

B C D E F G H J K L M N O P



A1 SECOND FLOOR EXISTING CONDITIONS PLAN

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



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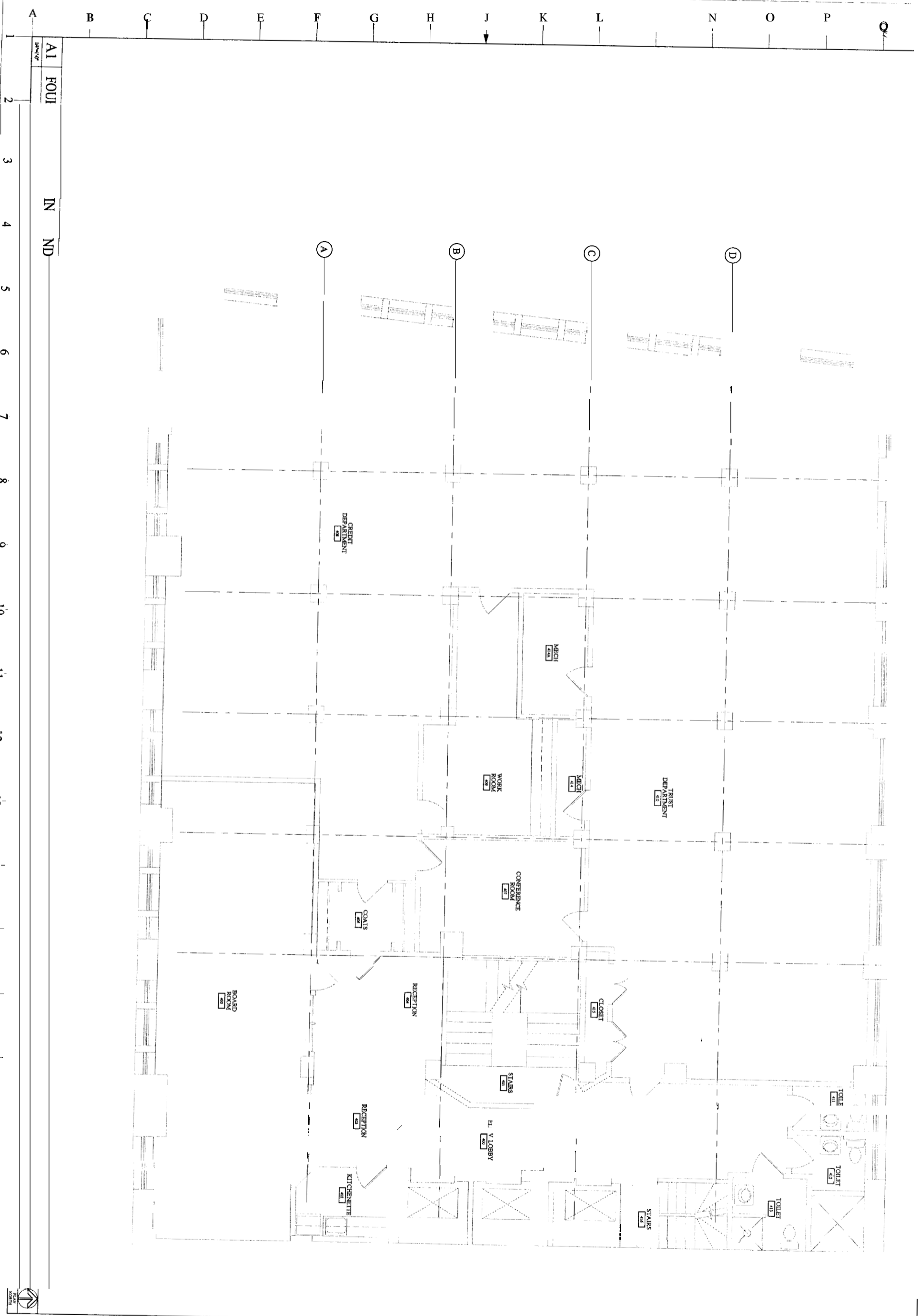
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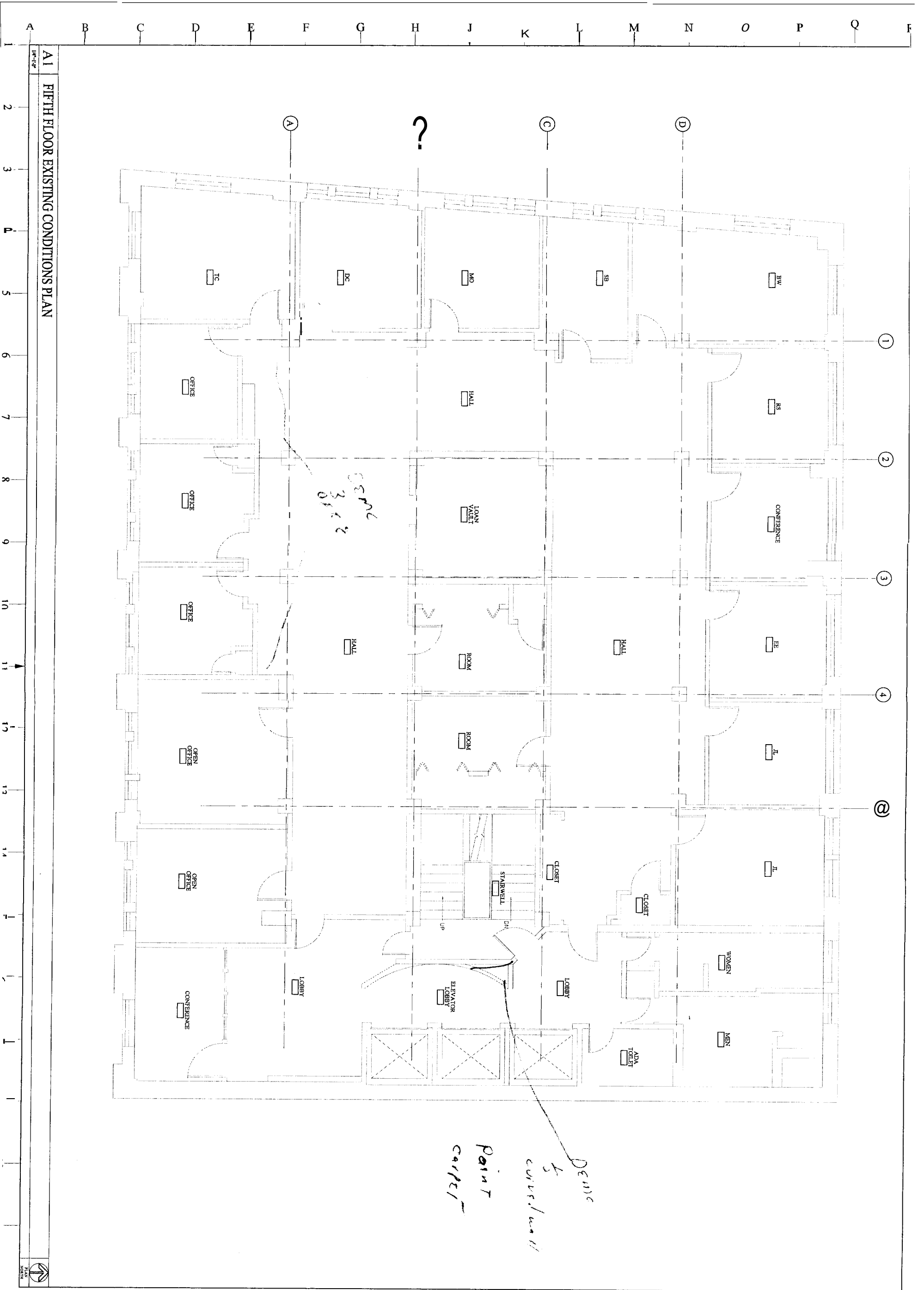
SHEET TITLE
SECOND FLOOR EXISTING
CONDITIONS PLAN

E101

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*Demol
to curbside wall
Paint
carpet*

A1 FIFTH FLOOR EXISTING CONDITIONS PLAN

E103

SHEET TITLE
FIFTH FLOOR EXISTING
CONDITIONS PLAN

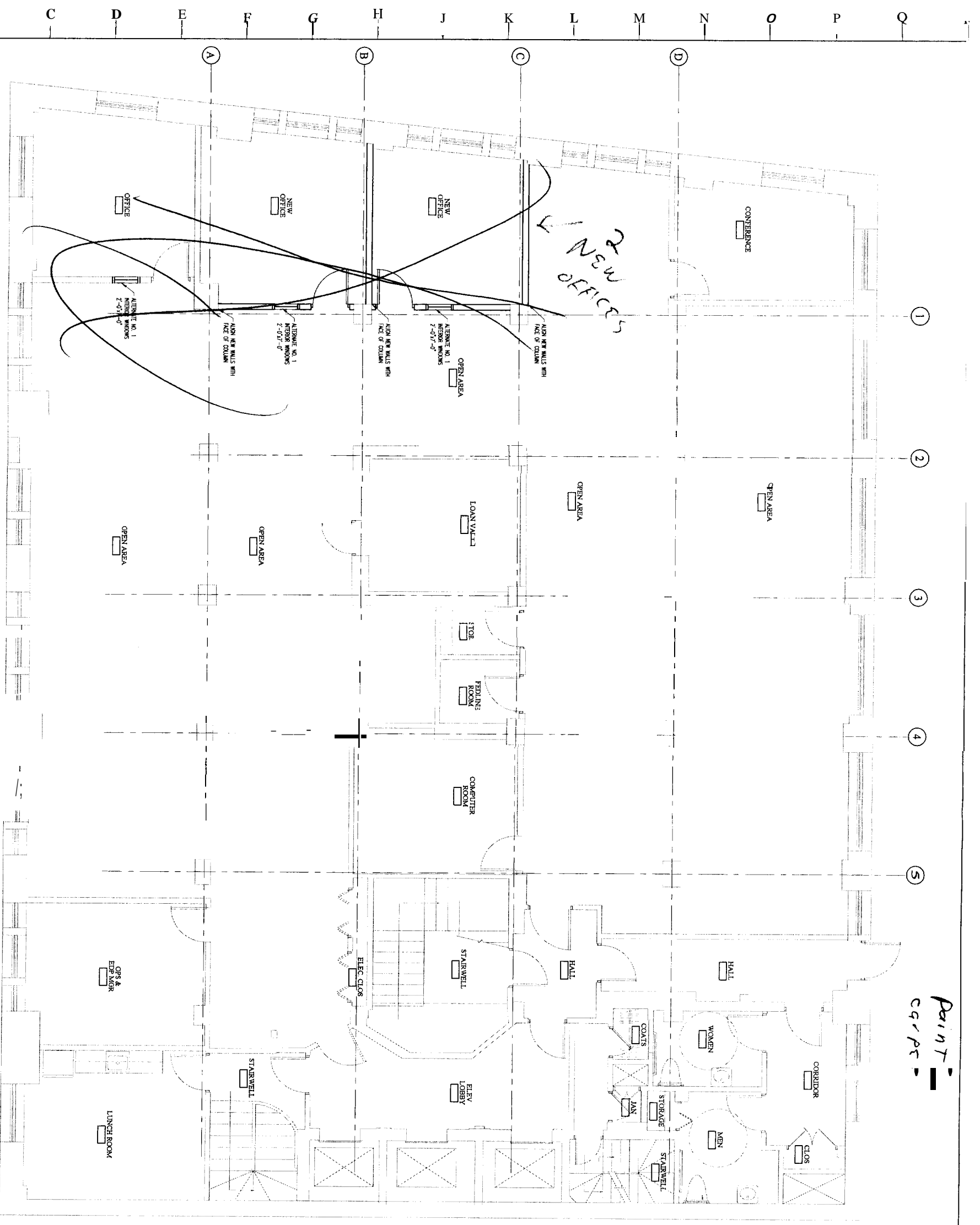
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A1 PROPOSED SECOND FLOOR PLAN

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED WITH THE ARCHITECT.
2. THE BUILDING SHALL BE CONSTRUCTED TO INCLUDE, BUT NOT LIMITED TO, THE LATEST EDITIONS OF BOCA, NFPA 101, & AWS.
3. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED.
4. CONTRACTOR SHALL WORK FROM OPEN ONLY, DO NOT SCALE THE DRAWINGS.
5. ALL FLOORS SHALL BE TOLERED TO A TOLERANCE OF 1/8" IN 10'-0" WHEN CHECKED AT ANY AREA WITH A 10'-0" STROUCH EDGE.
6. INSTALL BLOCKING FOR FUTURE SURFACE FLOORING AND CHAIR BARS LOCATED ON STAIR WELLS.
7. ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
8. ANY DOORS NOT LOCATED DIMENSIONALLY ARE TO BE 6" MIN. OFF OF ADJACENT WALL AT HINGE SIDE OF DOOR.
9. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROVIDE ON EACH AND ALL DOCUMENTS IN THE LAST OF ANY DISCREPANCIES OR CONTRADICTIONS, THE ARCHITECT'S ATTENTION FROM COMMENCEMENT OF ANY CONSTRUCTION.
10. CONSTRUCTION OF THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS IN THE BUILDING SHALL BE CONSTRUCTION DOCUMENTS DEFINE THE CONDITIONS ASSEMBLY, TRADE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S ATTENTION, IN WRITING AND IN A CONTRACTOR SHALL NOT CONSIDER THE RELATED WORK WITHOUT WRITTEN RESOLUTION OR COMPLETION FROM THE ARCHITECT.
11. FINISHERS, FINISHERS OTHER THAN THE STANDARD FINISHERS ARE ALL INDICATED ON THE DRAWINGS, OR SPACE ARE APPLICABLE FOR THE ENTIRE ROOM OR SPACE, UNLESS INDICATED OTHERWISE.
12. ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER ON SLOTTED JOISTS, CONCRETE, BRICK, BLOCK, PRECAST CONCRETE, Gypsum BOARD, Gypsum BOARD PARTS AND LABELS, EVEN IF PREVIOUSLY PAINTED. FINISHES TO BE USED SHALL BE: WALL PARTISERS, GRILLS AND LOVERS, ROOF TOP MECHANICAL EQUIPMENT, SPEAKER GRILLS AND TOP PARTS, FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE, ARE NOT TO BE PAINTED. SEE SPECIFICATIONS SPECIAL CONDITIONS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
13. BUILDING INSULATION: ALL INTERIOR PARTITIONS SHALL HAVE 4" BATT INSULATION.
14. DAMAGED WORK, BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, REVISIONS OR WHICH MAY BE AFFECTED BY NEW WORK, SHALL BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.
15. BATTED CONSTRUCTION: PROVIDE BATTED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS NOTED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE BATTED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT THE CONTRACTOR HAS BEEN ADVISED OF SUCH BATTED CONSTRUCTION, INCLUDING AT CHANGES AND AT NOT SPECIFICALLY INDICATED.
16. PROVIDE NEW U.S. LISTED FIRE RESISTANCE RATING CLASSIFICATION OF EXISTING/NEW AND CARRY WORKH FIRE EXTINGUISHERS IS ACCEPTABLE.
17. THE DESIGN AND INSTALLATION OF THE ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS SHALL BE IN ACCORDANCE WITH THE LATEST ELECTRICAL STATE AND FEDERAL CODES.
18. THE DESIGN AND INSTALLATION OF THE FIRE ALARM SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE DESIGN SHALL BE IN COMPLIANCE WITH THE LATEST STATE AND FEDERAL CODES.
19. PROVIDE BRASSILE STONE AT BATHROOMS, EXITS, STAIR TOWER DOORS AND ELEVATOR.
20. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECT'S APPROVAL.
21. THE DESIGN AND INSTALLATION OF THE HVAC AND PLUMBING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE DESIGN SHALL BE IN COMPLIANCE WITH NFPA 101, 02 EDITION, BOCA, '96 EDITION, MAINE STATE PLUMBING CODE.
22. NEW WINDOW TREATMENTS FOR THE SECOND AND FIFTH FLOORS ARE TO BE PROVIDED BY THE OWNER.

Paint
carpet

A18 GENERAL NOTES



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| SHEET TITLE | |
| PROPOSED SECOND FLOOR PLAN | |

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11 New Offices
New Rain
New Corridor

A1 PROPOSED FOURTH FLOOR PLAN



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DEMOLITION GENERAL

REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION.

COORDINATOR: PRIOR TO ANY DEMOLITION WORK, THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS, GENERAL CONTRACTOR ARCHITECT IN WRITING OF ANY AND ALL CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS. IN THE ABSENCE OF WRITTEN INSTRUCTIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE AND SAFE METHODS OF DEMOLITION IN THE AREAS CALLING FOR DEMOLITION.

REMOVE ALL EXISTING VINYL WALL BASE NEW.

REMOVE ALL EXISTING FLOORING AND FINISH SURFACE TO RECEIVE NEW FLOORING AND INTERIOR FINISH SCHEDULE.

DAMAGE: EXISTING BUILDING, BUILDING SITE COMPONENTS AFFECTED BY DEMOLITION OR WHICH MAY BE DAMAGED BY DEMOLITION SHALL BE REPAIRED OR RESTORED TO ORIGINAL AND COLOR BY METHODS DESCRIBED IN DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.

EQUIPMENT AND FIXTURES - NEW OR EXISTING SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION AND PROTECTED FROM DAMAGE. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL APPROPRIATE ANCHORING TYPES UNLESS INDICATED.

PATCHING: AFTER ALL REMOVALS OF WALLS AND OTHER COMPONENTS, PATCH REPAIRS TO THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK FINISH.

CONCEALED SPACES: DAMAGED CONCEALED SPACES IS NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY, WATER OR HEAT LOSS OR GAIN.

FIRE EXTINGUISHERS: CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND REINSTALL NEW EXTINGUISHERS, NEW EXTINGUISHERS SHALL BE INSTALLED BY CONTRACTOR WHERE INDICATED.

INSTRUCTIONS FOR REMOVALS: CONTRACTOR IS RESPONSIBLE FOR SECURING PROTECTION FROM DAMAGE AND WEATHER EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION. REMOVALS AND NEW WORK PLANS: SEE DEMOLITION PLANS FOR DETAILS.

VERIFY STRUCTURAL CONDITIONS WITH ARCHITECT PRIOR TO WALL AND CEILING REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER SUPPORT METHODS AS MAY BE NEEDED. CONTRACTOR MAY REPLACE SALVAGED MATERIALS AND IDENTICAL MATERIALS WITH OWNER'S APPROVAL. PRIOR TO ANY DEMOLITION, CONTRACTOR SHALL MEET WITH ARCHITECT TO DETERMINE REQUIREMENTS.



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