

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061537

Please Read Application And Notes, If Any, Attached

This is to certify that CITY OF PORTLAND / C.M. Cimino Inc. has permission to Close in portion of parking garage for transportation center. AT 9 ELM ST

PERMIT ISSUED DEC 20 2006 CITY OF PORTLAND

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is entered or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS Fire Dept. [Signature] Health Dept. Appeal Board Other Department Name

[Signature] Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

closed SC CO has been sent ed

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1537	Issue Date: DEC 20 2006	CBL: 027 B003001
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Location of Construction: 9 ELM ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone: 2078548876
Business Name:	Contractor Name: C.M. Cimino Inc.	Contractor Address: 3 Warren Ave Westbrook	Phone: 2078548876
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial / Transportation Ctr.	Proposed Use: Commercial Close in portion of parking garage for transportation center	Permit Fee: \$6,675.00	Cost of Work: \$658,000.00	CEO District: 1
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Proposed Project Description: Close in portion of parking garage for transportation center.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A/B Type: 2B 1/22/06 <i>[Signature]</i>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Permit Taken By: dmartin	Date Applied For: 10/18/2006	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2006-0193 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 10/23/06	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Separate permits required for Any New Signage		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development

Building Inspections Division

Location: 9 ELM ST

CBL: 027- B-003-001

Issued to: City of Portland

Date Issued: 10-28-2011

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-10-2532-UI, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Transportation Center

APPROVED OCCUPANCY

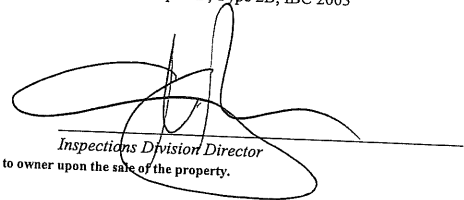
Use Group A/B, Type 2B, IBC 2003

Approved:

10-28-2011

(Date)


Inspector


Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



CITY OF PORTLAND, MAINE
Department of Building Inspections

121 18 20 06

Received from P.M. Plumbing Inc

Location of Work 181m St

Cost of Construction \$ 1158,100.00 6600 bidg

Permit Fee \$ 6675.00 75 C98

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 27 13 103

Check #: 58689

Total Collected \$ 6675

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1537	Date Applied For: 10/18/2006	CBL: 027 B003001
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Location of Construction: 9 ELM ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: C.M. Cimino Inc.	Contractor Address: 3 Warren Ave Westbrook	Phone (207) 854-8876
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial Close in portion of parking garage for transportation center	Proposed Project Description: Close in portion of parking garage for transportation center.
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 10/23/2006
Note: **Ok to Issue:**
 1) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 11/28/2006
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 10/23/2006
Note: **Ok to Issue:**
 1) All construction shall comply with NFPA 101
 2) The Fire Dept. Checklist shall be completed

Dept: Public Works **Status:** Pending **Reviewer:** **Approval Date:** **Ok to Issue:**

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 10/10/2006
Note: **Ok to Issue:**

Dept: Parks **Status:** **Reviewer:** **Approval Date:** **Ok to Issue:**

Dept: Fire **Status:** Approved **Reviewer:** Greg Cass **Approval Date:** 10/12/2006
Note: **Ok to Issue:**

Dept: DRC **Status:** Pending **Reviewer:** **Approval Date:** **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** **Approval Date:** 11/08/2006
Note: **Ok to Issue:**

Location of Construction: 9 ELM ST	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: C.M. Cimino Inc.	Contractor Address: 3 Warren Ave Westbrook	Phone (207) 854-8876
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Comments:

10/23/2006-mes: Don't issue permit until site plan approval has been granted by planning

11/9/2006-jmb: Mike Nugent emailed on 11/8/06.....Thanks for your response. With regard to the geotechnical aspect of the project and upon receipt of the Statement of Special Inspections, a foundation only permit can be issued by the City, once the Planning Department authorizes it's release. Once excavation has occurred and prior to pouring the initial footings, the contracted engineer must confirm the "B" seismic conditions. If the soils are different than those that you are assuming, subsequent review of the moment connections and other Seismic resistance portions of the structure must occur and redesign if necessary.

There is no connection between the street opening permit and the building permit. You can get one at any time from Carol Merritt, Public Works.

11/9/2006-jmb: Can issue permit when special inspection statement is submitted....with the above geotech condition.

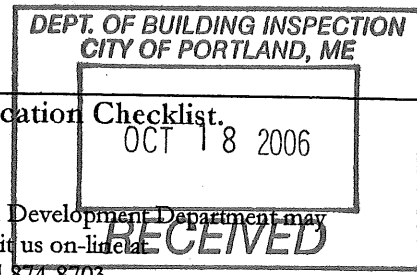
11/15/2006-jmb: Received statement of special inspections, ok to issue foundation only permit



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>ELM STREET PARKING GARAGE</u>		
Total Square Footage of Proposed Structure <u>1700 SF</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>27 B 003</u>	Owner: <u>GREATER PORTLAND TRANSIT DISTRICT</u>	Telephone: <u>774-0351</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>C.M. CIMINO INC. 3 WARREN AVE. WESTBROOK, MAINE 04092 207-854-8876</u>	Cost Of Work: \$ <u>658,000.00</u> Fee: \$ <u>6,600.00</u> C of O Fee: \$ <u>75.00</u>
Current Specific use: <u>No Use</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>TRANSPORTATION CENTER</u>		
Project description: <u>Downtown Portland Transportation Center. Project consists of closing in a portion of the Elm St. Parking Garage for a transportation center.</u>		
Contractor's name, address & telephone: <u>C.M. CIMINO INC. 3 WARREN AVE. WESTBROOK 04092</u>		
Who should we contact when the permit is ready: <u>Michael Cimino</u> Mailing address: <u>3 WARREN AVE. WESTBROOK, MAINE 04092</u> Phone: <u>854-8876</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u><i>Michael Cimino</i></u>	Date: <u>10/13/06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

#1 Completeness check - 2/10/06

Applicant: Greater Portland Transit Date: 10/10/06

Address: 21 Elm St

C-B-L: 027-B-008 -

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location -

B-3

Interior or corner lot -

Proposed Use/Work -

Bldg Addition for "Bus Shelter"

Sewage Disposal -

N/A

Lot Street Frontage -

Front Yard -

9' scaled - 10' max

Rear Yard -

N/A

Side Yard -

Projections -

Width of Lot -

Height -

min & max height OK N/A

Lot Area -

N/A

Lot Coverage/ Impervious Surface -

100%

Area per Family -

N/A

Off-street Parking -

N/A

Loading Bays -

N/A

Site Plan -

2006-0193 - 10/3/06

Shoreland Zoning/ Stream Protection -

N/A

→ Flood Plains -

Panel 13 - Zone C

Maguire Group Inc.
Architects/Engineers/Planners
33 Commercial Street, Suite 1
Foxborough, MA 02035
Telephone: 508-543-1700
Fax: 508-543-5157

SEP - 5 2008

September 3, 2008



Greater Portland Transit District
114 Valley Street
Portland, ME 04102

ATTN: Mr. David Redlefsen, General Manager

**Re: Downtown Transportation Center
MGI #17859**

Dear Mr. Redlefsen:

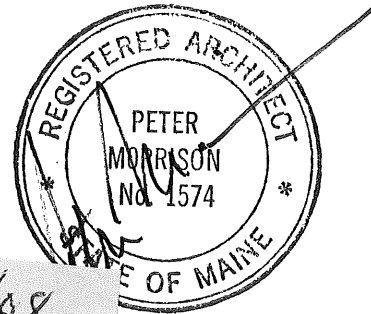
We recently had one of our architects visit the site to verify that the punch list items were corrected. I trust this letter will enable you to secure a certificate of occupancy.

Please let me know if we can be of further assistance.

Very truly yours

MAGUIRE GROUP INC.


Peter Morrison AIA
Senior Vice President



Handwritten note on a sticky note:
Tammy, 9/8/08
774-0351
~~left email w/ David~~
for SI Final report

SEP 8 2008

ELECTRICAL PERMIT

City of Portland, Me.

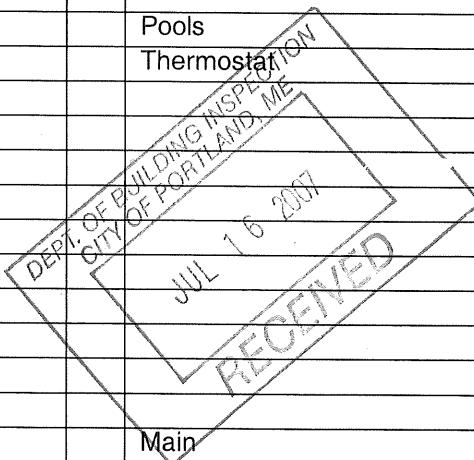


To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date _____
 Permit # 2007-4523
 CBL# 27B3

LOCATION: 21 Elm Street METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Metro
 TENANT METRO PHONE # 207-774-0351

						TOTAL EACH FEE	
OUTLETS		Receptacles		Switches		Smoke Detector	.20
FIXTURES		Incandescent		Fluorescent		Strips	.20
SERVICES		Overhead		Underground		TTL AMPS <800	15.00
		Overhead		Underground		>800	25.00
Temporary Service		Overhead		Underground		TTL AMPS	25.00
							25.00
METERS		(number of)					1.00
MOTORS		(number of)					2.00
RESID/COM		Electric units					1.00
HEATING		oil/gas units		Interior		Exterior	5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00
		Insta-Hot		Water heaters		Fans	2.00
		Dryers		Disposals		Dishwasher	2.00
		Compactors		Spa		Washing Machine	2.00
		Others (denote)					2.00
MISC. (number of)		Air Cond/win					3.00
		Air Cond/cent				Pools	10.00
		HVAC		EMS		Thermostat	5.00
	1	Signs					10.00
		Alarms/res					5.00
		Alarms/com					15.00
		Heavy Duty(CRKT)					2.00
		Circus/Carnv					25.00
		Alterations					5.00
		Fire Repairs					15.00
		E Lights					1.00
		E Generators					20.00
PANELS		Service		Remote		Main	4.00
TRANSFORMER		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00
						TOTAL AMOUNT DUE	
						MINIMUM FEE/COMMERCIAL 55.00	
						MINIMUM FEE	45.00



10.00

55.00

CONTRACTORS NAME Laplante Electric Inc. MASTER LIC. # MS60003714
 ADDRESS P.O. Box 971 Portland Me 04104 LIMITED LIC. # _____
 TELEPHONE 207 751-2445

SIGNATURE OF CONTRACTOR [Signature] # 5699
 White Copy - Office • Yellow Copy - Applicant



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: MAGUIRE GROUP INC.

Address of Project: 21 ELM ST.

Nature of Project: ADDITION ONTO THE ELM ST.
PARKING GARAGE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: [Signature]

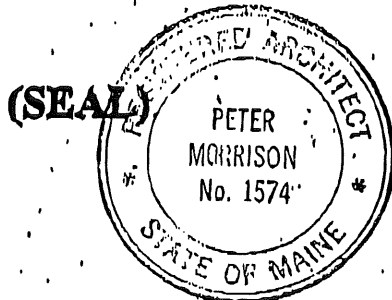
Title: SENIOR VICE PRESIDENT

Firm: MAGUIRE GROUP INC.

Address: 400 COMMERCIAL STREET
SUITE A

PORTLAND, ME. 04101

Phone: 207-761-1588



NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.

FROM DESIGNER: Maguire Group Inc.
 DATE: October 16, 2006
 Job Name: Metro Greater Portland Transit District
Downtown Portland Transportation Center
 Address of Construction: 21 Elm Street, Portland, ME

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) A-3/S-2 (garage)

Type of Construction 2B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? Yes If yes, separated or non separated (see Section 302.3) Yes, separated

Supervisory alarm system? No Geotechnical/Soilt report required? (See Section 1802.2) No, utilized information from existing garage structure.

STRUCTURAL DESIGN CALCULATIONS

Construction docs. submitted for all structural members submitted (100.1, 100.1.1)

N.A. Live load reduction (1008.1.1, 1007.4, 1007.10)
 See snow load Roof live loads (1003.1.2, 1007.11)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1003)

Roof snow loads (703.7.3, 1008)
50 PSF Ground snow load, P_g (1008.2)
50 PSF If $P_g > 40$ psf, flat-roof snow load, P_f (1008.3)
0.9 If $P_g > 40$ psf, snow exposure factor, C_e (Table 1008.3.1)
1.0 If $P_g > 10$ psf, snow load importance factor, I_s (Table 1004.6)
1.0 Roof thermal factor, Q (Table 1008.3.2)
50 PSF Sloped roof snowload, P_s (1008.4)

Uniformly distributed floor live loads (703.11, 1007)

Floor Area Use	Loads Shown
Slabs-on-grade	100 PSF

B Seismic design category (1031.2)
 Basic seismic force-resisting system (Table 1017.6.2)
3 Response modification coefficient, R , and deflection amplification factor, C_d (Table 1017.6.2)
N.A. Analysis procedure (1018.6, 1017.5)
*N.A. Design base shear (1017A, 1017.8.1)
 See * below

Wind loads (1009.1.4, 1009)
 Sec. 1609.6 Design option utilized (1002.1.1, 1009.5)
100 MPH Basic wind speed (1009.3)
1.0 Building category and Wind Importance factor, I_w (Table 1004.6, 1009.5)
B Wind exposure category (1009.4)
+0.18 Internal pressure coefficient (ASCE 7)
+7 PSF to Component and cladding pressures (1009.1.1, 1009.4.2.2)
-33 PSF
-13 PSF to Main force wind pressures (703.1.1, 1009.4.2.1)
+22 PSF

Flood loads (1003.1.4, 1012)
N.A. Floodhazard area (1012.3)
N.A. Elevation of structure

Earthquake design data (1009.1.5, 1014, 1029)

Eq. Force Method I Design option utilized (1014.1)
I Seismic use group ("Category") (Table 1004.5, 1016.2)
 SDS = 0.27 Spectral response coefficients, S_{DS} & S_{D1} (1015.1)
 SD1 = 0.07
B Site class (1015.1.5)

Other loads
N.A. Concentrated loads (1007A)
N.A. Partition loads (1007.5)
N.A. Impact loads (1007.8)
N.A. Misc. loads (Table 1007.6, 1007.8.1, 1007.7, 1007.13, 1007.15, 1010, 1011, 1004)

*The project consists of a very small addition to existing precast concrete parking garage. The addition does not increase seismic forces in any member by more than 5%.



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: MAGUIRE GROUP INC.

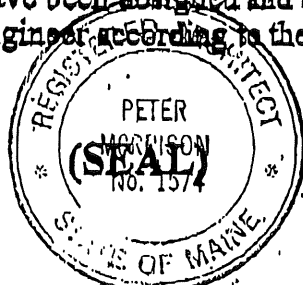
RE: Certificates of Design

DATE: 10/16/06

These plans and / or specifications covering construction work on:

EXPANSION OF METRO TICKET OFFICE ONTO THE
EXISTING PLAZA UNDER THE ELM ST. PARKING GARAGE.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature: [Handwritten Signature]

Title: SENIOR VICE PRESIDENT

Firm: MAGUIRE GROUP INC.

Address: 400 COMMERCIAL STREET
SUITE A
PORTLAND, ME. 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2006-0193

Application I. D. Number

10/3/2006

Application Date

Greater Portland Transit

Applicant

114 Valley Street, Portland, ME 04102

Applicant's Mailing Address

Greater Portland Transit

Project Name/Description

Consultant/Agent

Applicant Ph: (207) 774-0351 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

21 - 21 Elm St, Portland, Maine

Address of Proposed Site

027 B008001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 23,830
Acreage of Site _____

B3
Zoning

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied

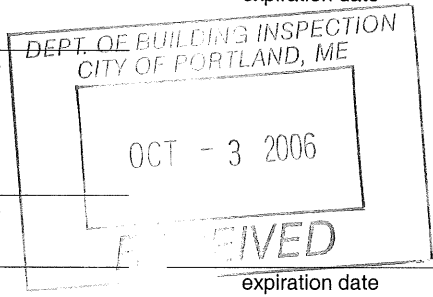
Reviewer Marge S. Smap

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

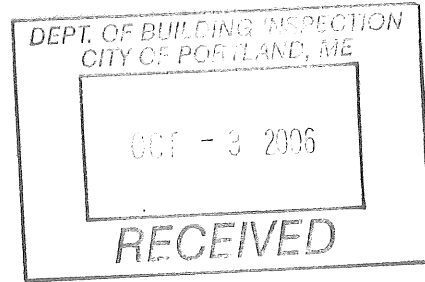


Maguire Group Inc.
Architects/Engineers/Planners
33 Commercial Street, Suite 1
Foxborough, MA 02035
Telephone: 508-543-1700
Fax: 508-543-5157

September 14, 2006



Ms. Sarah Greene Hopkins
Planning & Development Department
Planning Division
389 Congress Street
Portland, ME 04101



**Re: Site Plan Review, Greater Portland Transit District
Elm Street Station, 21 Elm Street, Portland, ME
MGI No. 17859**

Dear Ms. Hopkins:

Enclosed please find copies of full size site plans, 11x17 plan copies and copies of this application. A stamped existing survey will be arriving via separate cover from Four Points Associates.

The project involves renovating and adding to the existing Metro station located at the Elm Street Parking Garage (21 Elm Street). This project was designed to have a base bid along with three options and one alternate and are described as follows:

- a. The *base bid* was to renovate the existing space and add to it within the existing footprint of the garage, which totals 1170 s.f.
- b. *Option 1* includes the Base bid (1170 s.f.) along with repaving of the plaza.
- c. *Option 2* includes the Base bid (1170 s.f.) along with an expansion into the plaza of 680 s.f., for a total project of 1850 s.f.
- d. *Option 3* includes the Base bid (1170 s.f.) along with an expansion into the plaza of 680 s.f., for a total project of 1850 s.f. Also included with this option is the repaving of the plaza.
- e. *Alternate 1* includes the addition of awnings to the Elm Street façade.

Bids for the project have been received and Metro is evaluating which of the options may be chosen.

Ms. Sarah Greene Hopkins
September 14, 2006
Page 2

If I can be of any further help to you please call me at the number above or on my mobile phone, which is 401-447-7204.



Very truly yours,

MAGUIRE GROUP INC.

A handwritten signature in black ink, appearing to read "Steven G. Phillips". The signature is fluid and cursive, with a long horizontal stroke extending to the left.

Steven G. Phillips, AIA
Senior Project Manager

cc: Peter Cavanaugh – Metro
Paul Bradbury – Portland International Jetport

Enclosures



City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 21 Elm Street		Zone: B3							
Existing Building Size: 112,000 sq. ft. 6 (Flrs)		Proposed Building Size: 1850 sq. ft. Max.							
Existing Acreage of Site: 23,830 sq. ft.		Proposed Acreage of Site: Same sq. ft.							
Tax Assessor's Chart, Block & Lot: <table border="1"> <tr> <td>Chart#</td> <td>Block#</td> <td>Lot#</td> </tr> <tr> <td>27</td> <td>B</td> <td>8</td> </tr> </table>		Chart#	Block#	Lot#	27	B	8	Property owner's mailing address: City of Portland 389 Congress Street Portland, ME 04101	
Chart#	Block#	Lot#							
27	B	8							
Telephone #: 207-879-0300		Project name: Greater Portland Transit District - Downtown Portland Transportation Center							
Consultant/Agent, mailing address, phone # & contact person: Steve Phillips, Maguire Group Inc. 33 Commercial Street, Suite 1, Foxborough, MA 03035 508-543-1700		Applicant's name, mailing address, telephone #/Fax#/Pager#: Mr. Peter Cavanaugh 207-774-0351							

Fee For Service Deposit (all applications) (\$200.00)

Proposed Development (check all that apply)

- New Building Building Addition Change of Use Residential Office Retail
- Manufacturing Warehouse/Distribution Parking lot
- Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
- Site Location of Development (\$3,000.00)
(except for residential projects which shall be \$200.00 per lot _____)
- Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)
- Section 14-403 Review (\$400.00 + \$25.00 per lot)
- Other _____

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Mr. Peter Cavanaugh
Director of Operations
Greater Portland Transit District
114 Valley Street
Portland, ME 04102
207-774-0351

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

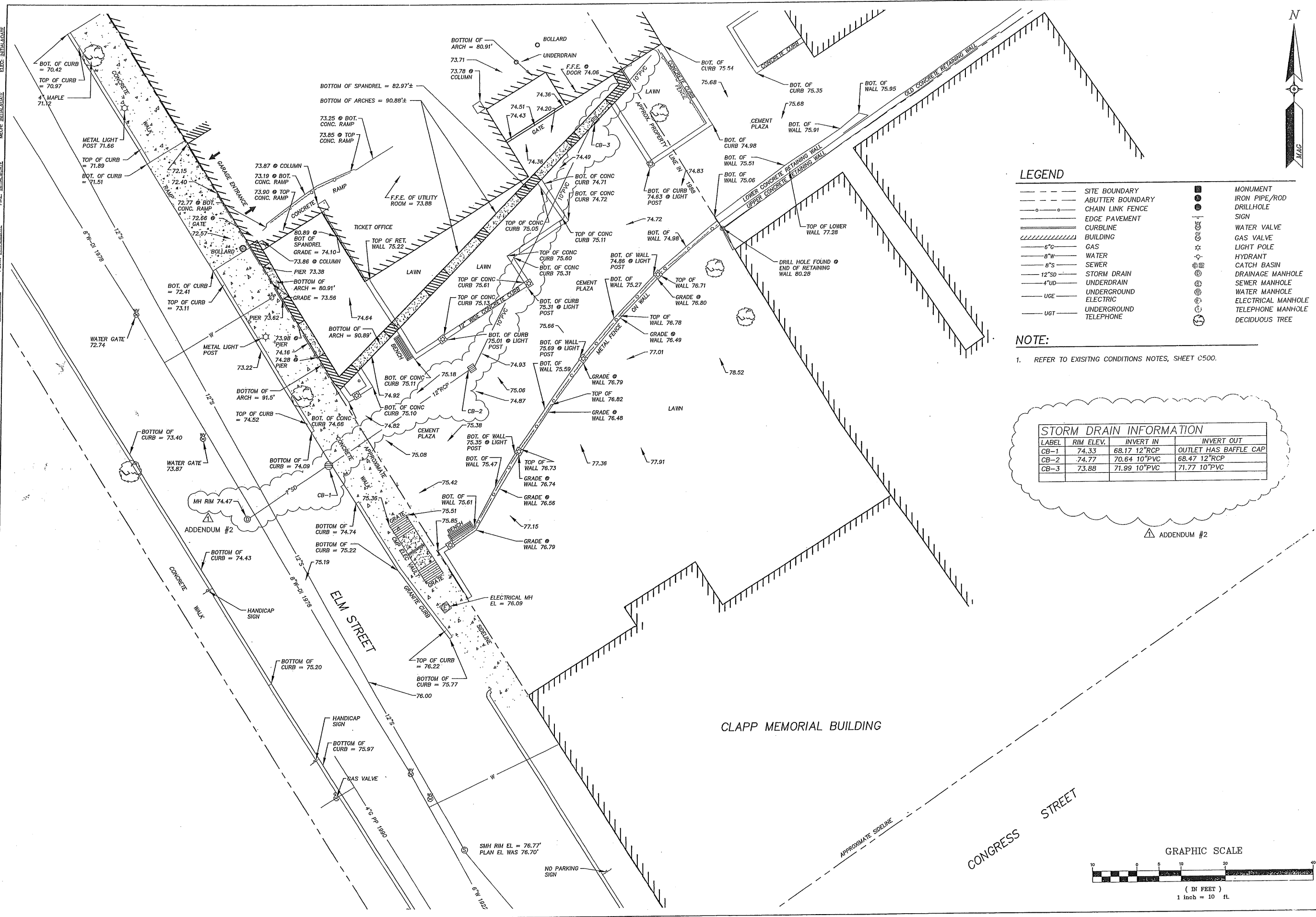


Date:

9.14.06

This application is for site review ONLY; a building Permit application and associated fees will be required prior to construction.

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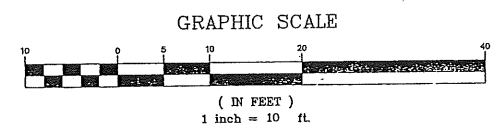
LEGEND

---	SITE BOUNDARY	○	MONUMENT
- - -	ABUTTER BOUNDARY	○	IRON PIPE/ROD
—○—○—	CHAIN LINK FENCE	○	DRILLHOLE
—	EDGE PAVEMENT	○	SIGN
—	CURBLINE	○	WATER VALVE
▨	BUILDING	○	GAS VALVE
—	6" G	○	LIGHT POLE
—	8" W	○	HYDRANT
—	8" S	○	CATCH BASIN
—	12" SD	○	DRAINAGE MANHOLE
—	4" UD	○	SEWER MANHOLE
—	UGE	○	WATER MANHOLE
—	UNDERGROUND ELECTRIC	○	ELECTRICAL MANHOLE
—	UGT	○	TELEPHONE MANHOLE
		○	DECIDUOUS TREE

NOTE:
 1. REFER TO EXISTING CONDITIONS NOTES, SHEET C500.

STORM DRAIN INFORMATION

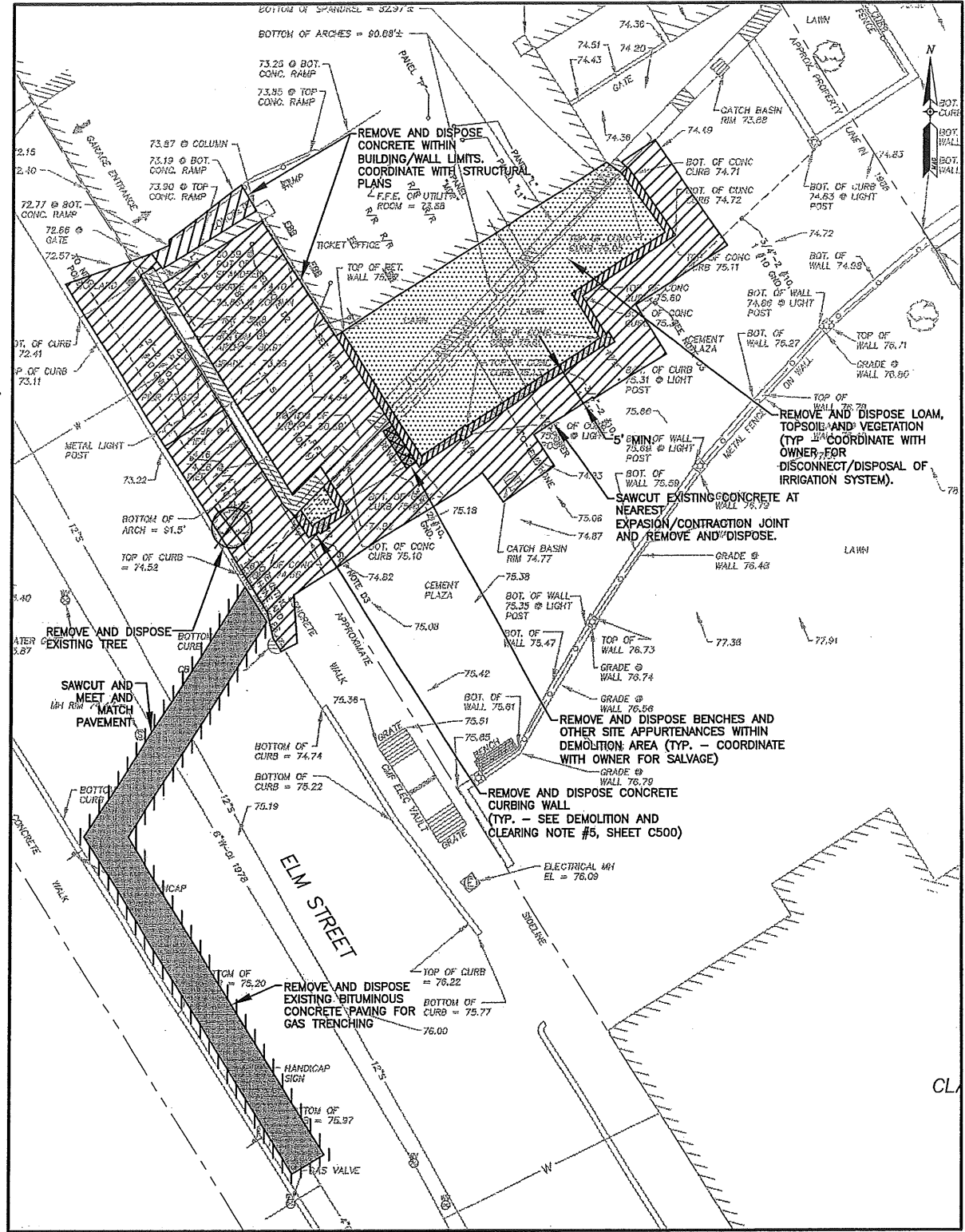
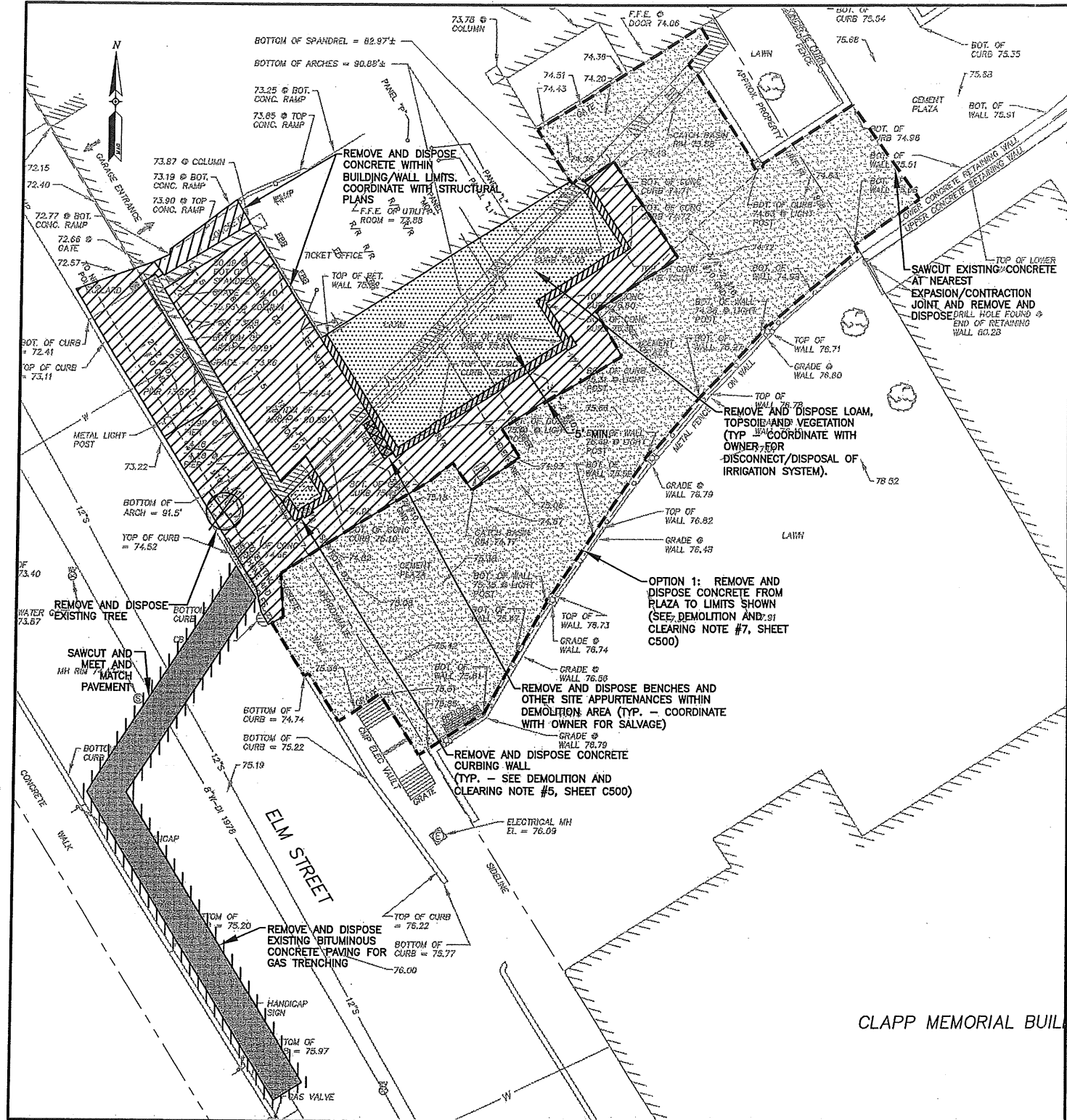
LABEL	RIM ELEV.	INVERT IN	INVERT OUT
CB-1	74.33	68.17 12"RCP	OUTLET HAS BAFFLE CAP
CB-2	74.77	70.64 10" PVC	68.47 12"RCP
CB-3	73.88	71.99 10" PVC	71.77 10" PVC



<p>Maguire Group Inc. Architects / Engineers / Planners 33 Commercial Street, Suite 1 Foxborough, Massachusetts 02035</p>	<p>Maguire Group</p>
<p>DOWNTOWN PORTLAND TRANSPORTATION CENTER PORTLAND, MAINE</p>	
<p>EXISTING CONDITIONS PLAN</p>	
<p>PROJECT NO.: 17859 DESIGNED BY: LAH DRAWN BY: LAH CHK'D BY: DATE: 8/15/2006 SCALE: 1" = 10' SHEET NO. C00</p>	
<p>SHEET 2 OF 30</p>	

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**SITE DEMOLITION PLAN:
OPTION #1**

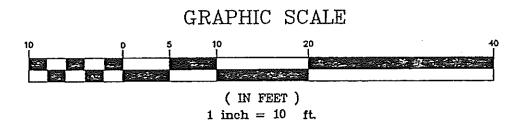
**SITE DEMOLITION PLAN:
BASE BID**

LEGEND

- | | | | |
|--|---------------------------------------|--|--------------------------------|
| | CONCRETE SIDEWALK DEMOLITION | | BITUMINOUS CONCRETE DEMOLITION |
| | CONCRETE CURB/WALL DEMOLITION | | TREE REMOVAL |
| | LOAM/TOPSOIL DEMOLITION | | |
| | SITE APPURTENANCE DEMOLITION | | |
| | CONCRETE PLAZA DEMOLITION (OPTION #1) | | |

NOTE:

1. REFER TO DEMOLITION AND CLEARING NOTES ON SHEET C500.



MARK	DATE	DESCRIPTION	BY	APP'D

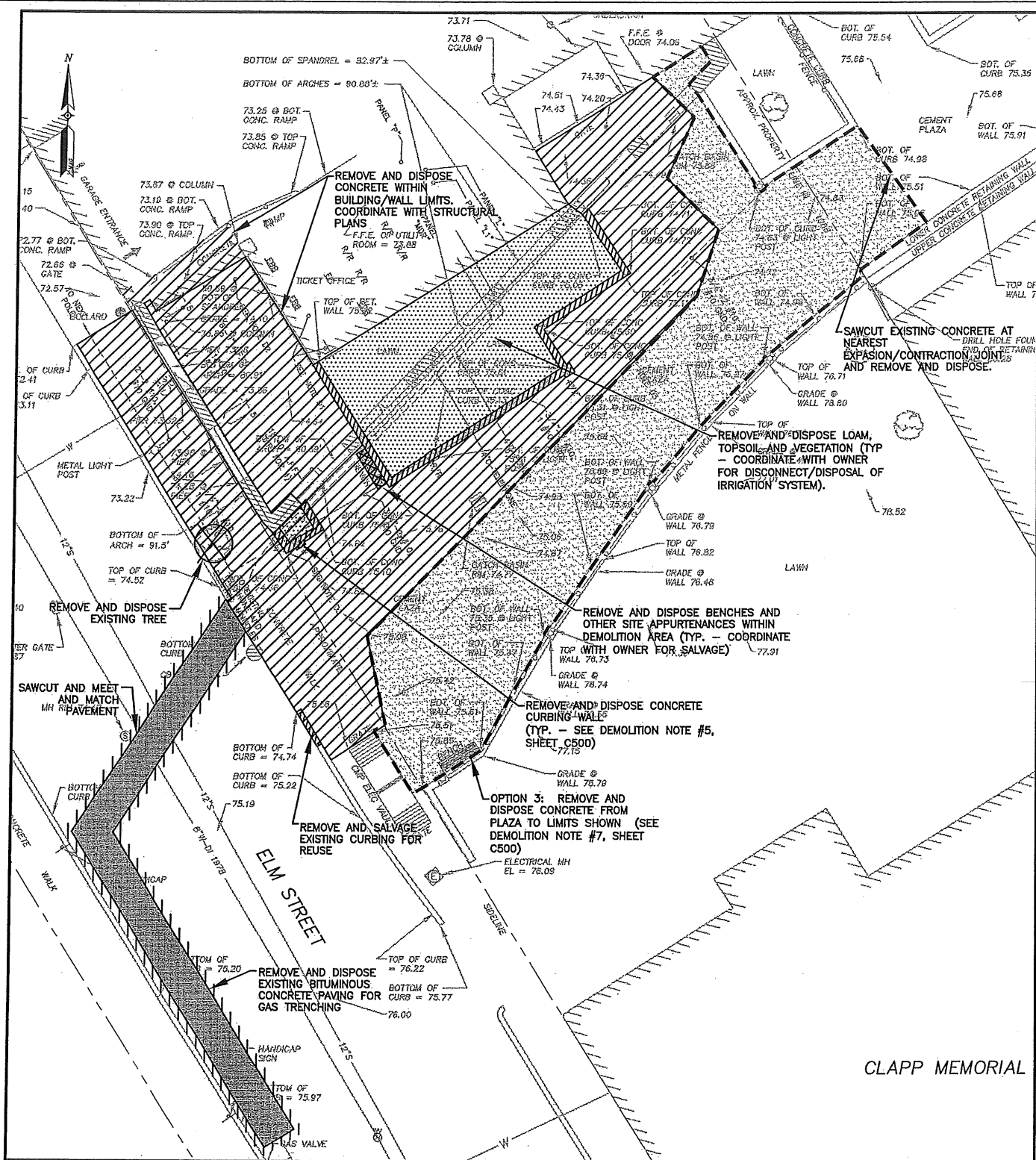
Maguire Group Inc.
Architects/Engineers/Planners
33 Commercial Street, Suite 1
Fobxoborough, Massachusetts 02035

MAGUIRE GROUP

DOWNTOWN PORTLAND
TRANSPORTATION CENTER
PORTLAND, MAINE
BASE BID AND OPTION #1
PROPOSED DEMOLITION PLAN

PROJECT NO.: 17859
DESIGNED BY: LAH
DRAWN BY: LAH
CHK'D BY:
DATE: 8/14/2006
SCALE: 1" = 10'
SHEET NO.
C002
SHEET 3 OF 30

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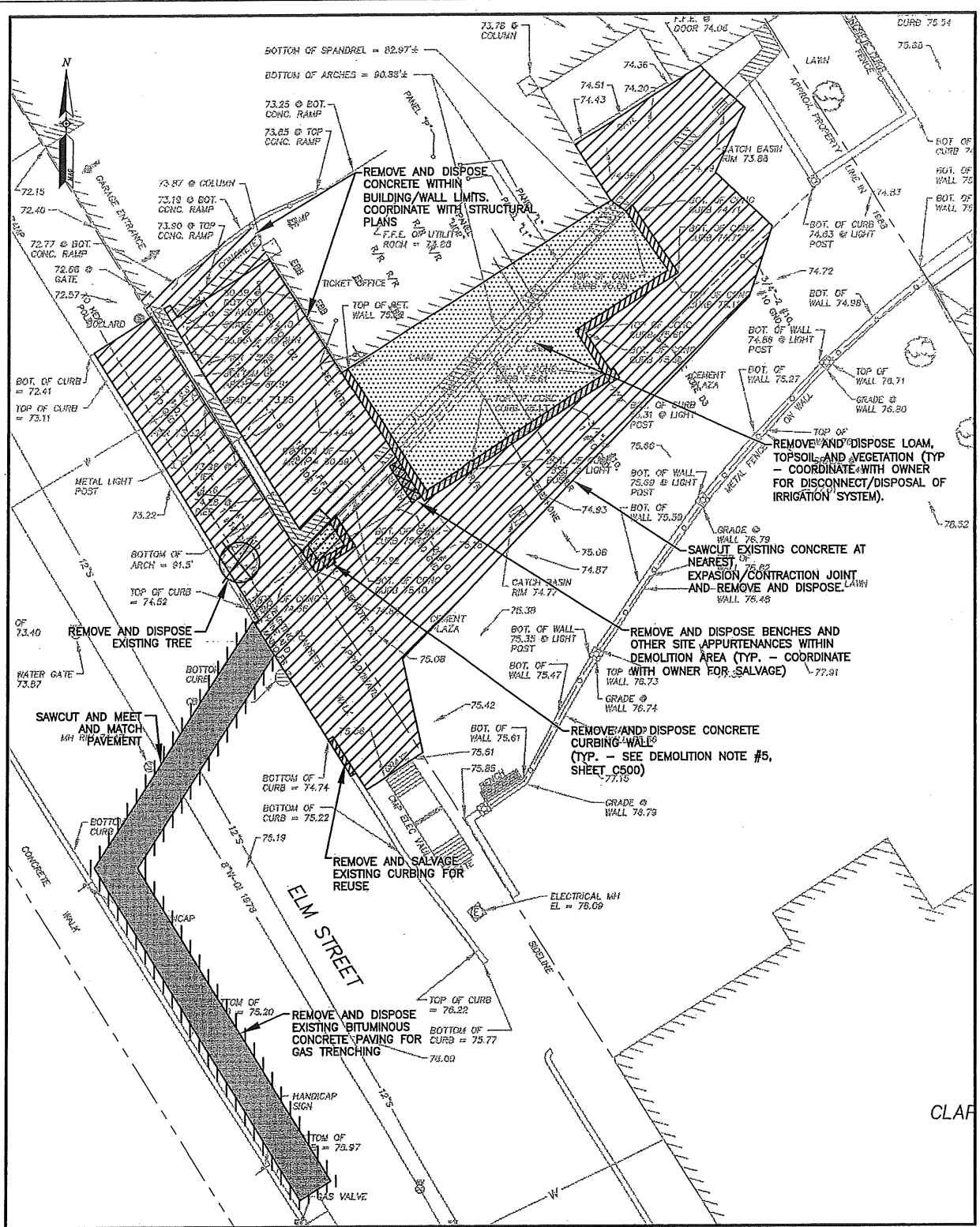


**SITE DEMOLITION PLAN:
OPTION #3**

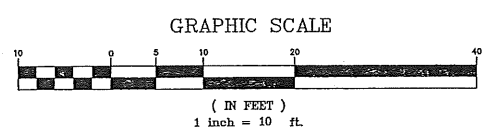
- LEGEND**
- CONCRETE SIDEWALK DEMOLITION
 - CONCRETE CURB/WALL DEMOLITION
 - LOAM/TOPSOIL DEMOLITION
 - SITE APPURTENANCE DEMOLITION
 - CONCRETE PLAZA DEMOLITION (OPTION #3)
 - BITUMINOUS CONCRETE DEMOLITION
 - TREE REMOVAL

NOTE:

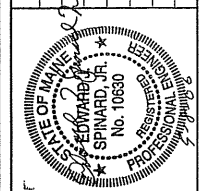
1. REFER TO DEMOLITION AND CLEARING NOTES ON SHEET C500.



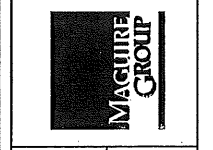
**SITE DEMOLITION PLAN:
OPTION #2**



MARK	DATE	DESCRIPTION	BY	APP'D

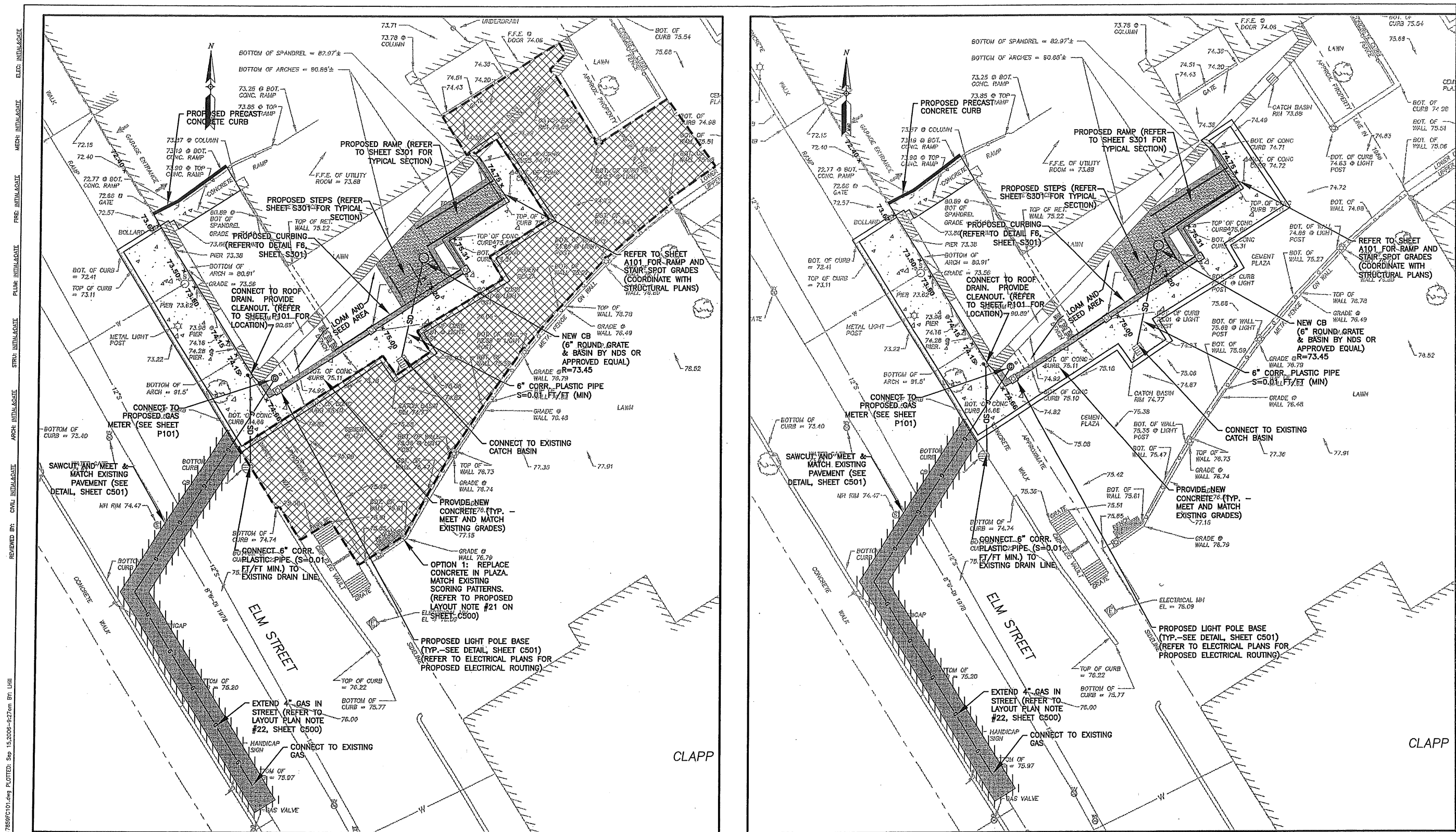


Maguire Group Inc.
 Architects/Engineers/Planners
 33 Commercial Street, Suite 1
 Foxborough, Massachusetts 02035



**DOWNTOWN PORTLAND
 TRANSPORTATION CENTER
 PORTLAND, MAINE
 OPTION #2 AND OPTION #3
 PROPOSED DEMOLITION PLAN**

PROJECT NO.:	17859
DESIGNED BY:	LAH
DRAWN BY:	LAH
CHK'D BY:	
DATE:	8/14/2006
SCALE:	1" = 10'
SHEET NO.:	C003
SHEET	4 OF 30

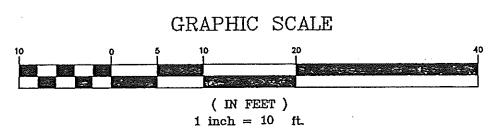


**SITE LAYOUT PLAN:
OPTION #1**

**SITE LAYOUT PLAN:
BASE BID**

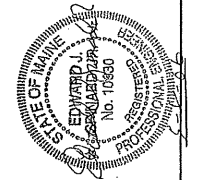
- LEGEND**
- PROPOSED SITE CONCRETE
 - PROPOSED STAIR/RAMP CONCRETE (REFER TO ARCHITECTURAL AND STRUCTURAL PLANS)
 - PROPOSED BITUMINOUS PAVEMENT REPLACEMENT/TRENCHING
 - REPLACEMENT OF PLAZA CONCRETE (OPTION #1)

NOTE:
1. REFER TO LAYOUT, GRADING, AND DRAINAGE NOTES ON SHEET C500.



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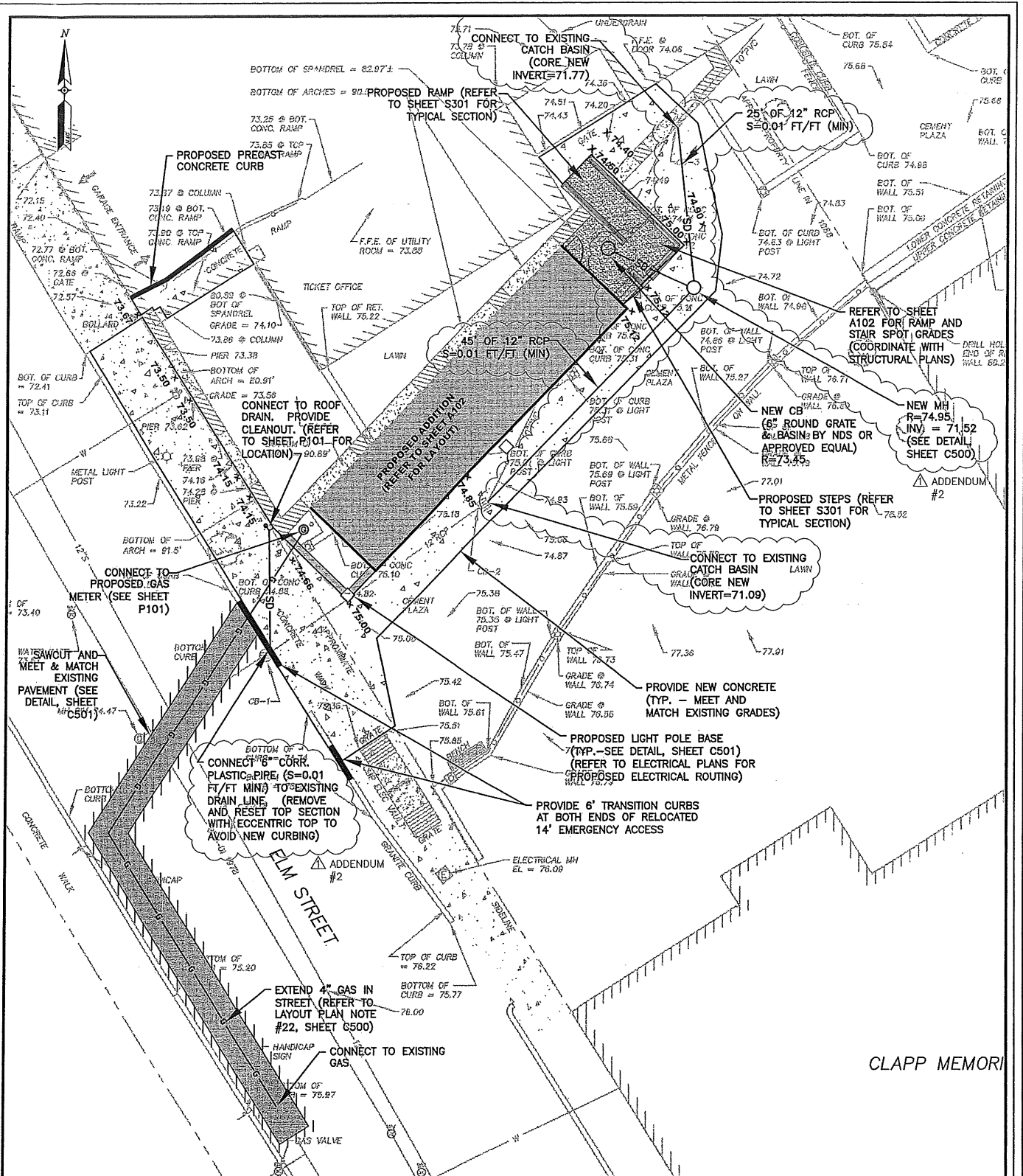
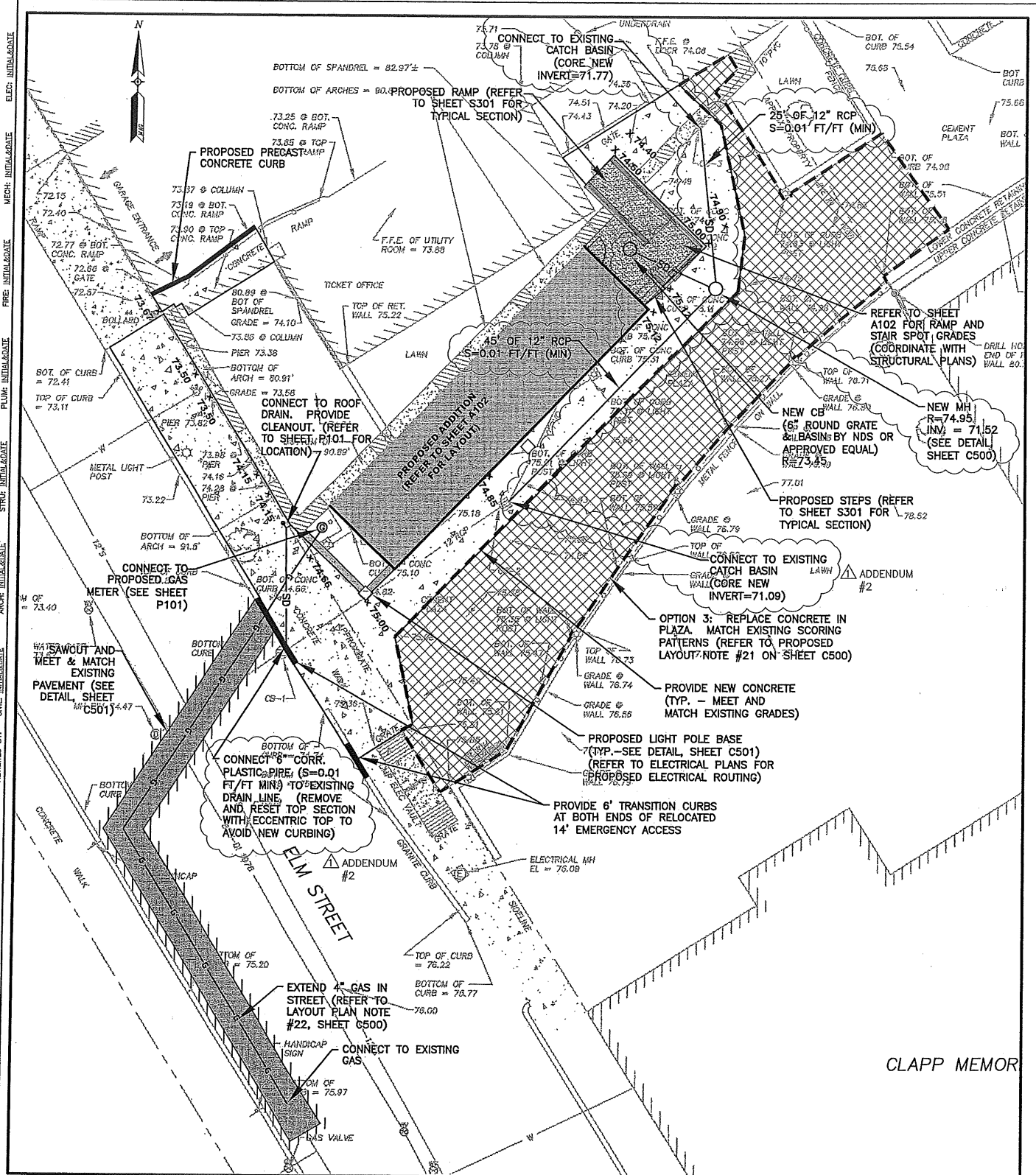


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Foxborough, Massachusetts 02035



**DOWNTOWN PORTLAND
TRANSPORTATION CENTER
PORTLAND, MAINE**
BASE BID AND OPTION #1
PROPOSED LAYOUT PLAN





PROJECT NO.: 17859
DESIGNED BY: LAH
DRAWN BY: LAH
CHK'D BY:
DATE: 8/14/2006
SCALE: 1" = 10'
SHEET NO.
C101
SHEET 5 OF 30



**SITE LAYOUT PLAN:
OPTION #3**

**SITE LAYOUT PLAN:
OPTION #2**

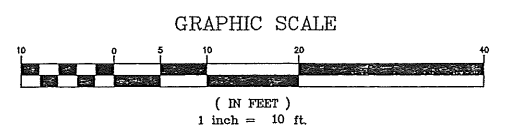
LEGEND

-  PROPOSED SITE CONCRETE
-  PROPOSED STAIR/RAMP CONCRETE (REFER TO ARCHITECTURAL AND STRUCTURAL PLANS)
-  PROPOSED BITUMINOUS PAVEMENT REPLACEMENT/TRENCHING
-  REPLACEMENT OF PLAZA CONCRETE (OPTION #3)

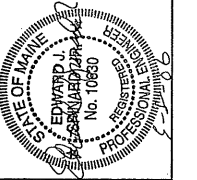
NOTE:

1. REFER TO LAYOUT, GRADING, AND DRAINAGE NOTES ON SHEET C500.
2. OPTION #2 CALLS FOR MINIMAL PLAZA CONCRETE DISTURBANCE. REPLACEMENT OF THE CONCRETE SHALL BE ONLY AS SHOWN, AND THE BANDING AND SCORING PATTERNS OF THE EXISTING CONCRETE SHALL BE MET AND MATCHED ACCORDINGLY.
3. OPTION #3 CALLS FOR REPLACEMENT OF ALL OF THE CONCRETE IN THE ADJACENT PLAZA AS SHOWN. REPLACEMENT OF THE CONCRETE SHALL BE AS SHOWN, WITH A SCORING PATTERN OF 4'x4' SQUARE. SCORING PATTERN SHALL RUN PERPENDICULAR TO AND PARALLEL WITH ELM STREET AND SHALL ABUT THE PROPOSED (AND/OR EXISTING WALK ALONG ELM STREET.

△ ADDENDUM #2



MARK	DATE	DESCRIPTION	BY	APP'D



Maguire Group Inc.
Architects/Engineers/Planners
33 Commercial Street, Suite 1
Foxborough, Massachusetts 02035



**DOWNTOWN PORTLAND
TRANSPORTATION CENTER
PORTLAND, MAINE
OPTION #2 AND OPTION #3
PROPOSED LAYOUT PLAN**

PROJECT NO.:	17859
DESIGNED BY:	LAH
DRAWN BY:	LAH
CHK'D BY:	
DATE:	8/14/2006
SCALE:	1" = 10'
SHEET NO.:	

C102
SHEET 6 OF 30

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EXISTING CONDITIONS PLAN NOTES:

1. THE SURVEY DEPICTED ON THE PLAN WAS PERFORMED BY FOUR POINTS ASSOCIATES, INC., 102 DEER RUN, GREENE, ME 04236. THE PURPOSE OF THIS PLAN IS TO DEPICT EXISTING CONDITIONS AS OF JUNE 2006 AND PROVIDE SPOT ELEVATIONS WHERE DIRECTED BY MAGUIRE GROUP.
2. THIS IS NOT A BOUNDARY SURVEY. ANY PROPERTY LINES SHOWN ARE BASED ON HISTORICAL PLANS AND ARE APPROXIMATE ONLY FOR INFORMATIONAL PURPOSES. DEED RESEARCH HAS NOT BEEN COMPLETED FOR THIS EXISTING CONDITIONS PLAN.
3. VERTICAL DATUM IS NGVD 1929 AND WAS ESTABLISHED BY HOLDING AN ELEVATION SHOWN ON A WATER GATE NEAR THE INTERSECTION OF ELM AND CONGRESS STREETS AS SHOWN ON A PLAN OF LAND ENTITLED, "PORTLAND HIGH SCHOOL PROJECT ELM STREET PARKING GARAGE" DATED MAY 5, 1989 BY PORTLAND DESIGN TEAM, JOHN L. COTHERN, PLS, SHEET L-0, SITE SURVEY.
4. ALL PROPERTY LINES ARE SUBJECT TO REVISION UPON A BOUNDARY SURVEY BEING COMPLETED.
5. ALL UNDERGROUND UTILITIES ARE SUBJECT TO CONFIRMATION BY CONTACTING DIG-SAFE PRIOR TO ANY EXCAVATION OF ANY KIND TAKING PLACE WITHIN THE SUBJECT PROPERTY SHOWN HEREON. UTILITY INFORMATION IS TAKEN FROM LOCATION OF VISIBLE ABOVE GROUND STRUCTURES AND PLANS PROVIDED BY THE PORTLAND WATER DISTRICT, THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT AND NORTHERN UTILITIES. ALL LINES ARE APPROXIMATE IN LOCATION.

DEMOLITION AND CLEARING NOTES:

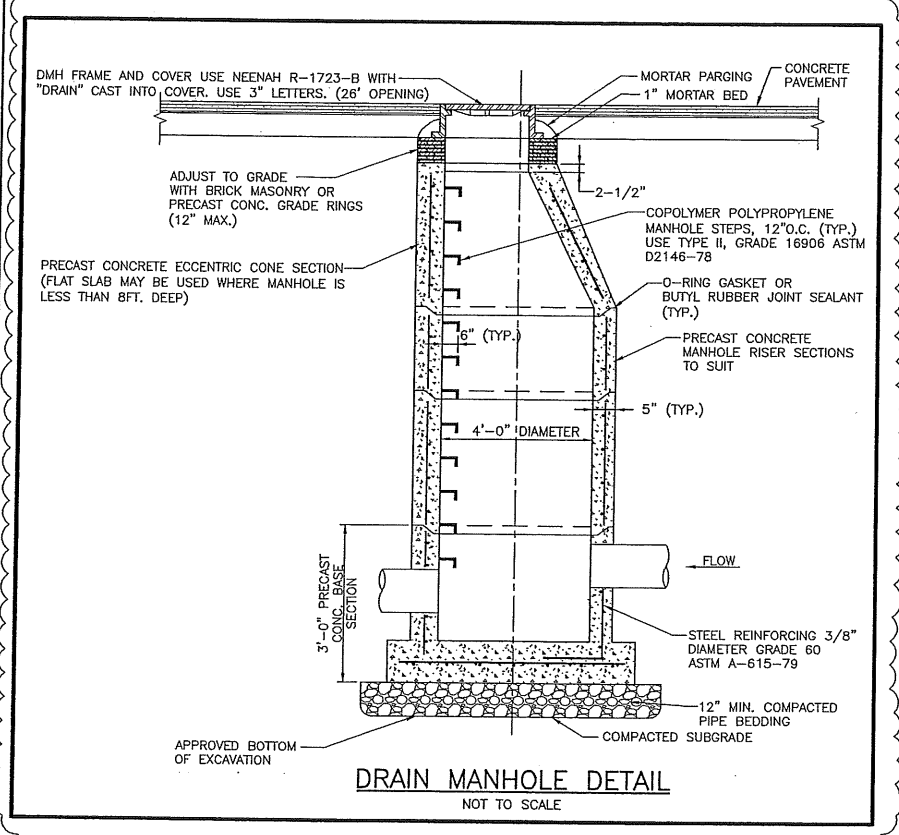
1. DEMOLITION OF EXISTING STRUCTURES IS GENERALLY SHOWN ON THE DRAWINGS. UNLESS OTHERWISE INDICATED, THE DEMOLITION OF A STRUCTURE MEANS THE DEMOLITION, REMOVAL AND DISPOSAL OF THE ENTIRE UNIT, INCLUDING SUBSTRUCTURE, SUPERSTRUCTURE AND APPURTENANCES OR CONTENTS OF THE STRUCTURE.
2. DISPOSAL OF DEMOLISHED MATERIALS, BOTH SUITABLE AND UNSUITABLE, IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
3. CONTRACTOR TO CONTACT ENGINEER IN THE EVENT THAT ADDITIONAL UTILITIES ARE LOCATED IN AREAS OF PROPOSED CONSTRUCTION.
4. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DEMOLITION DRAWINGS FOR ADDITIONAL ITEMS TO BE DEMOLISHED WITHIN 5' OF EXISTING/PROPOSED BUILDING WALLS.
5. COORDINATE WITH ELECTRICAL DRAWINGS FOR DEMOLITION OF LIGHTING FACILITIES AND ASSOCIATED ELECTRICAL DEMOLITION.
6. HAND EXCAVATE IN AREA OF EXISTING ELECTRICAL AND TELEPHONE SERVICES. PROTECT, SUPPORT, AND FORM AROUND AS REQUIRED (SEE DETAIL 1, SHEETS E100 AND E101 FOR LOCATION).
7. OPTION #1 AND OPTION #3 INVOLVE DEMOLITION AND REPLACEMENT OF CONCRETE PAVING WITHIN PLAZA AREA. COORDINATE WITH OWNER FOR REMOVAL AND REPLACEMENT OF BENCHES AND OTHER SITE APPURTENANCES.
8. VERIFY THE STATUS (ACTIVE OR ABANDONED) OF ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. ASSURE THAT ONLY INACTIVE OR ABANDONED UTILITIES ARE CUT, DISRUPTED OR REMOVED.
9. NOTIFY ALL UTILITY AUTHORITIES, COMPANIES AND AGENCIES PRIOR TO PERFORMING ANY WORK ON OR NEAR THEIR LINES. COMPLY WITH ALL REGULATIONS. COMPLY WITH "DIG SAFE" REQUIREMENTS. VERIFY SIZES, LOCATIONS AND DEPTHS OF ALL UTILITIES. PERFORM TEST PITS AS NECESSARY.
10. CONTRACTOR SHALL BE PREPARED TO HANDLE ALL STORM WATER WHICH PRESENTLY FLOWS TO CATCH BASINS WITHIN THE DEMOLITION LIMITS DURING CONSTRUCTION. TEMPORARY CONNECTIONS, STORM WATER PIPING AND DIVERSIONS SHALL BE INSTALLED AS NECESSARY.
11. COMPLY WITH ALL FEDERAL, STATE AND LOCAL HAULING, DISPOSAL AND SAFETY REGULATIONS.
12. CONTRACTOR SHALL CLEAR SITE OF ALL BUILDING STRUCTURES, PAVEMENT AND MISCELLANEOUS PHYSICAL FEATURES AS DESCRIBED IN THE DRAWINGS, SPECIFICATIONS OR AS DIRECTED BY THE OWNER OR ARCHITECT.
13. PROVIDE DUST AND NOISE CONTROL THROUGHOUT THE CONSTRUCTION SCHEDULE.
14. ALL EXCAVATIONS AND DEPRESSIONS RESULTING FROM DEMOLITION AND REMOVAL TO BE REFILLED WITH COMPACTED GRANULAR FILL FROM ON-SITE SOURCES OR BORROW, AS DIRECTED.
15. SWEEP OR OTHERWISE KEEP ALL STREETS, SIDEWALKS AND PUBLIC RIGHTS-OF-WAY CLEAN AND FREE FROM DIRT AND DEBRIS.

GRADING AND DRAINAGE NOTES:

1. MINIMUM PIPE COVER FOR ALL STORM DRAINAGE SHALL BE FOUR FEET (4'-0") UNLESS OTHERWISE INDICATED OR DIRECTED.
2. PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, MANUFACTURER'S DRAWINGS.
3. ALL NEW STORM DRAINS OR MODIFICATIONS TO EXISTING STORM DRAINS SHALL BE COORDINATED WITH AND SUBJECT TO INSPECTION BY THE AUTHORITY HAVING JURISDICTION.
4. INSTALLATION OF THE STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS 02630 AND DETAILS.
5. ALL STORM DRAINAGE SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
6. NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND THE COMPLETION CERTIFICATE IS ISSUED.
7. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
8. PROPOSED SPOT GRADES ARE TO FINISHED GRADE.
9. THE CONTRACTOR SHALL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADED AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
10. GROUNDWATER REMOVED FROM TRENCHES DURING CONSTRUCTION MAY BE DISCHARGED TO STORM DRAINS WHEN FILTERED BY AN APPROVED METHOD AS DIRECTED. ALL WATER TO BE DISCHARGED MUST BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATORY AGENCIES.
11. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
12. STORM DRAINS SPECIFIED SHALL BE HDPE CORRUGATED PLASTIC PIPE (CPP), OR EQUAL, OR CLASS III R.C.P. UNLESS OTHERWISE SPECIFIED.

LAYOUT PLAN NOTES:

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER.
2. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLANS.
3. THE EXISTENCE, LOCATION AND DEPTH OF EXISTING UTILITIES HAVE BEEN PLOTTED FROM THE BEST AVAILABLE RECORD DATA SUPPLEMENTED WITH ON-SITE FIELD SURVEY. CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS AND SIZES OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY, PRIOR TO PROCEEDING WITH THE CONSTRUCTION OPERATIONS.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR AND EQUIPMENT NECESSARY TO COMPLETE WORK ON THIS CONTRACT, AS OUTLINED IN THE CONTRACT DOCUMENTS (PLANS AND SPECIFICATIONS).
5. ALL EXISTING AREAS DISTURBED BY THE CONTRACTOR'S WORK OUTSIDE THE PROPERTY LINES AND/OR PROPOSED WORK LIMITS SHALL BE REPAIRED IN KIND, TO THE SATISFACTION OF THE OWNER/ ENGINEER IN THE FIELD, AT NO COST TO THE OWNER, OR ABUTTER.
6. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE, WITH THE APPROVAL OF THE ENGINEER, BUT CHANGES WHICH INVOLVE EXTRA COST SHALL NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER.
7. FINAL LOCATION OF EQUIPMENT AND CONNECTION POINTS SHALL BE APPROVED BY THE ENGINEER AND SHALL BE DETERMINED IN THE FIELD WITH THE CONTRACTOR BEING RESPONSIBLE FOR DIMENSIONS CONFIRMED AND CORRELATED AT THE JOB SITE.
8. ALL EQUIPMENT AND HARDWARE SHALL BE NEW, UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER.
9. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL ON-SITE SAFETY FROM THE TIME THE JOB IS AWARDED UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER. ALL WORK SHALL COMPLY WITH CURRENT OSHA REQUIREMENTS.
10. THE CONTRACTOR SHALL MAKE ALL REQUIRED FIELD MEASUREMENTS TO VERIFY EXISTING AND CONTRACT INTERFACE DIMENSIONS, LOCATIONS, AND OTHER CONDITIONS.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS AND INSPECTIONS AS REQUIRED FOR THE PROPOSED CONSTRUCTION WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING WORK ACTIVITIES WITH THE OWNER.
13. DAMAGE TO EXISTING ITEMS TO REMAIN, OR PREVIOUSLY INSTALLED PROPOSED WORK, AS A RESULT OF THE CONTRACTOR'S OR ANY OF HIS SUBCONTRACTOR'S ACTIVITIES DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED PROMPTLY AND AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
14. ALL WORK SHALL COMPLY WITH THE LATEST STATE OF MAINE BUILDING AND LIFE SAFETY CODES AND SUPPLEMENTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE ADHERENCE TO ALL PROVISIONS AND REQUIREMENTS OF THE CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, THESE CONTRACT DRAWINGS, THE CONTRACT GENERAL REQUIREMENTS, SPECIAL CONDITIONS AND TECHNICAL SPECIFICATIONS, AND TO ALL PERMITS APPENDED THERETO.
16. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION. TEMPORARY VEHICULAR AND/OR PEDESTRIAN SIGNAGE MAY BE REQUIRED AT THE EXPENSE OF THE CONTRACTOR, IN ORDER TO MAINTAIN SAFE CIRCULATION AT ALL TIMES.
17. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION; I.E. IN TIMES OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET.
18. SIDEWALK CONSTRUCTION SHOWN IN THESE PLANS SHALL MEET ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF JULY 1991 TITLE II, TITLE III, AND ANY STATE COUNTY LOCAL OR OTHER APPLICABLE LAWS.
19. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, ARCHITECTURAL, PLUMBING, AND OTHER CATEGORIES OF DRAWINGS FOR ADDITIONAL NOTES AND FOR ALL WORK WITHIN 5 FEET OF BUILDINGS.
20. HAND EXCAVATE IN AREA OF EXISTING ELECTRICAL AND TELEPHONE SERVICES. PROTECT, SUPPORT, AND FORM AROUND AS REQUIRED (SEE DETAIL 1, SHEETS E100 AND E101 FOR LOCATION).
21. OPTION #1 AND OPTION #3 INVOLVE DEMOLITION AND REPLACEMENT OF CONCRETE PAVING WITHIN PLAZA AREA. ADJUST DRAINAGE STRUCTURES TO GRADE FOLLOWING INSTALLATION OF CONCRETE.
22. GAS LINE TO BE CONSTRUCTED AT THE CONTRACTOR'S EXPENSE AND IN ACCORDANCE WITH LOCAL GAS COMPANY REQUIREMENTS AND GUIDELINES. NOTE THAT THE CONTRACTOR MAY BE REQUIRED TO OBTAIN CERTIFICATION FROM THE GAS COMPANY OR TO HIRE A FIRM CERTIFIED BY THE GAS COMPANY IN ORDER TO COMPLETE CONSTRUCTION. LAYOUT SHOWN MAY VARY SLIGHTLY, AS THE DESIGN (SIZING AND LAYOUT) WILL BE COMPLETED BY THE GAS COMPANY.



▲ ADDENDUM #2

PROJECT NO.: 17859	DESIGNED BY: LAH	DRAWN BY: LAH	CHK'D BY:	DATE: 8/14/2006	SCALE: 1" = 10'	SHEET NO.
C500						
SHEET 7 OF 30						

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SEAL

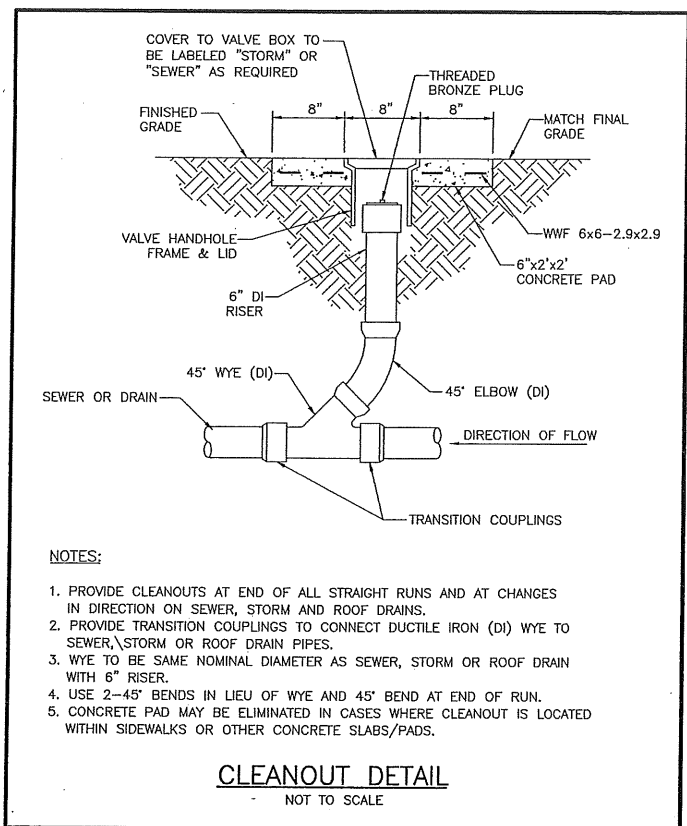
STATE OF MAINE
EDWARD J. SPINARD, JR.
No. 10690
Professional Engineer
Professional Seal No. 10690

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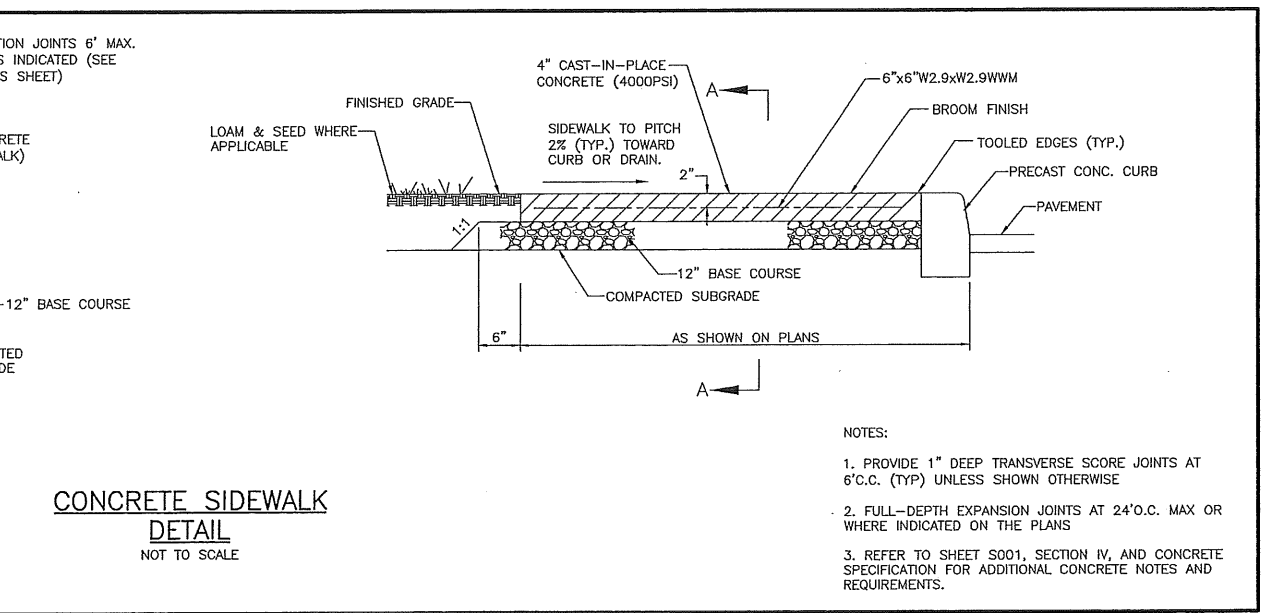
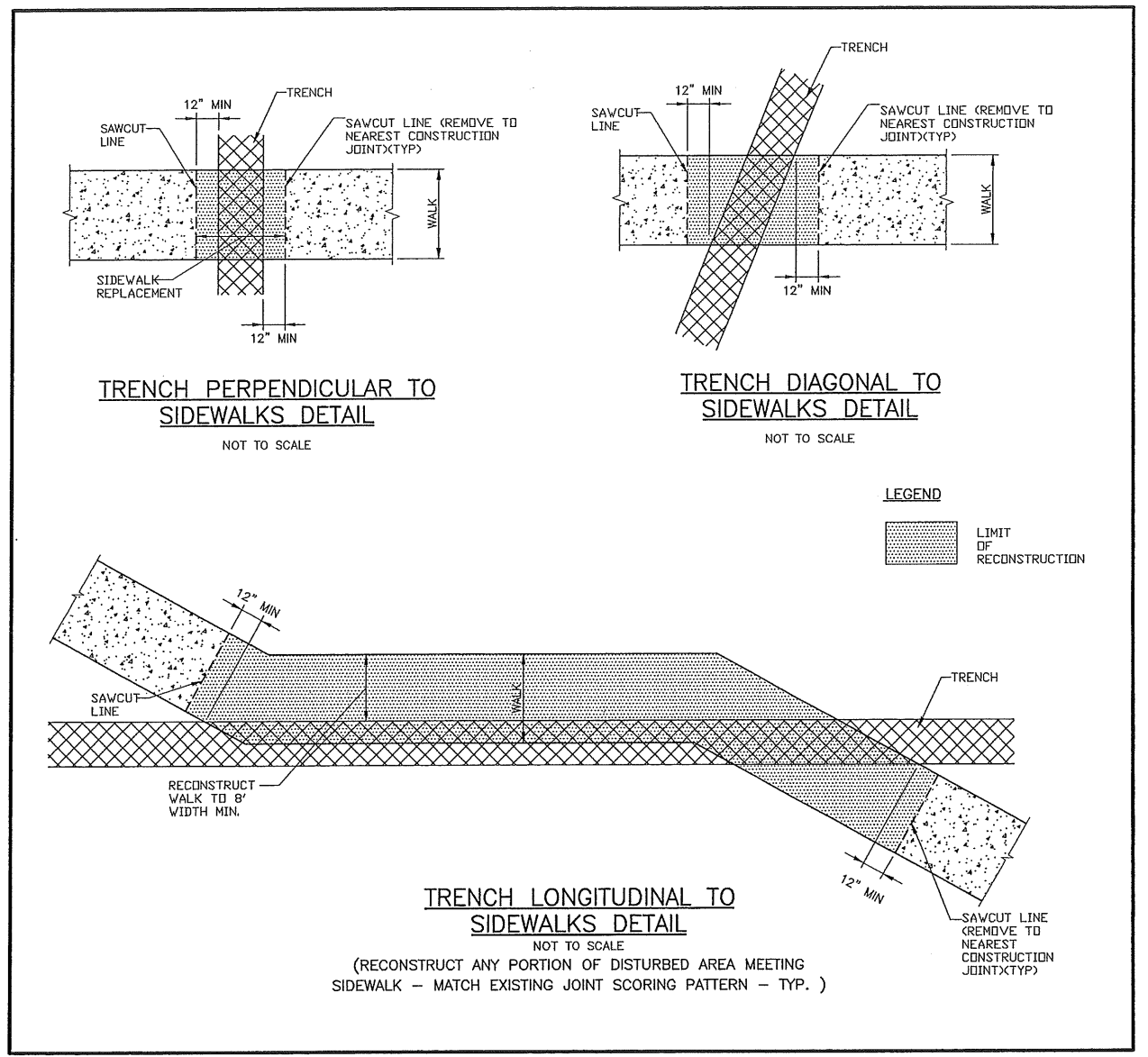
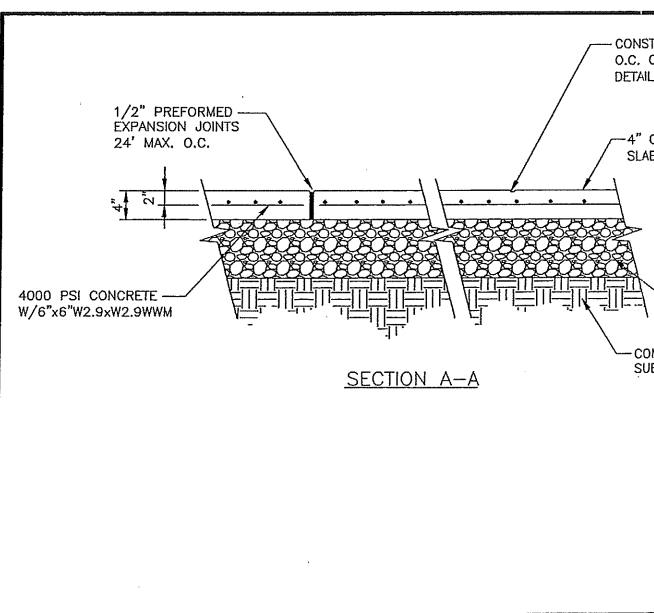
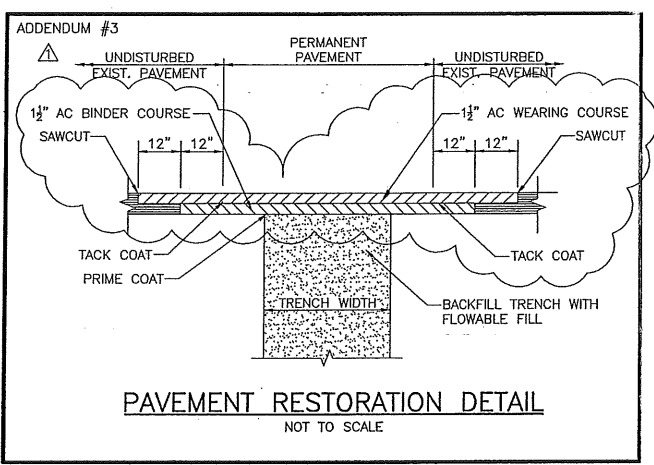
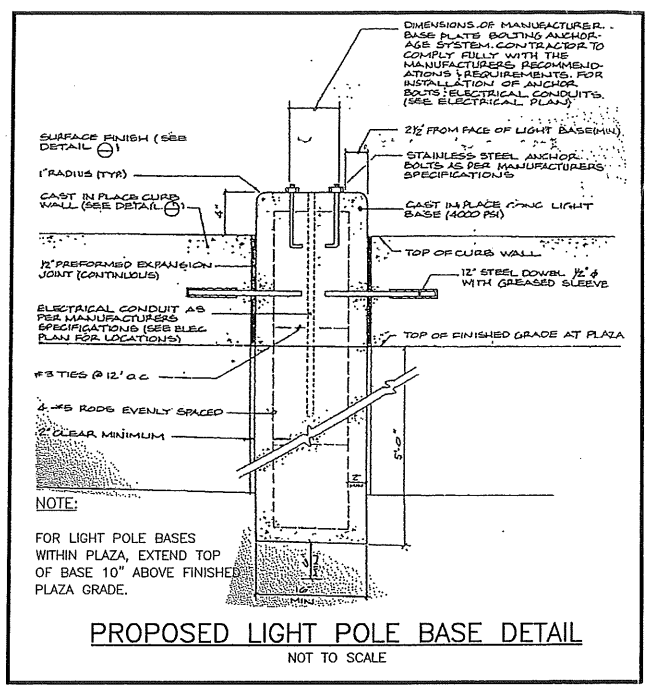
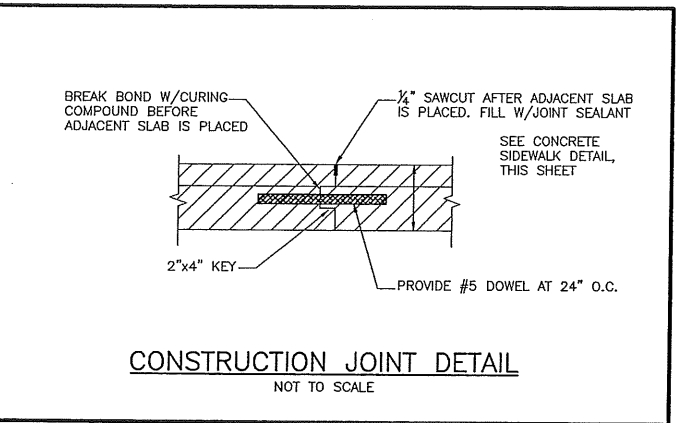
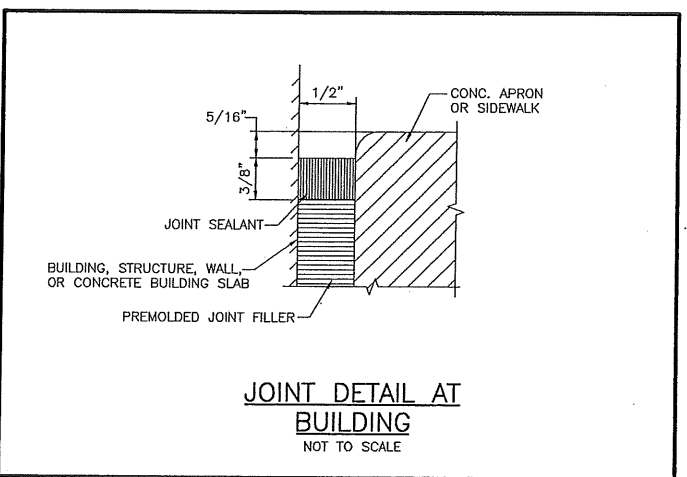
GENERAL NOTES AND DETAILS SHEET

▲ ADDENDUM #2

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- NOTES:**
1. PROVIDE CLEANOUTS AT END OF ALL STRAIGHT RUNS AND AT CHANGES IN DIRECTION ON SEWER, STORM AND ROOF DRAINS.
 2. PROVIDE TRANSITION COUPLINGS TO CONNECT DUCTILE IRON (DI) WYE TO SEWER, STORM OR ROOF DRAIN PIPES.
 3. WYE TO BE SAME NOMINAL DIAMETER AS SEWER, STORM OR ROOF DRAIN WITH 6" RISER.
 4. USE 2-45° BENDS IN LIEU OF WYE AND 45° BEND AT END OF RUN.
 5. CONCRETE PAD MAY BE ELIMINATED IN CASES WHERE CLEANOUT IS LOCATED WITHIN SIDEWALKS OR OTHER CONCRETE SLABS/PADS.



- NOTES:**
1. PROVIDE 1" DEEP TRANSVERSE SCORE JOINTS AT 6'C.C. (TYP) UNLESS SHOWN OTHERWISE
 2. FULL-DEPTH EXPANSION JOINTS AT 24'O.C. MAX OR WHERE INDICATED ON THE PLANS
 3. REFER TO SHEET S001, SECTION IV, AND CONCRETE SPECIFICATION FOR ADDITIONAL CONCRETE NOTES AND REQUIREMENTS.

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 DETAILS