



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that **Bridges, Bill**

Located At **465 CONGRESS**

CBL: **027 A015001**

has permission to **Tenant Fit-up four offices & one training, copy room on 2nd floor**

Permit #**2011-01-254**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

JMB for BW
Fire Prevention Officer

Janne Bante 2/3/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CARD.

PERMIT ISSUED

FEB - 3 2011

City of Portland

Job No: 2011-01-254-ALTCOMM	Date Applied: 1/13/2011	CBL: 027 - - A - 015 - 001 - - - - -	
Location of Construction: 465 CONGRESS - 2 nd Fl	Owner Name: SPRINGER INC LE	Owner Address: 15 MEADOW LN BREWER, ME - MAINE 04412	Phone:
Business Name:	Contractor Name: Bridges, Bill	Contractor Address: 7 Collins Pond RD WINDHAMMAINE04062	Phone: 0297
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Bank and Offices (Peoples United Bank)	Proposed Use: Same: Bank and Offices (Peoples United Bank) with alterations to offices on the 2nd floor	Cost of Work: 65000.000000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: SB IBC 2009
Proposed Project Description: 467 Congress / Peoples United Bank - 2 nd floor alterations		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

PERMIT ISSUED

FEB - 3 2011

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<i>within</i> <input type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>OK with conditions</i>	Date:	Date: <i>Any other work requires a separate review & approval</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHON



General Building Permit Application

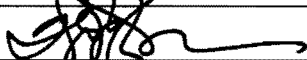
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: PEOPLE'S UNITED BANK - 2ND FL. 467 CONGRESS ST.		
Total Square Footage of Proposed Structure/Area INTERIOR OFFICE ALTERATION		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# 27 Block# A Lot# 15		Applicant * must be owner, Lessee or Buyer* Name PEOPLES UNITED BANK Address 467 CONGRESS ST. City, State & Zip PORTLAND, ME 04101
Lessee/DBA (If Applicable)		Owner (if different from Applicant) Name Address City, State & Zip
		Cost Of Work: \$ 65,000 C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) OFFICES If vacant, what was the previous use? _____ Proposed Specific use: OFFICES Is property part of a subdivision? _____ If yes, please name _____ Project description: FOUR OFFICES: ONE TRAINING ROOM, COPY ROOM <i>to rent fit-up</i>		
Contractor's name: PERSPECTIVE CM		
Address: 7 COLLINGS POND RD.		
City, State & Zip WINNHAM, ME 04092		Telephone: 577-0297
Who should we contact when the permit is ready: BILL BRIDGES		Telephone: ↓
Mailing address: SAME AS ABOVE		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **1.13.11**

This is not a permit; you may not commence ANY work until the permit is issue

RECEIVED
JAN 13 2011
Dept. of Building Inspection
City of Portland Maine

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close In Elec/Plmb/Framing prior to insulation, drywall or covering
2. Final Inspection at completion

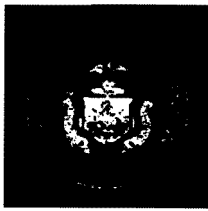
The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.

PERMIT ISSUED

FEB - 3 2011

City of Portland



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Job ID: 2011-01-254-ALTCOMM

Located At: 465 CONGRESS

CBL027 - - A - 015 - 001 - - - - -

PERMIT ISSUED

FEB - 3 2011

City of Portland

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.

Fire

1. Structure shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
4. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.

Bill Bridges

From: Mary E. Turgeon [mturgeon@gawronturgeon.com]
Sent: Friday, January 07, 2011 2:52 PM
To: Goglin, Jack; wbridge2@maine.rr.com
Cc: Lynn A. Pepin
Subject: FW: People's United Bank ~ 467 Congress Street Portland
Attachments: 090410 Life Safety Plan.pdf, A201.pdf, G101.pdf

Hi Jack & Bill,

Below please find the email we sent to the fire marshal office this afternoon. The meeting went very well and the only request by the life safety

Rich McCarthy will work on issuing the permit on Monday but in the meantime you are good to apply for the permit from the City of Portland. Also, since this project is off small scope the State did not charge the "surcharge" tax to your project. Should you have any questions please do not hesitate to call Lynn or me.

Best regards,

Mary

Mary E. Turgeon, AAHID, IIDA, LEED AP • Principal
207-883-6307 tel • www.gawronturgeon.com

From: Mary E. Turgeon
Sent: Friday, January 07, 2011 2:48 PM
To: 'McCarthy, Richard'
Cc: Lynn A. Pepin
Subject: People's United Bank ~ 467 Congress Street Portland

Hi Rich,

I wanted to follow up with you concerning the meeting with Lynn this morning on the People's United Bank project. For your records please find PDF copies of Bay Electric's Life Safety Plan & the architectural drawings. We will follow up with Bay Electric in terms of adding another horn / strobe on the west side of the building in the open area. Please let me know if you have any questions or concerns. Also, thank you very much with meeting with us today in Falmouth.

Best regards,

Mary

Mary E. Turgeon, AAHID, IIDA,
LEED AP ID+C
Principal

Gawron Turgeon Architects
29 Black Point Road • Scarborough, Maine 04074
207-883-6307 tel • 207-883-0361 fax

Celebrating 25 Years of Design Excellence
Please check out our new logo and website:

PDF E-mail

27-A-15

PEOPLE'S UNITED BANK

467 CONGRESS STREET

PORTLAND, MAINE

090410 PEOPLES UNITED BANK NFPA 2006 OVERVIEW		
Description of Project	Partial renovation to an existing high rise building with B Occupancy. Scope of work is limited to the second floor.	
Type of Construction	Type V (0,0,0)	
Fire Protection	Existing NFPA 13 sprinkler system	
*Occupant Load	5177 s.f./100 = 51.7	
Occupancy Separation NFPA 2006 Table 6.1.2.2	Small assembly uses. Occupancy of any room or space for assembly purposes by fewer than 50 persons in another occupancy and incidental to such other occupancy shall be classified as part of the other occupancy and shall be subject to the provisions applicable thereto.	
NFPA Chapters	*Chapter 38 New Business Occupancy Chapter 11 Special structures and high rise buildings	
Means of Egress Chapter 7		
7.1.3.1.1	Exit access corridors	Existing to remain - existing area not under renovation and occupancy is not changing
7.3.2.1(1)	Exits	Existing to remain - existing area not under renovation and occupancy is not changing
7.2.12.1.2	Area of Refuge	Not required - building is protected with NFPA 13 system
8.7.1.1(2)	Special Hazard Protection	Protecting the area with automatic extinguishing systems in accordance with Section 9.7. Rating: 0 hrs
38.2.6.1 Business (B) Table A7.6	Travel Distance	Limited to 300 ft. (ordinary hazard)*
38.2.2.2.5	Access controlled egress doors	comply with section 7.2.1.6.2
38.2.5.2.1 Business (B) Table A7.6	Dead End Corridors	Limited to 50 ft.
38.2.3.2*	The clear width of any corridor or passageway serving an occupant load of 50 or more shall be not less than 44"	corridor width: 44"
38.2.5.3.1 Business (B) Table A7.6	Common Path of Travel	Limited to 100 ft (ordinary hazard)

090410 - PEOPLE UNITED BANK IBC 2003 OVERVIEW		
Description of Project	Existing Business Occupancy B Partial renovation to the 2nd floor. All alterations are considered Level 2 by the 2003 International Existing Building Code.	
Code Chapters	*Section 304 Business occupancy (existing) Section 403 High Rise building (existing)	
Type of Construction	Type 5B Unprotected (0,0,0)	
Fire Protection	Existing NFPA 13 sprinkler system	
*Occupant Load	5,177 s.f./100 = 51.7	
Separation of Occupancy Table 302.3.2	0.00000	
CHAPTER 10 MEANS OF EGRESS		
Section Number	Title	Remark
1008.1.3.4	Access Controlled Egress doors	Must meet the requirements of 1008.1.3.4
1008.1.9	Panic Hardware	Panic Hardware is required on all stair exit doors on floors under construction
1013.30000	Common Path of egress travel	*B Occupancy - limited to 100 ft
1014.00000	Exit Access and Doorways	Two means of egress required in spaces with more than 50 occupants
1014.2.1	Distance between exits	Separation shall not be more than 1/3 the diagonal distance apart. Required and provided separation distances shown on plans
Table 1015.1 A occupancy B Occupancy	Travel Distance	300 ft
Table 1016.1	Corridor Fire resistance rating	Not Applicable. Existing exit corridors are not under renovation.
1018.30000	Dead End Corridors	*50 ft
1018.00000	Minimum Number of Exits	2 exits per floor required. Occupancy load per floor is less than 500.
1016.00000	Vertical Exit Enclosures	Not Applicable. Existing exit enclosures are not under renovation.

DRAWING INDEX

GENERAL	6101 COVER SHEET AND CODE REVIEW
STRUCTURAL	6101 SECOND FLOOR - FLOOR PLAN AND WALL PARTITION
ARCHITECTURAL	
MECH/PUMBING	
ELECTRICAL	



PEOPLES UNITED BANK
SECOND FLOOR
467 CONGRESS STREET PORTLAND, MAINE

REVISIONS	
NO.	DESCRIPTION

DATE	01.07.11
PROJECT #	090410
DRAWN BY	LAP
CHECKED BY	ME
DRAWING SCALE	AS NOTED

SHEET TITLE
COVER SHEET AND CODE REVIEW

G101

© COPYRIGHT 2011
Gawron Turgeon Architects
467 Congress Street
Portland, ME 04101
Tel: 603.761.1111
Fax: 603.761.1112
www.gawronturgeon.com



Gawron Turgeon ARCHITECTS
 467 CONGRESS STREET PORTLAND, MAINE

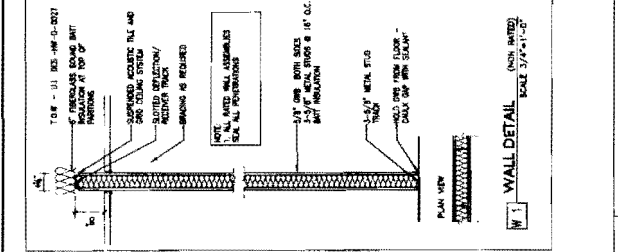
PEOPLE'S UNITED BANK
 SECOND FLOOR

REVISIONS	
1	ISSUED
2	ISSUED

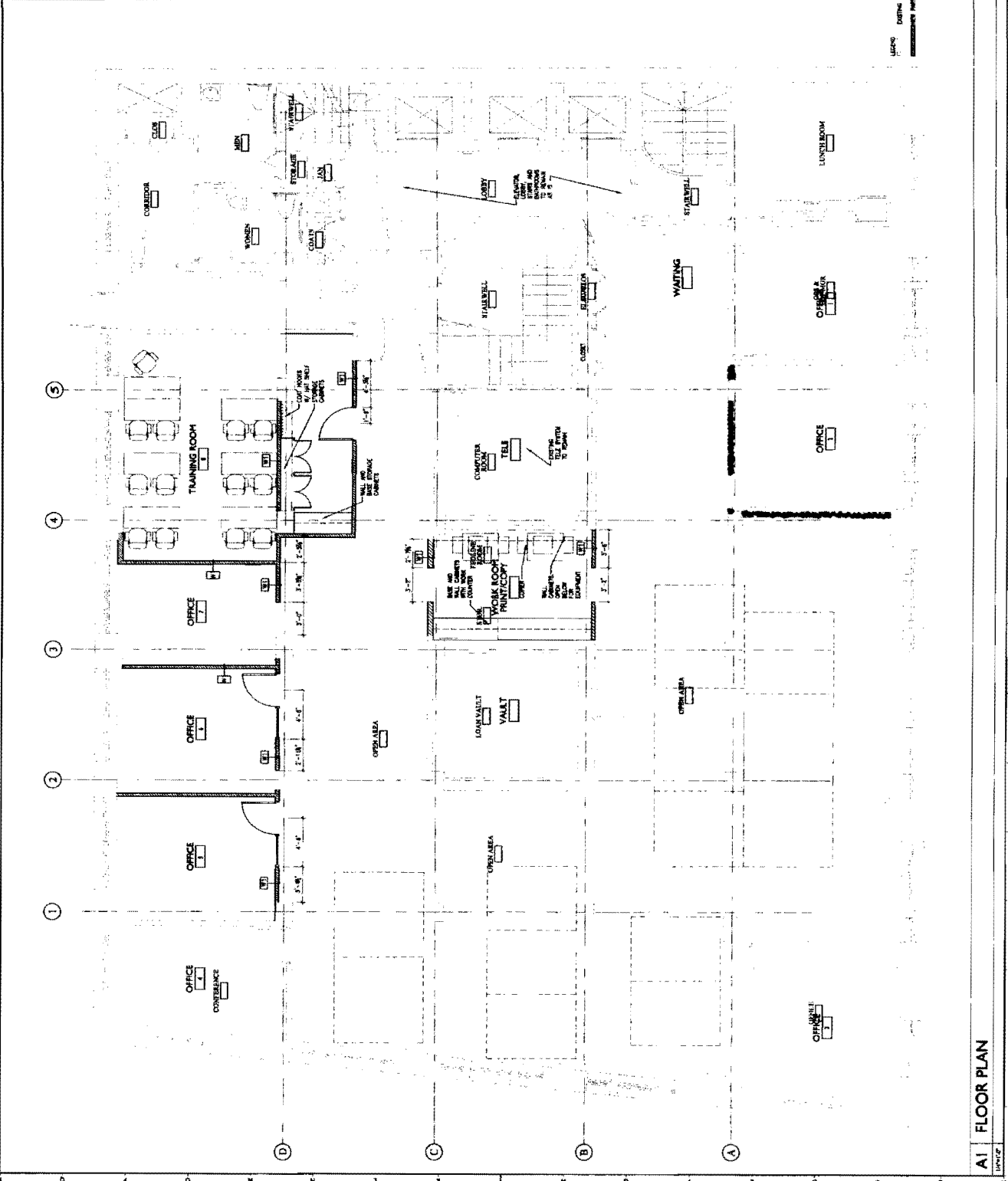
DATE	12/11/11
PROJECT	PEUB
DESIGNED BY	LAP
CHECKED BY	MT
DATE	12/11/11

SHEET TITLE
 SECOND FLOOR
 FLOOR PLAN AND
 WALL PARTITION


A201



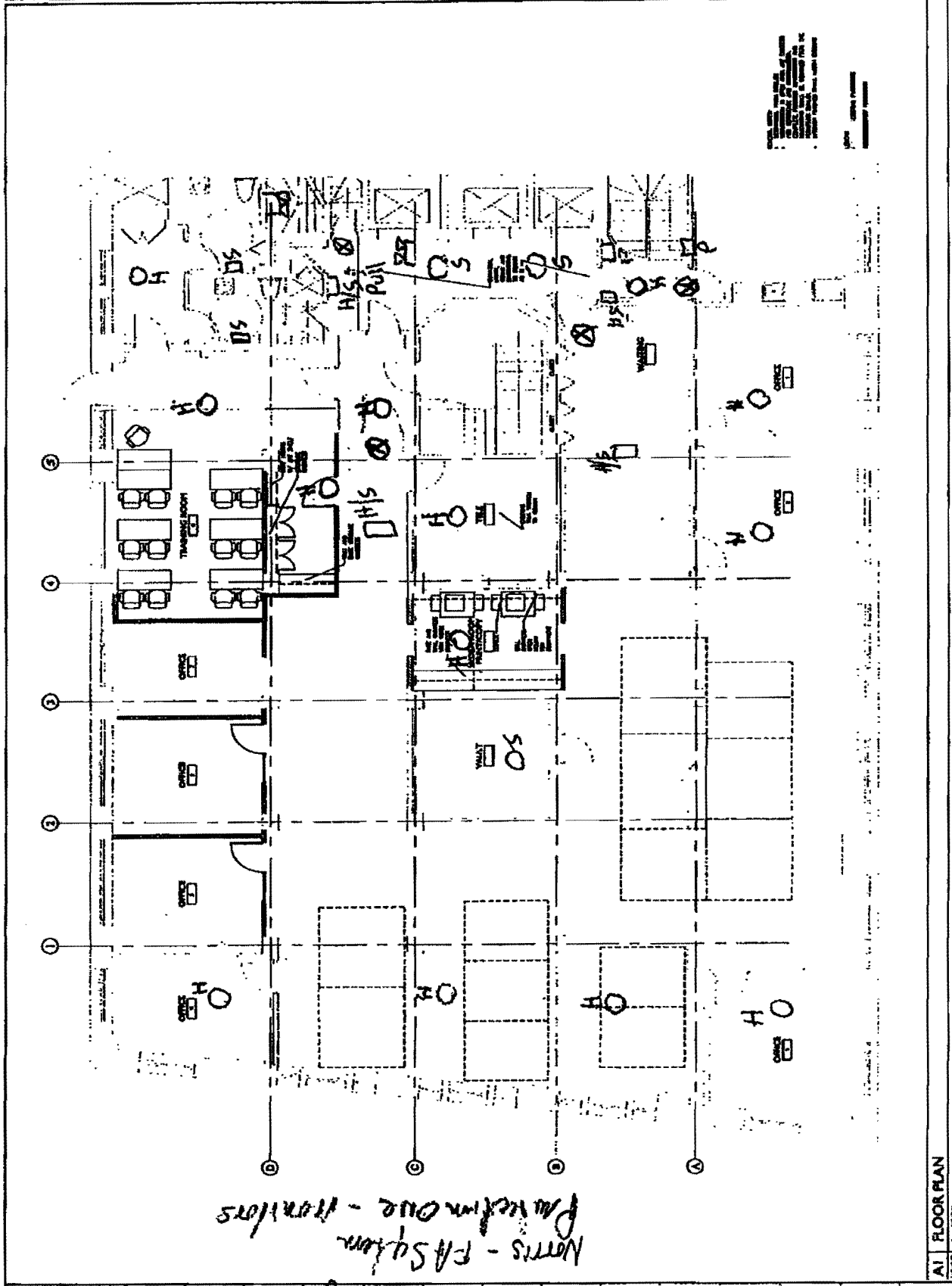
J18 WALL PARTITION
 1/8" = 1'-0"



A1 FLOOR PLAN
 1/8" = 1'-0"

 <p>Gawton Turgeon ARCHITECTS 467 CONGRESS STREET PORTLAND, MAINE</p>	<p>PEOPLES UNITED BANK SECOND FLOOR 467 CONGRESS STREET PORTLAND, MAINE</p>	<p>NO. 1</p>	<p>NO. 2</p>	<p>NO. 3</p>	<p>NO. 4</p>	<p>NO. 5</p>	<p>NO. 6</p>	<p>NO. 7</p>	<p>NO. 8</p>	<p>NO. 9</p>	<p>NO. 10</p>	<p>NO. 11</p>	<p>NO. 12</p>	<p>NO. 13</p>	<p>NO. 14</p>	<p>NO. 15</p>	<p>NO. 16</p>	<p>NO. 17</p>	<p>NO. 18</p>	<p>NO. 19</p>	<p>NO. 20</p>
		<p>NO. 21</p>	<p>NO. 22</p>	<p>NO. 23</p>	<p>NO. 24</p>	<p>NO. 25</p>	<p>NO. 26</p>	<p>NO. 27</p>	<p>NO. 28</p>	<p>NO. 29</p>	<p>NO. 30</p>	<p>NO. 31</p>	<p>NO. 32</p>	<p>NO. 33</p>	<p>NO. 34</p>	<p>NO. 35</p>	<p>NO. 36</p>	<p>NO. 37</p>	<p>NO. 38</p>	<p>NO. 39</p>	<p>NO. 40</p>

H = heat detector
 S = Smoke only
 HIS = hard smoke



46 Congress St. Bid/Quote 8554
 Norris - FAS system
 Protection only - trailers

A1 FLOOR PLAN

BAY ELECTRIC COMPANY, INC.

P.O. BOX 6316
CAPE ELIZABETH, ME 04107
PHONE (207) 799-0350
FAX (207) 799-0218

FACSIMILE TRANSMITTAL SHEET

TO: <i>Naru</i>	FROM: <i>Olav Stalera</i>
COMPANY: <i>1</i>	DATE: <i>1-7-11</i>
FAX NUMBER:	TOTAL NO. OF PAGES INCLUDING COVER: <i>2</i>
PHONE NUMBER:	
RE:	


URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

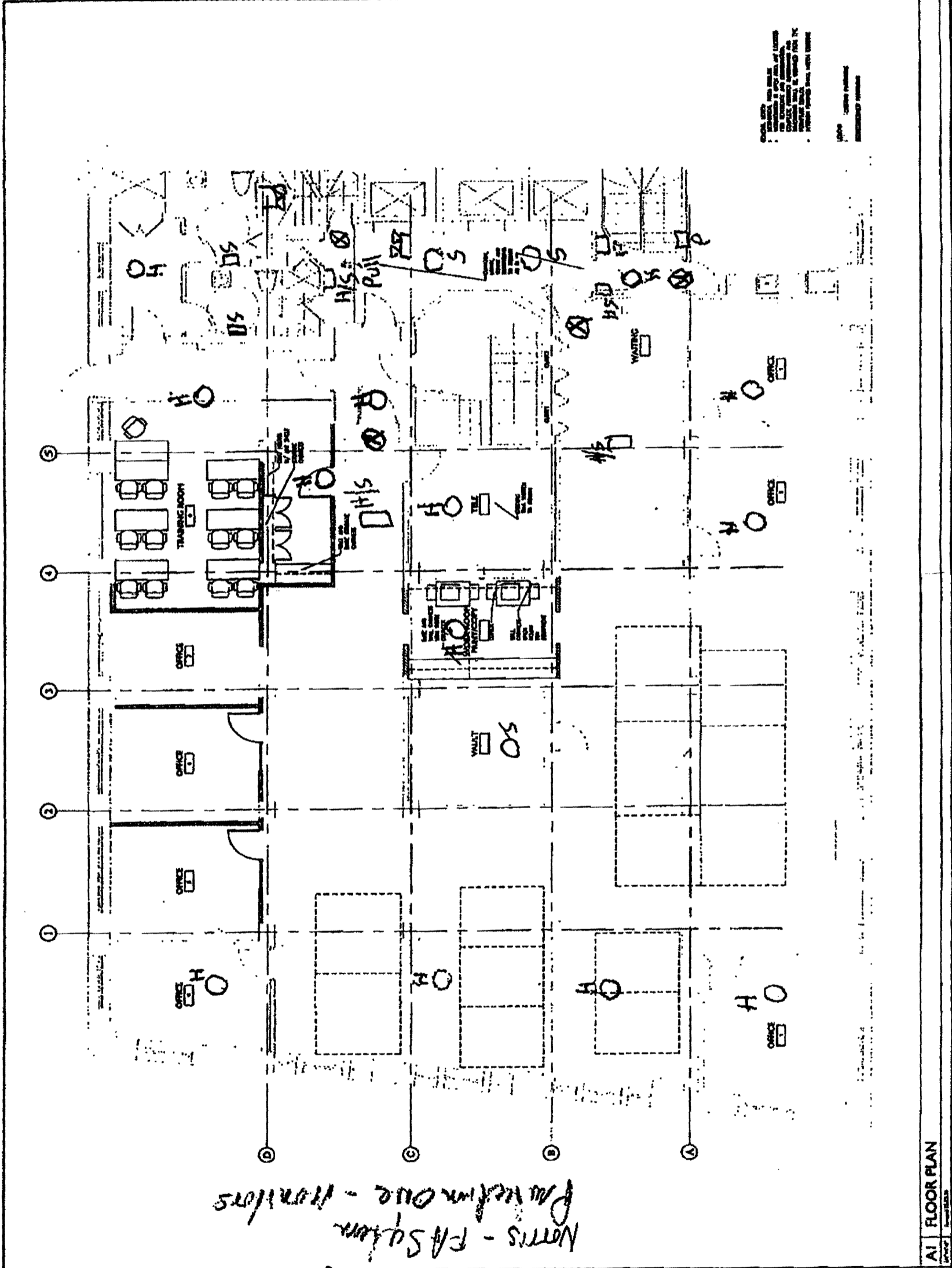
NOTES/COMMENTS:

ire: 465 Lopez St.

*This is the best I can do
on this short notice!*



 Gawton Turgeon ARCHITECTS 1000 Congress Street Portland, Maine 04102	PEOPLES UNITED BANK SECOND FLOOR 457 CONGRESS STREET PORTLAND, MAINE	SHEET TITLE SECOND FLOOR TYPED AND PLOTTED 12/21/11	A201
		PROJECT NO. 11-001	DATE 12/21/11



H = heat detector
 S = Smoke only
 HIS = homo smoke
 Exit
 1133
 884

46 Spruce St Bid/lore 8554
 Norris - FA System
 Pull in one - monitors

A1 FLOOR PLAN

NOTES:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE BOOKS (ICB) AND STANDARDS.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE BOOKS (ICB) AND STANDARDS.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE BOOKS (ICB) AND STANDARDS.



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

1-13 2011

Received from

William Baidoo

Location of Work

People United Bank

Cost of Construction \$ _____

Building Fee: _____

Permit Fee \$ _____

Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 670

Building (IL) _____

Plumbing (IS) _____

Electrical (I2) _____

Site Plan (U2) _____

Other _____

CBL: 27-A15

Check #: _____

CL

Total Collected \$ 670

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: _____

[Signature]

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy