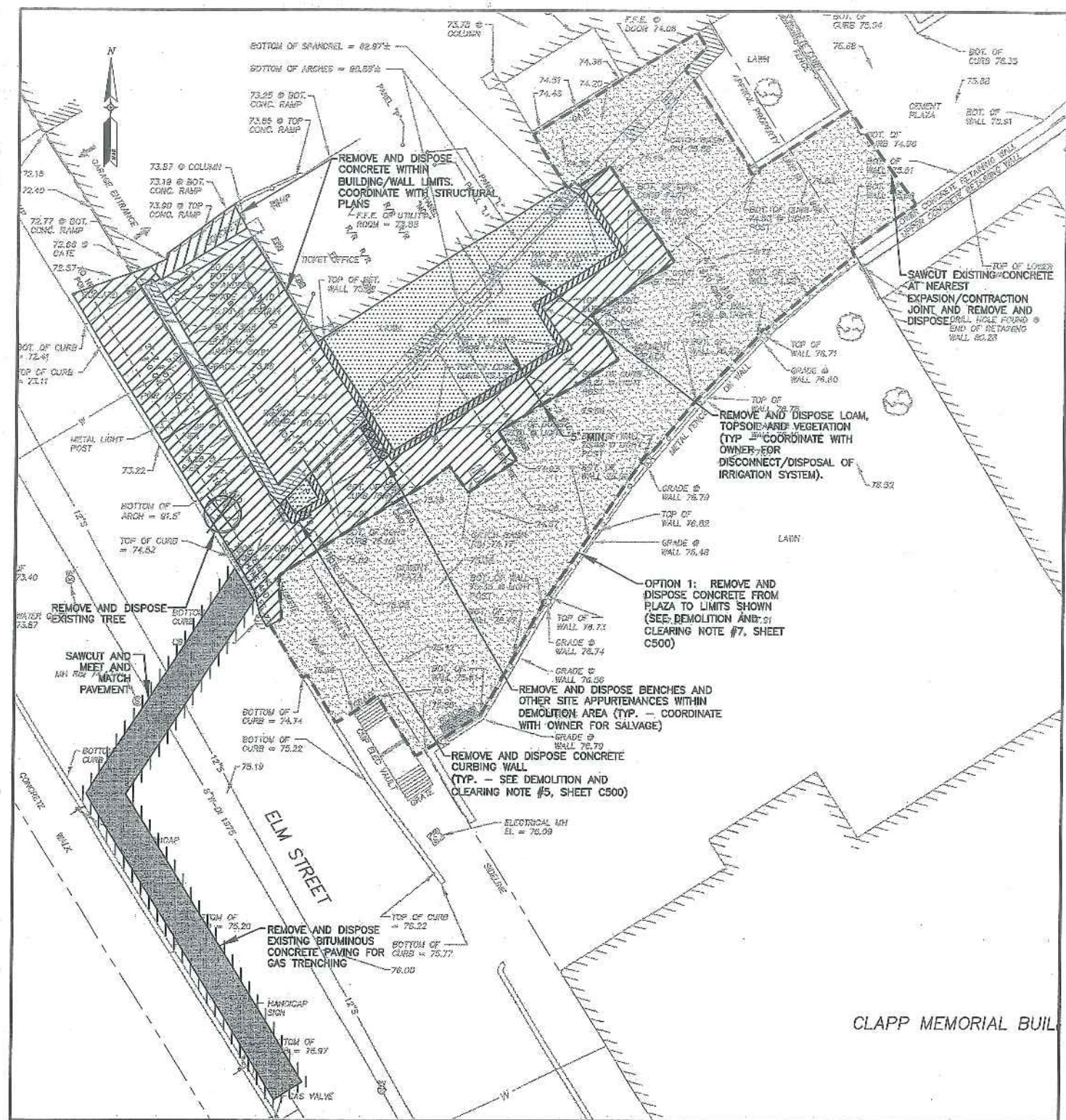
**DOWNTOWN PORTLAND  
 TRANSPORTATION CENTER  
 PORTLAND, MAINE**  
 EXISTING CONDITIONS PLAN

PROJECT NO.: 17856
DESIGNED BY: LAH
DRAWN BY: LAH
CHK'D BY:
DATE: 6/18/2009
SCALE: 1" = 10'
SHEET NO. <b>C001</b>
SHEET 1 OF 10

DOWNING FILE: N:\p\p\17856\17856-2\dwg\17856-2\17856-2.dwg PLOTTED: Sat 06/20/09 11:03am BY: LAH  
 REVIEWED BY: CIVIL ENGINEER  
 ARCH. BUILDING  
 STR. BUILDING  
 PLUMB. BUILDING  
 FIRE. INTIM. VALUE  
 MECH. BUILDING  
 ELEC. BUILDING



DRAWING FILE: H:\Projects\17859-Portland-Transportation\_Center\17859PC02.dwg PLOTTED: 2:49:05, 05/20/06 - 1327m BY: JHH  
 DESIGNED BY: CIVIL ENGINEER ARCH: ARCHITECT STRUC: STRUCTURAL MECH: MECHANICAL ELEC: ELECTRICAL



**SITE DEMOLITION PLAN:  
OPTION #1**

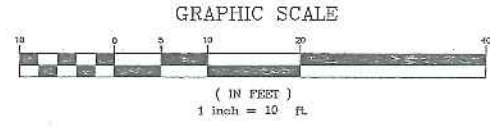
**SITE DEMOLITION PLAN:  
BASE BID**

**LEGEND**

- |  |                                       |  |                                |
|--|---------------------------------------|--|--------------------------------|
|  | CONCRETE SIDEWALK DEMOLITION          |  | BITUMINOUS CONCRETE DEMOLITION |
|  | CONCRETE CURB/WALL DEMOLITION         |  | TREE REMOVAL                   |
|  | LOAM/TOPSOIL DEMOLITION               |  |                                |
|  | SITE APPURTENANCE DEMOLITION          |  |                                |
|  | CONCRETE PLAZA DEMOLITION (OPTION #1) |  |                                |

**NOTE:**

1. REFER TO DEMOLITION AND CLEARING NOTES ON SHEET C500.



MARK	DATE	DESCRIPTION	BY	APP'D



**Maguire Group Inc.**  
 Architects/Engineers/Planners  
 33 Commercial Street, Suite 1  
 Foshborough, Massachusetts 02035

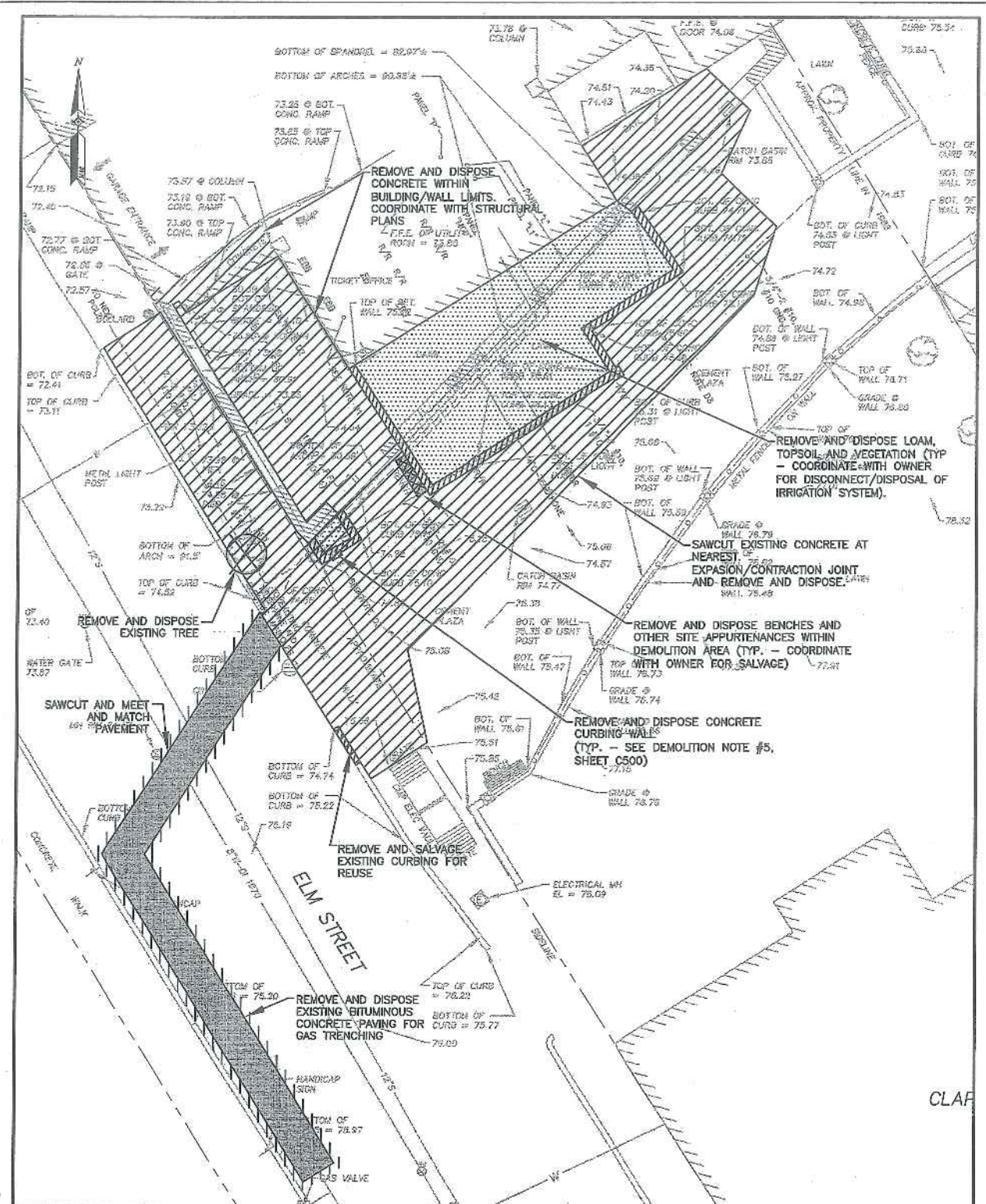
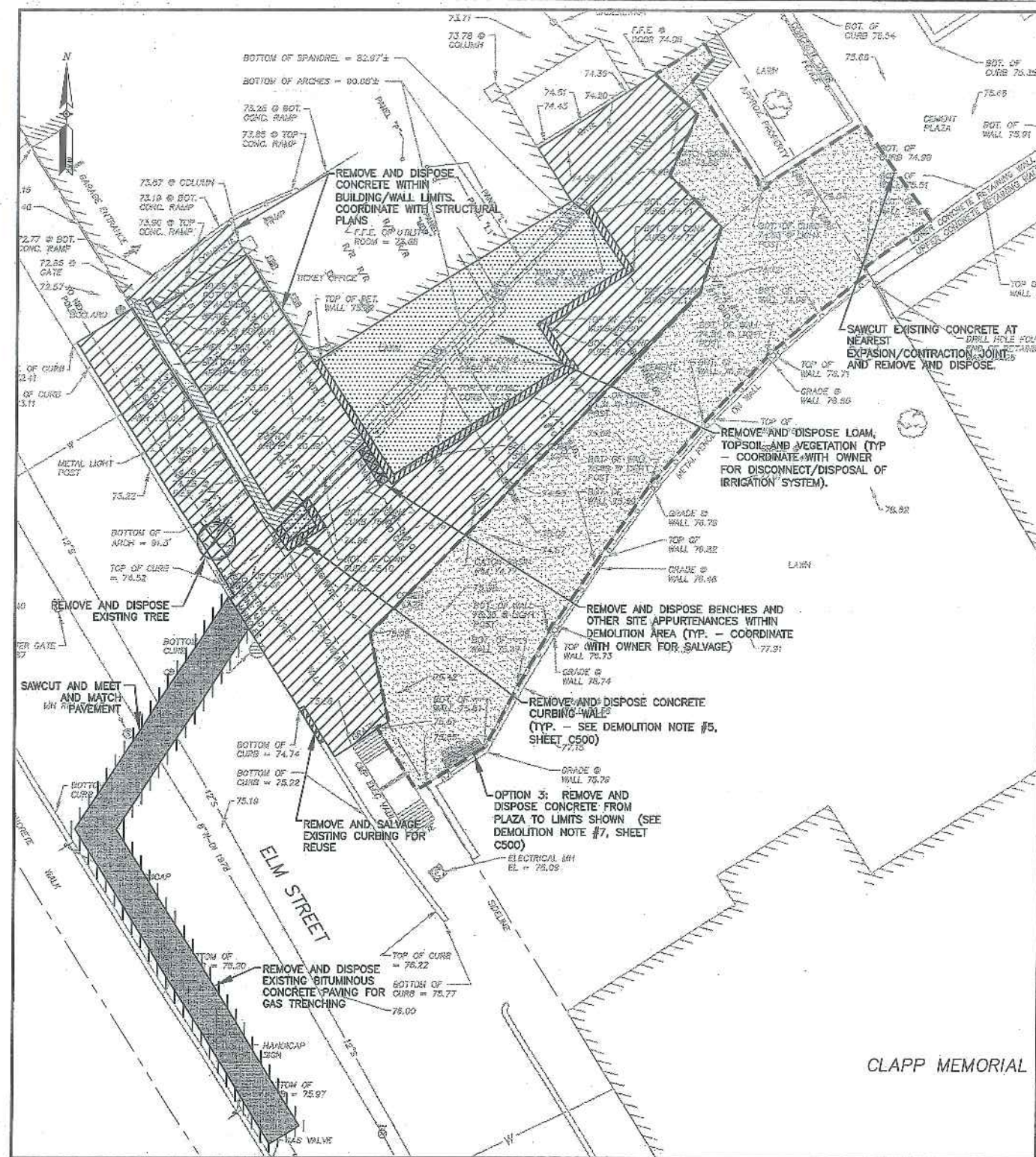


**DOWNTOWN PORTLAND  
 TRANSPORTATION CENTER  
 PORTLAND, MAINE  
 BASE BID AND OPTION #1  
 PROPOSED DEMOLITION PLAN**

PROJECT NO.: 17859
DESIGNED BY: LAH
DRAWN BY: LAH
CHK'D BY:
DATE: 8/14/2006
SCALE: 1" = 10'
SHEET NO.
<b>C002</b>
SHEET 3 OF 30



DRAWING FILE: N:\Projects\17855-Portland-Transportation Center\17855-Portland.dwg PLOTTED: See 06.2008-13.dwg BY: LHM  
 REVIEWED BY: CHINA METALACADE  
 ARCH: METALACADE  
 STRU: METALACADE  
 PLAN: METALACADE  
 PREP: METALACADE  
 MOOR: METALACADE  
 FILE: METALACADE



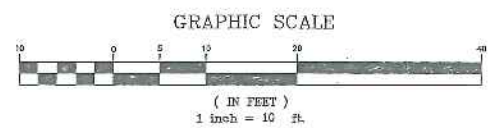
**SITE DEMOLITION PLAN:  
OPTION #3**

**SITE DEMOLITION PLAN:  
OPTION #2**

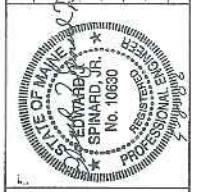
- LEGEND**
- CONCRETE SIDEWALK DEMOLITION
  - CONCRETE CURB/WALL DEMOLITION
  - LOAM/TOPSOIL DEMOLITION
  - SITE APPURTENANCE DEMOLITION
  - CONCRETE PLAZA DEMOLITION (OPTION #3)

- BITUMINOUS CONCRETE DEMOLITION
- TREE REMOVAL

**NOTE:**  
1. REFER TO DEMOLITION AND CLEARING NOTES ON SHEET C500.



MARK	DATE	DESCRIPTION	BY	APP'D



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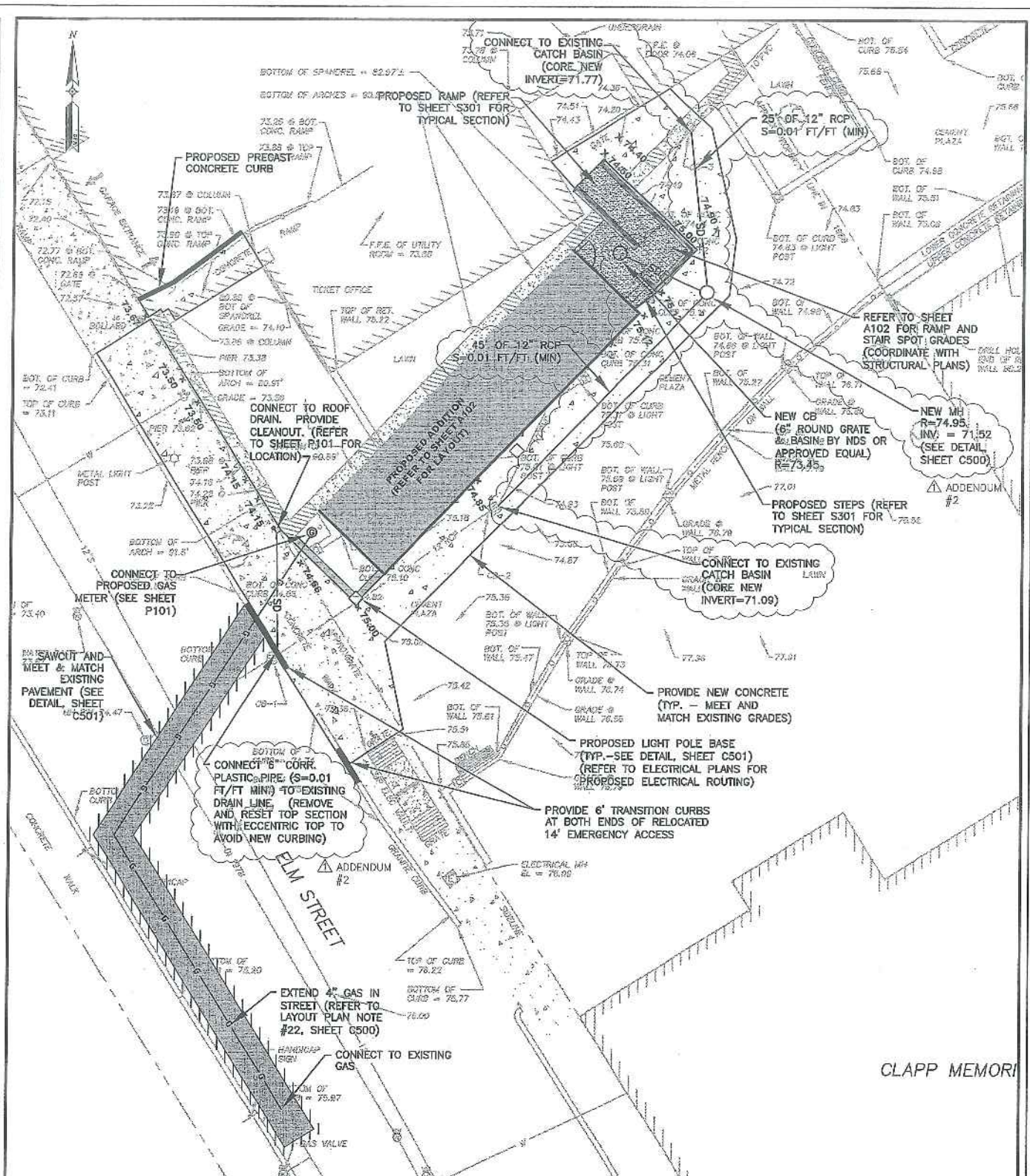
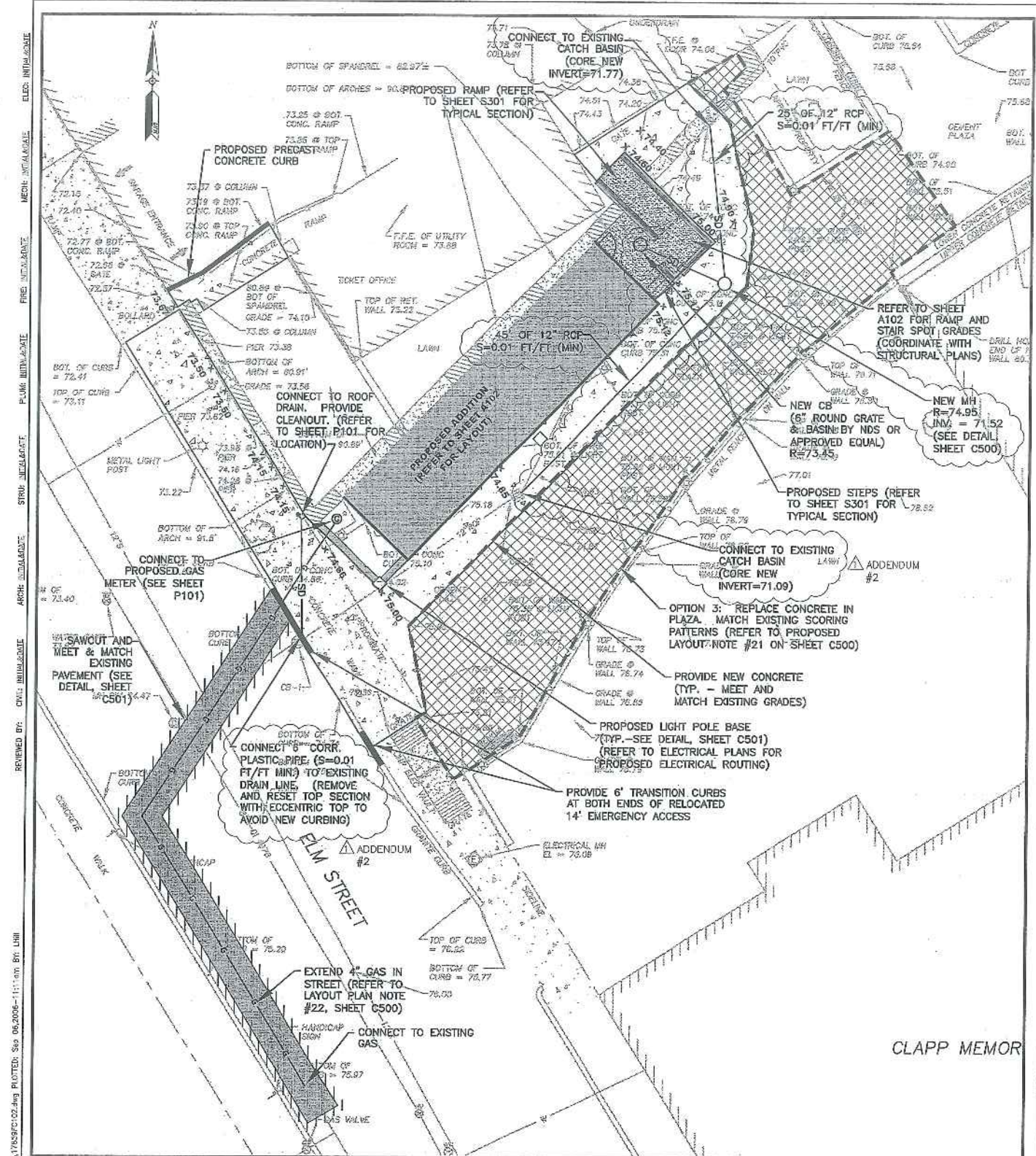
**DOWNTOWN PORTLAND  
 TRANSPORTATION CENTER  
 PORTLAND, MAINE  
 OPTION #2 AND OPTION #3  
 PROPOSED DEMOLITION PLAN**

PROJECT NO.: 17855
DESIGNED BY: LAH
DRAWN BY: LAH
CHECKED BY:
DATE: 8/14/2008
SCALE: 1" = 10'
SHEET NO. <b>C003</b>
SHEET 4 OF 30













SITE LAYOUT PLAN:  
OPTION #3

LEGEND

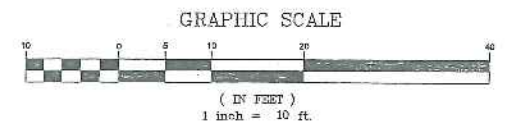
-  PROPOSED SITE CONCRETE
-  PROPOSED STAIR/RAMP CONCRETE (REFER TO ARCHITECTURAL AND STRUCTURAL PLANS)
-  PROPOSED BITUMINOUS PAVEMENT REPLACEMENT/TRENCHING
-  REPLACEMENT OF PLAZA CONCRETE (OPTION #3)

NOTE:

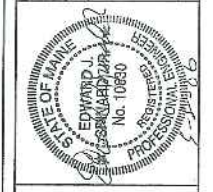
1. REFER TO LAYOUT, GRADING, AND DRAINAGE NOTES ON SHEET C500.
2. OPTION #2 CALLS FOR MINIMAL PLAZA CONCRETE DISTURBANCE. REPLACEMENT OF THE CONCRETE SHALL BE ONLY AS SHOWN, AND THE BANDING AND SCORING PATTERNS OF THE EXISTING CONCRETE SHALL BE MET AND MATCHED ACCORDINGLY.
3. OPTION #3 CALLS FOR REPLACEMENT OF ALL OF THE CONCRETE IN THE ADJACENT PLAZA AS SHOWN. REPLACEMENT OF THE CONCRETE SHALL BE AS SHOWN, WITH A SCORING PATTERN OF 4"x4" SQUARE SCORING PATTERN SHALL RUN PERPENDICULAR TO AND PARALLEL WITH ELM STREET AND SHALL ABUT THE PROPOSED (AND/OR EXISTING WALK ALONG ELM STREET.

ADDENDUM #2

SITE LAYOUT PLAN:  
OPTION #2



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DOWNTOWN PORTLAND  
TRANSPORTATION CENTER  
PORTLAND, MAINE  
OPTION #2 AND OPTION #3  
PROPOSED LAYOUT PLAN

PROJECT NO.:	17859
DESIGNED BY:	LAH
DRAWN BY:	LAH
CHK'D BY:	
DATE:	8/14/2006
SCALE:	1" = 10'
SHEET NO.:	

C102



**EXISTING CONDITIONS PLAN NOTES:**

1. THE SURVEY DEPICTED ON THE PLAN WAS PERFORMED BY FOUR POINTS ASSOCIATES, INC., 102 DEER RUN, GREENE, ME 04236. THE PURPOSE OF THIS PLAN IS TO DEPICT EXISTING CONDITIONS AS OF JUNE 2006 AND PROVIDE SPOT ELEVATIONS WHERE DIRECTED BY MAGUIRE GROUP.
2. THIS IS NOT A BOUNDARY SURVEY. ANY PROPERTY LINES SHOWN ARE BASED ON HISTORICAL PLANS AND ARE APPROXIMATE ONLY FOR INFORMATIONAL PURPOSES. DEED RESEARCH HAS NOT BEEN COMPLETED FOR THIS EXISTING CONDITIONS PLAN.
3. VERTICAL DATUM IS NGVD 1929 AND WAS ESTABLISHED BY HOLDING AN ELEVATION SHOWN ON A WATER GATE NEAR THE INTERSECTION OF ELM AND CONGRESS STREETS AS SHOWN ON A PLAN OF LAND ENTITLED, "PORTLAND HIGH SCHOOL PROJECT ELM STREET PARKING GARAGE" DATED MAY 5, 1989 BY PORTLAND DESIGN TEAM, JOHN L. COTHERN, PLS. SHEET L-0, SITE SURVEY.
4. ALL PROPERTY LINES ARE SUBJECT TO REVISION UPON A BOUNDARY SURVEY BEING COMPLETED.
5. ALL UNDERGROUND UTILITIES ARE SUBJECT TO CONFIRMATION BY CONTACTING DIG-SAFE PRIOR TO ANY EXCAVATION OF ANY KIND TAKING PLACE WITHIN THE SUBJECT PROPERTY SHOWN HEREON. UTILITY INFORMATION IS TAKEN FROM LOCATION OF VISIBLE ABOVE GROUND STRUCTURES AND PLANS PROVIDED BY THE PORTLAND WATER DISTRICT, THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT AND NORTHERN UTILITIES. ALL LINES ARE APPROXIMATE IN LOCATION.

**DEMOLITION AND CLEARING NOTES:**

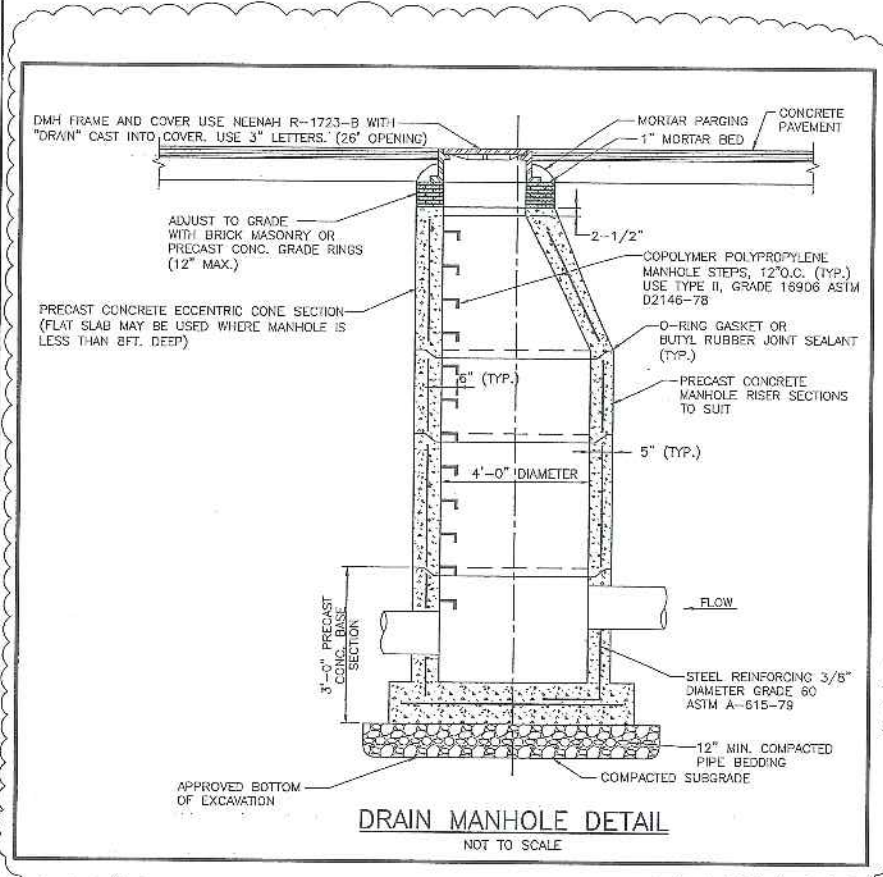
1. DEMOLITION OF EXISTING STRUCTURES IS GENERALLY SHOWN ON THE DRAWINGS. UNLESS OTHERWISE INDICATED, THE DEMOLITION OF A STRUCTURE MEANS THE DEMOLITION, REMOVAL AND DISPOSAL OF THE ENTIRE UNIT, INCLUDING SUBSTRUCTURE, SUPERSTRUCTURE AND APPURTENANCES OR CONTENTS OF THE STRUCTURE.
2. DISPOSAL OF DEMOLISHED MATERIALS, BOTH SUITABLE AND UNSUITABLE, IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
3. CONTRACTOR TO CONTACT ENGINEER IN THE EVENT THAT ADDITIONAL UTILITIES ARE LOCATED IN AREAS OF PROPOSED CONSTRUCTION.
4. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DEMOLITION DRAWINGS FOR ADDITIONAL ITEMS TO BE DEMOLISHED WITHIN 5' OF EXISTING/PROPOSED BUILDING WALLS.
5. COORDINATE WITH ELECTRICAL DRAWINGS FOR DEMOLITION OF LIGHTING FACILITIES AND ASSOCIATED ELECTRICAL DEMOLITION.
6. HAND EXCAVATE IN AREA OF EXISTING ELECTRICAL AND TELEPHONE SERVICES. PROTECT, SUPPORT, AND FORM AROUND AS REQUIRED (SEE DETAIL 1, SHEETS E100 AND E101 FOR LOCATION).
7. OPTION #1 AND OPTION #3 INVOLVE DEMOLITION AND REPLACEMENT OF CONCRETE PAVING WITHIN PLAZA AREA. COORDINATE WITH OWNER FOR REMOVAL AND REPLACEMENT OF BENCHES AND OTHER SITE APPURTENANCES.
8. VERIFY THE STATUS (ACTIVE OR ABANDONED) OF ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. ASSURE THAT ONLY INACTIVE OR ABANDONED UTILITIES ARE CUT, DISRUPTED OR REMOVED.
9. NOTIFY ALL UTILITY AUTHORITIES, COMPANIES AND AGENCIES PRIOR TO PERFORMING ANY WORK ON OR NEAR THEIR LINES. COMPLY WITH ALL REGULATIONS. COMPLY WITH "DIG SAFE" REQUIREMENTS. VERIFY SIZES, LOCATIONS AND DEPTHS OF ALL UTILITIES. PERFORM TEST PITS AS NECESSARY.
10. CONTRACTOR SHALL BE PREPARED TO HANDLE ALL STORM WATER WHICH PRESENTLY FLOWS TO CATCH BASINS WITHIN THE DEMOLITION LIMITS DURING CONSTRUCTION. TEMPORARY CONNECTIONS, STORM WATER PIPING AND DIVERSIONS SHALL BE INSTALLED AS NECESSARY.
11. COMPLY WITH ALL FEDERAL, STATE AND LOCAL HAULING, DISPOSAL AND SAFETY REGULATIONS.
12. CONTRACTOR SHALL CLEAR SITE OF ALL BUILDING STRUCTURES, PAVEMENT AND MISCELLANEOUS PHYSICAL FEATURES AS DESCRIBED IN THE DRAWINGS, SPECIFICATIONS OR AS DIRECTED BY THE OWNER OR ARCHITECT.
13. PROVIDE DUST AND NOISE CONTROL THROUGHOUT THE CONSTRUCTION SCHEDULE.
14. ALL EXCAVATIONS AND DEPRESSIONS RESULTING FROM DEMOLITION AND REMOVAL TO BE FILLED WITH COMPACTED GRANULAR FILL FROM ON-SITE SOURCES OR BORROW, AS DIRECTED.
15. SWEEP OR OTHERWISE KEEP ALL STREETS, SIDEWALKS AND PUBLIC RIGHTS-OF-WAY CLEAN AND FREE FROM DIRT AND DEBRIS.

**GRADING AND DRAINAGE NOTES:**

1. MINIMUM PIPE COVER FOR ALL STORM DRAINAGE SHALL BE FOUR FEET (4'-0") UNLESS OTHERWISE INDICATED OR DIRECTED.
2. PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, MANUFACTURER'S DRAWINGS.
3. ALL NEW STORM DRAINS OR MODIFICATIONS TO EXISTING STORM DRAINS SHALL BE COORDINATED WITH AND SUBJECT TO INSPECTION BY THE AUTHORITY HAVING JURISDICTION.
4. INSTALLATION OF THE STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS 02630 AND DETAILS.
5. ALL STORM DRAINAGE SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
6. NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND THE COMPLETION CERTIFICATE IS ISSUED.
7. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
8. PROPOSED SPOT GRADES ARE TO FINISHED GRADE.
9. THE CONTRACTOR SHALL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADED AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
10. GROUNDWATER REMOVED FROM TRENCHES DURING CONSTRUCTION MAY BE DISCHARGED TO STORM DRAINS WHEN FILTERED BY AN APPROVED METHOD AS DIRECTED. ALL WATER TO BE DISCHARGED MUST BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATORY AGENCIES.
11. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
12. STORM DRAINS SPECIFIED SHALL BE HDPE CORRUGATED PLASTIC PIPE (CPP), OR EQUAL, OR CLASS III R.C.P. UNLESS OTHERWISE SPECIFIED.

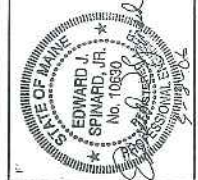
**LAYOUT PLAN NOTES:**

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER.
2. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLANS.
3. THE EXISTENCE, LOCATION AND DEPTH OF EXISTING UTILITIES HAVE BEEN PLOTTED FROM THE BEST AVAILABLE RECORD DATA SUPPLEMENTED WITH ON-SITE FIELD SURVEY. CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS AND SIZES OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY, PRIOR TO PROCEEDING WITH THE CONSTRUCTION OPERATIONS.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR AND EQUIPMENT NECESSARY TO COMPLETE WORK ON THIS CONTRACT, AS OUTLINED IN THE CONTRACT DOCUMENTS (PLANS AND SPECIFICATIONS).
5. ALL EXISTING AREAS DISTURBED BY THE CONTRACTOR'S WORK OUTSIDE THE PROPERTY LINES AND/OR PROPOSED WORK LIMITS SHALL BE REPAIRED IN KIND, TO THE SATISFACTION OF THE OWNER/ENGINEER IN THE FIELD, AT NO COST TO THE OWNER, OR ABUTTER.
6. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE, WITH THE APPROVAL OF THE ENGINEER, BUT CHANGES WHICH INVOLVE EXTRA COST SHALL NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER.
7. FINAL LOCATION OF EQUIPMENT AND CONNECTION POINTS SHALL BE APPROVED BY THE ENGINEER AND SHALL BE DETERMINED IN THE FIELD WITH THE CONTRACTOR BEING RESPONSIBLE FOR DIMENSIONS CONFIRMED AND CORRELATED AT THE JOB SITE.
8. ALL EQUIPMENT AND HARDWARE SHALL BE NEW, UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER.
9. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL ON-SITE SAFETY FROM THE TIME THE JOB IS AWARDED UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER. ALL WORK SHALL COMPLY WITH CURRENT OSHA REQUIREMENTS.
10. THE CONTRACTOR SHALL MAKE ALL REQUIRED FIELD MEASUREMENTS TO VERIFY EXISTING AND CONTRACT INTERFACE DIMENSIONS, LOCATIONS, AND OTHER CONDITIONS.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS AND INSPECTIONS AS REQUIRED FOR THE PROPOSED CONSTRUCTION WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING WORK ACTIVITIES WITH THE OWNER.
13. DAMAGE TO EXISTING ITEMS TO REMAIN, OR PREVIOUSLY INSTALLED PROPOSED WORK, AS A RESULT OF THE CONTRACTOR'S OR ANY OF HIS SUBCONTRACTOR'S ACTIVITIES DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED PROMPTLY AND AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
14. ALL WORK SHALL COMPLY WITH THE LATEST STATE OF MAINE BUILDING AND LIFE SAFETY CODES AND SUPPLEMENTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE ADHERENCE TO ALL PROVISIONS AND REQUIREMENTS OF THE CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, THESE CONTRACT DRAWINGS, THE CONTRACT GENERAL REQUIREMENTS, SPECIAL CONDITIONS AND TECHNICAL SPECIFICATIONS, AND TO ALL PERMITS APPENDED THERETO.
16. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION. TEMPORARY VEHICULAR AND/OR PEDESTRIAN SIGNAGE MAY BE REQUIRED AT THE EXPENSE OF THE CONTRACTOR, IN ORDER TO MAINTAIN SAFE CIRCULATION AT ALL TIMES.
17. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION, I.E. IN TIMES OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET.
18. SIDEWALK CONSTRUCTION SHOWN IN THESE PLANS SHALL MEET ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF JULY 1991 TITLE II, TITLE III, AND ANY STATE COUNTY LOCAL OR OTHER APPLICABLE LAWS.
19. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, ARCHITECTURAL, PLUMBING, AND OTHER CATEGORIES OF DRAWINGS FOR ADDITIONAL NOTES AND FOR ALL WORK WITHIN 5 FEET OF BUILDINGS.
20. HAND EXCAVATE IN AREA OF EXISTING ELECTRICAL AND TELEPHONE SERVICES. PROTECT, SUPPORT, AND FORM AROUND AS REQUIRED (SEE DETAIL 1, SHEETS E100 AND E101 FOR LOCATION).
21. OPTION #1 AND OPTION #3 INVOLVE DEMOLITION AND REPLACEMENT OF CONCRETE PAVING WITHIN PLAZA AREA. ADJUST DRAINAGE STRUCTURES TO GRADE FOLLOWING INSTALLATION OF CONCRETE.
22. GAS LINE TO BE CONSTRUCTED AT THE CONTRACTOR'S EXPENSE AND IN ACCORDANCE WITH LOCAL GAS COMPANY REQUIREMENTS AND GUIDELINES. NOTE THAT THE CONTRACTOR MAY BE REQUIRED TO OBTAIN CERTIFICATION FROM THE GAS COMPANY OR TO HIRE A FIRM CERTIFIED BY THE GAS COMPANY IN ORDER TO COMPLETE CONSTRUCTION. LAYOUT SHOWN MAY VARY SLIGHTLY, AS THE DESIGN (SIZING AND LAYOUT) WILL BE COMPLETED BY THE GAS COMPANY.



▲ APPENDUM #2

DATE	DESCRIPTION	BY	APP'D
8/14/2006	ADDED DIM #2	LAH	



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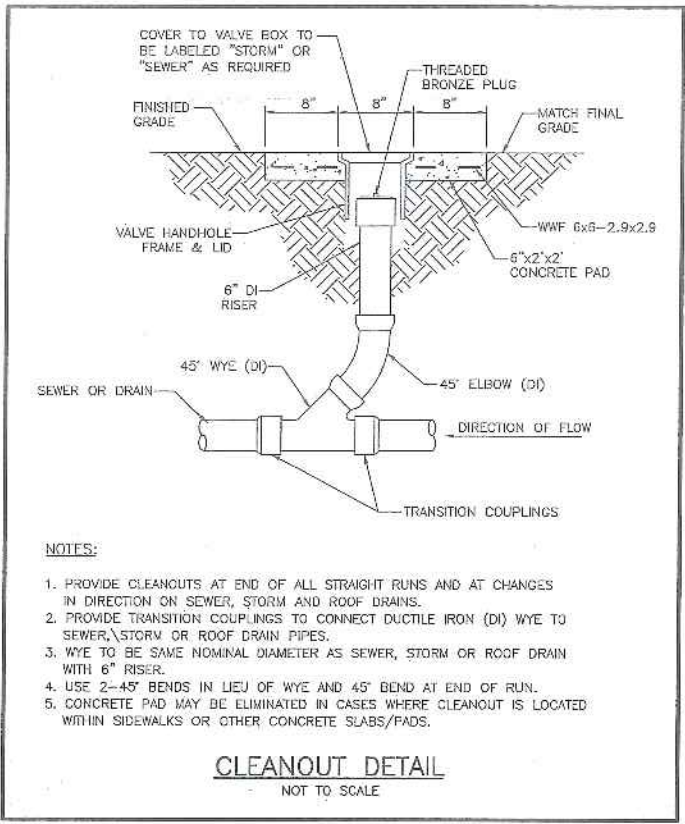
DOWNTOWN PORTLAND  
 TRANSPORTATION CENTER  
 PORTLAND, MAINE  
 GENERAL NOTES AND DETAILS SHEET  
 APPENDUM #2

PROJECT NO.:	17859
DESIGNED BY:	LAH
DRAWN BY:	LAH
CHK'D BY:	
DATE:	8/14/2006
SCALE:	1" = 10'
SHEET NO.:	C500
SHEET	7 OF 30

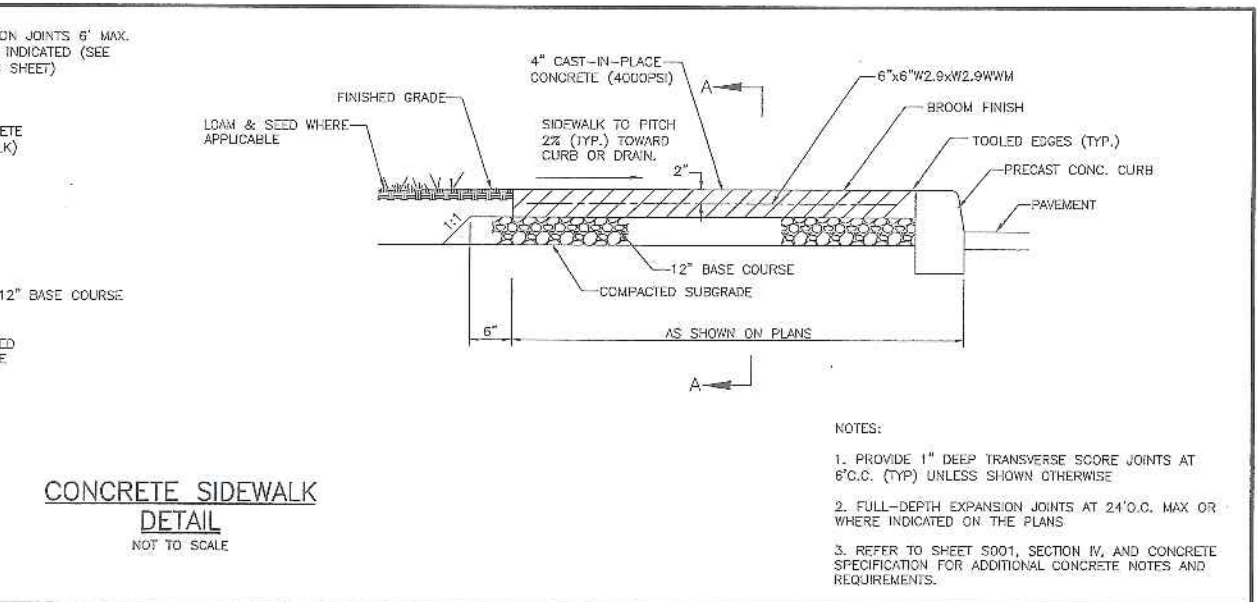
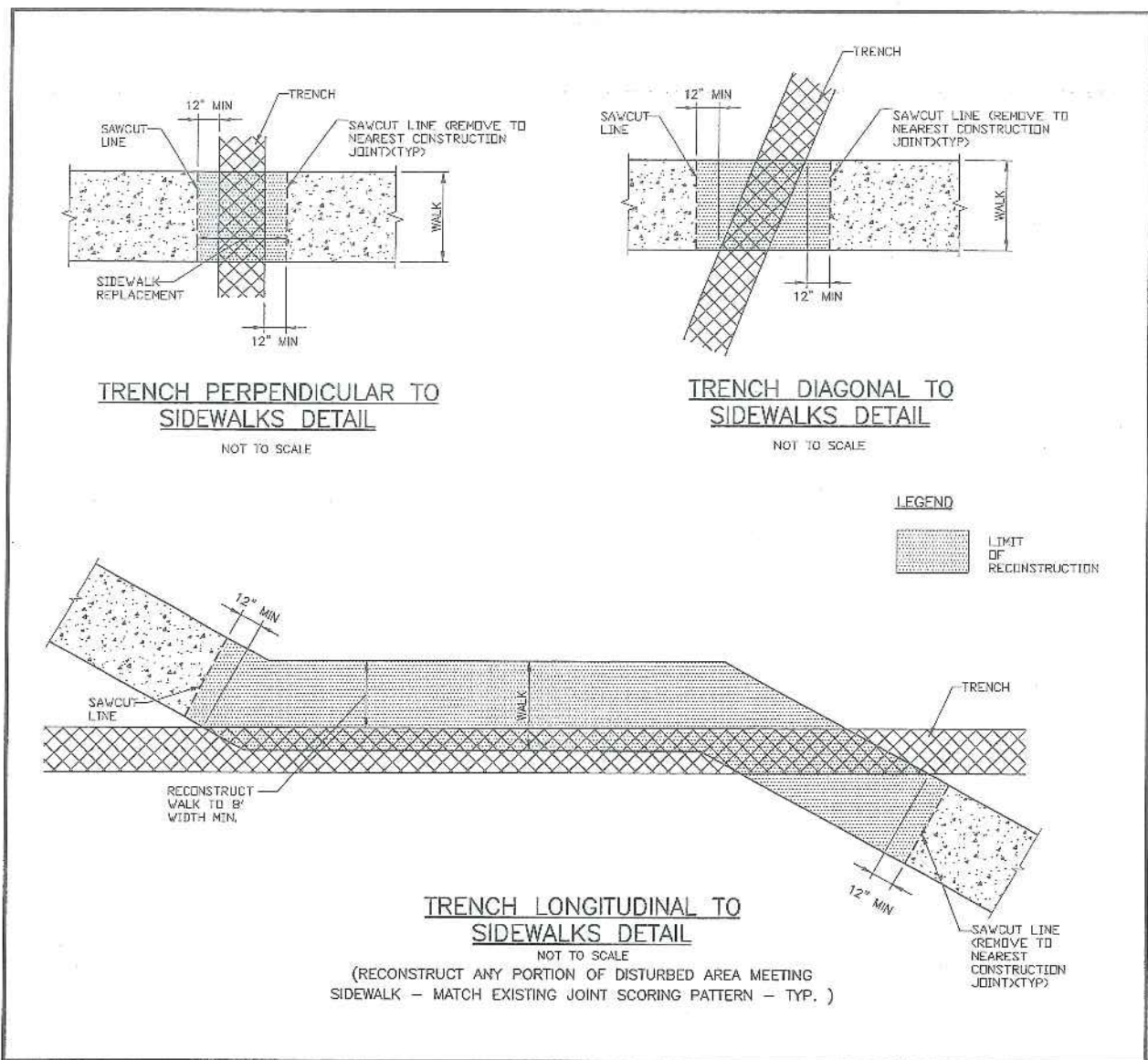
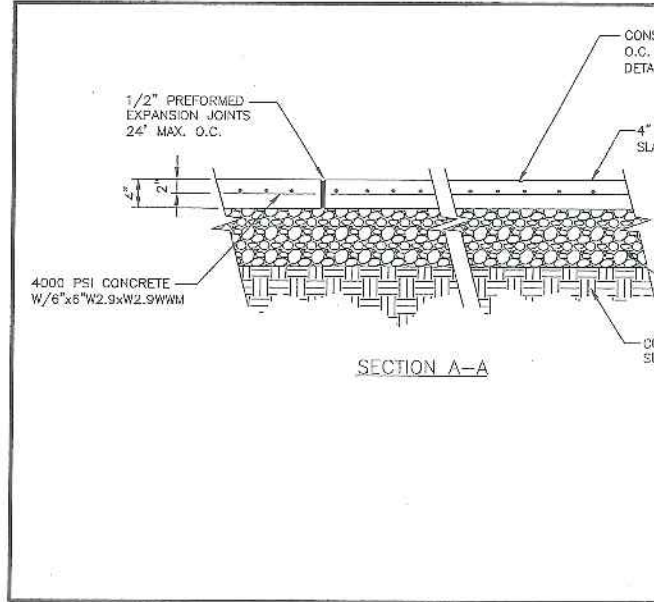
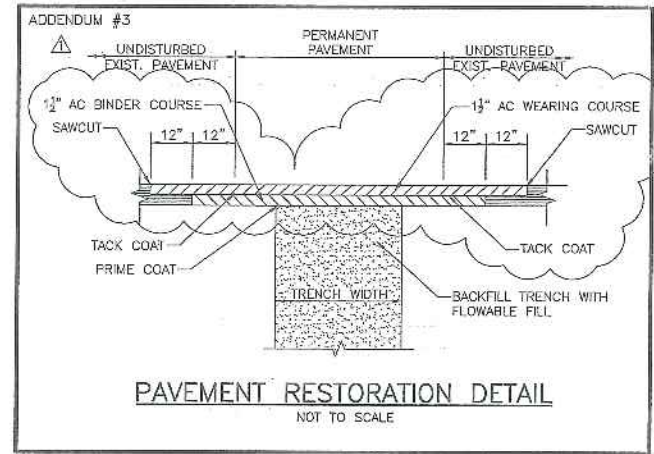
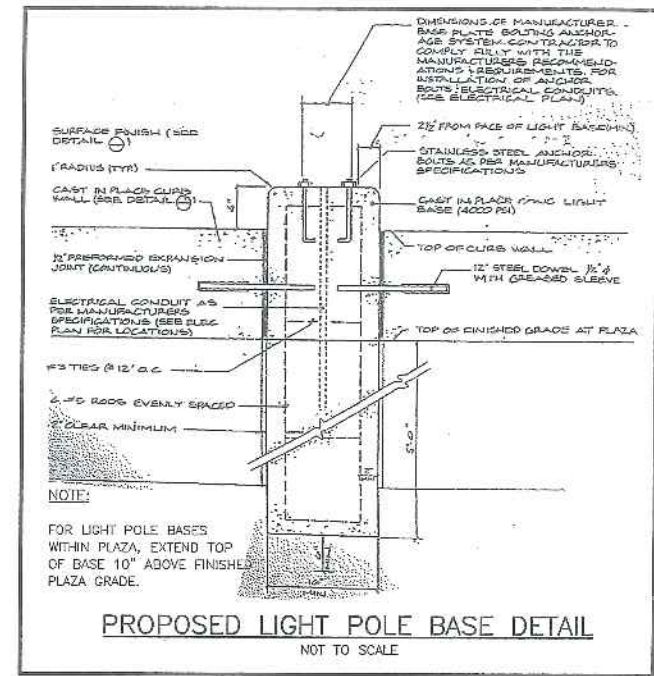
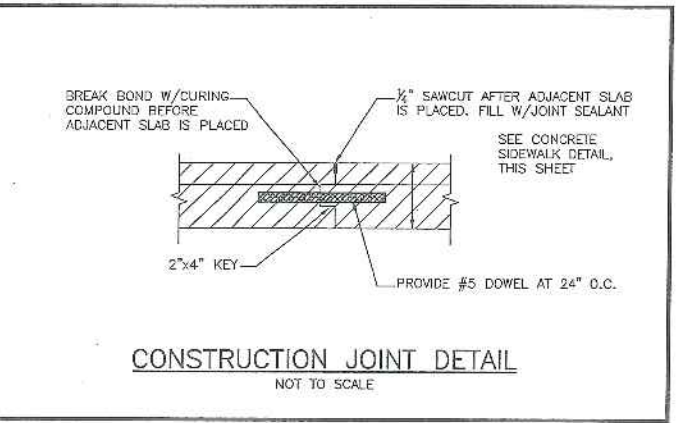
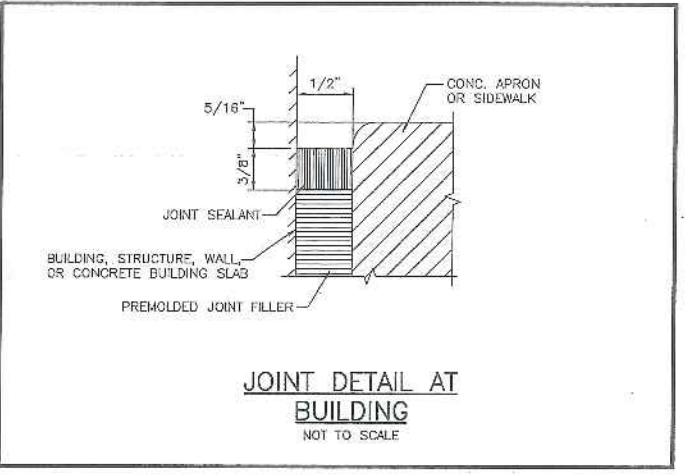
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 ARCH: BUBLAGANZ  
 STRUC: BUBLAGANZ  
 PLUMB: BUBLAGANZ  
 FIRE: BUBLAGANZ  
 MECH: BUBLAGANZ  
 ELEC: BUBLAGANZ



DRAWING FILE: M:\Projects\17659 - Portland - Portland Transportation Center\17659\CD01.dwg PLOTTED: Sep 07 2006 10:28:59 AM BY: 51666  
 REVISIONS BY: CIVIL ENGINEER ARCH. INTL. ARCH. STRUC. INTL. ARCH. FIRE. RETARD. MECH. RETARD. ELEC. RETARD.



- NOTES:**
1. PROVIDE CLEANOUTS AT END OF ALL STRAIGHT RUNS AND AT CHANGES IN DIRECTION ON SEWER, STORM AND ROOF DRAINS.
  2. PROVIDE TRANSITION COUPLINGS TO CONNECT DUCTILE IRON (DI) WYE TO SEWER, STORM OR ROOF DRAIN PIPES.
  3. WYE TO BE SAME NOMINAL DIAMETER AS SEWER, STORM OR ROOF DRAIN WITH 6" RISER.
  4. USE 2-45° BENDS IN LIEU OF WYE AND 45° BEND AT END OF RUN.
  5. CONCRETE PAD MAY BE ELIMINATED IN CASES WHERE CLEANOUT IS LOCATED WITHIN SIDEWALKS OR OTHER CONCRETE SLABS/PADS.



PROJECT NO. 17659	DESIGNED BY: LAH
DRAWN BY: LAH	CHK'D BY:
DATE: 8/14/2006	SCALE: 1" = 10'
SHEET NO.	C501

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DOWNTOWN PORTLAND  
 TRANSPORTATION CENTER  
 PORTLAND, MAINE

PROJECT NO.: 17659	DESIGNED BY: LAH
DRAWN BY: LAH	CHK'D BY:
DATE: 8/14/2006	SCALE: 1" = 10'
SHEET NO.	C501