

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any.
 Attached

BU **PERMIT** ICTION

Permit Number: 090141

This is to certify that CITY OF PORTLAND /Ledger and Const
 has permission to Addition, Exterior improvement, Long Co, Less St, Interior renovations
 AT 5 MONUMENT WAY CP 027 A012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Sauter

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0141	Issue Date: 4/15/09	CBL: 027 A012001
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Location of Construction: 5 MONUMENT WAY	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone: 2077671866
Lessee/Buyer's Name	Phone:	Permit Type: Municipal	Zone: B-3

Past Use: Municipal - Portland Public Library	Proposed Use: Portland Public Library - Addition, Exterior improvements along Congress St. & Interior renovations	Permit Fee: <i>written</i> \$59,980.00	Cost of Work: \$5,995,500.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>A3</i> Type: <i>2B</i> <i>IBC-2003</i>	

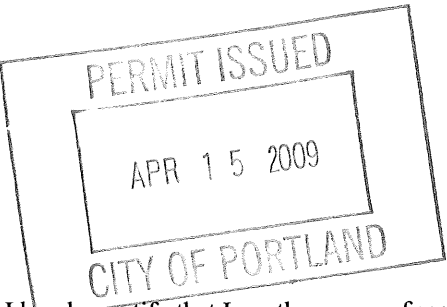
Proposed Project Description: Addition, Exterior improvements along Congress St. & Interior renovations	Signature: <i>(KG)</i>	Signature: <i>4/15/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 02/20/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input checked="" type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	<input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: _____	Date: _____	Date: _____

No Summary
NO WETLAND APPROVAL
OK with conditions
4/15/09



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/29/09 - footing + Rebar Insp. Ok. to pour
C

6/17/09 Elevation pit
Remaining footings
OK to pour

7-10-09 OK - slab / pour center portion westside (air test) ycm

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0141	Date Applied For: 02/20/2009	CBL: 027 A012001
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Location of Construction: 5 MONUMENT WAY	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Municipal	

Proposed Use: Portland Public Library - Addition, Exterior improvements along Congress St. & Interior renovations	Proposed Project Description: Addition, Exterior improvements along Congress St. & Interior renovations
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/24/2009

Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit does NOT include the installation of the proposed, future urban screen at this time. A separate permit shall be required for the installation and operation of an urban screen.
- 3) Separate permits shall be required for any new signage. Any new signage is NOT included in the approval of this permit.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 04/15/2009

Note:**Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) An inspection of the installation of the steel and concrete and structural bracing shall be conducted by a licensed engineer and his/her certification shall be submitted to this office stating compliance with the approved plans.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 5) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.
- 6) Fire Alarm systems shall be installed per Sec. 907 of the IBC 2003
- 7) The disposal of mixed construction debris must be handled based on the agreement with the Department of Public Services
- 8) Separate Permits shall be required for any new signage.
- 9) All special inspection reports must be submitted to this office for review within 48 hours of the inspection. A final special inspection report must be submitted prior to issuance of a certificate of occupancy. This report must demonstrate any deficiencies and corrective measures that were taken.
- 10) State law requires notification of hazardous materials and abatement by a licensed professional

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 03/11/2009

Note:**Ok to Issue:**

- 1) Fire extinguishers required. Installation per NFPA 10
- 2) The sprinkler system shall be installed in accordance with NFPA 13.
- 3) All construction shall comply with NFPA 101
- 4) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 5) The fire alarm system shall comply with NFPA 72

Location of Construction: 5 MONUMENT WAY	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Municipal	

6) Emergency lights and exit signs are required

Dept: Public Services	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Zoning	Status:	Reviewer: Marge Schmuckal	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Parks	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Fire	Status: Approved	Reviewer: Capt Greg Cass	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 04/15/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Planning	Status: Approved with Conditions	Reviewer: Shukria Wiar	Approval Date: 02/12/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) <input type="checkbox"/> Any signage installed at the property must obtain applicable sign permits. All signs must also comply with the Maine Traveler Information Service statute, 23 MRSA §1914.			

Comments:

2/20/2009-Ldobson:

2/18/2009 8:22:08 AM

Yes, the permit fee is waived on this because it is a City project per Anita LaChance in the City Manager's Office.

2/24/2009-mes: I spoke with Shukria Wiar and she said a letter had been issued. She did not say this office should hold up on the permit, so it should be ok to issue when we are done with it.

3/5/2009-mes: I received stamped approved site plans from Planning on March 3, 2009 & I put them with the permit.



General Building Permit Application

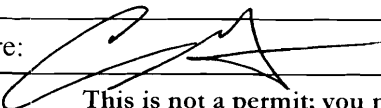
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>PORTLAND PUBLIC LIBRARY - 5 MONUMENT SQ</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>27</u> <u>A</u> <u>12</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* <u>*AUTHORIZED BY OWNER</u> Name <u>LEDGEWOOD CONSTRUCTION</u> Address <u>27 MAIN ST. SO. PORT, ME</u> City, State & Zip <u>ATTN: CLINT BENDREAU</u>	Telephone: OFFICE: <u>767-1866</u> CELL <u>415-7992</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>PORTLAND PUBLIC LIBRARY</u> Address <u>5 MONUMENT SQ</u> City, State & Zip <u>PORTLAND, ME</u>	Cost Of Work: \$ <u>5,995,500</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>LIBRARY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>LIBRARY</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>ADDITION AND EXTERIOR IMPROVEMENTS ALONG CONGRESS ST. INTERIOR RENOVATIONS.</u>		
Contractor's name: <u>LEDGEWOOD CONSTRUCTION</u> Address: <u>27 MAIN ST.</u> City, State & Zip <u>SOUTH PORTLAND, ME 04106</u> Telephone: <u>767-1866</u> Who should we contact when the permit is ready: <u>CLINT BENDREAU</u> Telephone: <u>415-7992</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 2/20/09

This is not a permit; you may not commence ANY work until the permit is issue

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 4/15/2009 12:16:52 PM
Subject: 5 Monument Square Portland Public Library

Hi all, this project meets minimum DRC requirements for the issuance of the Building Permit. See UI for sign off.

Thanks,

phil



Certificate of Design Application

From Designer:

SCOTT SIMONS ARCHITECTS

Date:

FEB. 18, 2009

Job Name:

PORTLAND PUBLIC LIBRARY ADDITION/RENOVATION

Address of Construction:

5 MONUMENT SQUARE, PORTLAND, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) A-1, A-3 & B MIXED USE

Type of Construction IIA AS APPROVED BY AHJ

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC 1/2 LOWER FULL MAIN

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) NON SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) GEO TECH ENG. WILL

Structural Design Calculations BELOW BY BECKER STRUCTURAL ENGR.

COMPLETED Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
FIRST FLOOR CORRIDORS	100 PSF

STAIRS/RESTAURANT/RETAIL DINING	100 PSF
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LIBRARY/STACKS	150 PSF
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LIBRARY/READING ROOMS	60 PSF
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CORRIDORS ABOVE FIRST	80 PSF
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Wind loads (1603.1.4, 1609) EXIST. BLD'G - MWFRS NOT

N/A Design option utilized (1609.1.1, 1609.6) SIGNIFICANTLY MODIFIED

100 MPH Basic wind speed (1809.3)

III, 1.15 Building category and wind importance Factor, I_w

B Wind exposure category (1609.4) table 1604.5, 1609.5

± 0.18 Internal pressure coefficient (ASCE 7)

25 PSF / -47.5 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)

N/A Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623) EXIST. BLD'G, LOAD

N/A Design option utilized (1614.1) NOT INCREASED

N/A Seismic use group ("Category") ENOUGH TO WARRANT

N/A Spectral response coefficients, S_D & S_{D1} (1615.1) MODIFICATION

N/A Site class (1615.1.5)

INVESTIGATE SOIL AT TIME OF EXCAVATION.
WHILE APPLICABLE
SNOW GOVERNS
Roof live loads (1603.1.2, 1607.11)
SEE BELOW
Roof snow loads (1603.7.3, 1608)
60
Ground snow load, P_g (1608.2)
46 PSF
If $P_g > 10$ psf, flat-roof snow load P_f
1.0
If $P_g > 10$ psf, snow exposure factor, G
1.1
If $P_g > 10$ psf, snow load importance factor, I_s
1.0
Roof thermal factor, C_t (1608.4)
46 PSF
Sloped roof snowload, P_s (1608.4)
N/A
Seismic design category (1616.3)
N/A
Basic seismic force resisting system (1617.6.2)
N/A
Response modification coefficient, R , and
deflection amplification factor, C_d (1617.6.2)

N/A
Analysis procedure (1616.6, 1617.5)
N/A
Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)
N/A
Flood Hazard area (1612.3)
N/A
Elevation of structure

Other loads
WHOLE RECD
YES/INCLUDED
Concentrated loads (1607.4)
Partition loads (1607.5)
N/A
Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

SOL LIGHT ANALYSIS

FILE



Certificate of Design

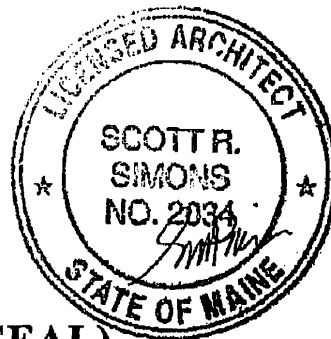
Date: FEBRUARY 23, 2009

From: SCOTT SIMONS ARCHITECTS

These plans and / or specifications covering construction work on:

RENOVATIONS / ADDITION TO PORTLAND PUBLIC LIBRARY
5 MONUMENT SQUARE, PORTLAND, MAINE 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: [Signature]

Title: Principal

Firm: SCOTT SIMONS ARCHITECTS

Address: 75 YORK STREET

PORTLAND MAINE 04101

Phone: 207. 772. 4656

27 A 12

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design
(STRUCTURAL DESIGN
ONLY)

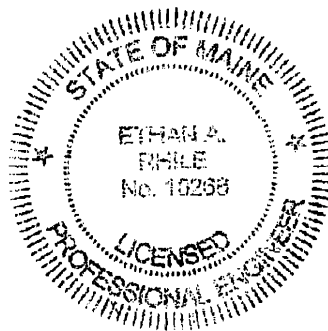
Date: FEB. 18, 2009

From: ETHAN RHILE, BECKER STRUCTURAL ENGINEERS

These plans and / or specifications covering construction work on:

PORTLAND PUBLIC LIBRARY, ADDITION & RENOVATIONS
5 MONUMENT SQUARE, PORTLAND, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: [Handwritten Signature]

Title: ASSOCIATE

Firm: BECKER STRUCTURAL ENGINEERS

Address: 75 YORK STREET

PORTLAND, ME 04101

Phone: (207) 879-1938 x101

For more information or to download this form and other permit applications visit the Inspections Division
on our website at www.portlandmaine.gov

21A12



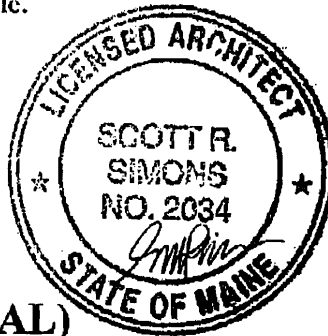
Accessibility Building Code Certificate

Designer: SCOTT SIMONS ARCHITECTS

Address of Project: 5 MONUMENT SQUARE, PORTLAND, ME 04101

Nature of Project: RENOVATIONS/ADDITION TO PORTLAND PUBLIC LIBRARY
INTERIOR RENOVATIONS AND 1,294 SF ADDITION
TO EXISTING PUBLIC LIBRARY

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: *Scott R. Simons*

Title: Principal

Firm: SCOTT SIMONS ARCHITECTS

Address: 75 YORK STREET
PORTLAND, MAINE 04101

Phone: 207.772.4656

FILE

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

From: Tammy Munson
To: Gayle Guertin; Lannie Dobson; Lisa Danforth
Date: 2/18/2009 8:22:08 AM
Subject: Re: Portland Public Library

Yes, the permit fee is waived on this because it is a City project per Anita LaChance in the City Manager's Office.

>>> Lannie Dobson 2/17/2009 3:30:46 PM >>>

Tammy, I just received a call from Ledgewood Const. They will be bringing in a permit for the Portland Public Library. In going over the submissions for the permit he stated that Anita LaChance will be waiving the fees. Would you please confirm this. Thank you, Lannie

CC: PENNY LITTELL



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life® www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

February 12, 2009

Steven Podgajny, Director
Portland Public Library
5 Monument Square
Portland, ME 04101

Scott Simons Architects
Attention: Austin Smith
75 York Street
Portland, ME 04101

RE: Renovations to the Portland Public Library

CBL: 027 A012001
Application ID: 2008-0179

Dear Mr. Podgajny,

On February 12, 2009, the Portland Planning Authority approved a minor site plan for renovations to the Portland Public Library at 5 Monument Square as submitted by Scott Simmons Architects on behalf of Portland Public Library and shown on the approved plan prepared by Scott Simmons Architects and dated 02.06.2009 with the following conditions:

1. Any signage installed at the property must obtain applicable sign permits. All signs must also comply with the Maine Traveler Information Service statute, 23 MRSA §1914.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Updated plans meeting the conditions of approval must be submitted for review and approval by the Planning Office prior to the issuance of any permits.
- 2.
3. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
4. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
5. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening

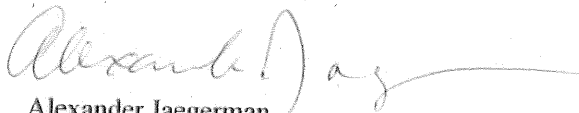
permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.

6. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
7. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or shukriaw@portlandmaine.gov

Sincerely,



Alexander Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Shukria Wiar, Planner/Senior Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director

Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0179

Date: 2/3/2009

I have reviewed the submitted plans for the alterations at the library. This project is located within a B-3 Downtown Business Zone with a Pedestrian Activities District (PAD) overlay zone. The new cafe and teen center are allowable uses in the B-3 zone. There is a new facade being proposed basically along the Congress Street frontage. This facade does project over the existing property line and would require licenses through the City Manager's office to allow that transgression.

The change of use and facade work does not trigger any additional parking requirements under the B-3 Zone regulations. All other B-3 Zone and PAD requirements are being met. New bike racks are being shown (candy ribbon style).

There are some zoning concerns about the large Urban Screen which is not fully detailed on the submittals other than on the rendering sheet. This panel is approximately 18'x22.5' or 405 sq feet in size. It has been related that the screen will not change more than once a day. It will be a stationary picture. It will not scroll. It will not have words or advertising on it. It would be very helpful to know what the intensity of the LED lights will be. How bright overall will it be? It is suggested that the applicant contact the State of Maine Department of Transportation concerning the Urban Screen. Congress Street (route #22) is also regulated by State sign guidelines. The last contact I had is William McFarland at 287-2616. The applicant might also like to use the Urban Screen on some occasions for showing movies at night. It was suggested that Congress Street would be shut down for that activity. This activity would also be regulated for maximum noise (sound) levels. No information has been submitted concerning noise levels. If the Urban Screen is not a certainty at this point, it is suggested that it be bifurcated from the current application and discussed more in detail under a separate review.

It was also suggested at a recent meeting with the applicant that new signage would be proposed on the new projecting facade. None of the plans show such a sign for a more thorough review of sign compliance in the B-3 Zone. Currently the building frontage along Congress Street is approximately 127.5' which would allow a total of all signage to be no more than 255 square feet in size. It is also not detailed what signage would be proposed for the cafe and teen center. At this time I can not complete my review comment concerning the future signage.

Marge Schmuckal
Zoning Administrator

12/16/08
207/100

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2008-0179

Application I. D. Number

12/16/2008

Application Date

Portland Public Library

Applicant

5 Monument Square, Portland, ME 04101

Applicant's Mailing Address

Renovations to Portland Public Library

Project Name/Description

Consultant/Agent

Applicant Ph: (207) 871-1700 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

5 - 5 Monument Way, Portland, Maine

Address of Proposed Site

027 A012001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify)

Proposed Building square Feet or # of Units 37305 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning B3

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots Design Review
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Housing Replacement
- After the Fact - Minor PAD Review 14-403 Streets Review Other

Fees Paid: Site Plan \$400.00 Subdivision Engineer Review Date 12/16/2008

Zoning Approval Status:

Reviewer

- Approved Approved w/Conditions See Attached Denied

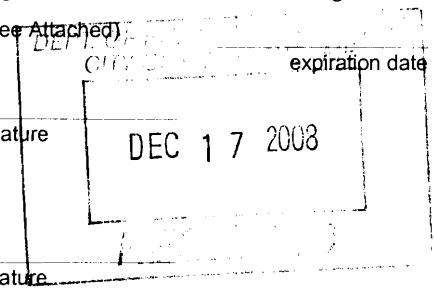
Approval Date Approval Expiration Extension to Additional Sheets Attached

Condition Compliance signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted date amount expiration date
- Inspection Fee Paid date amount
- Building Permit Issue date
- Performance Guarantee Reduced date remaining balance signature
- Temporary Certificate of Occupancy date Conditions (See Attached) expiration date
- Final Inspection date signature
- Certificate Of Occupancy date
- Performance Guarantee Released date signature
- Defect Guarantee Submitted submitted date amount expiration date
- Defect Guarantee Released date signature



Applicant: Portland Library Date: 2/16/08

Address: Congress St
11605 Monument Way
CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-3 - PAD - Addition on 1st floor - Cafe
considered a contributing building
teen center (Cafe)

Interior or corner lot -

Proposed Use/Work - renovations to public library - facade
New project's

Sewage Disposal - City

Lot Street Frontage - N/A - 127.5' scaled (would allow 255 # of signage)

Front Yard -

Rear Yard -

Side Yard -

Projections - projects over the property line - requires a license
from the manager's office

Width of Lot -

Height -

Lot Area - No min - 37,305 # given

Lot Coverage/Impervious Surface - 100% allowed

Area per Family - N/A

Off-street Parking - ch of use to add cafe - No ^{car} parking req - showing
within existing bike racks

Loading Bays -

Site Plan - # 2008-0179

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

CONCERNS about the urban screen
signage NOT fully shown, but larger than allowed
more than 255 #
16 x 22.5' = bifurcate from the rest?
No "Advantage" can NOT change more than once every 20m
State needs to be brought into the discussion
more than 255 #



**Development Review Application
Portland, Maine**

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development: **5 MONUMENT SQUARE, PORTLAND, ME 04101**

Zone: **B3 DOWNTOWN BUSINESS ZONE, DEOZ**

Project Name: **RENOVATIONS TO PORTLAND PUBLIC LIBRARY**

Existing Building Size: **79,835** sq. ft.

Proposed Building Size: **81,129** sq. ft.

Existing Acreage of Site: **37,305** sq. ft.

Proposed Acreage of Site: **37,305** sq. ft.

Proposed Total Disturbed Area of the Site: **1,294** sq. ft. *

* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).

Tax Assessor's Chart, Block & Lot:

Chart # **027**

Block # **A**

Lot # **012001**

Property Owners Name/
Mailing address:

**CITY OF PORTLAND
389 CONGRESS STREET
PORTLAND, ME 04101**

Telephone #:

Cell Phone #:

Consultant/Agent Name,
Mailing Address, Telephone #, Fax #
and Cell Phone #:

**SCOTT SIMONS ARCH.
ATTN: AUSTIN SMITH
75 YORK STREET**

Applicant's Name/
Mailing Address:

**STEVE PODGAJNY
DIRECTOR
PORTLAND PUBLIC LIBRARY
5 MONUMENT SQUARE**

Telephone #:

871-1700 EXT 755

Cell Phone #:

**PORTLAND, ME 04101
772-4656**

**PORTLAND, ME 04101
871-1700 EXT. 755**

Fee for Service Deposit (all applications)

 V (\$200.00)

Proposed Development (check all that apply)

New Building Building Addition Change of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking lot

Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable

Site Location of Development (\$3,000.00)

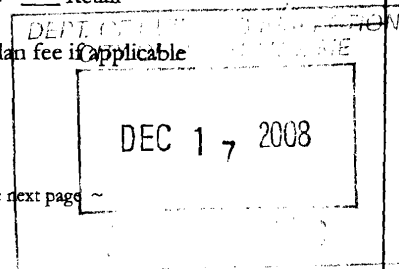
(except for residential projects which shall be \$200.00 per lot _____)

Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)

Section 14-403 Review (\$400.00 + \$25.00 per lot)

Other _____

~ Please see next page ~



Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
 50,000 - 100,000 sq. ft. (\$1,000.00)
 Parking Lots over 100 spaces (\$1,000.00)
 100,000 - 200,000 sq. ft. (\$2,000.00)
 200,000 - 300,000 sq. ft. (\$3,000.00)
 Over 300,000 sq. ft. (\$5,000.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
 Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

SCOTT SIMONS ARCHITECTS ATTN: AUSTIN SMITH
75 YORK STREET
PORTLAND, MAINE 04101 207.772.4650

Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant:

Austin Simon SSA

Date:

12.12.08



Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

PORTLAND PUBLIC LIBRARY RENOVATIONS
5 MONUMENT SQUARE, PORTLAND MAINE
Project Name, Address of Project *04101*

Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
<input checked="" type="checkbox"/>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<input checked="" type="checkbox"/>	(2)	Name and address of applicant and name of proposed development	a
<input checked="" type="checkbox"/>	(3)	Scale and north points	b
<input checked="" type="checkbox"/>	(4)	Boundaries of the site	c
<input checked="" type="checkbox"/>	(5)	Total land area of site	d
<input checked="" type="checkbox"/>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
<input checked="" type="checkbox"/>	(7)	Plans based on the boundary survey including:	2
<input checked="" type="checkbox"/>	(8)	Existing soil conditions	a
<input checked="" type="checkbox"/>	(9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
<input checked="" type="checkbox"/>	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<input checked="" type="checkbox"/>	(11)	Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 9 of packet)	d
<input checked="" type="checkbox"/>	(12)	Location of on-site waste receptacles	e
<input checked="" type="checkbox"/>	(13)	Public utilities	e
<input checked="" type="checkbox"/>	(14)	Water and sewer mains	e
<input checked="" type="checkbox"/>	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
<input checked="" type="checkbox"/>	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<input checked="" type="checkbox"/>	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
<input checked="" type="checkbox"/>	(18)	Parking areas	g
<input checked="" type="checkbox"/>	(19)	Loading facilities	g
<input checked="" type="checkbox"/>	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<input checked="" type="checkbox"/>	(21)	Curb and sidewalks	g
<input checked="" type="checkbox"/>	(22)	Landscape plan showing:	h
<input checked="" type="checkbox"/>	(23)	Location of existing vegetation and proposed vegetation	h
<input checked="" type="checkbox"/>	(24)	Type of vegetation	h
<input checked="" type="checkbox"/>	(25)	Quantity of plantings	h
<input checked="" type="checkbox"/>	(26)	Size of proposed landscaping	h
<input checked="" type="checkbox"/>	(27)	Existing areas to be preserved	h
<input checked="" type="checkbox"/>	(28)	Preservation measures to be employed	h
<input checked="" type="checkbox"/>	(29)	Details of planting and preservation specifications	h
<input checked="" type="checkbox"/>	(30)	Location and dimensions of all fencing and screening	i
<input checked="" type="checkbox"/>	(31)	Location and intensity of outdoor lighting system	j
<input checked="" type="checkbox"/>	(32)	Location of fire hydrants, existing and proposed (refer to Fire Department checklist)	k
<input checked="" type="checkbox"/>	(33)	Written statements to include:	c
<input checked="" type="checkbox"/>	(34)	Description of proposed uses to be located on site	c1
<input checked="" type="checkbox"/>	(35)	Quantity and type of residential, if any	c1
<input checked="" type="checkbox"/>	(36)	Total land area of the site	c2
<input checked="" type="checkbox"/>	(37)	Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
<input checked="" type="checkbox"/>	(38)	General summary of existing and proposed easements or other burdens	c3
<input checked="" type="checkbox"/>	(39)	Type, quantity and method of handling solid waste disposal	c4
<input checked="" type="checkbox"/>	(40)	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets	c5
<input checked="" type="checkbox"/>	(41)	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

<u> ✓ </u>	(42)	An estimate of the time period required for completion of the development	7
<u> ✓ </u>	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. Include the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8
<u> ✓ </u>	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	h8
<u> ✓ </u>	(48)	Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
<u> ✓ </u>	(49)	A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
<u> </u>	(50)	A jpeg or pdf of the proposed site plan, if available.	
<u> </u>	(51)	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- emissions
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study

Other comments:

SEE ENCLOSED: RENOVATION NARRATIVE

PPL ZONING SUMMARY

PPL URBAN SCREEN NARRATIVE

PORTLAND FIRE DEPARTMENT SITE

REVIEW CHECKLIST



Scott Simons Architects

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Portland, Maine 04101
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fax 207 828 4656
www.simonsarchitects.com

MEMORANDUM Project Narrative

date: DECEMBER 12, 2008
project: PORTLAND PUBLIC LIBRARY RENOVATIONS, 2008-0030
re: Project Narrative
to: Barbara Barhydt
from: Scott Simons
cc: Austin Smith
Stephen Podgajny
Morris Fisher
Planning Department City of Portland
Scott Simons Architects (SSA)
SSA
Director, Portland Public Library
PPL Building Committee Chair

The renovation of the Portland Public Library will be completed in three phases. Phase 1 includes the complete renovation of the main floor level and half of the lower floor level. On the lower level the Rines Auditorium will be enlarged by 50% and five conference/meeting rooms will be created for public use. A new gallery and performance space will be created in the double height space where the audio visual collection used to be. On the main level, the existing exterior space in front of the library will be enclosed to create new public spaces overlooking Monument Square for the people of Portland. The new entrances on the east and west end of the new space will open into a public reading and café space running along the front of the building. The children's services area will be moved from the lower floor to the main floor. Information services, the audio visual, periodicals, and fiction collections, and new public restrooms will occupy the remainder of the main floor level.

Phase 1A will include a portion of the lower and second floor levels. On the lower level technical services, the inter-library loan offices, and

One of the primary goals for the renovation of the Library is to make significant improvements to the infrastructure and to improve its energy performance. The renovation plan includes a greatly improved heating system (removal of the electric baseboard heating and installation of a new high efficiency hot water boiler), improved heating and fresh air controls systems, installation of a sprinkler system, renovation of the elevators, and replacement of 40% of the windows with new, high efficiency glazing systems.

Another primary goal for the renovation of the Library is to create a resource rich Community Center and to let the Library have a highly visible presence on Monument Square and in the day-to-day life of the City. To achieve this, a layered organizational concept has been implemented throughout the library, with the most public spaces being at the front of the building, relating to Monument Square, while the more private and quiet spaces located on the back of the building. A new café area is located along Congress Street, which flows into the new periodicals area, then into the new public computing area. Beyond that are the information services counters, the audio visual collection, and the children's services and fiction collection.

This layering concept also applies as you move from the 1st floor up to the 4th floor. The first floor houses public meeting rooms, gallery space, and the new Rines Auditorium, the main level housing the café and public computing and popular materials, the 3rd floor housing non-fiction and reference materials and the fourth floor eventually becoming home to the Portland Room.

project: Portland Public Library
file: PPL Project Narrative.doc

date: 12/15/08
Page 1 of 2

In conjunction with the layering of program spaces, there are also information walls located throughout the library, which will serve as visual circulation cues and as points of reference. Each wall will be equipped with screens to search the library's catalogues and will also display information regarding various library programs and items such as one's status in the public computing queue. These walls step throughout the interior of the library and then penetrate the library's granite façade to bring information strongly into the public realm of downtown Portland's Congress Street and Monument Square.

On the exterior of the building, the information wall becomes a glass curtain wall enclosing the new café and atrium spaces while calling out the two new entrance locations, one to the left of the current main entrance, and one on the corner of Congress and Elm Street. The wall also serves as a solar chimney to help passively preheat air for the mechanical systems in the winter, while helping to evacuate hot air in the summer, thus reducing the need for excessive mechanical heating and cooling. Borrowing inspiration from the growing urban screens movement, a large LED screen will be placed within the wall displaying ever-changing cultural content, peaking people's interest in discovering other information the library contains, and contributing to the overall urban uses of Monument Square.

This information wall floats above the sidewalk and in front of the existing façade, while at the café level a storefront system sits behind the existing façade. We have made it a design principal to minimally intervene with the current structure, helping to keep costs down while honoring the building's original design. New open stairs and a new elevator, all visible from the main entry sequence, are placed in existing openings and double height spaces, allowing circulation between the floors to be intuitive and clear.



Scott Simons Architects

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phone 207 772 4656
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www.simonsarchitects.com

MEMORANDUM Site Plan Application

date: December 12, 2008
project: PORTLAND PUBLIC LIBRARY RENOVATIONS, 2008-0030
re: Minor Site Development, Site Plan Application
to: Barbara Barhydt Planning Department City of Portland
from: Scott Simons / Austin Smith Scott Simons Architects (SSA)
cc: Scott Simons SSA
Stephen Podgajny Director, Portland Public Library

In accordance with the City of Portland Land Use Code, Section 14-525, we are submitting the following information for your consideration, regarding the proposed addition and site improvements at the Portland Public Library, 5 Monument Square, Portland, Maine.

(Note: Topic numbers reference Site Plan Checklist.)

(1-7) *Standard Boundary Survey*

- See Enclosed Site Survey by Owen Haskell, Inc. dated 10.01.08

(8) *Description of existing soil conditions*

- See enclosed: Existing Conditions & Site Preparation Plan / L1 dated 12.01.77
Boring Logs / L2 dated 12.01.77
- Note: Additional borings to be done for areas to receive new construction to confirm condition of backfill used in original construction.

(22-30) *Landscaping and plant materials*

- There is no significant landscaping or new plant materials.
- Existing trees at Congress Street will be maintained and protected.
[See Tree Protective Measures as noted on Sheet C-100. If trees are damaged or destroyed in construction a provision is made for their replacement with approval of city arborist]
- A new street side planter will be installed at Congress Street as soon on Site Plan and in Section 2 / Sheet C-100. Planting for this location will be small scale ornamental material such as perennials.

(31) *Location and Intensity of outdoor lighting systems*

- No new exterior lighting systems are proposed for this project. Existing exterior lighting to remain.

project: Portland Public Library
file: PPL Site Plan Memo 3

date: 12/12/08
Page 1 of 1

(34 & 35) *Description of proposed uses to be located on the site, including quantity and type of residential units, if any:*

- The building currently is used as a public library and is compatible with the B3 Downtown Business District it occupies
- Upon completion of renovations, the Portland Public Library will be open to the public for typical library functions including:
 - Viewing and checking out of materials from the collection
 - Study and research
 - Public Computer access
 - Community meeting rooms
 - Tutoring programs
 - Café and gathering
 - Art gallery
 - Special programs and events in the Rine's auditorium
 - After-hours events
- There are no residential units associated with this site plan application

Total land area of the site and the total floor area and ground coverage of each proposed building and structure:

(36)	•Existing land area of the site:	37,305 sf	(.0856 Acres)
(37)	•Floor Area:		
		Existing	Proposed
	Lower Level	30,482 sf	30,482 sf
	Main Level (ground)	27,618 sf	28,912 sf (increase of 1,294 sf)
	Third Floor	12,789 sf	12,789 sf
	Fourth Floor	8,946 sf	8,946 sf
	Total	79,835 sf	81,129 sf

(38) *General summary of existing and proposed easements or other burdens now existing or to be placed on the property:*

- In the course of survey preparation a "Right of Emergency Passage" was noted from an adjacent building. The easement is currently being researched. It is our understanding it was necessary for the original construction to provide an egress pathway for the adjacent building. Within the last ten years the egress path has become unnecessary as the egress pathway can be accommodated within their own property lines.

(39) *The types and estimated quantities of solid waste to be generated by the development:*

- Solid waste is currently collected in a 7 yard dumpster located north of the garage entry in the library service yard and loading dock area. Dumpster is emptied twice a week by the City of Portland Public Works Department. Due to the fact that there is no change in use or occupant load, no significant change in amount of solid waste is anticipated.

(40) *Evidence of the availability of off-site facilities including sewer, water and streets:*

- Street Water Summary: 16" Cast Iron Water Main at Congress Street
8" Ductile Iron & 6" Cast Iron at Elm Street
- Building water service includes: Existing 6" Ductile Iron Fire Protection Service at Elm Street
Existing 4" Ductile Iron Domestic Service at Elm Street
- Waste & Storm Water Existing 12" Combined Sanitary & Storm connection to 12" Sewer at Elm St.
Existing 8" Storm connection to 12" Sewer at Elm St.

project: Portland Public Library
file: PPL Site Plan Memo 3

date: 12/12/08
Page 2 of 4

(41) *A narrative describing the existing surface drainage on the site and a stormwater management plan indicating measures which will be taken to control surface water runoff:*

- Exterior construction is confined to south area facing Congress Street. All new construction occurs within existing footprint. There is no change in amount of impervious surface.

(42) *A construction plan outlining the anticipated sequence of construction of the major aspect of the proposed project, including without limitation roads, retention basins, sewer lines, seeding and other erosion control measures, and pollutant abatement measures, and also setting forth the approximate dates for commencement and completion of the project:*

- The project's final design will be completed this winter with an anticipated construction start in early spring 2009 with a ten month duration. This will allow all the exterior work to be completed before the following winter. The majority of the exterior work takes place on the south end of the building, Congress Street side. During the construction the main entrance of the Library on Congress Street will be closed and the public will be directed to the Elm Street entrance. We will work with the City's Public Works department to coordinate sidewalk closing and temporary signage and develop a project specific safety plan to insure the safety of the public as well as the Library's employees and construction workers.

- Congress Street side of the library is currently is 100% impervious with the exception of some tree wells with grates that are scheduled to remain. As part of the construction a planter will be added along this elevation. Erosion control and de-watering during construction is anticipated to be minimal. We will employ MDEP's best management practices in dealing with any storm or ground water.

Provided by Ledgewood Construction, designated Construction Manager for PPL Renovations.

- Prior to construction a site mobilization plan will be submitted for approval outlining locations of construction barriers, layout spaces, crane locations, dumpster locations, construction entry points and public circulation. Site coordination meeting has been scheduled with Portland Public Works to review possible sidewalk and lane closing if necessary.

(43) *List all state and federal regulatory approvals to which the development may be subject, the status of any pending applications, and the anticipated time frame for obtaining such permits or that a determination of no jurisdiction from the agency will be requested:*

- A review will be conducted by the Department of Public Safety /State Fire Marshall's Office in Augusta. The Fire Marshall's office will review compliance with NFPA and the Americans' with Disabilities Act (ADA). File was established on August 07, 2008 with initial review of code summary. Final review to be conducted upon completion of construction documents in February of 2009.

- A building permit will be required from the City of Portland. Application will be made upon completion of construction documents.

- As required by IBC section 1704.4, a Final Statement of Special Inspections will be submitted by the designated agent.

- Portland Fire Department Site Review documents enclosed.

(47) *Evidence of financial and technical capacity to undertake and complete the development including, but not limited to, a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved, if requested to do so:*

- See enclosed material from Director of Finance and Operations for Portland Public Library, Clare Hannan, with supporting material

project: Portland Public Library
file: PPL Site Plan Memo 3

date: 12/12/08
Page 3 of 4

(48) *Evidence of the applicant's title, right, or interest in the property, including without limitation deeds, leases, purchase options or any other documentation:*

•See enclosed deed material

(49) *A narrative describing any unusual natural areas, wildlife and fishery habitats, or archaeological sites located on or near the project site and a description of the methods that will be used to protect such areas or sites:*

•The Library is located in an urban area. The building has existed in its current form for 29 years. There are no unusual natural areas, wildlife or fishery habitats, or archaeological sites on or near the proposed building.



Scott Simons Architects

75 York Street
Portland, Maine 04101
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MEMORANDUM PPL Zoning Summary

date: December 12, 2008
project: PORTLAND PUBLIC LIBRARY RENOVATIONS, 2008-0030
re: Zoning Summary, Site Plan Application
to: Barbara Barhydt Planning Department City of Portland
Marge Schmuckal Zoning Administrator City of Portland
from: Scott Simons / Austin Smith Scott Simons Architects (SSA)
cc: Scott Simons SSA
Stephen Podgajny PPL
Morris Fisher PPL Building Committee Chair

The Portland Public Library Main Branch is located at 5 Monument Square, Portland, Maine 04101

1. The PPL property is located within the
B3* Downtown Business District
DEOZ Downtown Entertainment District
*Indicates Height Overlay District
2. Parcel Acreage: 0.8559 Acres 37,284 Square Feet
3. Dimensional Regulations

	<u>Required/Allowed</u>	<u>Provided</u>
Min. Lot Area	None	37,305 sf.
Min. Street Frontage	(15) feet	(84.60) feet
Street Wall Build-to Line	Within (5) feet of Property Line	
Min. Front Yard Setback	None required	
Min. Rear Yard Setback	None required	
Min. Side Yard Setback	None required	
Min. Lot Width	None required	(63.58) feet
Max. Building Height	Not less than (35) feet	(64) feet
4. Parking No additional parking required
5. Maximum Lot Coverage: 100% 85.28%

project: 2008-0030 Portland Public Library Renovation

date: 12/12/08

«Filename»



Scott Simons Architects

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MEMORANDUM *Urban Screen Narrative*

date: DECEMBER 12, 2008
project: PORTLAND PUBLIC LIBRARY RENOVATIONS, 2008-0030
re: Urban Screen Narrative
to: Barbara Barhydt Planning Department City of Portland
from: Scott Simons Scott Simons Architects (SSA)
cc: Austin Smith SSA
Stephen Podgajny Director, Portland Public Library
Morris Fisher PPL Building Committee Chair

URBAN SCREEN
Ver: 12/1/08

A Definition

Urban Screens are defined as large outdoor digital displays, such as daylight compatible LED signs and high-tech plasma screens, used in urban spaces. Although their use in advertisement and news is widely known and readably observable in major U.S. cities—the most obvious example being the Times Square Astrovision Screen in New York City, urban screens are at the beginning of a worldwide movement placing digital displays in public squares for cultural purposes.

In Europe, particularly, urban screens are given broad cultural content for Architecture, Art, Urban Studies, and Digital Culture. As Mirjam Struppek of Urban Media Research in Berlin has said, “Urban Screens can be understood in the context of a reinvention of the public sphere and the urban character of cities, based on a well-balanced mix of functions and the idea of the inhabitant as active citizen instead of properly behaving consumer.” (“Urban Screens—The Urbane Potential of Public Screens for Interaction,” www.intelligentagent.com/archive.)

As a consequence, urban screens in public spaces have come to be defined as *intelligent architectural surfaces* or *pixilated architecture*, influential in creating a lively urban society and supporting the idea of public space as space for the creation and exchange of culture, strengthening local economy and cultural fabric, and providing local identity.

Permanent big screen cultural initiatives are located in Amsterdam, Berlin, Bremen, Brisbane, Dallas, Manchester, Melbourne, Milan, Munich, and Seoul.

Successful urban screen events include outdoor screenings, international joint broadcasting, and online information platform for networking.

project: Portland Public Library
file: PPL Urban Screen Narrative.doc

date: 12/15/08
Page 1 of 2

On Monument Square

The role of the public square has often been discussed in urban sociology, and Portland's Monument Square provides an example of the successful interconnectedness of commerce, culture, politics, and social interactivity. As a public space, Monument Square is perfectly scaled for human interaction. Its architecture—wide ranging in age and style, with a major sculptural presence, offers a sense of local identity. Efforts to enhance commerce and attract community through public events and farmers markets have been aggressively addressed by the City of Portland and Portland Downtown

District. Moreover, plans to designate the Monument Square/ Congress Street area as an Historic District, complementing the existing Arts District, will positively congeal an already strong momentum in creating a square that is a significant place in the city.

Proposal: An Urban Screen on Portland Public Library

Portland Public Library supports the ongoing enhancement of Monument Square as an open public square for civic and cultural engagement and seeks to develop new interactivity between the public and downtown Portland's Arts District through the renovation of its building which includes plans for the installation of a 17'x 21' urban screen with live video capabilities on the façade.

The Library's urban screen will offer important dimensions. Aesthetically, adding new digital interactive technologies on international style architecture will crystallize the façade's dynamism, giving the Library much needed street presence. In practice, the urban screen will greatly enhance the Library's ability to extend its programmatic outreach to the community.

We believe that the urban screen will also contribute to Portland's maturity as a lively urban society and will broaden Monument Square as open civic and cultural space by interactively involving the community. Utilizing city marketing and urban management strategies, the urban screen has the potential of transforming Monument Square into one of America's great small city public squares and defining Portland as a "Creative City" of global significance, attractive to creative entrepreneurs and tourists from around the world.

Portland Public Library will seek alliances with Portland's Congress Street institutions to shape the future development of the urban screen within the context of Monument Square as an urban space and as a new art form for creative expression: Children's Museum of Maine, Maine College of Art, Maine Historical Society, PCA Great Performances, Portland Museum of Art, Portland Ballet, Portland Stage Company, Portland Symphony Orchestra, Portopera, and SALT Institute for Documentary Studies.

This group will consider Content Management, Curation, Participation of the Local Community, and Technical Requirements.

Portland's Creative Economy

Portland Public Library's urban screen will have important ramifications for the recommendations recently proposed by the Creative Economy Steering Committee to Portland City Council, particularly in developing and sustaining Portland's Arts District (Creative Economy Steering Committee, "Report of Recommendations to the Portland City Council," October 2008, 14 (www.portlandmaine.gov/creativeeconomyreport.pdf)).

In fact, the urban screen could be the "tipping point project," a project identified by the Committee for the Arts District to give the area visibility, connect the cultural institutions, and engage the community (Creative Economy, 16).

Text Provided by:
Genetta McLean
Capital Campaign Associate
Portland Public Library



ENRICHING OUR COMMUNITY, EXPANDING OUR WORLD.

December 8, 2008

Re: 5 Monument Square Site Plan Review

To Whom It May Concern:

Portland Public Library's Renovation scheduled for late March 2009 has a project budget of \$7,000,000 (\$7M), with hard construction costs of \$5.8M. The Library has pledged commitments for the full \$7M, which include \$4M in municipal bond money authorized by the voters of the City of Portland. Our cash on hand as of today's date, including the \$4M in municipal bond money, is \$5,586,000. We have already paid \$250,000 in Architectural fees to date. By June of 2009, we expect to receive \$500,000 in pledge payments alone (not counting any future contributions that may be received through additional fundraising), bringing our cash on hand projection to approximately \$6.1M.

Additionally, we have Grant applications pending for \$500,000 for which we will know the disposition in early 2009.

For your information, I am attaching our November 30 bank statements. Should you need further information for evidence of financial capability within the context of Site Plan review, please let me know.

Best regards,

Clare E. Hannan
Director of Finance and Operations

FIVE MONUMENT SQUARE, PORTLAND, MAINE 04101, TEL. 207-871-1700, FAX 207-871-1703, WWW.PORTLANDLIBRARY.COM

BURBANK BRANCH
377 STEVENS AVENUE
207-774-4229

MUNJOY BRANCH
195 NORTH STREET
207-772-4581

PEAKS ISLAND BRANCH
129 ISLAND AVENUE
207-766-5540

REICHE BRANCH
166 BRACKETT STREET
207-774-6871

RIVERTON BRANCH
1600 FOREST AVENUE
207-797-2915

PTLD PUBLIC LIBRARY CAP CAMPAIGN

Account Number:
Statement Period:

71-M066-01-6
11/01/08 - 11/30/08

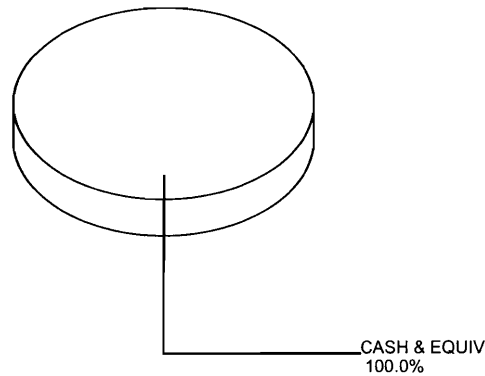
Account Officer:

D. Robinson Snow (207) 828-3095

PORTLAND PUBLIC LIBRARY
ATTN: CLARE HANNAN
5 MONUMENT SQUARE
PORTLAND ME 04101

Investment Objective: Other

	Market Value	Percent
Cash & Equiv	1,507,442.70	100.0%
Total Assets	1,507,442.70	100.0%
Total Portfolio Value Plus Accrued Income	1,510,187.68	



Market Reconciliation

Beginning Market Value	1,507,442.70
Income	
Dividend Income.....	3,576.01
Non-Cash Asset Changes.....	0.00
Realized Gains/(Losses).....	0.00
Change To Accrued Income.....	-831.03
Market Appreciation/(Depreciation).....	0.00
Ending Market Value	1,510,187.68

For Your Information

MONEY MARKET FUND PROVIDERS PAY THE WEALTH MANAGEMENT DIVISION A FEE ON CASH BALANCES INVESTED DAILY. FUND YIELDS REFLECTED ON CUSTOMER STATEMENTS ARE NET OF THIS FEE.

PTLD PUBLIC LIBRARY CAP CAMPAIGN

Account Number:
Statement Period:

71-M066-01-6
11/01/08 - 11/30/08

Cash & Equivalents

Description	Shares	Total Market Total Cost	Market Price Cost Price	Est Ann Inc Accrued Inc	Yld To Mat Curr Yld
Cash					
Principal Cash		-155,979.60			
		-155,979.60			
Income Cash		155,979.60			
		155,979.60			
Total Cash		0.00			
		0.00			
Cash Equivalents					
Dreyfus Inst Cash Mgt Fd #288	1,507,442.700	1,507,442.70	1.00	27,200	
		1,507,442.70	1.00	2,744.98	1.80
Total Cash Equivalents		1,507,442.70		27,200	
		1,507,442.70		2,744.98	
Total Cash & Equivalents		1,507,442.70		27,200	
		1,507,442.70		2,744.98	1.80

PTLD PUBLIC LIBRARY CAP CAMPAIGN

Account Number:
Statement Period:

71-M066-01-6
11/01/08 - 11/30/08

Receipts

Date		Income Cash	Principal Cash	Cost
Dividends				
	Dreyfus Inst Cash Mgt Fd #288			
11/03/08	Div To 10/31/08	3,576.01		
Total Dividends		3,576.01		
Total Receipts		3,576.01	0.00	0.00

PTLD PUBLIC LIBRARY CAP CAMPAIGN

Account Number:
Statement Period:

71-M066-01-6
11/01/08 - 11/30/08

Purchases

Date		Income Cash	Principal Cash	Cost
	Dreyfus Inst Cash Mgt Fd #288			
11/30/08	Purchases (1) 11/01/08 To 11/30/08		-3,576.01	3,576.01
	Total Purchases	0.00	-3,576.01	3,576.01

MAINE BANK & TRUST

. a maine bank for maine people .



Member
FDIC

PAGE 1
DATE 11/28/08
PRIMARY ACCOUNT
100310923
ENCLOSURES

PORTLAND PUBLIC LIBRARY
BUILDING CAMPAIGN
5 MONUMENT SQ
PORTLAND ME 04101-4017

OK WJ 12/8/08

or questions about your electronic transfers, please call 1-877-888-1747.

-----SAVINGS ACCOUNTS-----

ACCOUNT TITLE: PORTLAND PUBLIC LIBRARY
BUILDING CAMPAIGN

Your Business is Growing Fast - Save Time & Gas Depositing
Customer Checks with our REMOTE DEPOSIT CAPTURE at Your
Desk! Call 877-888-1747.

U. NESS SAVINGS			
ACCOUNT NUMBER	100310923	STATEMENT DATES	11/03/08 THRU 11/30/08
BEGINNING BALANCE	78,558.76	DAYS IN THIS STATEMENT PERIOD	28
2 CREDITS	3,906.05	AVERAGE LEDGER BALANCE	78,169.16
1 DEBITS	18,000.00	AVG COLLECTED BALANCE	78,031.13
SERVICE CHARGES	.00	INTEREST EARNED	22.05
INTEREST PAID	22.05	ANNUAL PERCENTAGE YIELD EARNED	0.37
ENDING BALANCE	64,486.86	2008 INTEREST PAID	877.75

DEPOSITS AND OTHER CREDITS

DATE	DESCRIPTION	AMOUNT
1/06	DEPOSIT	3,866.05 ✓
1/20	DEPOSIT	40.00 ✓
1/30	INTEREST DEPOSIT	22.05

DEBITS

DATE	DESCRIPTION	AMOUNT
1/25	MISC DEBIT	18,000.00 - ✓

BALANCE SUMMARY

DATE	BALANCE	DATE	BALANCE	DATE	BALANCE
1/03	78,558.76	11/06	82,424.81	11/20	82,464.81

MAINE BANK & TRUST

• a maine bank for maine people •



Member
FDIC

PAGE 2
DATE 11/28/08
PRIMARY ACCOUNT
100310923
ENCLOSURES

BUSINESS SAVINGS

100310923 (Continued)

BALANCE SUMMARY			
DATE	BALANCE	DATE	BALANCE
1/25	64,464.81	11/30	64,486.86

INTEREST RATE INFORMATION	
DATE	INTEREST RATE
11/02	0.450000%
11/19	0.250000%

22279

INDENTURE DEED WITH QUITCLAIM COVENANTS

210

THIS INDENTURE, dated as of the 19th day of August, 1977, by and between the PORTLAND RENEWAL AUTHORITY, a public body corporate and politic, created and existing under and by virtue of Chapter 217 of the Private and Special Laws of 1951 as amended, and having a principal place of business at Portland in the County of Cumberland and State of Maine (hereinafter called "Agency"), and the CITY OF PORTLAND, a body politic and corporate, located at Portland in the County of Cumberland and State of Maine (hereinafter called "Redeveloper"), whose mailing address is 389 Congress Street, Portland, Maine 04111.

WITNESSETH THAT:

WHEREAS, the Agency is the owner of the below described parcels of land and is desirous of conveying same to Redeveloper; and

WHEREAS, Section 7(a) of the aforesaid Chapter 217 of the Private and Special Laws of 1951, as amended, permits the sale of real estate to other public agencies if consistent with the applicable redevelopment plan; and

WHEREAS, the Maine Way Urban Renewal Plan provides that the below described parcels may be used for library purposes; and

WHEREAS, the Redeveloper is desirous of acquiring the below described parcels for library purposes; and

WHEREAS, the Redeveloper is a public agency within the meaning of Section 7(a); and

WHEREAS, the Board of Commissioners of the Agency, by resolution dated August 16, 1977, approved the sale of the said parcels to the Redeveloper on the terms and conditions set forth hereinafter;

NOW, THEREFORE, in consideration of the premises and of the mutual covenants herein contained, and the sum of One Hundred Twenty Thousand (\$120,000) Dollars, to be paid Fifty Thousand (\$50,000) Dollars upon execution of this Indenture, the receipt whereof the Agency does hereby acknowledge, and Seventy Thousand (\$70,000) Dollars within six (6) months thereafter, the Agency does hereby remise, release, bargain, sell and convey, and forever quitclaim unto the said Redeveloper, its successors and assigns forever, the following described parcels of land:

PARCEL 1

Beginning at a point on the northerly sideline of said Congress Street, said point being distant 104.41 feet on a bearing of S 55° 30' 00" W from the intersection of the northerly sideline of said Congress Street and the westerly sideline of said Elm Street; thence from said point of beginning S 55° 30' 00" W along the northerly sideline of said Congress Street 23.61 feet to land of Alton B. Warren; thence N 34° 50' 00" W along land of said Alton B. Warren 78.54 feet to a right of way; thence N 55° 41' 40" E along the southerly side of said right of way 0.50 feet to a point; thence N 32° 41' 30" W along the easterly end of said right

of way and along land of said Alton B. Warren 31.91 feet to a point; thence N 55° 02' 40" E along land of said Alton B. Warren 24.58 feet to a point; thence S 30° 57' 40" E along land of said Alton B. Warren and along land now or formerly of Hub Furniture Co. 32.69 feet to a point; thence S 34° 30' 00" E along land now or formerly of said Hub Furniture Co. 78.00 feet to the point of beginning, containing 2,643 square feet. Together with all interests appurtenant to the above described premises, including any and all interests in and to a passageway situated northwesterly of the land formerly occupied by the Dearing Block, so-called, and also all right, title and interest in and to all passageways, lanes, streets or alleys adjoining, abutting and/or running with the above described premises.

Being the same premises conveyed by Christian G. Kragelund to the Portland Renewal Authority by deed dated September 18, 1973 and recorded in the Cumberland County Registry of Deeds in Book 3473, Page 92.

PARCEL 2

Beginning at the intersection of the northerly sideline of said Congress Street and the westerly sideline of said Elm Street; thence S 55° 30' 00" W along the northerly sideline of said Congress Street 104.41 feet to land described above as Parcel I; thence N 34° 30' 00" W along said Parcel I for a distance of 78.00 feet to a point; thence N 30° 57' 40" W along said Parcel I for a distance of 2.57 feet to land formerly of Alton B. Warren; thence N 55° 07' 40" E along land of said Alton B. Warren 107.60 feet to the westerly sideline of said Elm Street; thence S 32° 08' 40" E along the westerly sideline of said Elm Street 81.33 feet to the point of beginning, containing 8,583 square feet.

Being the same premises described as land of Novick Realty Co. in the Statement of Taking by Portland Renewal Authority dated August 29, 1973, and recorded in the Cumberland County Registry of Deeds in Book 3451, Page 71.

The said parcels are conveyed subject to the following conditions:

1. All the terms, covenants and conditions of the Urban Renewal Plan, Me. R.-28, which is incorporated into and made a part of this Indenture.
2. Redeveloper, by the acceptance of this Indenture covenants and agrees on behalf of itself, its successors and assigns of the property described herein or any part thereof:
 - (a) To devote the property described herein to the uses specified therefor in the Maine Way Urban Renewal Plan, Me. R.-28, approved by the City Council by resolution adopted October 29, 1969, and as subsequently modified by the City Council, which plan, together with the modifications thereof, as it may hereafter be further modified and/or revised from time to time pursuant to law, and as constituted on the date of execution of this Indenture is, unless otherwise indicated by the context, hereinafter called "Urban Renewal Plan", a copy of which has been filed in the Office of the City Clerk of the City of Portland. Said covenant is to run from the date of this Indenture until June 14, 2001.

(b) That from the date of this Indenture until June 14, 2001, the property described herein shall not be used for any use other than the uses specified therefor in the Urban Renewal Plan, or contrary to any limitations or requirements of the said Urban Renewal Plan;

(c) That the Redeveloper will not discriminate upon the basis of race, color, creed, or national origin in the sale, lease or rental, or in the use or occupancy of the property described herein, or any improvements erected or to be erected thereon, or any part thereof. Said covenant is to run with the land in perpetuity;

(d) That the Redeveloper will commence construction of a public library upon the described parcels herein within one hundred twenty (120) days of execution of this Indenture;

(e) That the Redeveloper will complete construction of said improvements prior to September 1, 1979 unless failure to complete prior to said date is due to causes wholly beyond the control of Redeveloper.

3. Promptly after completion of the improvements on the property described herein, the Agency will furnish the Redeveloper with an appropriate instrument so certifying. Such certification by the Agency shall be a conclusive determination of satisfaction and termination of the agreements and covenants in this Indenture with respect to the obligation of the Redeveloper, and its successors and assigns, to construct the improvements on the property described herein, and the dates for the commencement and completion thereof.

4. In the event that prior to the completion of the improvements on the property described herein as certified by the Agency, the Redeveloper violates the covenants contained herein by:

(a) Defaulting in or violating its obligations with respect to the construction of such improvements (including the nature and the dates for the beginning and completion thereof), or abandoning or substantially suspending construction work, and any such default or violation, abandonment, or suspension shall not be cured, ended, or remedied within six (6) months after written demand by the Agency so to do; or

(b) Suffering any levy or attachment to be made, or any materialmen's or mechanics' lien or any other unauthorized encumbrance or lien to attach, and failing to remove or discharge the encumbrance or lien or make provisions satisfactory to the Agency made for such payment, removal, or discharge, within ninety (90) days after written demand by the Agency so to do; or

(c) Transferring said property, or any part thereof, and such violation shall not be cured within sixty (60) days after written demand by the Agency to the Redeveloper;

then the Agency shall have the right to re-enter and take possession of the property described herein, and to terminate (and revert in itself) the estate conveyed by this Indenture to the Redeveloper.

The agreements and covenants provided in the first subject clause of this Indenture, and all agreements and covenants in this Indenture shall run in favor of, and be enforceable by, the Agency and the United States and shall be covenants running with the land.

TO HAVE AND TO HOLD the property described herein, together with all the privileges and appurtenances thereunto belonging, to the said Redeveloper, its successors and assigns, to its and their use and behoof forever, and the Agency does covenant with the Redeveloper, its successors and assigns, that it and its successors and assigns shall and will warrant and defend the same to the said Redeveloper, its successors and assigns forever, against the lawful claims and demands of all persons, except as aforesaid, claiming by, through or under it.

IN WITNESS WHEREOF, the PORTLAND RENEWAL AUTHORITY has caused this Indenture to be executed and its corporate seal to be hereunto affixed by Horace H. Budd, its Chairman, and attested by Thomas F. Valleau, its Secretary, both hereunto duly authorized, and the CITY OF PORTLAND has caused this Indenture to be executed and its corporate seal to be hereunto affixed by John G. DePalma, its Director of Finance, as of the day and year first above written.

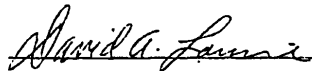
ATTEST:



PORTLAND RENEWAL AUTHORITY

By: 
Horace H. Budd, Chairman

CITY OF PORTLAND



By: 
John G. DePalma, Director
of Finance

KNOW ALL MEN BY THESE PRESENTS,

THAT Alvin Dworman, Avrom S. Waxman, William Alpert, Thomas W. McMahon, Jr., and Joseph P. Shaw as Trustees of Universal Mortgage & Realty Trust under a Declaration of Trust dated February 3, 1972 made under the laws of the Commonwealth of Massachusetts, a true copy of which Declaration is recorded in the Cumberland County Registry of Deeds in Book 3539, Page 306, and having a principal place of business at 640 Fifth Avenue in the City of New York, County of New York, and State of New York, in consideration of the sum of Two Hundred Seventy-Five Thousand (\$275,000) Dollars paid by the City of Portland, a body politic and corporate, having a principal place of business in the City of Portland, County of Cumberland and State of Maine and whose mailing address is 389 Congress Street, Portland, Maine 04111, the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said City of Portland, its successors and assigns forever, four (4) certain lots or parcels of land situate in the said City of Portland bounded and described as follows:

A certain lot or parcel of land beginning at a point on the southwesterly side of Elm Street, one hundred thirty-eight and fifty-three hundredths (138.53) feet northwesterly along said side line from its intersection with the northwesterly side line of Congress Street, which point is the southeasterly corner of property formerly of N. Blake, and later of the George C. Shaw Company; thence running southwesterly by said Blake land, one hundred and eight (108) feet, more or less, to property leased by the State Loan Company from the Deering heirs by the lease dated January 1, 1909; thence running southeasterly by said Deering heirs property, and by property formerly of R. E. and W. O. Alden, sixty and fifty-five hundredths (60.55) feet to a point; thence running northeasterly one hundred seven and forty-two hundredths (107.42) feet, more or less, to said Elm Street; thence running northwesterly by said Elm Street, fifty-seven and twenty-three hundredths (57.23) feet to the point of beginning. Subject to a reservation in favor of Hub Furniture Company, its successors and assigns, of the right to pass and re-pass on foot, over a right of way three (3) feet in width along the southeasterly side line of this parcel, which way extends from Elm Street to said land formerly of R. E. and W. O. Alden.

Also, another certain lot or parcel of land beginning at

the southeasterly corner of land formerly owned by Major E. Day, later owned by Portland Society of Natural History, a Maine corporation; thence running southeasterly on said Elm Street about forty-two (42) feet to land formerly owned by A.W.H. Clapp; thence southwesterly by said Clapp land about ninety (90) feet to land formerly of the Heirs of James Deering; thence northwesterly by said Deering land about forty-two (42) feet to said land formerly owned by Major E. Day; thence northeasterly by said Day land about ninety (90) feet to the point of beginning.

Also another certain lot or parcel of land beginning on the westerly side of said Elm Street one hundred fifty-two (152) feet south of Cumberland Avenue; thence running westerly at right angles with Elm Street by land now or formerly owned by Lucretia D. Sewall, about ninety-six (96) feet to land formerly of James Deering heirs; thence southerly by said Deering land about one hundred thirty-one (131) feet to land now or formerly of Moses Dodge; thence easterly by land now or formerly of said Dodge on a line twenty-five and five-tenths (25.5) inches from the main brick wall of said Dodge's house, ninety-seven and eight tenths (97.8) feet more or less, to Elm Street; thence northerly by said Elm Street one hundred thirty feet and seventy-five hundredths (130.75) feet to the place of beginning.

Also another certain lot or parcel of land beginning on said Elm Street at the easterly corner of land conveyed by Lucretia D. Sewall to Enoch Martin and Israel P. Waterhouse, on February 18, 1874 by deed recorded in Cumberland County Registry of Deeds, in Book 407, Page 461, said corner being eighty-two (82) feet from the southerly corner of Cumberland Avenue and Elm Streets; thence southwesterly by the land of said Martin and Waterhouse ninety-five (95) feet to land formerly of the heirs of James Deering; thence southeasterly by said Deering land seventy (70) feet to a stake; thence northeasterly by land formerly of Lucretia D. Sewall ninety-six (96) feet to said Elm Street; thence northwesterly by said Street seventy (70) feet to the point of beginning.

The above parcels being portions of the property described in the Mortgage Deed with Power of Sale given by Eastern Development & Investment Corp. to the Trustees under the said Trust dated October 31, 1973 and recorded in the Cumberland County Registry of Deeds in Book 3480, Page 22.

The premises are conveyed subject to: (a) all utility easements; (b) all other liens, encumbrances and other matters of record.

TO HAVE AND TO HOLD the same, together with all the privileges and appurtenances thereunto belonging, to the said City of Portland, its successors and assigns forever.

AND, the said Grantors do covenant with the said Grantee,

1 34

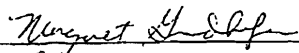
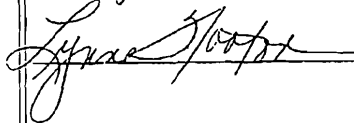
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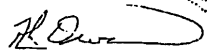
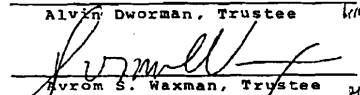
City of Portland, its successors and assigns, that they shall forever defend the same premises to the City of Portland, the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under them, except for any claims or demands which may at any time be asserted by persons under leases affecting said premises, the Grantors herein making no warranties or representations with respect to any such leases or with respect to individuals otherwise making use of the premises.

UNIVERSAL MORTGAGE & REALTY TRUST is a Massachusetts Trust pursuant to a Declaration of Trust dated February 3, 1972 and all persons dealing with the Trust must look solely to the property of the Trust for the enforcement of any claims against the Trust. No Trustee, officer, agent or shareholder of the Trust shall have any personal liability for, nor shall resort be had to private property of such persons for the satisfaction of any obligation or claim arising out of the affairs of the Trust.

IN WITNESS WHEREOF the said Trustees of Universal Mortgage & Realty Trust have caused this instrument to be executed, sealed and delivered to the said City of Portland, by Alvin Dworman and Avrom S. Waxman, Trustees on the behalf of said Trust, being duly authorized as provided in the said recorded Declaration of Trust, this 10th day of August A.D., 1977.

SIGNED, SEALED AND DELIVERED
in Presence of:


Alvin Dworman, Trustee

Avrom S. Waxman, Trustee

As Trustees only, and not in their individual capacities.

August 10, 1977

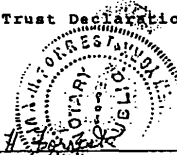
2:25

STATE OF NEW YORK)
) ss.:
COUNTY OF NEW YORK)

Personally appeared the above named Alvin Dworman
and Avrom S. Waxman, Trustees under the said Trust and acknowledged
the foregoing instrument to be their free act and deed in their
said capacities and the free act and deed of all the Trustees
named in the deed of the Trust as provided by the Trust Declaration
referred to hereinabove.

Before me,

Patricia A. H. Forrest



My Commission expires
March 30, 1978

Patricia A. H. Forrest
NOTARY PUBLIC, State of New York
No. 30 6360110
Qualified in Essex County of Suffolk
Commission Expires March 30, 1978

AUG 11 1977

REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE

Received at 1 421 P.M. and recorded in

BOOK 4675 PAGE 162. *Margaret L. Bladen* Registrar



Scott Simons Architects

75 York Street
Portland, Maine 04101
phone 207 772 4656
fax 207 828 4656
www.simonsarchitects.com

MEMORANDUM PFD Site Review Checklist

date: December 12, 2008
project: PORTLAND PUBLIC LIBRARY RENOVATIONS, 2008-0030
re: Minor Site Development, Site Plan Application
to: Captain Cass Inspections City of Portland Fire Department
from: Scott Simons / Austin Smith Scott Simons Architects (SSA)
cc: Scott Simons SSA
Stephen Podgajny PPL
Morris Fisher PPL Building Committee Chair

The Portland Public Library Main Branch is located at 5 Monument Square, Portland, Maine 04101

1. Name Address, telephone number of applicant.

Owner: City of Portland
 389 Congress Street
 Portland, Maine 04101
Applicant: Portland Public Library
 Steve Podgajny Director 207.871.1700 Ext. 755
 5 Monument Square
 Portland, Maine

2. Name Address, telephone number of architect.

Architect: Scott Simons Architects 207.772.4656
 Austin Smith, Project Architect
 75 York Street
 Portland, Maine 04101

3. Proposed uses of any structures [NFPA and IBC classification]

2003 International Building Code (IBC)
Occupancy Classification: A-1, A-3 AND B Mixed Use
Building construction type Type IIA

project: 2008-0030 Portland Public Library Renovation

date: 12/10/08

4. Square footage of all structures [total and per story]

	Existing	Proposed
Lower Level	30,482 sf	30,482 sf
Main Level	27,618 sf	28,912 sf
Third Floor	12,789 sf	12,789 sf
Fourth Floor	8,946 sf	8,946 sf
Total	79,835 sf	81,129 sf (increase of 1,294 sf)

5. Elevation of all structures

See enclosed Drawings

6. Proposed fire protection of all structures

Building currently has 6" ductile iron service dedicated for fire protection for existing standpipe locations. Sprinkler coverage of Phase One to be limited to new construction of Phase One. Phase Two provides for full sprinkler coverage of entire building.

7. Hydrant locations

Closest hydrant location is at the intersection of Congress and Preble Street on NE corner. It is approx. 130 feet from the PPL. See enclosed Fire Protection Plans, FP-100.

8. Water main [size and locations]

See attached Portland Water District Infrastructure plan, Monument Square, for locations and sizes of water service.

Street Utility Summary:	16" Cast Iron Water Main at Congress Street
	8" Ductile Iron & 6" Cast Iron at Elm Street
Building service includes:	6" Ductile Iron Fire Protection Service
	4" Ductile Iron Domestic Service

9. Access to any fire department connections

An existing operational fire department connection is located on Elm Street. See enclosed Fire Protection Plans, FP-100.

10. Access to all structures [min. 2 sides]

South	Full access at Congress Street	132 ft.
East	Full access at Elm Street	288 ft.
North	Full access from parking, loading dock & adjacent drive	96 ft
West	Limited access from adjacent private drive	184 ft.

Summary	472 ft	Accessible from public way	56%
	228 ft	Accessed by adjacent private drive	29%
	108 ft	Inaccessible	15%

11. A code summary shall be included referencing NFPA 1 and all fire department technical standards.

See attached code summary from fire protection engineer and code consultant, Philip Sherman, PE, dated July 31, 2008.

project: 2008-0030 Portland Public Library Renovation

date: 12/10/08

<filename>

12. Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.

Current model specified is Otis LVM 2500L with a clear car width of 6'-8" x 4'-3" conforming to current stretcher code. Approved equal manufacturer maybe used with equal or greater sized cabs.

13. Some structures may require Fire flows using annex H of NFPA 1.

PHILIP R. SHERMAN, P.E.

FIRE PROTECTION ENGINEERING AND BUILDING CODE CONSULTING


P.O. Box 216
444 WILMOT CENTER ROAD
ELKINS, NH 03233-0216
PHONE: 603-526-6190
FAX: 603-526-4979
EMAIL: PSHERMAN@PR Sherman.COM

Date: July 31, 2008
Proj: 1311.01

Scott Simons Architects
75 York Street
Portland, ME 04101

Attention: Mr. Stephen Fraser

Re: Portland Public Library
5 Monument Square
Portland, Maine
Code Summary

 Scott Simons Architects	
Job Name:	PPL
Job No:	2008-0030
Date Rec'd:	07.31.08
File:	
Cc:	IAN McDONALD@ ALLIED
	ETHAN PHILE@ BSF
Consultants:	
Other:	JOB FILE

Dear Mr. Fraser:

This letter will set forth the applicable codes and major code issues to be dealt with during the design of the renovations and additions to the above building. This analysis is based on design development floor plans dated July 11, 2008, a site visit on July 18, 2008 and other miscellaneous information provided to date. This report addresses building, fire and accessibility codes, as identified below.

The project consists of the construction of a two additions to the existing building and partial phased renovations within the existing structure. Code references are in the endnotes.

Applicable Codes

The following codes are expected to apply to this project.

- 2003 International Building Code (IBC)
- 2003 International Mechanical Code
- 2008 National Electrical Code
 - 1999 edition also adopted by City of Portland

General

- Area
 - Footprint area (proposed)..... 29,739 sf
- Height
 - Stories. four
 - Feet..... to be determined
 - Measured from grade plane (average grade) to highest roof,
 - High rise..... no
- Open frontage to 30 foot clear space. assume 50%
- Sprinklers..... yes
 - Sprinklers are required throughout the first three floors, regardless of the construction type, as the size of a non-conforming fire area is being increased.¹ If only the first three floors are sprinklered, the building is not considered fully sprinklered.
 - The State Fire Marshal has approved a phased plan for installation of the sprinklers throughout the building, and to consider the building fully sprinklered during the implementation of the early phases, provided the ultimate plan is to sprinkler all areas.
- Project approach
 - The building resulting from the additions is required to comply with area and height limitations.² Using a separated mixed occupancy approach with Group A-1 on the lower floors and Group B on Level 3, sprinklers may or may not be required for area limitations, depending on the current construction type of the building.³ A non-separated mixed occupancy approach is used within the floors.

	Type IB	Type IIA	Type IIB
Base allowable area	Unlimited	15,500 sf	8,500 sf
Open frontage (25% credit for 50% open)	N/A	3,875 sf	2,125 sf
Sprinklers(200%)		31,000 sf	17,000 sf
Allowable footprint area	Unlimited	50,375 sf	27,625 sf

Barriers to Fire and Smoke Spread

- Exterior walls⁶
 - Existing exterior walls may remain.
 - Proposed exterior walls all face a public way and may be unrated (except loadbearing as above) and openings are not limited in size.
- Occupancy separations⁷
 - The existing Level 3 slab acts as an occupancy separation between Group A and Group B spaces.
 - The separation is not required if the building is fully sprinklered
 - The separation is required to be two hour rated, on two hour structural supports to grade, if the building is not fully sprinklered.
- Egress stairs
 - Existing interior egress stairs are required to be one hour rated, with one hour doors. See the code for limitations on penetrations into the stair.⁸
 - The lower atrium stair may not be used as an open egress stair, as the main floor is also open to Level 2.
- Elevator shafts⁹
 - One half hour rated shafts with 20 minute doors.
- Mechanical ducts¹⁰
 - Existing. one half hour shaft
- Vertical openings
 - A three story open stair is proposed to connect the lower level, main level, and Level 2.
 - This lobby is permitted by the building code only as an atrium as follows:¹¹
 - A smoke control system is required.

- Occupant loads have been calculated by the architect, with the following totals:
 - Lower level. 1189
 - Main floor. 561
 - Level 2. 180
 - Level 3. 150

- Multiple exits are required as follows¹³

- From each floor with up to 500 persons. two
- From rooms, spaces or floors with more than 500 persons. three
 - As the two main entrance doors to the auditorium lead to the same space, an insufficient number of exits is provided from the auditorium.
- From rooms, spaces or floors with more than 1000 persons. four
 - An insufficient number of exits is provided from the lower level.
- From rooms or spaces with 50 - 500 persons.. . . . two

- Travel distance and common path of travel¹⁴

- Group A
 - Travel distance. 250 feet
 - Common path of travel. 75 feet
- Group B
 - Travel distance. 300 feet
 - Common path of travel (with full sprinklers). 100 feet

- Remoteness of multiple new exits. one third the diagonal distance of the space¹⁵

- The minimum clear width of door openings is 32", with 0.2 inches per person. Projections into the clear width of less than four inches, between 34 and 80 inches above the floor, may be ignored.¹⁶

Alarm and Suppression

- A fire alarm systems is required.²⁰
- Manual pull stations (not required if building is fully sprinklered)
- Smoke detection is required for elevator recall, HVAC shutdown and door holder service.
- Waterflow, tamper and fire pump alarms
- Voice alarm per IBC 907.2.12.2
- Visual alarms in all common and public areas, and capability for visual alarms in all sleeping units
- Connection to reporting station
- Automatic sprinklers are required as discussed above.²¹
- If the Seismic Design Category is C, D, or E, a secondary on site water supply is required.
- Consider reviewing information is NFPA 909 for compact storage areas. NFPA 13 sprinklers may not provide sufficient coverage.
- A Class I standpipe system would be required if this were a new structure and will probably be required as a part of the sprinklers above.²²
- Portable fire extinguishers are required²³
- Emergency lighting is required for all exits, corridors, aisles, rooms requiring more than one exit, and the exit discharge.
- Exit signage is required in corridors and spaces requiring multiple exits.

Plumbing Fixtures

- Plumbing fixture factors are per Table 4-1 in the Maine State Internal Plumbing Code. IF the occupant load of the existing areas is not being materially changed, additional fixtures are only required for the new space.
- The plumbing fixture occupant loads are based on the numbers as calculated for egress.

Endnotes

1. IBC 3403.1, NFPA 101 43.8.1.2
2. IBC 3403.1
3. IBC Chapter 5
4. NFPA 101 12.1.6
5. IBC Table 601, NFPA 101 Table A8.2.1.2
6. IBC Table 602, section 704
7. IBC 302.3.2, NFPA 01 Table 6.1.14.4.1(b)
8. NFPA 101 7.1.3.2.1(2)(a)
9. NFPA 101 8.6.5.3
10. IBC 716.6.1
11. IBC 404
12. IBC 1004.1, NFPA 101 7.3.1.2
13. IBC 1014.1, 1018.1, NFPA 101 7.4.1.2
14. IBC 1015, 1013.3
15. IBC 1015.2.1
16. IBC 1005.1, 1008.1.1, NFPA 101 7.2.1.2.4, 7.3.3.1
17. IBC 1005., 1009.1 NFPA 101 7.2.2.2.1, 7.3.3.1
18. IBC 1007, ADAAG
19. IBC 803.5
20. IBC 907.2.1
21. IBC 403.2
22. IBC 905.3
23. NFPA 1 13.6.1.2
24. MSIPC 413.2.1
25. MSIPC 413.3

From: Austin Smith <austin@simonsarchitects.com>
To: Chris Hanson <CSH@portlandmaine.gov>, Keith Gautreau <kng@portlandmaine.gov>
Date: 4/13/2009 11:30:28 AM
Subject: Inspections questions of 04.07.09

Chris:

I've enclosed a memo with answers to your questions of 04.07.09. Also enclosed are the statements of special inspections from our office and Becker Structural Engineering.

Please let us know if you have other questions.

Thanks,
Austin

APR 14 2009

Austin Smith
AIA RLA LEED AP
Scott Simons Architects
207.772.4656

CC: Clint Gendreau <cgendreau@ledgewoodconstruction.com>, "Stephen J. Podgajny" <podgajny@portland.lib.me.us>, Clare Hannan <Hannan@portland.lib.me.us>, Ethan Rhile <ethan@beckerstructural.com>, Scott Simons <scott@simonsarchitects.com>

Chris:

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Also enclosed are the statements of special inspections from our office and Becker Structural Engineering.

Please let us know if you have other questions.

Thanks,
Austin

Austin Smith
AIA RLA LEED AP
Scott Simons Architects
207.772.4656

APR 14 2009

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Statement of Special Inspections (Continued)

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project:
Location:
Owner:
Owner's Address:

Architect of Record: _____
(name) (firm)
Structural Registered Design Professional in Responsible Charge: _____
(name) (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

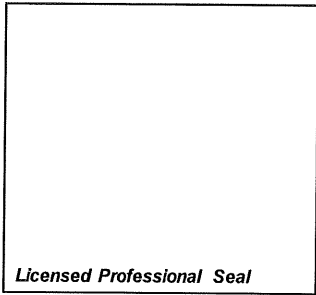
Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date



Project: Portland Public Library
Date Prepared: 4/7/09

Structural Statement of Special Inspections (Continued)
Special Inspector's/Agent's Final Report

Project:
Special Inspector or
Agent

_____ (name)

_____ (firm)

Designation:

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

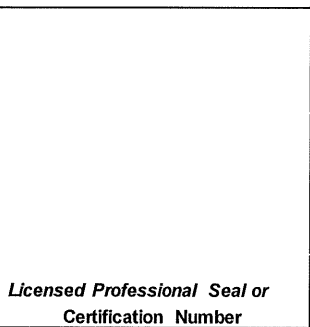
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date



Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspections

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided to the Special Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAILABLE TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO SUBMITTING STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PREPARING THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record deems it appropriate that the individual performing a stipulated test or inspection have a specific certification, license or experience as indicated below, such requirement shall be listed below and shall be clearly identified within the schedule under the Agent Qualification Designation.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum 5 years experience with the stipulated test or inspection
-----	---

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Project: Portland Public Library

Date Prepared: 4/7/09

Structural Schedule of Special Inspections

SOILS & FOUNDATION CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.7, 1704.8, 1704.9						
1. Verify existing soil conditions, fill placement and load bearing requirements						
a. Prior to placement of prepared fill, determine that the site has been prepared in accordance with the approved soils report.	Y	P	IBC 1704.7.1	S2	PE/GE, EIT or ETT	
b. During placement and compaction of fill material, verify material being used and maximum lift thickness comply with the approved soils report.	Y	P	IBC 1704.7.2	S2	PE/GE, EIT or ETT	
c. Test in-place dry density of compacted fill complies with the approved soils report.	Y	p	IBC 1704.7.2	S2	PE/GE, EIT or ETT	
2. Pile foundations:	No Pile Foundations					
a. Observe and record procedures for static load testing of piles.	N	N/A	IBC 1704.8			
b. Observe and record procedures for dynamic load testing of piles.	N	N/A				
c. Record installation of each pile and results of load test. Include cutoff and tip elevations of each pile relative to permanent reference.	N	N/A				
d. Test welded splices of steel piles.	N	N/A	AWS D1.1			
3. Pier foundations: Verify installation of pier foundations for buildings assigned to Seismic Design Category C, D, E or F.	N	N/A	IBC 1704.9			
a. Verify pier diameter and length	N	N/A				
b. Verify pier embedment (socket) into bedrock	N	N/A				
c. Verify suitability of end bearing strata	N	N/A				



Scott Simons Architects

75 York Street
Portland, Maine 04101
phone 207 772 4656
fax 207 828 4656
www.simonsarchitects.com

MEMORANDUM

date: April 13, 2009
project: PORTLAND PUBLIC LIBRARY RENOVATIONS 2008-0030
re: Questions of April 07, 2009
To: Chris Hanson, City of Portland
CC: Steve Podgajny PPL Director
Keith Gautreau Portland Fire Department
Clint Gendreau Ledgewood Construction
Ethan Rhile Becker Structural Engineers
Scott Simons SSA
from: Austin Smith Scott Simons Architects (SSA)

The following questions were asked by Chris Hanson of inspections in regards to the Portland Public Library Addition and Renovation. Questions forwarded by e-mail from Clint Gendreau of Ledgewood Construction.

1. Provide a Statement of Special Inspections with list of who the inspectors will be.

See enclosed: Structural Statement of Special Inspections Becker Structural Engineers
Statement of Special Inspections-A/M/E/P Scott Simons Architects

2. Plan of action and time line for phasing as it relates to the sprinkler system.

Phasing of the fire protection system is shown on drawing FP-100. Fire protection system is designed, and piping sized, to support Phase I and II system hydraulics. Installation is intended to minimize impairments during the future Phase II work.

Commencement of Phase II is dependent on additional funding. Project cost for Phase I is \$7.0 M with Phase II estimated to be \$4.0M. Library development office hopes that with the completion of Phase I, increased use and attention, additional funds will come quickly. No definite start date has been determined.

3. Are the fire shutters tied into the fire alarm system?

Yes. On Electrical Plan, EP-101. Shutter locations are designated with fire alarm symbol "S".
Within project specifications Overhead Coiling Doors, Section 083323, 2.3.A:

"Automatic-Closing Device for Fire-Rated Doors: Equip each fire-rated door with automatic closing device that is inoperative during normal door operations and that has a governor unit complying with NFPA 80 and easily tested and reset release mechanism designed to be activated by the following"

1. Building fire-detection and alarm systems"

4. Is the stage sprinkled underneath or is the floor construction fire rated?

No, cavity is not sprinkled. See structural section detail 1 / S1.1. Stage construction is cold form metal framing on concrete slab. Floor sheathing is of 3/4" "Fortarete" concrete and fiber sheathing. All construction is non-combustible.

APR 14 2009

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspections CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.4						
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318: 3.5, 7.1-7.7	S1	PE/SE or EIT	
2. Inspection of reinforcing steel welding in accordance with Table 1704.3, Item 5B	N	No welded reinforcement				
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased	Y	C	IBC 1912.5		PE/SE or EIT	
4. Verifying use of required design mix	Y	P	ACI 318: Ch 4, 5.2-5.4	S1	PE/SE or EIT	
5. At time fresh concrete is sampled to fabricate specimens for strength test, perform slump and air content test and temperature	Y	C	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	TL1	ACI-CFTT or ACI-STT	
6. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	S1	PE/SE or EIT	
7. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	S1	PE/SE or EIT	
8. Inspection of Prestressed Concrete		No prestressed concrete				
a. Application of prestressing force	N	N/A	ACI 318: 18.20			
b. Grouting of bonded prestressing tendons in seismic force-resisting system	N	N/A	ACI 318: 18.18.4			
9. Erection of precast concrete members	N	N/A	ACI 318: Ch 16			
10. Verification of in-situ concrete strength, prior to stressing of tendons in post-tensioned concrete and prior to removal of shores and forms beams and structural slabs	N	N/A	ACI 318: 6.2			

Project: Portland Public Library
Date Prepared: 4/7/09

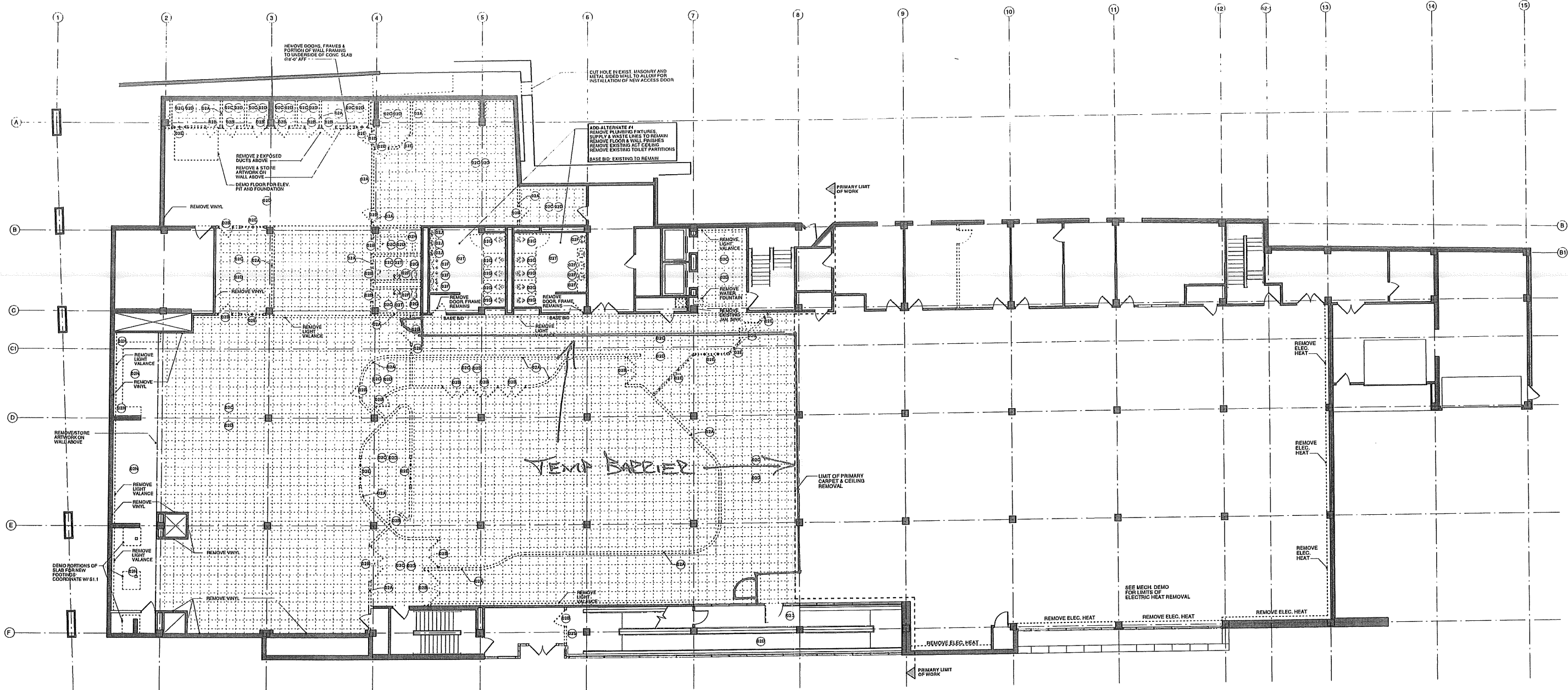
Structural Schedule of Special Inspections
MASONRY CONSTRUCTION – LEVEL 1 (NON-ESSENTIAL FACILITY)

VERIFICATION AND INSPECTION IBC Section 1704.5	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. As masonry construction begins, the following shall be verified to ensure compliance:	N		No masonry construction			
a. Proportions of site-prepared mortar.	N	N/A	ACI 530.1, 2.6A			
b. Construction of mortar joints.	N	N/A	ACI 530.1, 3.3B			
c. Location of reinforcement and connectors.	N	N/A	ACI 530.1, 3.4, 3.6A			
d. Prestressing technique.	N	N/A	ACI 530.1, 3.6B			
e. Grade and size of prestressing tendons and anchorages.	N	N/A	ACI 530.1, 2.4B, 2.4H			
2. The inspection program shall verify:						
a. Size and location of structural elements.	N	N/A	ACI 530.1, 3.3G			
b. Type, size and location of anchors, including other details of anchorage of masonry to structural members, frames or other construction.	N	N/A	ACI 530, 1.2.2(e), 2.1.4, 3.1.6			
c. Specified size, grade and type of reinforcement.	N	N/A	ACI 530, 1.12, ACI 530.1, 2.4, 3.4			
d. Welding of reinforcing bars.	N	N/A	ACI 530, 2.1.10.6.2, 3.2.4 (b)			
e. Protection of masonry during cold weather (temperature below 40°F) or hot weather (temperature above 90°F).	N	N/A	IBC 2104.3, 2104.4; ACI 530.1, 1.8C, 1.8D			
f. Application and measurement of prestressing force.	N	N/A	ACI 530.1, 3.6B			
3. Prior to grouting, the following shall be verified to ensure compliance:						
a. Grout space is clean.	N	N/A	ACI 530.1, 3.2D			
b. Placement of reinforcement and connectors and prestressing tendons and anchorages.	N	N/A	ACI 530, 1.12, ACI 530.1, 3.4			
c. Proportions of site-prepared grout and prestressing grout for bonded tendons.	N	N/A	ACI 530.1, 2.6B			
d. Construction of mortar joints.	N	N/A	ACI 530.1, 3.3B			
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.	N	N/A	ACI 530.1, 3.5			
a. Grouting of prestressing bonded tendons.	N	N/A	ACI 530.1, 3.6C			
5. Preparation of any required grout specimens, mortar specimens and/or prisms shall be observed.	N	N/A	IBC 2105.2.2, 2105.3; ACI 530.1, 1.4			
6. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.	N	N/A	ACI 530.1, 1.5			

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspections
MASONRY CONSTRUCTION – LEVEL 2 (ESSENTIAL FACILITY)

VERIFICATION AND INSPECTION IBC Section 1704.5	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. From the beginning of masonry construction, the following shall be verified to ensure compliance:	N		No masonry construction			
a. Proportions of site-mixed mortar, grout and prestressing grout for bonded tendons.	N	N/A	ACI 530.1, 2.6A			
b. Placement of masonry units and construction of mortar joints.	N	N/A	ACI 530.1, 3.3B			
c. Placement of reinforcement, connectors and prestressing tendons and anchorages.	N	N/A	ACI 530, 1.12; ACI 530.1, 3.4, 3.6 A			
d. Grout space prior to grouting.	N	N/A	ACI 530.1, 3.2D			
e. Placement of grout.	N	N/A	ACI 530.1, 3.5			
f. Placement of prestressing grout.	N	N/A	ACI 530.1, 3.6C			
2. The inspection program shall verify:						
a. Size and location of structural elements.	N	N/A	ACI 530.1, 3.3G			
b. Type, size and location of anchors, including other details of anchorage of masonry to structural members, frames or other construction.	N	N/A	ACI 530, 1.2.2(ϕ), 2.1.4, 3.1.6			
c. Specified size, grade and type of reinforcement.	N	N/A	ACI 530, 1.12; ACI 530.1, 2.4, 3.4			
d. Welding of reinforcement.	N	N/A	ACI 530, 2.1.10.6.2, 3.2.3.4(b);			
e. Protection of masonry during cold weather and (temperature below 40°F) or hot weather (temperature above 90°F).	N	N/A	IBC 2104.3, 2104.4; ACI 530.1, 1.8C, 1.8D			
f. Application and measurement of prestressing force.	N	N/A	ACI 530.1, 3.6B			
3. Preparation of any required grout specimens, mortar specimens and/or prisms shall be observed.	N	N/A	IBC 2105.2.2, 2105.3; ACI 530.1, 1.4			
4. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.	N	N/A	ACI 530.1, 1.5			



1 LOWER LEVEL DEMO PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION KEY NOTES

02A	02 41 19.13	GWB PARTITION
02B	02 41 19.13	DOOR & FRAME
02C	02 41 19.13	ACT GRID & TILE
02D	02 41 19.13	CARPET
02E	02 41 19.13	BORROWED LIGHT GLASS & FRAMES
02F	02 41 19.13	LAVATORY & PLUMBING
02G	02 41 19.13	WATER CLOSET & PLUMBING
02H	02 41 19.13	BASE CABINETS
02I	02 41 19.13	UPPER CABINETS
02J	02 41 19.13	URINAL & PLUMBING
02K	02 41 19.13	TOILET PARTITION
02L	02 41 19.13	HANDRAILS
02M	02 41 19.13	CIP CONCRETE WALL
02N	02 41 19.13	SLOPED GLAZING ASSEMBLIES
02O	02 41 19.13	GRANITE VENEER WALL
02P	02 41 19.13	CORRUGATED METAL WALL
02Q	02 41 19.13	WINDOWS
02R	02 41 19.13	HALF WALL
02S	02 41 19.13	CURTAINWALL GLASS & FRAMING
02T	02 41 19.13	CERAMIC TILE FLOOR

- GENERAL DEMOLITION NOTES**
- 1) INCLUDE DEMO INCIDENTAL TO BUILDING WIDE SYSTEMS SUCH AS HVAC SPRINKLER AND FIRE ALARM SYSTEMS.
 - 2) REMOVE ALL VINYL WALL COVERING FROM ALL WALLS, COLUMNS, SOFFITS ETC. REMOVE ALL GUE FROM SURFACE FOR SURFACE PREPARATION.
 - 3) REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR RELATED DEMO WORK. CM TO COORDINATE ALL WORK WITH SUBCONTRACTORS AS REQUIRED.
 - 4) CM SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING AS REQUIRED FOR STRUCTURAL, MECH. ELEC. & FIRE PROTECTION WORK. COORDINATE AS REQUIRED. ALL NEW AND ABANDONED OPENINGS PATCHED BACK TO MATCH EXISTING.
 - 5) CM TO PROTECT AREAS NOT AFFECTED BY CONSTRUCTION ADJACENT TO WORK AREAS. AREAS OCCUPIED BY OWNER DURING CONSTRUCTION TO HAVE ADEQUATE EXITS TO COMPLY WITH ALL CODES.

Scott Simons Architects
25 Wake Street
Portland, Maine 04101
Tel: 207 771 4544
Fax: 207 432 4248
www.scottsimonsarchitects.com

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PROJECT
Portland Public Library
Addition / Renovation
5 MONUMENT SQUARE
PORTLAND, ME

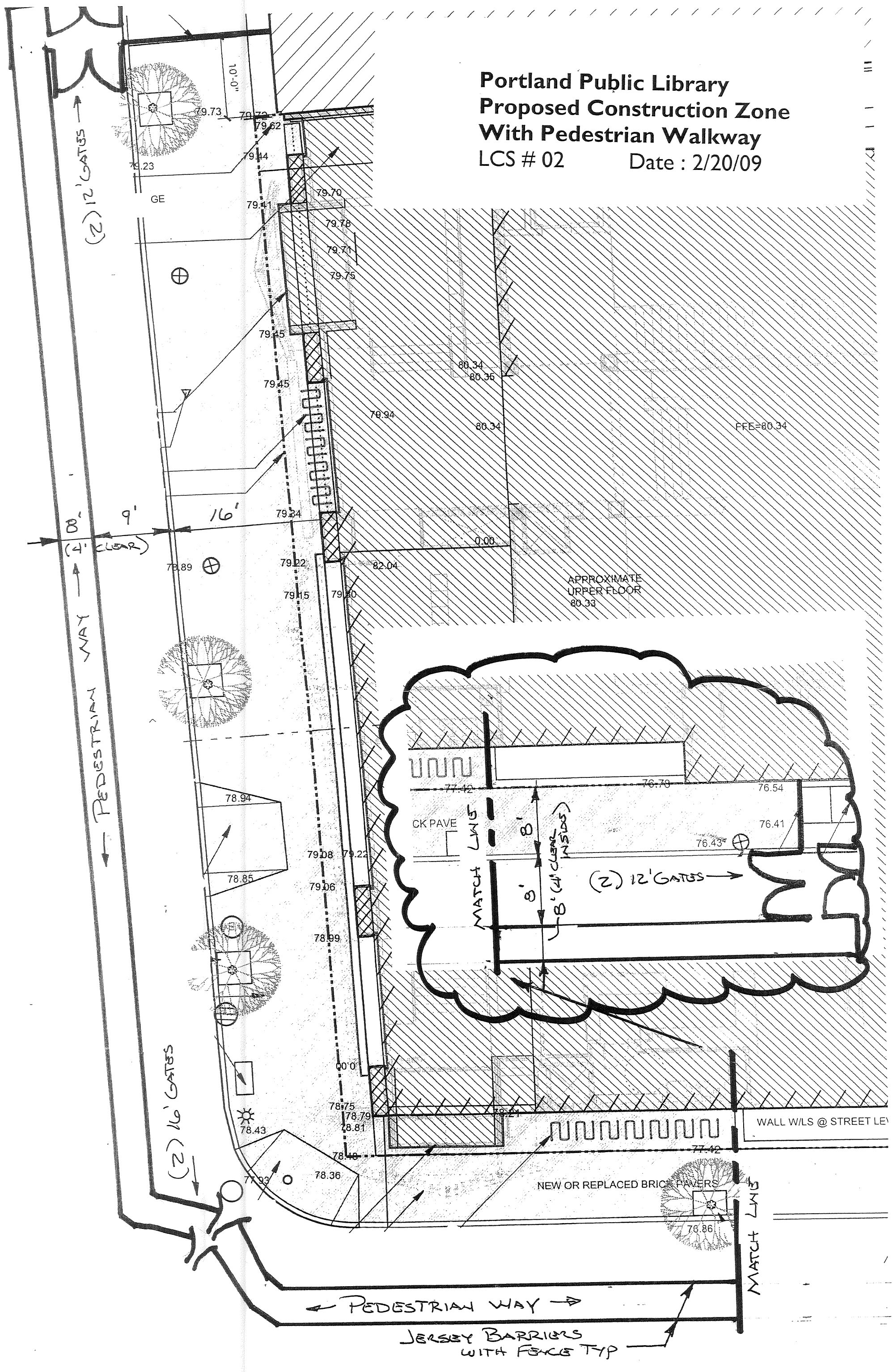
TITLE
LOWER LEVEL
DEMO PLAN

STATUS:
ISSUED FOR BIDDING
CONSTRUCTION DOCUMENTS

DATE: 02.13.2009
SCALE:
PROJECT NO.: 2009-0035
DRAWN BY:

DWG NO. **D101**

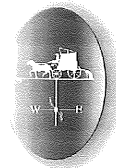
**Portland Public Library
Proposed Construction Zone
With Pedestrian Walkway**
LCS # 02 Date : 2/20/09





144730

1 inch equals 50 feet



PORTLAND WATER DISTRICT
225 Douglass Street
Portland, ME 04104

Legend

5	Blow Off	=	Fire Service	Air Valve	2	Sleeve
R	By Pass	?	Hydrant Control	Date Change	.	Tee
?	Distribution	±	Service	! Material Change	!	Hydrants
)	End of Main	?	Transmission	# Reducer		

5 Monument Square

Portland



Disclaimer: This map is suitable for preliminary study and analysis pending review of additional information. The data shown are only as accurate as the original data sources from which they were developed.

Drawn By: M.Vautier

Prepared For: Austin Smith

Scale: As Noted

Date: November 13, 2008

Project: Portland Public Library

Date Prepared: 4/7/09

Structural Schedule of Special Inspections - STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.3						
1. Material verification of high-strength bolts, nuts and washers:						
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material specifications; AISC 335, Section A3.4; AISC LRFD, Section A3.3	S1	PE/SE or EIT	
b. Manufacturer's certificate of compliance required.	Y	S		S1	PE/SE or EIT	
2. Inspection of high-strength bolting:						
a. Bearing-type connections.	Y	P	AISC LRFD Section M2.5	TA2	AWS/AISC-SSI	
b. Slip-critical connections.	Y	C or P (method dependent)	IBC Sect 1704.3.3	TA2	AWS/AISC-SSI	
3. Material verification of structural steel (IBC Sect 1708.4):						
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 BC Sect 1708.4	S1	PE/SE or EIT	
b. Manufacturer's certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 BC Sect 1708.4	S1	PE/SE or EIT	
4. Material verification of weld filler materials:						
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	S1	PE/SE or EIT	
b. Manufacturer's certificate of compliance required.	Y	S		S1	PE/SE or EIT	
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	S1	PE/SE or EIT	
6. Inspection of welding (IBC 1704.3.1):						
a. Structural steel:						
1) Complete and partial penetration groove welds.	Y	C	AWS D1.1	TA2	AWS-CW	
2) Multipass fillet welds.	Y	C		TA2	AWS-CW	
3) Single-pass fillet welds > 5/16"	Y	C		TA2	AWS-CW	
4) Single-pass fillet welds < 5/16"	Y	P		TA2	AWS-CW	
5) Floor and deck welds.	Y	P	AWS D1.3	TA2	AWS-CW	
b. Reinforcing steel (IBC Sect 1903.5.2):						
No welded reinforcement						
1) Verification of weldability of reinforcing steel other than ASTM A706.	N	N/A				
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	N	N/A	AWS D1.4 ACI 318: 3.5.2		AWS-CW	
3) Shear reinforcement.	N	N/A			AWS-CW	
4) Other reinforcing steel.	N	N/A			AWS-CW	
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:						
a. Details such as bracing and stiffening.	Y	P		S1	PE/SE or EIT	
b. Member locations.	Y	P		S1	PE/SE or EIT	
c. Application of joint details at each connection.	Y	P		S1	PE/SE or EIT	

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Statement of Special Inspections (Continued)

List of Agents

Project: *Portland Public Library Addition/Renovation*
Location: *Portland, Maine*
Owner: *Portland Public Library*
This Statement of Special Inspections encompasses the following discipline: **Structural**

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems

- Soils and Foundations
 Cast-in-Place Concrete
 Precast Concrete System
 Masonry Systems
 Structural Steel
 Wood Construction
- Special Cases

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. STRUCTURAL Special Inspections Coordinator (SSIC)	<i>Becker Structural Engineers Inc</i>	<i>75 York Street Portland, Maine 04101 (207) 879-1838 ethan@beckerstructural.com</i>
2. Special Inspector (SI 1)	<i>Becker Structural Engineers Inc</i>	<i>75 York Street Portland, Maine 04101 (207) 879-1838 ethan@beckerstructural.com</i>
3. Special Inspector (SI 2)	<i>SWCole Engineering, Inc (Portland)</i>	<i>17 Chestnut Street, Suite 1A Portland, Maine 04101 (207) 773-6800 tboyce@swcole.com</i>
4. Testing Agency (TA 1)	<i>SWCole Engineering, Inc (Gray)</i>	<i>286 Portland Road Gray, Maine 04039 (207) 657-2866 rdomingo@swcole.com</i>
5. Testing Agency (TA 2)	<i>Quality Assurance Labs Inc</i>	<i>80 Pleasant Avenue South Portland, Maine (207) 799-8911 qalab@qalab.biz</i>
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspection Services

FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

VERIFICATION AND INSPECTION IBC Section 1704.2	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. AISC Certification	Y	S	Fabricator shall submit one of the two qualifications	SI 1	PE/SE or EIT	
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	SI 1	PE/SE or EIT	

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspection Services
FABRICATION AND IMPLEMENTATION PROCEDURES – WOOD TRUSSES

VERIFICATION AND INSPECTION IBC Section 1704.2	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR-	N	N/A				
2. TPI Inspection Program: Fabricator shall participate in the TPI Quality Assurance Inspection Program, and maintain a copy of the Quality Assurance Procedures Manual, QAP-90. Submit copy of certificate. All trusses shall bear the TPI Registered Mark.						
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents	N	N/A				

No wood trusses

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspections WOOD CONSTRUCTION

VERIFICATION AND INSPECTION IBC Section 1704.6	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrication of high-load diaphragms			No structural woodframing			
a. Verify wood structural panel sheathing for grade and thickness	N	N/A	IBC 1704.6			
b. Verify the nominal size of framing members at adjoining panel edges	N	N/A	IBC 1704.6			
b. Verify the nail or staple diameter and length	N	N/A	IBC 1704.6			
b. Verify the number of fastener lines	N	N/A	IBC 1704.6			
b. Verify the spacing between fasteners in each line and at edge margins	N	N/A	IBC 1704.6			
2. Load Tests for Joist Hangers: Provide evidence of manufacturer's load test in accordance with ASTM D1761 including the vertical load bearing capacity, torsional moment capacity, and deflection characteristics when there is no calculated procedure recognized by the code.	N	N/A	IBC 1715 [submit CBO reports]			

Project: Portland Public Library
Date Prepared: 4/7/09

Structural Schedule of Special Inspections SEISMIC RESISTANCE - STRUCTURAL

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETE D
BC Section 1707						
1. Special Inspections for seismic resistance Special inspection as specified in this section is required for the following:	N		Significant modifications to the lateral force resisting system are not part of this work and upgrades are not required.			
a. The seismic force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	N	N/A	IBC 1707.1			
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	N	N/A	IBC 1702.2			
3. Structural wood:	N					
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resist- ing system.	N	N/A	IBC 1702.3			
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including drag struts, braces and hold-downs	N	N/A	IBC 1702.3			
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic- force-resisting system, including struts, braces, and hold-downs	N	N/A				
4. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	N	N/A	IBC 1707.8			

Project: Portland Public Library
 Date Prepared: 4/7/09

Quality Assurance Plan – Seismic and Wind

QUALITY ASSURANCE FOR SEISMIC RESISTANCE CHECK LIST [IBC 1705]

Seismic Design Category **N/A**

FOR SEISMIC DESIGN CATEGORY C OR HIGHER:

Structural:

The seismic force-resisting systems

Steel Braced Frames and associated connections/anchorage

Steel Moment Frames and associated connections

Shear walls: CMU Wood Concrete Diaphragms: Floor Roof

Other:

QUALITY ASSURANCE FOR WIND RESISTANCE CHECK LIST [IBC 1706]

Wind Exposure Category **B**

REQUIRED	NOT REQUIRED	NOT APPLICABLE	
			QUALITY ASSURANCE PLAN REQUIREMENTS (A Quality Assurance Plan is required where indicated below)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In wind exposure Categories A and B, where the 3-second-gust basic wind speed is 120 miles per hour (mph) (52.8 m/sec) or greater.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In wind exposure Categories C and D, where the 3-second-gust basic wind speed is 110 mph (49 m/sec) or greater.

Prepared by:

Building Code Official's Acceptance:

Signature Date

Signature Date

Project:
Date Prepared:

Statement of Special Inspections – A/M/E/P

Project: *Portland Public Library Addition & Renovations*

Location: *5 Monument Square, Portland, Maine 04101*

Owner: *City of Portland, Maine*

This Statement of Special Inspections encompass the following discipline:

Mechanical/Electrical/Plumbing

Architectural

Other:

Design Professional in Responsible Charge: *Austin Smith AIA*

Firm Name: *Scott Simons Architects, 75 York Street , Portland, Maine 04101*

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Building Code. It includes a schedule of Special Inspections applicable to this project as well as the name of the Special Inspection Coordinator (SIC) and the approved agencies to be retained for conducting these inspections and tests.

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Registered Design Professional in Responsible Charge (RDP). Discrepancies shall be brought to the immediate attention of the Contractor for correction. If such corrections are not made, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of its responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge at an interval determined by the RDP, SIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to the issuance of the Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attachment _____

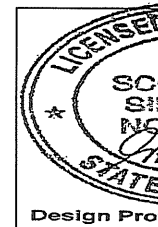
Prepared by:

Austin Smith AIA, Scott Simons Architects
Austin Smith

(type or print name of the Registered Design Professional in Responsible Charge)

Austin Smith
Signature

04.08.09
Date



Owner's Authorization:

Building Code Official's Acceptance:

Signature Date

Signature

Project:
Date Prepared:

Statement of Special Inspections – A/M/E/P (Continued)

List of Agents

Project: *Portland Public Library addition & Renovations*
 Location: *5 Monument Square, Portland, Maine 04101*
 Owner: *City of Portland, Maine*
 This Statement of Special Inspections encompass the following discipline:

- Architectural Mechanical/Electrical/Plumbing
 Other: _____

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Spray Fire Resistant Material
 Exterior Insulation and Finish
 Mechanical & Electrical
 Architectural Systems
 Special Cases

Special Inspection Agencies	Firm	Address, Telephone
1. Special Inspection Coordinator (SIC)	<i>SW Cole Engineering Inc. (Portland)</i>	<i>17 Chestnut Street, Su Portland, Maine 0410 (207) 773-6800</i>
2. Special Inspector (SI 1)	<i>SW Cole Engineering Inc. (Gray)</i>	<i>286 Portland Road Gray, Maine 04139 (207) 657-2866</i>
3. Special Inspector (SI 2)		
4. Testing Agency (TA 1)		
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building commencing work.

Project:
Date Prepared:

Statement of Special Inspections – A/M/E/P (Continued)

Final Report of Special Inspections (SIC)

[To be completed by the Special Inspections Coordinator (SIC). Note that all Agent's Final Reports must be completed prior to issuance.]

Project:
Location:
Owner:
Owner's Address:

Architect of Record: _____
(name) *(firm)*

Registered Design Professional in Responsible Charge: _____
(name) *(firm)*

To the best of my information, knowledge and belief, the Special Inspections required for this project, as the *Statement of Special Inspections* submitted for permit, have been performed and all discovered have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral report.

Respectfully submitted,
Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature Date

Licensed Prof

Project:
Date Prepared:

**Statement of Special Inspection
Special Inspector's/Agent's Final F**

Project:
Special Inspector or
Agent:

(name)

Designation:

To the best of my information, knowledge and belief, I am
designated for this Inspector/Agent in the State of Michigan
performed and all discovered discrepancies have been

Interim reports submitted prior to this final report
report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature



Project:
Date Prepared:

Schedule of Special Inspections – A/M/E/P

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the Building Official. The credentials of all Inspectors and testing technicians shall be provided to the Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAIL TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PRESENT IN THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record is not appropriate that the individual performing a stipulated test or inspection have a specific certification or experience as indicated below, such requirement shall be listed below and shall be clearly identified in the schedule under the Agent Qualification Designation.

RA	Registered Architect – a licensed Registered Architect
PE	Professional Engineer – a licensed PE specializing in the discipline to be inspected
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum of 5 years experience with the stipulated test or inspection
-----	--

International Code Council (ICC) Certification

ICC-SFSI	Spray-Applied Fireproofing Special Inspector
----------	--

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
----------	----------------------------

Other

Project:
Date Prepared:

Schedule of Special Inspections – A/M/E/P
SPRAYED FIRE-RESISTANT MATERIALS

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	C
IBC Section 1704.11						
1. Surface Conditions: Verify surfaces are prepared in accordance with the approved fire-resistance design and the approved manufacturer's written instructions prior to application of the sprayed fire-resistant material.	Y	P	IBC 1704.11.1	SI 1	ICC-SFSI	
2. Application: Verify the substrate shall have a minimum ambient temperature before and after application as specified in the approved manufacturer's written instruction. The area for application shall be ventilate during and after application as required by the approved manufacturer's written instructions.	Y	P	IBC 1704.11.2	SI 1	ICC-SFSI	
3. Thickness: Verify average thickness of the sprayed fire-resistant materials applied to structural elements shall not be less than the thickness required by the approved fire-resistance design.						
a. Floor, Roofs & Walls: The thickness of the sprayed fire-resistant material applied to floor, roof and wall assemblies shall be determined in accordance with ASTM E 605, taking the average of not less than four measurements for each 1,000 square feet (93 m2) of the sprayed area on each floor or part thereof.	Y	C	IBC1704.3.1; ASTM E605	SI 1	ICC-SFSI	
b. Structural Framing: The thickness of the sprayed fire-resistant material applied to structural members shall be determined in accordance with ASTM E 605. Thickness testing shall be performed on not less than 25 percent of the structural members on each floor.	Y	C	IBC1704.3.2; ASTM E605	SI 1	ICC-SFSI	
4. Density: Verify density of the sprayed fire-resistant material not be less than the density specified in the approved fire-resistant design.	Y	C	IBC1704.4; ASTM E605	SI 1	ICC-SFSI	
5. Bond: Verify the cohesive/adhesive bond strength of the cured sprayed fire-resistant material applied to structural elements shall not be less than 150 pounds per square foot (psf) (7.18 kN/m2). The cohesive/adhesive bond strength shall be determined in accordance with the field test specified in ASTM E 736 by testing in-place samples.						
a. The test samples for determining the cohesive/adhesive bond strength of the sprayed fire-resistant materials shall be selected from each floor, roof and wall assembly at the rate of not less than one sample for every 10,000 square feet (929 m2) or part thereof of the sprayed area in each story.	Y	C	IBC 1704.11.5.1; ASTM E 736	SI 1	ICC-SFSI	
b. The test samples for determining the cohesive/adhesive bond strength of the sprayed fire-resistant materials shall be selected from beams, girders, joists, trusses and columns at the rate of not less than one sample for each type of structural framing member for each 5,000 square feet (464 m2) of floor area or part thereof in each story.	Y	C	IBC 1704.11.5.2; ASTM E 736	SI 1	ICC-SFSI	

Project:
Date Prepared:

Schedule of Special Inspections – A/M/E/P
SMOKE CONTROL

VERIFICATION AND INSPECTION IBC Section 1704.14	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	QUA
1. Smoke control systems shall be tested by An agency for smoke control who shall have expertise in fire-protection engineering, mechanical engineering and certification as air balancers. The test scope shall be as follows:					
a. During erection of ductwork and prior to concealment for the purposes of leakage testing and recording of device location.	N	NA	IBC 1704.14		
b. Prior to occupancy and after sufficient completion for the purposes of pressure difference testing, flow measurements, and detection and control verification.	N	NA	IBC 1704.14		

Project:
Date Prepared:

Schedule of Special Inspections – A/M/E/P
WALL PANEL & VENEER CONSTRUCTION

VERIFICATION AND INSPECTION IBC Section 1704.10	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	A QUAL
1. Verify exterior and interior architectural wall panels and the anchoring of veneers for building assigned to Seismic Design Category E or F.	N	NA	Seismic Design Category:		

Project:
Date Prepared:

Schedule of Special Inspections – A/M/E/P
EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)

VERIFICATION AND INSPECTION IBC Section 1704.12	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	
1. Visual observation of the installation of EIFS systems without water-resistive barrier.	N	NA	IBC Section 1704.12			
2. Visual observation of the installation of EIFS systems without a means of draining moisture to the exterior.	N	NA	IBC Section 1704.12			
3. Visual observation of the installation of EIFS systems not installed over masonry or concrete walls.	N	NA	IBC Section 1704.12			

From: Austin Smith <austin@simonsarchitects.com>
To: Chris Hanson <CSH@portlandmaine.gov>
Date: 4/9/2009 10:38:44 AM
Subject: Overhead coiling doors at PPL

Chris:

I have enclosed our specification for the fire rated overhead coiling door.

As you will see, there are six different manufacturers listed.

Per NFPA the travel rate for the door is no less than 6" per second and no greater than 24" per second.

Door will be tied into building fire-detection and alarm system for activation. 2.3.B.1

Door will be manually operated with push up operation 2.6.H

There is a paragraph within the spec that I don't understand and will find out about.

Under Manual Door operators Paragraph B. It references a crank operator.

We definitely don't want any crank retraction. We asked for and intended to have the push up operation.

If there is a crank retraction it would require ceiling tile removal and ladder access for each testing.

Austin.

PORTLAND PUBLIC LIBRARY RENOVATION

SECTION 083323 - OVERHEAD COILING DOORS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Fire-rated service doors.
- B. Related Sections:
 - 1. Division 05 Section "Metal Fabrications" for miscellaneous steel supports.

1.3 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Design overhead coiling doors, including comprehensive engineering analysis by a qualified professional engineer, using performance requirements and design criteria indicated.
- B. Seismic Performance: Overhead coiling doors shall withstand the effects of earthquake motions determined according to SEI/ASCE 7.
 - 1. The term "withstand" means "the unit will remain in place without separation of any parts from the device when subjected to the seismic forces specified and the emergency-egress-door component will be fully operational after the seismic event."
 - 2. Seismic Component Importance Factor: 1.5.
- C. Operation Cycles: Provide overhead coiling door components and operators capable of operating for not less than number of cycles indicated for each door. One operation cycle is complete when a door is opened from the closed position to the fully open position and returned to the closed position.

1.4 SUBMITTALS

- A. Product Data: For each type and size of overhead coiling door and accessory. Include the following:
 - 1. Construction details, material descriptions, dimensions of individual components, profiles for slats, and finishes.

PORTLAND PUBLIC LIBRARY RENOVATION

2. Rated capacities, operating characteristics, electrical characteristics, and furnished accessories.
 3. For fire-rated doors, description of fire-release system including testing and resetting instructions.
- B. Shop Drawings: For each installation and for special components not dimensioned or detailed in manufacturer's product data. Include plans, elevations, sections, details, and attachments to other work.
1. Detail equipment assemblies and indicate dimensions, weights, loads, required clearances, method of field assembly, components, and location and size of each field connection.
 2. Show locations of replaceable fusible links.
 3. Wiring Diagrams: For power, signal, and control wiring.
- C. Samples for Selection: Manufacturer's finish charts showing full range of colors and textures available for units with factory-applied finishes.
1. Include similar Samples of accessories involving color selection.
- D. Delegated-Design Submittal: For overhead coiling doors indicated to comply with performance requirements and design criteria, including analysis data signed and sealed by the qualified professional engineer responsible for their preparation.
1. Detail fabrication and assembly of seismic restraints.
 2. Summary of forces and loads on walls and jambs.
- E. Seismic Qualification Certificates: For overhead coiling doors, accessories, and components, from manufacturer.
- F. Maintenance Data: For overhead coiling doors to include in maintenance manuals.
- 1.5 QUALITY ASSURANCE
- A. Installer Qualifications: Manufacturer's authorized representative who is trained and approved for both installation and maintenance of units required for this Project.
- B. Source Limitations: Obtain overhead coiling doors from single source from single manufacturer.
1. Obtain operators and controls from overhead coiling door manufacturer.
- C. Fire-Rated Door Assemblies: Assemblies complying with NFPA 80 that are listed and labeled by a qualified testing agency, for fire-protection ratings indicated, based on testing at as close to neutral pressure as possible according to NFPA 252.
- D. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.

PORTLAND PUBLIC LIBRARY RENOVATION

PART 2 - PRODUCTS

2.1 DOOR CURTAIN MATERIALS AND CONSTRUCTION

- A. Door Curtains: Fabricate overhead coiling-door curtain of interlocking metal slats, designed to withstand wind loading indicated, in a continuous length for width of door without splices. Unless otherwise indicated, provide slats of thickness and mechanical properties recommended by door manufacturer for performance, size, and type of door indicated, and as follows:
 - 1. Steel Door Curtain Slats: Cold-rolled structural steel sheet, complying with ASTM A 653/A 653M; nominal sheet thickness of 0.028 inch and as required to meet requirements.
- B. Endlocks for Service Doors: Malleable-iron casings galvanized after fabrication, secured to curtain slats with galvanized rivets or high-strength nylon. Provide locks on not less than alternate curtain slats for curtain alignment and resistance against lateral movement.
- C. Bottom Bar for Service Doors: Consisting of two angles, each not less than 1-1/2 by 1-1/2 by 1/8 inch thick; fabricated from manufacturer's standard hot-dip galvanized steel, stainless steel, or aluminum extrusions to match curtain slats and finish.
- D. Astragal for Interior Doors: Equip each door bottom bar with a replaceable, adjustable, continuous, compressible gasket of flexible vinyl, rubber, or neoprene as a cushion bumper.
- E. Curtain Jamb Guides: Manufacturer's standard angles or channels and angles of same material and finish as curtain slats unless otherwise indicated, with sufficient depth and strength to retain curtain, to allow curtain to operate smoothly, and to withstand loading. Slot bolt holes for guide adjustment. Provide removable stops on guides to prevent overtravel of curtain.

2.2 HOOD

- A. General: Form sheet metal hood to entirely enclose coiled curtain and operating mechanism at opening head. Contour to fit end brackets to which hood is attached. Roll and reinforce top and bottom edges for stiffness. Form closed ends for surface-mounted hoods and fascia for any portion of between-jamb mounting that projects beyond wall face. Equip hood with intermediate support brackets as required to prevent sagging.
 - 1. Galvanized Steel: Nominal 0.028-inch thick, hot-dip galvanized steel sheet with G90 zinc coating, complying with ASTM A 653/A 653M.
 - 2. Include automatic drop baffle on fire-rated doors to guard against passage of smoke or flame.

2.3 CURTAIN ACCESSORIES

- A. Smoke Seals: Equip each fire-rated door with smoke-seal perimeter gaskets for smoke and draft control as required for door listing and labeling by a qualified testing agency.
- B. Automatic-Closing Device for Fire-Rated Doors: Equip each fire-rated door with an automatic-closing device that is inoperative during normal door operations and that has a governor unit

PORTLAND PUBLIC LIBRARY RENOVATION

complying with NFPA 80 and an easily tested and reset release mechanism designed to be activated by the following:

1. Building fire-detection and -alarm systems.

2.4 COUNTERBALANCING MECHANISM

- A. General: Counterbalance doors by means of manufacturer's standard mechanism with an adjustable-tension, steel helical torsion spring mounted around a steel shaft and contained in a spring barrel connected to top of curtain with barrel rings. Use grease-sealed bearings or self-lubricating graphite bearings for rotating members.
- B. Counterbalance Barrel: Fabricate spring barrel of manufacturer's standard hot-formed, structural-quality, welded or seamless carbon-steel pipe, of sufficient diameter and wall thickness to support rolled-up curtain without distortion of slats and to limit barrel deflection to not more than 0.03 in./ft. of span under full load.
- C. Spring Balance: One or more oil-tempered, heat-treated steel helical torsion springs. Size springs to counterbalance weight of curtain, with uniform adjustment accessible from outside barrel. Secure ends of springs to barrel and shaft with cast-steel barrel plugs.
- D. Torsion Rod for Counterbalance Shaft: Fabricate of manufacturer's standard cold-rolled steel, sized to hold fixed spring ends and carry torsional load.
- E. Brackets: Manufacturer's standard mounting brackets of either cast iron or cold-rolled steel plate. Provide any necessary support tubes at jambs, if required by manufacturer.

2.5 MANUAL DOOR OPERATORS

- A. Equip door with manufacturer's recommended manual door operator unless another type of door operator is indicated.
- B. Crank Operator: Consisting of crank and crank gearbox, steel crank drive shaft, and gear-reduction unit, of type indicated. Size gears to require not more than 25 lbf force to turn crank. Fabricate gearbox to be oil tight and to completely enclose operating mechanism. Provide manufacturer's standard crank-locking device.

2.6 FIRE-RATED DOOR ASSEMBLY

- A. Fire-Rated Service Door: Overhead fire-rated coiling door formed with curtain of interlocking metal slats.
 1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Cookson Company.
 - b. Cornell Iron Works, Inc.
 - c. McKeon Rolling Steel Door Company, Inc.

PORTLAND PUBLIC LIBRARY RENOVATION

- d. Overhead Door Corporation.
- e. Raynor.
- f. Wayne-Dalton Corp.

- B. Operation Cycles: Not less than 10,000 .
- C. Fire Rating: 1 hour.
- D. Door Curtain Material: Cold-rolled steel.
- E. Door Curtain Slats: Flat profile slats of 1-7/8-inch center-to-center height.
- F. Curtain Jamb Guides: Galvanized steel with exposed finish matching curtain slats.
- G. Hood: Match curtain material and finish.
 - 1. Shape: Round or square.
 - 2. Mounting: Face of wall.
- H. Manual Door Operator: Push-up operation .
- I. Door Finish:
 - 1. Factory Prime Finish: Manufacturer's standard color.

2.7 GENERAL FINISH REQUIREMENTS

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
- B. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

2.8 STEEL AND GALVANIZED-STEEL FINISHES

- A. Factory Prime Finish: Manufacturer's standard primer, compatible with field-applied finish. Comply with coating manufacturer's written instructions for cleaning, pretreatment, application, and minimum dry film thickness.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates areas and conditions, with Installer present, for compliance with requirements for substrate construction and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

OVERHEAD COILING DOORS

PORTLAND PUBLIC LIBRARY RENOVATION

3.2 INSTALLATION

- A. Install overhead coiling doors and operating equipment complete with necessary hardware, anchors, inserts, hangers, and equipment supports; according to manufacturer's written instructions and as specified.
- B. Install overhead coiling doors, hoods, and operators at the mounting locations indicated for each door.
- C. Accessibility: Install overhead coiling doors, switches, and controls along accessible routes in compliance with regulatory requirements for accessibility.
- D. Fire-Rated Doors: Install according to NFPA 80.

3.3 STARTUP SERVICE

- A. Engage a factory-authorized service representative to perform startup service.
 - 1. Perform installation and startup checks according to manufacturer's written instructions.
 - 2. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.

3.4 ADJUSTING

- A. Adjust hardware and moving parts to function smoothly so that doors operate easily, free of warp, twist, or distortion.
- B. Lubricate bearings and sliding parts as recommended by manufacturer.

3.5 DEMONSTRATION

- A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain overhead coiling doors.

END OF SECTION 083323

```

Return-path: <austin@simonsarchitects.com>
Received: from barracuda.portlandmaine.gov([172.16.0.63])by
smtp.portlandmaine.gov; Thu, 09 Apr 2009 10:37:55 -0400
X-ASG-Debug-ID: 1239287872-029b001d0000-Qr3vGX
X-Barracuda-URL: http://172.16.0.63:8000/cgi-bin/mark.cgi
Received: from mail.simonsarchitects.com (localhost [127.0.0.1])by
barracuda.portlandmaine.gov (Spam Firewall) with ESMTP id
BEBDD1B5329for <CSH@portlandmaine.gov>; Thu, 9 Apr 2009
10:37:52 -0400 (EDT)
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2009 10:37:52 -0400 (EDT)
X-Barracuda-Envelope-From: austin@simonsarchitects.com
Received: from [192.168.1.5] ([192.168.1.5])by mail.simonsarchitects.com
(Kerio MailServer 6.6.2)for CSH@portlandmaine.gov;Thu, 9 Apr
2009 10:39:58 -0400
Mime-Version: 1.0 (Apple Message framework v752.2)
To: Chris Hanson <CSH@portlandmaine.gov>
Message-Id: <4334D450-93C5-47F5-9C11-
715A4080B990@simonsarchitects.com>
Content-Type: multipart/mixed; boundary=Apple-Mail-281--1012335060
From: Austin Smith <austin@simonsarchitects.com>
X-ASG-Orig-Subj: Overhead coiling doors at PPL
Subject: Overhead coiling doors at PPL
Received: Thu, 9 Apr 2009 10:37:49 -0400
X-Mailer: Apple Mail (2.752.2)
X-Barracuda-Connect: mail.simonsarchitects.com[208.125.201.58]
X-Barracuda-Start-Time: 1239287872
X-Barracuda-Virus-Scanned: by Barracuda Spam Firewall at portlandmaine.gov
0.00
X-Barracuda-Spam-Score: No, SCORE=0.00 using global scores of TAG_LEVEL=3.5
QUARANTINE_LEVEL=1000.0 KILL_LEVEL=8.0 tests=
X-Barracuda-Spam-Status: Code version 3.2, rules version 3.2.1.22693Rule breakdown
belowpts rule name description-----
Content-Transfer-Encoding: 7bit
Content-Type: text/plain;charset=US-ASCII;delsp=yes;format=flowed

```

Chris:

I have enclosed our specification for the fire rated overhead coiling door.

As you will see, there are six different manufacturers listed.

Per NFPA the travel rate for the door is no less than 6" per second and no greater than 24" per second.

Door will be tied into building fire-detection and alarm system for activation. 2.3.B.1

Door will be manually operated with push up operation 2.6.H

There is a paragraph within the spec that I don't understand and will find out about.

Under Manual Door operators Paragraph B. It references a crank operator.

We definitely don't want any crank retraction. We asked for and intended to have the push up operation.
If there is a crank retraction it would require ceiling tile removal and ladder access for each testing.

Austin.

Content-Transfer-Encoding:	base64
Content-Type:	application/pdf;x-unix-mode=0755;name=083323 overhead coiling doors.pdf
Content-Disposition:	inline;filename="083323 overhead coiling doors.pdf"

PORTLAND PUBLIC LIBRARY RENOVATION

SECTION 083323 - OVERHEAD COILING DOORS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Fire-rated service doors.
- B. Related Sections:
 - 1. Division 05 Section "Metal Fabrications" for miscellaneous steel supports.

1.3 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Design overhead coiling doors, including comprehensive engineering analysis by a qualified professional engineer, using performance requirements and design criteria indicated.
- B. Seismic Performance: Overhead coiling doors shall withstand the effects of earthquake motions determined according to SEI/ASCE 7.
 - 1. The term "withstand" means "the unit will remain in place without separation of any parts from the device when subjected to the seismic forces specified and the emergency-egress-door component will be fully operational after the seismic event."
 - 2. Seismic Component Importance Factor: 1.5.
- C. Operation Cycles: Provide overhead coiling door components and operators capable of operating for not less than number of cycles indicated for each door. One operation cycle is complete when a door is opened from the closed position to the fully open position and returned to the closed position.

1.4 SUBMITTALS

- A. Product Data: For each type and size of overhead coiling door and accessory. Include the following:
 - 1. Construction details, material descriptions, dimensions of individual components, profiles for slats, and finishes.

OVERHEAD COILING DOORS

083323 - 1

From: Austin Smith <austin@simonsarchitects.com>
To: Chris Hanson <CSH@portlandmaine.gov>, Keith Gautreau
<kng@portlandmaine.gov>
Date: 4/8/2009 4:11:47 PM
Subject: Portland Public Library

Chris & Keith:

Thanks very much for meeting with us this afternoon at the Portland
Public Library.

Your help and advice is really appreciated.

I've enclosed a copy of the layout of temporary partitions at the
lower level provided by Ledgewood.

Also enclosed is the asbestos survey.

Austin Smith
Scott Simons Architects.

CC: Clint Gendreau <cgendreau@ledgewoodconstruction.com>

502-244-7136

P. 2

Jan 08 2009 4:04PM McCall & Spero Envi

naon Court • Suite 100 • Louisville, KY 40223
) 244-7136 • (800) 841-0180 • FAX (502) 244-7136
omerservice@mselabs.com • Website: www.mselabs.com



**McCall and Spero
Environmental, Inc.**
Specialists in Microanalysis

1891 Wilma
Phone (502)
E-mail: cust

eral fibers by Polarized Light
ng (EPA/600/R-93/116)

Date: January 8, 2009

Attention: John Gill
Environmental Management, Inc.

Subject: Analysis of bulk samples for asbestos min
Microscopy (PLM) with Dispersion Stain

RE: MSE-P189EMI
Portland Public Library Project
EMI#09-8594

analyses of the bulk samples we
ples represent the bulk samples from

Method of the Determination of
W. Harvey (EPA/600/R-93/116).

l in the following report. Please note
nts, each component is analyzed and

Inc. Should you have any questions

Dear Mr. Gill:

McCall & Spero Environmental, Inc. has completed the
received from your offices on January 8, 2009. These sampl
the Portland Public Library Project.

The PLM bulk analysis was performed according to the
Asbestos in Bulk Building Materials", R. L. Perkins and B.

The results for the twenty two (22) samples are summarize
that for samples consisting of two or more distinct compone
reported individually (EPA 40 CFR Part 61 [FRL-4821-71])

Thank you for consulting McCall & Spero Environmental,
concerning these results, please contact our office.

ly,

Board, B.S.
ory Director

Sincere

J. Scott
Labora



NVLAP Lab Code 01895-0

Jan 08 2009 4:04PM

McCall & Spero Envi

502-244-7136

p. 2

**McCall and Spero
Environmental, Inc.**

Specialists in Microanalysis

1891 Williamson Court • Suite 100 • Louisville, KY 40223
Phone (502) 244-7135 • (800) 841-0180 • FAX (502) 244-7136

E-mail: customerservice@mnelabs.com • Website: www.mnelabs.com

Date: January 8, 2009

Attention: John Gill
Environmental Management, Inc.Subject: Analysis of bulk samples for asbestos mineral fibers by Polarized Light
Microscopy (PLM) with Dispersion Staining (EPA/600/R-93/116)RE: MSE-P189EMI
Portland Public Library Project
EMI#09-8594

Dear Mr. Gill:

McCall & Spero Environmental, Inc. has completed the analyses of the bulk samples we received from your offices on January 8, 2009. These samples represent the bulk samples from the Portland Public Library Project.

The PLM bulk analysis was performed according to the "Method of the Determination of Asbestos in Bulk Building Materials", R. L. Perkins and B. W. Harvey (EPA/600/R-93/116).

The results for the twenty two (22) samples are summarized in the following report. Please note that for samples consisting of two or more distinct components, each component is analyzed and reported individually (EPA 40 CFR Part 61 [FRL-4821-71]).

Thank you for consulting McCall & Spero Environmental, Inc. Should you have any questions concerning these results, please contact our office.

Sincerely,

J. Scott Board, B.S.
Laboratory Director**NVLAP**[®]
NVLAP Lab Code 101895-0

Jan 08 2009 4:04PM McCall & Spero Envi 502-244-7136 P. 3

502-244-7136 p. 4 Jan 08 2009 4:04PM McCall & Spero Envi

ANALYSIS RESULTS

SUMMARY OF PLM BULK A
Page 2

FIBROUS MATERIAL & %	%NON-FIBROUS MATERIAL	COLOR
Cellulose / 2% Glass / 35%	63%	Gray
Synthetics / 35%	65%	Black
Cellulose / 40% Glass / 35%	25%	Gray
Cellulose / 2% Glass / 40%	58%	Gray
Cellulose / 40% Glass / 35%	25%	Gray
Cellulose / 2%	98%	White
Cellulose / 2% Glass / 5%	90%	Black

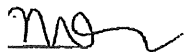
MSE # P189EMI-	SAMPLE # DESCRIPTION	ASBESTOS TYPE & %	OTI MA
015	8594-15 Pipe Elbow	ND**	Ce C
016	8594-16 Insulation Strip	ND	S
017	8594-17 Ceiling Tile	ND	Ce C
018	8594-18 Fire Proofing	ND**	C C
019	8594-19 Ceiling Tile	ND	Ce C
020	8594-20 Joint Compound	ND**	C
021	8594-21 Mastic	CH / 3%	C

osite AC = Actinolite
emolite

ment is analyzed and reported separately.

ate to within ± 10%. Results from this report must
Call & Spero Environmental, Inc. This report must
/ agency of the U.S. Government.

for asbestos or less than one percent asbestos by
inantly nonfriable categories be reanalyzed by an
y. (EPA Notice of Advisory, FR Vol. 59, No. 146



NOTES:

ND = None Detected CH = Chrysotile A = Arr
CR = Crocidolite AN = Anthophyllite TR = T

For samples consisting of separate components, each compo

Results apply only to items tested. Quantification is accur
not be reproduced, except in full, with the approval of Me
not be used to claim product endorsement by NVLAP or an

** EPA recommends that bulk materials found negative
polarized light microscopy that fall into one of five don
additional method, such as transmission electron microscop
& Test Method EPA 600/ R-93/ 116).

Analyst: M. Allison Brown, B.A.



Spero Environmental, Inc.

McCall &

Jan 08 2009 4:04PM

McCall & Spero Envi

502-244-7136

p. 4

SUMMARY OF PLM BULK ANALYSIS RESULTS

Page 2

MSE #	SAMPLE #	ASBESTOS	OTHER FIBROUS	% NON-FIBROUS	COLOR
D180FMT	DESCRIPTION	TYPE & %	MATERIAL & %	MATERIAL	
08 2009 4:04PM	McCall & Spero Envi				

119698359



**McCall and Spero
Environmental, Inc.**

1831 Williamson Court * Suite 100 * Louisville, Ky. 40223
Phone (502) 244-7136 * (800) 841-0180 * Fax (502) 244-7136

Specialists In Microanalysis

E-mail: customerservice@mselabs.com * Website: www.mselabs.com

BULK SAMPLE CHAIN OF CUSTODY FORM

Company: ENVIRONMENTAL MANAGEMENT, INC. Telephone #: (207) 729-7549 Fax#: (207) 721-0892
 Contact: J. GILL
 Relinquished by: J. Gill Date: 1-7-09 Client Project Number: 09-8594
 Written Report To: _____ Time: _____
 Project Name: BERNARD PUBLIC LIBRARY
 Turn-Around (Circle One): Same Day 24-Hour 2-3 Day 4-5 Day Weekend Rush After Hour Rush
 Analysis Requested (Circle One): TEM Bulk Analysis *TEM Qualitative Analysis *TEM Qualitative Analysis (4-5 Day)

Laboratory Use Only

Project #: D180FMT Method: EPA/600/R-93/110
 Samples Received By: Blissom Date: 1-6-09 Time: 9:30 AM

Client Sample Number	Location	Sample Description	Sampled By
594-1	EXHIBIT AREA LOBBY	CEILING TILE	J.S.G.
594-2	GRAND PR. NORTH STAIRS	FLOOR TILE	
594-3	" " " "	TILE MASTIC	
594-4	FINE ARTS	CEILING TILE	
594-5	GRAND FLOOR PORAGE	FIREPROOFING	
594-6	LEVEL 2 CORRIDOR WALLS	CEILING TILE	
594-7	NORTH STAIRS LEVEL 2	COVERBASE MASTIC	
594-8	EXTERIOR SCEPT	STUCCO	
594-9	EXTERIOR BEDLANT	CHALKING	
594-10	SOUTH STAIRS	FLOOR TILE	
594-11	LEVEL 2	CEILING TILE	
594-12	LEVEL 2 ELECTRICAL	SPRAY-ON FIREPROOFING	
594-13	SOUTH STAIRS	COVERBASE MASTIC	
594-14	LEVEL 3 MECHANICAL RM	1" PIPE ELBOW	
594-15	LEVEL 3 " " "	4" PIPE ELBOW	
594-16	" " " "	VIBRATION ISOLATION STRIP	
594-17	LEVEL 3 G	CEILING TILE	
594-18	MECHANICAL RM LEVEL 3	SPRAY-ON FIREPROOFING	
594-19	LEVEL 4	CEILING TILE	
594-20	JOINT COMPOUND		
594-21	O. STAIRS	TILE MASTIC	

Jan 08 2009 4:04PM McCall & Spero Envi 502-244-7136 P. 5

{FEDEX - 119698359}



McCall and Spero Environmental, Inc.

1831 Williamson Court * Suite 100 * Louisville, Ky. 40223
Phone (502) 244-7135 * (800) 841-0180 * Fax (502) 244-7136

Specialists In Microanalysis E-mail: customerservice@mselabs.com * Website: www.mselabs.com

BULK SAMPLE CHAIN OF CUSTODY FORM

Company: ENVIRONMENTAL MANAGEMENT, INC. Telephone #: (207) 729 - 7549 Fax#: (207) 721 - 0892
 Contact: J.G. Sullivan
 Relinquished by: J.G. Sullivan Date: 1-7-09 Client Project Number: 09-8594
 Project Name: BRITANNIA PUBLIC LIBRARY
 Turn-Around (Circle One): Same Day 24-Hour 3 Day 4-5 Day Weekend Rush After Hour Rush
 Analysis Requested (Circle One): TEM Bulk Analysis *TEM Qualitative Analysis *TEM Qualitative Analysis (4-5 Day)

For Laboratory Use Only

MSE Project #: P1890ME Method: EPA/600/R-93/116
 Samples Received By: Allison M. Date: 1-6-09 Time: 9:30am

Client Sample Number	Location	Sample Description	Sampled By
8594-1	EXHIBIT AREA LIBRARY	CEILING TILE	J.G.S.
8594-2	GROUND FLR. NORTH STAIRS	FLOOR TILE	
8594-3	" " " "	TILE MASTIC	
8594-4	FINEARTS	CEILING TILE	
8594-5	GROUND FLOOR STORAGE	FIREPROOFING	
8594-6	LEVEL 2 CORRIDOR/FACES	CEILING TILE	
8594-7	NORTH STAIRS LEVEL 2	COVERBASE MASTIC	
8594-8	EXTERIOR SOFFIT	STUCCO	
8594-9	EXTERIOR BERLANO	CHALKING	
8594-10	SOUTH STAIRS	FLOOR TILE	
8594-11	LEVEL 2	CEILING TILE	
8594-12	LEVEL 2 ELECTRICAL	SPRAY-ON FIREPROOFING	
8594-13	SOUTH STAIRS	COVERBASE MASTIC	
8594-14	LEVEL 3 MECHANICAL RM	1" PIPE ELBOW	
8594-15	LEVEL 3 " " " "	4" PIPE ELBOW	
8594-16	" " " " " "	VIBRATION ISOLATION STRIP	
8594-17	LEVEL 3 C	CEILING TILE	
8594-18	MECHANICAL RM LEVEL 3	SPRAY-ON FIREPROOFING	
8594-19	LEVEL 4	CEILING TILE	
8594-20	JOINT COMPOUND		
8594-21	S. STAIRS	TILE MASTIC	

ENVIRONMENTAL MANAGEMENT, INC.

P.O. BOX 391 Brunswick, ME 04011

(207)729-7549
FAX (207)721-0892

January 9, 2009

Mr. Peter Pelletier
Ledgewood Construction
27 Main St
South Portland, ME 04106

Dear Mr. Pelletier:

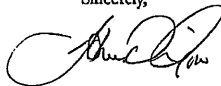
SUBJECT: RENOVATION IMPACT SURVEY FOR ASBESTOS, PORTLAND PUBLIC LIBRARY,
PORTLAND, ME

Environmental Management, Inc. completed a renovation impact survey for asbestos at the Portland Public Library, Congress St. in Portland, ME, on January 7, 2009. Samples of suspect materials were collected in accordance with the State of Maine Regulations for asbestos, Chapter 425. Such materials were those that were accessible with minimal destruction of finishes; ceiling tile, floor tile, spray on fireproofing on structural steel, mastics, and joint compound. Samples were sent to McCall and Spero Environmental, of Louisville, KY, which is a laboratory certified by the National Institute of Standards and Tables, National Voluntary Laboratory Accreditation Program (NIST-NVLAP), and the American Industrial Hygiene Association for analyzing asbestos. Samples were analyzed by Polarized Light Microscopy in accordance with the EPA analytical method #600.

By the analytical results, the material that tested positive for asbestos was, the floor tile mastic. This a non-friable material by definition according to the EPA, "National Emission Standard for Hazardous Air Pollutants, (NESHAP), 40 CFR Part 61. Provided this material is not ground abraded or otherwise turned into a powder or dust it is not regulated by EPA or DEP. It may be scraped with a scraper or removed with a chemical and the resultant waste is still construction debris. In most cases flooring contractors elect to apply new mastics right over this mastic in new flooring applications. Should a penetration be needed through this material, the material may be removed locally by means of chemical such as WD40 or similar solvent. Should large expanses of the mastic need to be removed, it would probably be best to enlist the services of an abatement contractor familiar with removing this type of material.

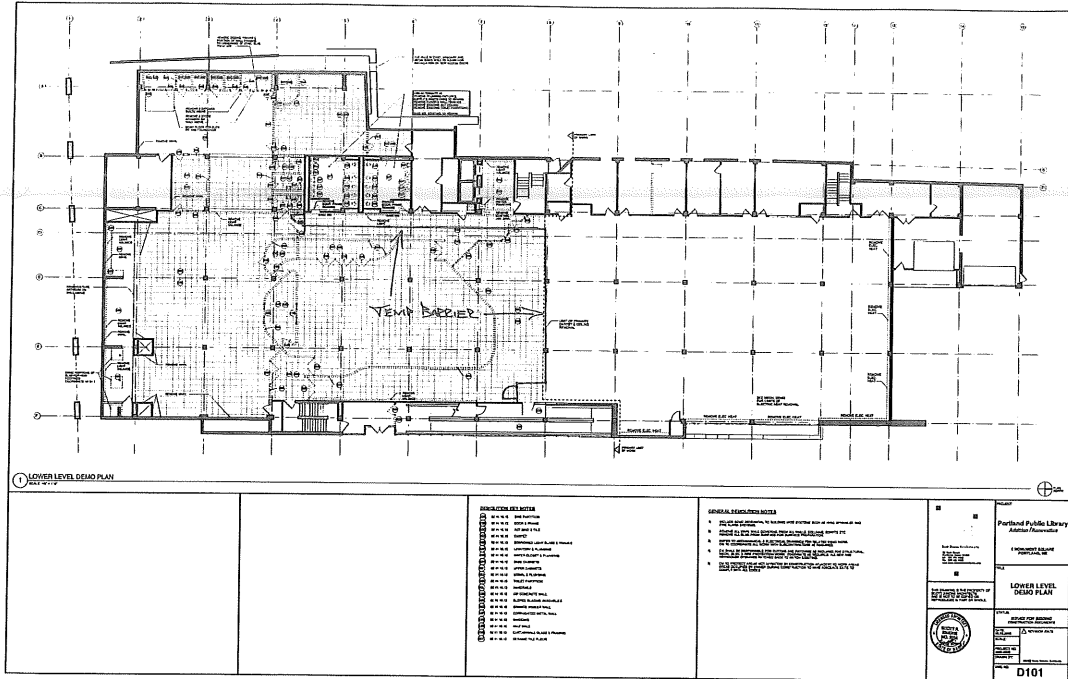
If you have any further questions please contact us at 729-7549.

Sincerely,



John D. Gill
President
Environmental Management, Inc.

Content-Transfer-Encoding: base64
 Content-Type: application/pdf;x-unix-mode=0744;name=PPL temporary wall.pdf
 Content-Disposition: inline;filename="PPL temporary wall.pdf"





State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

18321

Sprinkled
Sprinkler Supervised

PORTLAND PUBLIC LIBRARY PHASE 1

Located at: 5 MONUMENT SQUARE

PORTLAND

Occupancy/Use: ASSEMBLY CLASS A

Permission is hereby given to:

STEPHEN PODGAJNY

5 MONUMENT SQUARE

PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 2nd of October 2009

Dated the 3rd day of April A.D. 2009

Commissioner

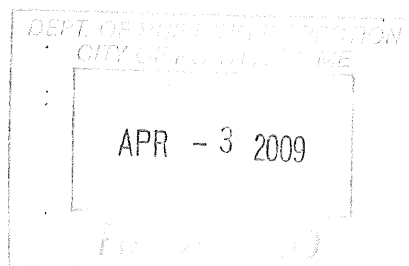
27 A 12

Copy-1 Owner

Comments:

STEPHEN PODGAJNY

5 MONUMENT SQUARE
PORTLAND, ME 04101





State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

18321

Sprinkled
Sprinkler Supervised

PORTLAND PUBLIC LIBRARY PHASE 1

Located at: 5 MONUMENT SQUARE

PORTLAND

Occupancy/Use: ASSEMBLY CLASS A

Permission is hereby given to:

STEPHEN PODGAJNY

5 MONUMENT SQUARE
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

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Commissioner

Copy-1 Owner

Comments:

STEPHEN PODGAJNY

5 MONUMENT SQUARE
PORTLAND, ME 04101

Aston Smith

ADA - STATE cert.
STATE Fire Marshalls appr. - Phased Plan.
Cafe - Food Service - ✓

Sep. Permits - Sprinkler + Alarm
Phase II of sprinkler? when
Statement of Special Inspections
List of Individuals performing Insp.

Geotech to be verified in field
during excavations by S.W. Cole
STAGE - sprinkler (Rated floor or sprinkle
sect. 910.3.1 under the floor)

Roll down Security Shutters - NFPA-80
section 715.3 - Automatic - closing devices
- Smoke Activated

2. For Clint - Pre-con MTG - Thurs. 4:00 → 2:00 - MTG w/ Ben
1. Phase of Sprinkler - Plan of Action for Phasing. →
 2. Statement of Spec. Insp.
Concrete / soils investigation
Steel - Curtain Wall
 3. Roll down Shutters → Smoke Activation - ?
 4. STAGE AREA - Sprinkle or Rate floor
- ↳

Return-path: <austin@simonsarchitects.com>
 Received: from barracuda.portlandmaine.gov([172.16.0.63])by
 smtp.portlandmaine.gov; Wed, 08 Apr 2009 16:11:05 -0400
 X-ASG-Debug-ID: 1239221441-066200ac0000-Qr3vGX
 X-Barracuda-URL: http://172.16.0.63:8000/cgi-bin/mark.cgi
 Received: from mail.simonsarchitects.com (localhost [127.0.0.1])by
 barracuda.portlandmaine.gov (Spam Firewall) with ESMTPid
 5EB831B2D86; Wed, 8 Apr 2009 16:10:41 -0400 (EDT)
 Received: from mail.simonsarchitects.com (mail.orcutt.com [208.125.201.58])
 by barracuda.portlandmaine.gov with ESMTPI id
 SyTmj4CNX47wKAWi; Wed, 08 Apr 2009 16:10:41 -0400 (EDT)
 X-Barracuda-Envelope-From: austin@simonsarchitects.com
 Received: from [192.168.1.5] ([192.168.1.5])by mail.simonsarchitects.com
 (Kerio MailServer 6.6.2);Wed, 8 Apr 2009 16:12:41 -0400
 Mime-Version: 1.0 (Apple Message framework v752.2)
 To: Chris Hanson <CSH@portlandmaine.gov>,Keith Gautreau
 <kng@portlandmaine.gov>
 Message-Id: <D636C918-0FF6-471F-BE49-
 5331620306D0@simonsarchitects.com>
 Content-Type: multipart/mixed; boundary=Apple-Mail-273-1068713157
 Cc: Clint Gendreau <cgendreau@ledgewoodconstruction.com>
 X-ASG-Orig-Subj: Portland Public Library
 Subject: Portland Public Library
 From: Austin Smith <austin@simonsarchitects.com>
 Received: Wed, 8 Apr 2009 16:10:34 -0400
 X-Mailer: Apple Mail (2.752.2)
 X-Barracuda-Connect: mail.orcutt.com[208.125.201.58]
 X-Barracuda-Start-Time: 1239221457
 X-Barracuda-Virus-Scanned: by Barracuda Spam Firewall at portlandmaine.gov
 X-Barracuda-Spam-Score: -1001.00
 X-Barracuda-Spam-Status: No, SCORE=-1001.00 using global scores of TAG_LEVEL=3.5
 QUARANTINE_LEVEL=1000.0 KILL_LEVEL=8.0
 Content-Transfer-Encoding: 7bit
 Content-Type: text/plain; charset=US-ASCII; delpsp=yes; format=flowed

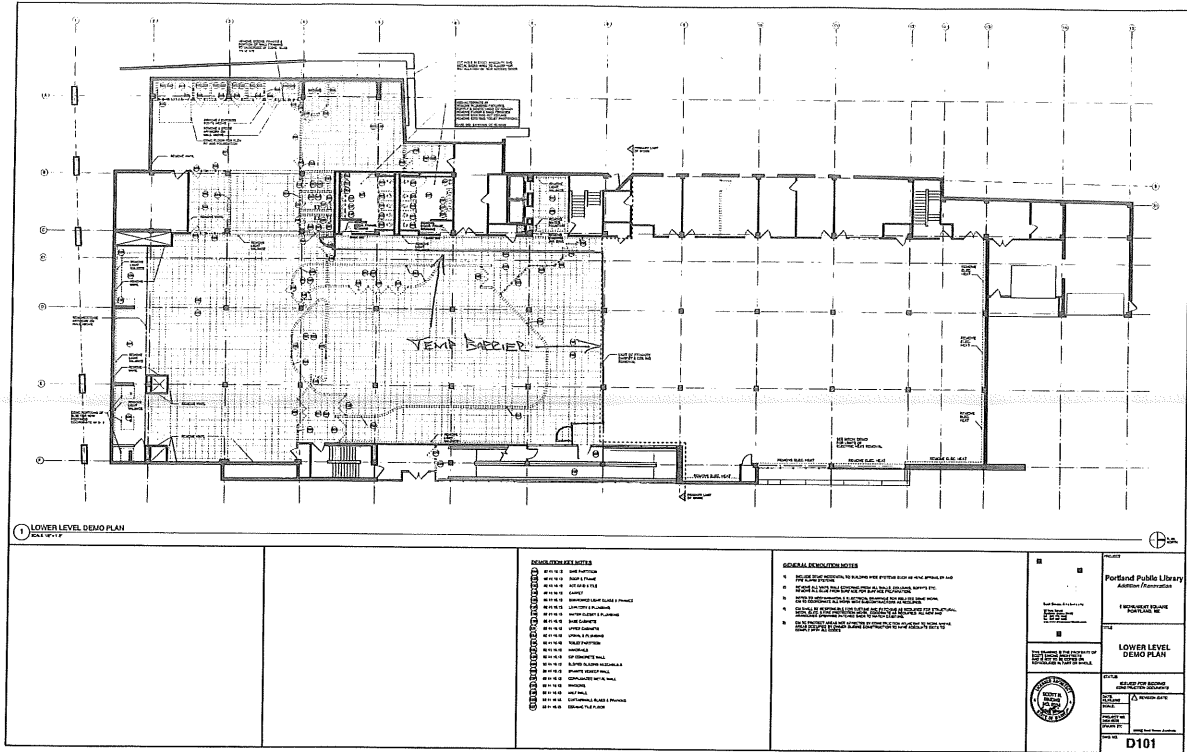
Chris & Keith:

Thanks very much for meeting with us this afternoon at the Portland
 Public Library.
 Your help and advice is really appreciated.

I've enclosed a copy of the layout of temporary partitions at the
 lower level provided by Ledgewood.
 Also enclosed is the asbestos survey.

Austin Smith
 Scott Simons Architects.

Content-Transfer-Encoding: base64
 Content-Type: application/pdf;x-unix-mode=0744;x-mac-hide-
 extension=yes;name=Asbestos Report.pdf
 Content-Disposition: inline;filename="Asbestos Report.pdf"



From: "Clint Gendreau" <cgendreau@ledgewoodconstruction.com>
To: "Chris Hanson" <CSH@portlandmaine.gov>
Date: 4/7/2009 12:19:27 PM
Subject: FW: Fwd: Library temporary partitions

Chris. Just an FYI... See email below from Keith Gautreau. Not sure if Thursday will work for him. You may want to touch base with him to see if 2pm Thursday works.

Clint Gendreau
Project Manager

Ledgewood Construction
27 Main Street
South Portland, ME 04106
207-767-1866
fax 207-767-1869
cell 207-415-7992

cgendreau@ledgewoodconstruction.com
<http://www.ledgewoodconstruction.com>

-----Original Message-----

From: Keith Gautreau [mailto:KNG@portlandmaine.gov]
Sent: Tuesday, April 07, 2009 12:11 PM
To: austin@simonsarchitects.com
Cc: Clint Gendreau
Subject: Re: Fwd: Library temporary partitions

Yes that would be good if we can meet. I am open anytime on Wed. or Fri. afternoon.
Thurs. I am out of the office.
Keith

Keith Gautreau, Fire Captain
Fire Prevention Bureau
Portland Fire Department
380 Congress Street
Portland, ME 04101
(207)874-8405
kng@portlandmaine.gov

>>> Austin Smith <austin@simonsarchitects.com> 4/7/2009 10:54:07 AM
>>>
Capt. Gautreau:

I think that both Clint Gendreau of Ledgewood and I are after you for the same purpose.
We'd like for you to have a look at the temporary partitions and exiting for the Portland Public Library.

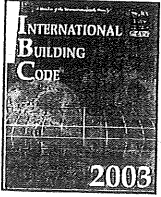
Could you meet us both at the building and have a quick walk through? Clint thought it might also be beneficial to have their electrician there as were.

Thanks,
Austin Smith

Begin forwarded message:

> From: Austin Smith <austin@simonsarchitects.com>
> Date: April 6, 2009 9:38:10 AM EDT
> To: Keith Gautreau <kng@portlandmaine.gov>
> Cc: Clint Gendreau <cgendreau@ledgewoodconstruction.com>
> Subject: Library temporary partitions
>
> Capt. Gautreau:
>
> I know work must have piled up while you were away.
>
> Would it be possible, however, to review the temporary construction

> plans for the
> Portland Public Library.
>
> I am free anytime after 11:00.
>
> Thanks,
> Austin Smith
> Scott Simons Architects.
>
>



2003 INTERNATIONAL BUILDING CODE® PLAN REVIEW RECORD

Plan Review # _____
Date: 3/14/09
Valuation: 5,995,500
Fee: 59,980.00

JURISDICTION: PortMandel
(City, County, Township, etc.)
BUILDING LOCATION: 5 Monument Way
(Street address)
BUILDING DESCRIPTION: Public Library
REVIEWED BY: Cl

Numerals indicated in parenthesis are applicable code sections of the 2003 *International Building Code*. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections. It does not reference all code provisions which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgement in evaluating construction documents for code compliance.

CORRECTION LIST

No.	DESCRIPTION	Code Section
1	ADA - Cor.	
2	STATE Fire Marshall Appr. Received	
3	Cafe - Food Service Lic. req. - COND.	
4	Seperate permits - Sprinkler and Alarms	



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**INTERNATIONAL CODE COUNCIL, INC.
PHONE 1-800-786-4452 • WWW.ICCSAFE.ORG**

NOTES: N.R. — Not required
N.A. — Not applicable

ADMINISTRATION (Chapter 1)

Complete construction documents
(106.1, 106.2)

Signed/sealed construction documents
(106.1, State laws vary)

BUILDING PLANNING (Chapters 3, 4, 5, 6)

OCCUPANCY CLASSIFICATION (302.0-312.0)

Single Occupancy (302.1)

_____ Incidental use areas (302.1.1)

_____ Mixed Occupancy (302.2)

_____ Accessory use areas (302.2)

GENERAL BUILDING LIMITATIONS (Chapters 5 & 6)

Apply Case 1 to determine the allowable height and area and permitted types of construction for a building containing a single occupancy or nonseparated mixed occupancies. Apply Case 2 to determine the allowable height and area and permitted types of construction for a building containing separated mixed occupancies.

AREA MODIFICATIONS TO TABLE 503

% of Allowable tabular area, A_t (Table 503) 100%

% Increase for frontage, I_f (506.2) + 25%

% Increase for automatic sprinklers, I_s (506.3) + 200%

Total percentage factor = 325%

Conversion factor _____
Total percentage factor ÷ 100%

N/A

Frontage (506.2)	North	East	South	West
Total Frontage (F) _____ ft.				
Perimeter (P) _____ ft.				
Width of open space (W) = _____				
% Frontage increase (I_f) = _____ (506.2)				
	$I_f = 100 \left[\frac{F}{P} - 0.25 \right] \frac{W}{30}$			

CASE 1 — SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1)

Using Table 503, identify the allowable height and area of the single occupancy or the most restrictive of the nonseparated mixed occupancies. Construction types that provide an allowable tabular area equal to or greater than the adjusted building area and allowable heights (as modified by Section 504) equal to or greater than the actual building height are permitted.

DETERMINE CONSTRUCTION TYPE

Actual building area 29,739 ft²

Adjusted building area _____ ft²
actual building area ÷ conversion factor

Actual building height 45 feet 4 stories

Allowable building height _____ feet _____ stories

Permitted types of construction IIA

Type of construction assumed for review (602.1.1) IIA

CHECK ALLOWABLE AREA (506.4)

Allowable area per floor (A_a) _____ ft²
conversion factor × tabular area (Table 503) = _____ ft²

Total floor area (all stories) _____ ft²

Allowable floor area (all stories) _____ ft²

Allowable area per floor (A_a) × number of stories (maximum 3) = _____ ft²

Compliance verified (Single Occ. or Nonsep.) _____

CASE 2 — MIXED OCCUPANCY SEPARATED USES (302.3.2)

Using Table 503, identify the allowable height and area of each of the separated uses within the building. Construction types that provide, for each story of the building, tabular areas (as modified by Section 506) which result in a sum of the ratios of 1.00 or less and allowable heights (as modified by Section 504) equal to or greater than the actual height of the use are permitted.

Story	Group	Actual floor area	Adjusted floor area*	Actual height	Allowable height
		ft ²	ft ²	ft stories	ft stories
A-1		ft ²	ft ²	ft stories	ft stories
A-3		ft ²	ft ²	ft stories	ft stories
B	Mixed use	ft ²	ft ²	ft stories	ft stories
		ft ²	ft ²	ft stories	ft stories
		ft ²	ft ²	ft stories	ft stories
		ft ²	ft ²	ft stories	ft stories

Adjusted floor area * = _____ + _____ + _____ + _____ = _____ ≤ 1.00

Σ Allow. tab. area, A_i (Table 503)

*Adjusted floor area = actual floor area ÷ conversion factor

CHECK ALLOWABLE AREA (506.4)

Allowable area per floor (A_a)

_____ × _____ = _____ ft² Permitted types of construction _____

conversion factor tabular area (Table 503)

Total floor area (all stories) _____ ft² Type of construction assumed for review (602.1.1) _____

Allowable floor area (all stories) _____ ft² Compliance verified (Mixed Occ. Separated) _____

_____ × _____ = _____ ft²

Allowable area per floor (A_a) number of stories (maximum 3)

MEZZANINES (505)	UNLIMITED AREA BUILDINGS (507)	SPECIAL PROVISIONS (508)
Area limitation (505.2)	Openness (505.4)	Special condition applicable (508.1)
Egress (505.3)	Equipment platforms (505.5)	Compliance verified
Unsprinklered, one story (507.1)	High-hazard use groups (507.6)	
Sprinklered, one story (507.2)	Aircraft paint hangar (507.7)	
Two story (507.3)	Group E buildings (507.8)	
Reduced open space (507.4)	Motion picture theaters (507.9)	
Group A-3 buildings (507.5)		

SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY (Chapter 4)

COVERED MALL BUILDINGS (402)	Standpipe system (402.8.1)
Egress (402.4, 402.11)	Smoke control (402.9)
Mall width (402.5)	Kiosk requirements (402.10)
Unlimited area (402.6)	Emergency voice/alarm (402.12, 402.13)
Fire separations (402.7)	Plastic signs (402.14)
Automatic sprinkler system (402.8)	Fire department access (402.15)

HIGH-RISE BUILDINGS (403)

Automatic sprinkler system (403.2)
Fire-resistance rating reduction (403.3)
Automatic fire detection (403.5)
Emergency voice/alarm systems (403.6)
Fire department communication (403.7)
Fire command center (403.8)
Elevators (403.9)
Standby power (403.10)
Emergency power (403.11)
Stairway doors (403.12)
Smokeproof exit (403.13)
ATRIUMS (404)
Atrium use (404.2)
Automatic sprinkler system (404.3)
Smoke control (404.4)
Enclosure (404.5)
Standby power (404.6)
Interior finish (404.7)
Travel distance (404.8)

OTHER SPECIAL USE AND OCCUPANCY

Underground structures (405)
Motor vehicle related occupancies (406, 508)
Group I-2 (407)
Group I-3 (408)
Motion picture projection rooms (409)
Stages and platforms (410)
Special amusement buildings (411)
Aircraft-related occupancies (412)
Combustible storage (413)
Hazardous materials (307.9, 414)
Groups H-1, H-2, H-3, H-4, and H-5 (415)
Application of flammable finishes (416)
Drying rooms (417)
Organic coatings manufacturing (418)

FIRE PROTECTION (Chapters 6, 7, 8, 9)

FIRE-RESISTANCE-RATED CONSTRUCTION (Tables 601 & 602 and Chapter 7)

Note: Entry in indicates required rating in hours. NC indicates noncombustible construction required.

IA Construction classification (602)

COMBUSTIBILITY (602.2, 602.3, 602.4, 602.5, 603)

existing Exterior walls

Interior elements

Roof

FIRE-RESISTANCE RATINGS AND FIRE TESTS (703)

Ratings / Combustibility (703.2, 703.4)

Alternative methods (703.3, 718, 720, 721)

BUILDING ELEMENTS (Table 601)

Structural frame (714)

Interior bearing walls

Interior nonbearing walls

Floor construction (711)

Roof construction (711)

EXTERIOR WALLS (507, Table 602, 704, 706.6)

North East South West

Fire separation distance

Bearing

Nonbearing

- EXTERIOR WALLS (continued)
- exist* Opening protection (704.8, 704.12, 704.14)
 - Vertical fire spread protection (704.9, 704.10)
 - Parapets (704.11)

- FIRE BARRIERS (706)
- 1/2 hr* Shaft enclosures (706.3.1)
 - Exit enclosures (706.3.2, 706.3.3)
 - Horizontal exits (706.3.4)
 - Incidental use areas (706.3.5)
 - Mixed occupancy and fire area separations (706.3.6, 706.3.7)

- SHAFTS (707)
- Exceptions (707.2)
 - Construction (707.3 - 707.14)

- OTHER FIRE RESISTANT CONSTRUCTION
- Fire walls (705)
 - Fire partitions (708)
 - Smoke barriers (709)
 - Smoke partitions (710)
 - Penetrations (712)
 - Fire resistant joint systems (713)
 - Opening protectives (715)
 - Dampers (716)
 - Concealed spaces (717)
 - Thermal and sound-insulating materials (719)

INTERIOR FINISHES (Chapter 8)

- Smoke development (803.1)
- Flame spread (803.1)
- Non-textile finish (803.2)
- Floor finish (804)
- Decorations and trim (805)

FIRE PROTECTION (Chapter 9)

- AUTOMATIC SPRINKLER SYSTEMS (903)
(Where required)
- yes* Assembly (A-1, A-2, A-3, A-4, A-5) (903.2.1)
 - Educational (E) (903.2.2)
 - Factory/Industrial (F-1) (903.2.3)
 - High-hazard (H-1, H-2, H-3, H-4, H-5) (903.2.4)
 - Institutional (I-1, I-2, I-3, I-4) (407.5, 903.2.5)
 - Mercantile (M) (903.2.6)
 - Residential (R) (903.2.7)
 - Storage/Repair garage (S-1) (903.2.8)
 - Parking garages (903.2.9)
 - Windowless story (903.2.10.1)
 - Rubbish and linen chutes (903.2.10.2)
 - Buildings over 55 ft. high (903.2.10.3)
 - Incidental use areas (302.1.1)

- Additional required systems
(Table 903.2.13)
- International Fire Code (IFC 903.2.13)
- AUTOMATIC SPRINKLER SYSTEMS* (903)
(Design)
- Shop drawings (106.1.1.1)
 - NFPA 13 system (903.3.1.1)
 - NFPA 13R system (903.3.1.2)
 - NFPA 13D system (903.3.1.3)
 - Quick-response and residential heads (903.3.2)
 - Actuation (903.3.4)
 - Water supply (903.3.5)
 - Hose connections (903.3.6, 903.3.7)
 - Sprinkler monitoring and alarms (903.4, 907.13)

* Also see Fire Code Sprinkler Plan Review Record

*Phase 1
Per Fire Marshall*

ALTERNATIVE AUTOMATIC FIRE-EXTINGUISHING SYSTEMS (904)

- Installation (904.3)
- Wet-chemical systems (904.5)
- Dry-chemical systems (904.6)
- Foam systems (904.7)
- Carbon dioxide systems (904.8)
- Halon systems (904.9)
- Clean-agent systems (904.10)
- Commercial cooking systems (904.2.1, 904.11)

STANDPIPE SYSTEMS (905)

- Installation standards (905.2)
- Building height (905.3.1)
- Group A (905.3.2)
- Covered malls (905.3.3)
- Stages (905.3.4)
- Underground buildings (905.3.5)
- Helistops/heliports (905.3.6)
- Hose connections and locations (905.1, 905.4, 905.5, 905.6)
- Cabinets (905.7)
- Dry standpipes (905.8)
- Valve supervision (905.9)

PORTABLE FIRE EXTINGUISHERS (906)

- Required locations - IFC (906.1)

FIRE ALARM AND DETECTION SYSTEMS (907)
(Where required)

- Construction documents (907.1.1)
- Assembly (A-1, A-2, A-3, A-4, A-5) (907.2.1)
- Business (B) (907.2.2)
- Educational (E) (907.2.3)
- Factory (F-1, F-2) (907.2.4)
- High-hazard (H-1, H-2, H-3, H-4, H-5) (907.2.5)
- Institutional (I-1, I-2, I-3, I-4) (907.2.6)
- Mercantile (M) (907.2.7)
- Residential (R-1, R-2) (907.2.8, 907.2.9)

- Single/multiple station smoke alarms (907.2.10)
- High rise buildings (907.2.12)
- Atriums (907.2.13)
- Other buildings/areas (907.2.11, 907.2.14 - 907.2.23)

FIRE ALARM AND DETECTION SYSTEMS (907)
(Design)

- Residential smoke alarm power source (907.2.10.2)
- Residential smoke alarm interconnection (907.2.10.3)
- Location/Power supply/Wiring (907.3 - 907.5)
- Activation/Presignal/Zones (907.6 - 907.8)
- Alarm notification appliances (907.9)
- Detectors (907.10 - 907.12)
- Monitoring (907.14)

EMERGENCY ALARM SYSTEMS (908)

- Detection system applicable (908.1 - 908.6)

SMOKE CONTROL SYSTEMS (909)

- Where required (402.9, 404.4, 405.5, 408.8, 410.3.7.2, 1019.1.8, 1024.6.2.1)
- Design requirements (909.1 - 909.4)
- Smoke barriers (909.5)
- Pressurization method (909.6)
- Airflow method (909.7)
- Exhaust method (909.8)
- Equipment/Power (909.10, 909.11)
- for elevator recall* Detection and control (909.12 - 909.18)
- Smokeproof enclosures (909.20)
- Underground buildings (909.21)

SMOKE AND HEAT VENTS (910)

- Requirements (910.1 - 910.3)
- Mechanical alternative (910.4)

FIRE COMMAND CENTER (911)

- Features (911.1)

OCCUPANT NEEDS (Chapters 10, 11, 12)

MEANS OF EGRESS (Chapter 10)

OCCUPANT LOAD (1004.1.2 and Table 1004.1.2)

Location	Floor Area	Sq.ft./person	Occt. load	Other occt. loads	Total
Lower level					1189
Main floor					561
Level 2					180
Level 3					150

CAPACITY OF EGRESS COMPONENTS (1005.1 and Table 1005.1)

Egress width (inch/occupant) *min 32" w/ 102 per person*
 Stairways _____
 Other egress components _____

CAPACITY

Location	Stairways	Other egress components

NUMBER OF EXITS (1018.1, 1018.2) *Sprinkled*

Location	Required	Shown
Lower	3	3
Main	3	2
Level	2	2
Level	3	2

MEANS OF EGRESS (continued)

GENERAL MEANS OF EGRESS

<input checked="" type="checkbox"/>	Design requirements (1003.2 - 1003.7)	<input checked="" type="checkbox"/>	Door landings/Thresholds/Arrangement (1008.1.4 - 1008.1.7)
<input checked="" type="checkbox"/>	Means of egress illumination (1006)	<input checked="" type="checkbox"/>	Door hardware (1008.1.8, 1008.1.9)
<input checked="" type="checkbox"/>	Exit signs (1011)	<input checked="" type="checkbox"/>	Stairways (1009)
<input checked="" type="checkbox"/>	Accessible means of egress (1007)	<input checked="" type="checkbox"/>	Handrails (1009.11)
<input checked="" type="checkbox"/>	Means of egress doors (1008.1-1008.1.2)	<input checked="" type="checkbox"/>	Roof access (1009.12)
<input checked="" type="checkbox"/>	Special doors/Gates/Turnstiles (1008.1.3, 1008.2, 1008.3)	<input checked="" type="checkbox"/>	Ramps (1010)
		<input checked="" type="checkbox"/>	Guards (1012)

EXIT ACCESS

<input checked="" type="checkbox"/>	Door number and arrangement (1013.2, 1014.1, 1014.2)	<input type="checkbox"/>	Egress balconies (1013.5, 1015.3)
<input checked="" type="checkbox"/>	Exit access travel distance (1013.3, 1015.1)	<input type="checkbox"/>	Corridors (1016)
<input checked="" type="checkbox"/>	Aisles (1013.4)	<input type="checkbox"/>	Air movement in corridors (1016.4)

EXITS / EXIT DISCHARGE

<input checked="" type="checkbox"/>	Exits/Exit doors (1017, 1018)	<input checked="" type="checkbox"/>	Horizontal exits (1021)
<input checked="" type="checkbox"/>	Interior exit stairways (1019)	<input checked="" type="checkbox"/>	Exterior exit ramps/stairways (1022)
<input checked="" type="checkbox"/>	Exit passageways (1020)	<input checked="" type="checkbox"/>	Exit discharge (1023)

OTHER MEANS OF EGRESS

<input type="checkbox"/>	Miscellaneous egress requirements (1014.3 - 1014.6)	<input type="checkbox"/>	Assembly aisles & features (1024.6 - 1024.15)
<input type="checkbox"/>	Bleachers (1024.1.1)	<input type="checkbox"/>	Emergency escape and rescue (1025)
<input type="checkbox"/>	Assembly exits & egress (1024.2 - 1024.5)		

ACCESSIBILITY* (Chapter 11)

<input type="checkbox"/>	Scoping requirements (1103)	<input type="checkbox"/>	Dwelling units and sleeping units (1107)
<input type="checkbox"/>	Accessible route (1104)	<input type="checkbox"/>	Special occupancies (1108)
<input type="checkbox"/>	Accessible entrances (1105)	<input type="checkbox"/>	Features and facilities (1109)
<input type="checkbox"/>	Parking and passenger loading (1106)	<input type="checkbox"/>	Signage (1110)

*Also see Accessibility Plan Review Record

INTERIOR ENVIRONMENT (Chapter 12)

_____ Ventilation openings (1203)	_____ Sound transmission (1207)
_____ Temperature control (1204)	_____ Interior space dimensions (1208)
_____ Lighting (1205)	_____ Access to unoccupied spaces (1209)
_____ Yards or courts (1206)	_____ Surrounding materials (1210, 2509)

BUILDING ENVELOPE (Chapters 13*, 14, 15)

*See Energy Conservation Code Plan Review Record

EXTERIOR WALLS (Chapter 14)

_____ Performance requirements (1403)	_____ Exterior wall coverings/MCM's (1405, 1407)
_____ Materials (1404)	_____ Combustible material restrictions (1406)

ROOF ASSEMBLIES AND ROOFTOP STRUCTURES (Chapter 15)

_____ Weather protection (1503)	_____ Materials (1506)
_____ Flashing (1503.2, 1507.2.9, 1507.3.9, 1507.5.6, 1507.7.6, 1507.8.7, 1507.9.8)	_____ Roof coverings (1507)
_____ Performance requirements (1504)	_____ Roof insulation (1508)
_____ Fire classification (1505)	_____ Rooftop structures (1509)
	_____ Reroofing (1510)

STRUCTURAL SYSTEMS (Chapters 16, 17, 18)

STRUCTURAL DESIGN (Chapter 16)

STRUCTURAL DESIGN CALCULATIONS

_____ Submitted for all structural members (106.1, 106.1.1)	_____ Live load reduction (1603.1.1, 1607.9, 1607.10)
	_____ Roof live loads (1603.1.2, 1607.11)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (1603.1.1, 1607)

Floor Area Use	Loads Shown	
_____	_____	_____ Roof snow loads (1603.1.3, 1608)
_____	_____	_____ Ground snow load, P_g (1608.2)
_____	_____	_____ If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
_____	_____	_____ If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
_____	_____	_____ If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
_____	_____	_____ Roof thermal factor, C_t (Table 1608.3.2)
_____	_____	_____ Sloped roof snowload, P_s (1608.4)

DESIGN LOADS (continued)

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)	_____ Seismic design category (1616.3)
_____ Basic wind speed (1609.3)	_____ Basic seismic-force-resisting system (Table 1617.6.2)
_____ Building category and wind importance factor, I_w (Table 1604.5, 1609.5)	_____ Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)
_____ Wind exposure category (1609.4)	_____ Analysis procedure (1616.6, 1617.5)
_____ Internal pressure coefficient (ASCE 7)	_____ Design base shear (1617.4, 1617.5.1)
_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)	_____ Flood loads (1603.1.6, 1612)
_____ Main force wind pressures (1609.1.1, 1609.6.2.1)	_____ Flood hazard area (1612.3)
	_____ Elevation of structure
_____ Earthquake design data (1603.1.5, 1614 - 1623)	_____ Other loads
_____ Design option utilized (1614.1)	_____ Concentrated loads (1607.4)
_____ Seismic use group ("Category") (Table 1604.5, 1616.2)	_____ Partition loads (1607.5)
_____ Spectral response coefficients, S_{DS} & S_{D1} (1615.1)	_____ Impact loads (1607.8)
_____ Site class (1615.1.5)	_____ Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

QUALITY ASSURANCE (Chapter 17)

_____ Approvals/Research report(s) (1703, 1703.4.2) Report No. _____	_____ Wall panels and veneers/EIFS (1704.10, 1704.12)
_____ Owner's special inspection program specified (1704.1.1)	_____ Sprayed fire-resistant materials (1704.11)
_____ Prefabricated items (1704.2)	_____ Quality assurance plan - Seismic/Wind (1705, 1706)
_____ Steel construction (1704.3)	_____ Seismic resistance (1707)
_____ Concrete construction (1704.4)	_____ Structural testing/Observations (seismic) (1708, 1709)
_____ Masonry construction (1704.5)	_____ Testing (other) (1710 - 1715)
_____ Wood construction (1704.6)	
_____ Prepared fill and foundations (1704.7, 1704.8, 1704.9)	

SOILS AND FOUNDATIONS (Chapter 18)

_____ Soils investigations/Reports (1802.1, 1802.6)	_____ Footings and foundations (1805)
_____ Soil classification (1802.3)	_____ Retaining walls (1806)
_____ Excavation, grading and fill (1803)	_____ Dampproofing and waterproofing (1807)
_____ Load-bearing values (1804)	_____ Foundations (other types) (1808 - 1812)

STRUCTURAL MATERIALS (Chapters 19, 21, 22, 23)

CONCRETE (Chapter 19)

_____ Plain and reinforced concrete design/construction standard specified (1901.2, 1908)	_____ Hot weather and cold weather curing specified (1905.12, 1905.13)
_____ Construction documents (1901.4)	_____ Seismic design (1910)
_____ Minimum concrete strength (Table 1904.2.2[2])	_____ Slab provisions (1911)

MASONRY (Chapter 21)

_____ Design method, construction standard specified (2101.2)	_____ Cold weather and hot weather construction specified (2104.3, 2104.4)
_____ Construction documents (2101.3)	_____ Seismic design (2106)
_____ Construction materials (2103)	_____ Glass unit masonry (2110)
_____ Mortar type (2103.7)	_____ Fireplaces/Heaters/Chimneys (2111, 2112, 2113)

STEEL (Chapter 22)

_____ Structural steel design/construction standard specified (2205)	_____ Cold-formed steel design/construction standard specified (2209)
_____ Open-web steel joist design/construction standard specified (2206)	_____ Light framed cold-formed steel design/construction standard specified (2210)
_____ Steel cable structures (2207)	_____ Wind/seismic design of light-framed, cold-formed steel shear walls (2211)
_____ Steel storage racks (2208)	

WOOD (Chapter 23)

_____ Design method option used (2301.2)	_____ Heavy timber construction (2304.10)
_____ MATERIAL STANDARDS / CONSTRUCTION REQUIREMENTS (2303 - 2306)	_____ Shear walls and diaphragms (2305, 2306)

CONVENTIONAL LIGHT-FRAME CONSTRUCTION (2308)

_____ Lumber (2303.1.1)	_____ Limitations satisfied (2308.2)
_____ Wood I-joists (2303.1.2)	_____ Wind/Seismic requirements (2308.2.1, 2308.2.2, 2308.11, 2308.12)
_____ Glue laminated timbers (2303.1.3)	_____ Braced walls (2308.3, 2308.9.3)
_____ Wood structural panels (2303.1.4, 2304.6, 2304.7)	_____ Foundation anchorage (2308.3.3, 2308.6)
_____ Fiber-, hard-, & particle-, boards (2303.1.5 - 2303.1.7)	_____ Floor joists (Tables 2308.8[1], 2308.8[2])
_____ Decay and termite protection (2303.1.8, 2304.11)	_____ Wall studs (Table 2308.9.1)
_____ Structural composite lumber (2303.1.9)	_____ Girders (Tables 2308.9.5, 2308.9.6)
_____ Fire-retardant-treated wood (2303.2)	_____ Ceiling joists (Tables 2308.10.2[1], 2308.10.2[2])
_____ Hardwood plywood (2303.3)	_____ Roof rafters (Tables 2308.10.3.[1] - 2308.10.3[6])
_____ Metal plate connected trusses (2303.4)	_____ Roof uplift (2308.10.1)
_____ Joist hangers and connectors (2303.5)	
_____ Fasteners and fastening (2303.6, 2304.9, Table 2304.9.1)	

NONSTRUCTURAL MATERIALS (Chapters 24, 25, 26)

GLASS AND GLAZING (Chapter 24)

_____ Sloped glazing and skylights (2405)	_____ Safety glazing (2406, 2407, 2408, 2409)
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GYPSUM BOARD AND PLASTER (Chapter 25)

_____ Gypsum board materials (2506, Table 2506.2)	_____ Plaster (2507, 2508, 2510 - 2513)
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PLASTIC (Chapter 26)

_____ FOAM PLASTIC INSULATION (2603)	_____ Special approval (2603.8)
_____ Labeling (2603.2, 2603.5.6)	_____ MISCELLANEOUS PLASTICS
_____ Surface-burning characteristics (2603.3, 2603.5.4)	_____ Interior finish and trim (2604)
_____ Thermal barrier (2603.4)	_____ Plastic veneer (2605)
_____ Exterior walls/Roofs (2603.5, 2603.6)	_____ Light-transmitting plastics (2606 - 2611)

BUILDING SERVICES* (Chapters 27, 28, 29, 30)

ELEVATORS AND CONVEYING SYSTEMS (Chapter 30)

_____ Construction standard specified (3001.2)	_____ Hoistway venting (3004)
_____ Hoistway enclosures (3002)	_____ Conveying systems (3005)
_____ Opening protectives (3002.1.1)	_____ Machine rooms (3006)
_____ Emergency operations (3003)	

* Also see Electrical (Ch.27), Mechanical (Ch.28) and Plumbing (Ch.29) Plan Review Records

SPECIAL DEVICES AND CONDITIONS (Chapters 31, 34)

SPECIAL CONSTRUCTION (Chapter 31)

_____ Membrane structures (3102)	_____ PEDESTRIAN WALKWAYS AND TUNNELS (3104)
_____ Awnings and canopies/Marquees (3105, 3106)	_____ Construction and use (3104.3, 3104.4)
_____ Signs (3107)	_____ Separation (3104.5, 3104.10)
_____ Radio and television towers (3108)	_____ Public way (3104.6)
_____ Swimming pool enclosures (3109)	_____ Egress/Ventilation (3104.7 - 3104.9, 3104.11)

EXISTING STRUCTURES (Chapter 34)

_____ Additions, alterations, repairs (3403)	_____ Accessibility (3409)
_____ Fire escapes (3404)	_____ Compliance alternatives (3410)
_____ Change of occupancy (3406)	

BUILDING EVALUATION SUMMARY (Table 3410.7)

Existing occupancy <u>A-1, A-3, B Mixed</u>		Proposed occupancy <u>A-1, A-3, B</u>	
Year building was constructed <u>UK</u>		Number of stories <u>4</u> Height in feet _____	
Type of construction <u>IIA</u>		Area per floor <u>29,239</u>	
Percentage of frontage _____ %		Corridor wall rating <u>1/2</u>	
Completely suppressed:	Yes <input type="checkbox"/> No <u>NO</u>	Required door closers: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Compartmentation:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Fire resistance rating of vertical opening enclosures <u>1 hr</u>			
Type of HVAC system _____	serving number of floors _____		
Automatic fire detection:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	type and location _____	
Fire alarm system:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	type _____	
Smoke control:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	type _____	
Adequate exit routes:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Dead ends: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Maximum exit access travel distance <u>300, 250</u>	Elevator controls: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Means of egress emergency lighting: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Mixed occupancies: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		

Safety parameters	Fire safety (FS)	Means of egress (ME)	General safety (GS)
3410.6.1 Building height	<u>4</u>		
3410.6.2 Building area	<u>29,739</u>		
3410.6.3 Compartmentation			
3410.6.4 Tenant and dwelling unit separations	<input checked="" type="checkbox"/>		
3410.6.5 Corridor walls	<u>1/2</u>		
3410.6.6 Vertical openings	<u>1</u>		
3410.6.7 HVAC systems			
3410.6.8 Automatic fire detection	<input checked="" type="checkbox"/>		
3410.6.9 Fire alarm system	<input checked="" type="checkbox"/>		
3410.6.10 Smoke control	****		
3410.6.11 Means of egress	****		
3410.12 Dead ends	****		
3410.13 Max. exit access travel distance	<u>300</u> **** <u>250</u>		
3410.6.14 Elevator control	<input checked="" type="checkbox"/>		
3410.6.15 Means of egress emergency lighting	<input checked="" type="checkbox"/> ****		
3410.6.16 Mixed occupancies	<u>yes</u>	****	
3410.6.17 Automatic sprinklers	<input checked="" type="checkbox"/> <u>Phase-d</u>	+ 2 =	
3410.6.18 Incidental use area protection			
Building score — total value			

**** No applicable value to be inserted.

BUILDING SAFETY EVALUATION SCORE (Table 3410.9)

Formula	Table 3410.7	Table 3410.8	Score	Pass	Fail
FS-MFS ≥ 0	_____ (FS)	_____ (MFS)	= _____	_____	_____
ME-MME ≥ 0	_____ (ME)	_____ (MME)	= _____	_____	_____
GS-MGS ≥ 0	_____ (GS)	_____ (MGS)	= _____	_____	_____

FS = Fire Safety	MFS = Mandatory Fire Safety
ME = Means of Egress	MME = Mandatory Means of Egress
GS = General Safety	MGS = Mandatory General Safety

APPENDICES A - J

Appendices adopted (101.2.1)

Compliance verified

PHILIP R. SHERMAN, P.E.

FIRE PROTECTION ENGINEERING AND BUILDING CODE CONSULTING


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EMAIL: PSHERMAN@PR Sherman.COM

Date: July 31, 2008
Proj: 1311.01

Scott Simons Architects
75 York Street
Portland, ME 04101

Attention: Mr. Stephen Fraser

Re: Portland Public Library
5 Monument Square
Portland, Maine
Code Summary

 Scott Simons Architects	
Job Name:	PPL
Job No:	2008-0030
Date Rec'd:	07.31.08
File:	
Cc:	IAM McDONALD@ ALLIED
	ETHAN RHILE@ BSE
Consultants:	
Other:	JOB FILE

Dear Mr. Fraser:

This letter will set forth the applicable codes and major code issues to be dealt with during the design of the renovations and additions to the above building. This analysis is based on design development floor plans dated July 11, 2008, a site visit on July 18, 2008 and other miscellaneous information provided to date. This report addresses building, fire and accessibility codes, as identified below.

The project consists of the construction of a two additions to the existing building and partial phased renovations within the existing structure. Code references are in the endnotes.

Applicable Codes

The following codes are expected to apply to this project.

- 2003 International Building Code (IBC)
- 2003 International Mechanical Code
- 2008 National Electrical Code
 - 1999 edition also adopted by City of Portland

General

- Area
 - Footprint area (proposed)..... 29,739 sf
- Height
 - Stories..... four
 - Feet..... to be determined
 - Measured from grade plane (average grade) to highest roof,
 - High rise..... no
- Open frontage to 30 foot clear space..... assume 50%
- Sprinklers..... yes
 - Sprinklers are required throughout the first three floors, regardless of the construction type, as the size of a non-conforming fire area is being increased.¹ If only the first three floors are sprinklered, the building is not considered fully sprinklered.
 - The State Fire Marshal has approved a phased plan for installation of the sprinklers throughout the building, and to consider the building fully sprinklered during the implementation of the early phases, provided the ultimate plan is to sprinkler all areas.
- Project approach
 - The building resulting from the additions is required to comply with area and height limitations.² Using a separated mixed occupancy approach with Group A-1 on the lower floors and Group B on Level 3, sprinklers may or may not be required for area limitations, depending on the current construction type of the building.³ A non-separated mixed occupancy approach is used within the floors.

	Type IB	Type IIA	Type IIB
Base allowable area	Unlimited	15,500 sf	8,500 sf
Open frontage (25% credit for 50% open)	N/A	3,875 sf	2,125 sf
Sprinklers(200%)		31,000 sf	17,000 sf
Allowable footprint area	Unlimited	50,375 sf	27,625 sf

Barriers to Fire and Smoke Spread

- Exterior walls⁶
 - Existing exterior walls may remain.
 - Proposed exterior walls all face a public way and may be unrated (except loadbearing as above) and openings are not limited in size.
- Occupancy separations⁷
 - The existing Level 3 slab acts as an occupancy separation between Group A and Group B spaces.
 - The separation is not required if the building is fully sprinklered
 - The separation is required to be two hour rated, on two hour structural supports to grade, if the building is not fully sprinklered.
- Egress stairs
 - Existing interior egress stairs are required to be one hour rated, with one hour doors. See the code for limitations on penetrations into the stair.⁸
 - The lower atrium stair may not be used as an open egress stair, as the main floor is also open to Level 2.
- Elevator shafts⁹
 - One half hour rated shafts with 20 minute doors.
- Mechanical ducts¹⁰
 - Existing. one half hour shaft
- Vertical openings
 - A three story open stair is proposed to connect the lower level, main level, and Level 2.
 - This lobby is permitted by the building code only as an atrium as follows:¹¹
 - A smoke control system is required.

- Occupant loads have been calculated by the architect, with the following totals:
 - Lower level. 1189
 - Main floor. 561
 - Level 2. 180
 - Level 3. 150

2080

- Multiple exits are required as follows¹³

- From each floor with up to 500 persons. two
- From rooms, spaces or floors with more than 500 persons. three
- As the two main entrance doors to the auditorium lead to the same space, an insufficient number of exits is provided from the auditorium. *
- From rooms, spaces or floors with more than 1000 persons. four
Thus - sprinkler Protection
- An insufficient number of exits is provided from the lower level.
- From rooms or spaces with 50 - 500 persons. two

- Travel distance and common path of travel¹⁴

- Group A
 - Travel distance. 250 feet
 - Common path of travel. 75 feet
- Group B
 - Travel distance. 300 feet
 - Common path of travel (with full sprinklers). 100 feet

- Remoteness of multiple new exits. one third the diagonal distance of the space¹⁵

- The minimum clear width of door openings is 32", with 0.2 inches per person. Projections into the clear width of less than four inches, between 34 and 80 inches above the floor, may be ignored.¹⁶

Alarm and Suppression

- A fire alarm systems is required.²⁰
 - Manual pull stations (not required if building is fully sprinklered)
 - Smoke detection is required for elevator recall, HVAC shutdown and door holder service.
 - Waterflow, tamper and fire pump alarms
 - Voice alarm per IBC 907.2.12.2
 - Visual alarms in all common and public areas, and capability for visual alarms in all sleeping units
 - Connection to reporting station
- Automatic sprinklers are required as discussed above.²¹
 - If the Seismic Design Category is C, D, or E, a secondary on site water supply is required.
 - Consider reviewing information is NFPA 909 for compact storage areas. NFPA 13 sprinklers may not provide sufficient coverage.
- A Class I standpipe system would be required if this were a new structure and will probably be required as a part of the sprinklers above.²²
- Portable fire extinguishers are required²³
- Emergency lighting is required for all exits, corridors, aisles, rooms requiring more than one exit, and the exit discharge.
- Exit signage is required in corridors and spaces requiring multiple exits.

Plumbing Fixtures

- Plumbing fixture factors are per Table 4-1 in the Maine State Internal Plumbing Code. IF the occupant load of the existing areas is not being materially changed, additional fixtures are only required for the new space.
- The plumbing fixture occupant loads are based on the numbers as calculated for egress.

Endnotes

1. IBC 3403.1, NFPA 101 43.8.1.2
2. IBC 3403.1
3. IBC Chapter 5
4. NFPA 101 12.1.6
5. IBC Table 601, NFPA 101 Table A8.2.1.2
6. IBC Table 602, section 704
7. IBC 302.3.2, NFPA 01 Table 6.1.14.4.1(b)
8. NFPA 101 7.1.3.2.1(2)(a)
9. NFPA 101 8.6.5.3
10. IBC 716.6.1
11. IBC 404
12. IBC 1004.1, NFPA 101 7.3.1.2
13. IBC 1014.1, 1018.1, NFPA 101 7.4.1.2
14. IBC 1015, 1013.3
15. IBC 1015.2.1
16. IBC 1005.1, 1008.1.1, NFPA 101 7.2.1.2.4, 7.3.3.1
17. IBC 1005., 1009.1 NFPA 101 7.2.2.2.1, 7.3.3.1
18. IBC 1007, ADAAG
19. IBC 803.5
20. IBC 907.2.1
21. IBC 403.2
22. IBC 905.3
23. NFPA 1 13.6.1.2
24. MSIPC 413.2.1
25. MSIPC 413.3