

Form # P-04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read Application And Notes, If Any, Attached

**BUILDING INSPECTION PERMIT**

PERMIT ISSUED  
Permit Number: 100241  
MAY 11 2010  
CITY OF PORTLAND

This is to certify that 25 PREBLE STREET LLC / Wright Ryan Construction, Inc

has permission to amendment permit #090180 - revise floor plan

AT 320 CUMBERLAND AVE

CBL 027 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

[Signature] 5/10/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0241	Issue Date:	CBL: 027 A001001
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Location of Construction: 320 CUMBERLAND AVE	Owner Name: 25 PREBLE STREET LLC	Owner Address: 280 FORE ST STE 301	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone 2077733625
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B-3

Past Use: Commercial Office / Cafe- "Power Pay"	Proposed Use: Commercial Office / Cafe- "Power Pay" - amendment permit #090180 - revise floor plan	Permit Fee: \$3,770.00	Cost of Work: \$375,000.00	CEO District: 1
Proposed Project Description: amendment permit #090180 - revise floor plan		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group B/M(b) Type ZB IBL-2003 Signature: MBS 5/10/10	

Signature: <i>KG</i>	Signature: <i>MBS 5/10/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature	Date:

Permit Taken By: Idobson	Date Applied For: 03/12/2010	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Docs Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>4/9/10</i>	Date:	Date:



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0241	Date Applied For: 03/12/2010	CBL: 027 A001001
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Location of Construction: 320 CUMBERLAND AVE	Owner Name: 25 PREBLE STREET LLC	Owner Address: 280 FORE ST STE 301	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone (207) 773-3625
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commercial Office / Cafe- "Power Pay" - amendment permit #090180 - revise floor plan	Proposed Project Description: amendment permit #090180 - revise floor plan
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Marge Schmuckal      Approval Date: 04/09/2010

Note: Ok to Issue:

- 1) The cafe shall have its own certificate of occupancy prior to its use.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 05/10/2010

Note: Ok to Issue:

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) All previous conditions apply from permit #090180
- 3) Approval of City license is subject to health inspections per the Food Code.
- 4) New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes

Dept: Fire      Status: Approved      Reviewer: Capt Keith Gautreau      Approval Date: 04/09/2010

Note: Ok to Issue:

**Comments:**

4/9/2010-ldobson: Held for more information, sent copy of original building permit. NO PDF Made several attempts both e-mail and in person to resolve problem moving on. LJD

4/9/2010-mes: There should be a charge for the change of use and a separate certificate of occupancy for the cafe.

5/1/2010-jmb: Received revisions from Steve W.

5/4/2010-jmb: Left a vmsg for Steve W. For architectural construction drawings.

5/10/2010-jmb: Received drawings via mail, spoke to Steve about the detail at the nosing as it appears to extend a lip, he confirmed the stairs will be wrapped in vinyl, ok to issue.

4/28/2010-jmb: Spoke to Tom B. For construction drawings for proposed changes, he will contact Steve W. To call me.





**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

**Original Receipt**

3.12 20 10

Received from Stephen Goodrich

Location of Work 320 Cumberland

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \$3,770

Building (1L) \_\_\_\_\_ Plumbing (1S) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (12) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 27A1

Check #: 6378 Total Collected \$ 3,770

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**APPLICATION AMMENDMENT FOR CONSTRUCTION CHANGES**  
**General Building Permit Application**



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>320 Cumberland Avenue</u>		
Total Square Footage of Proposed Structure/Area Exist'g <u>33,333</u> S.F. / Proposed <u>46,451</u> S.F.		Square Footage of Lot <u>47,647</u> S.F. (1.0938 Acres)
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>027</u> <u>027</u> <u>A001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Stephen Goodrich, c/o</u> <u>Portland Public Market, LLC</u> Address <u>280 Fore St., Suite 301</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207-450-2420</u>
Lessee/DBA (If Applicable)  <u>PowerPay</u>	Owner (if different from Applicant) Name <u>SAME AS APPLICANT</u> Address _____ City, State & Zip _____	Cost Of Work: \$ <u>3,725,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>37,365</u>
Current legal use (i.e. single family) <u>VACANT</u> If vacant, what was the previous use? <u>Public Market &amp; Restaurant</u> Proposed Specific use: <u>Office Use (Business) &amp; Cafe (Mercantile)</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Renovations to the former Portland Public Market Building to add approximately 13,118 of new second floor within the building; complete reconfiguration of interior; installation of new mechanical &amp; electrical systems; addition of skylights and windows; modification of the corner entrance at Preble &amp; Cumberland</u>		
Contractor's name: <u>Wright Ryan Construction, Inc.</u> Address: <u>10 Danforth Street</u> City, State & Zip: <u>Portland, ME 04101</u> Telephone: <u>773-3625</u> Who should we contact when the permit is ready: <u>Tom Burrill, Project Manager</u> Telephone: <u>756-2542</u> Mailing address: <u>10 Danforth Street, Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: February 15, 2010

This is not a permit; you may not commence ANY work until the permit is issued.

**RECEIVED**  
MAR 12 2010  
Dept. of Building Inspections  
City of Portland Maine



Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

February 15, 2010

Ms. Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Building Permit #090180 – PowerPay Offices, Renovations to the former Portland Public Market building.

Dear Jeanie,

I am writing to address design changes that have occurred during construction of the PowerPay project at the former Portland Public Market. As you may recall, I met with you and Captain Gautreau to review layout changes a few months back as I wanted to be sure that they were acceptable prior to releasing them for construction.

Attached are revised floor plans showing layout changes with red clouds along with a list of notes providing a written description of each change. In addition, I have enclosed revised Code Plans showing egress paths, rated walls, fire extinguishers, exit sign locations, etc. and a revised building permit application with changes identified with red boxes.

Also, as indicated on the application, the construction cost has increased since the original submission. I modified the permit to reflect the revised total fee owed the City but as the original fee has already been paid, the City is only owed the portion of the fee attributable to the construction cost increase as described:

Original Cost: \$3,350,000 (base construction excluding demolition, mechanical, sprinklers, fire alarm)  
Current Cost: \$3,725,000

Difference: \$375,000 additional construction cost.

Additional fee owed City: \$3,770 ( \$30 per first \$1,000 + \$10 per ea. Additional \$1,000)

The original permit was issued with conditions that I believe have been or will be met as the project comes to completion. Below is a summary of conditions and their status:

ZONING DEPT. CONDITIONS:

1. *Separate permits for signage required.* Owner will submit any proposed signage to the Planning Board for review as required by the zoning ordinance. No signage has been planned at this time.
2. *Approval based on plans submitted.* No changes have occurred on the exterior or the site.

3. *The Pedestrian Encouragement Area overlay along Preble St. may restrict any proposed reductions in glass area or blocking up of glass.* Neither the original design or the changes during construction have resulted in any changes to the existing glass areas facing Preble Street.

#### BUILDING DEPT. CONDITIONS:

1. *The updated, signed, and sealed Statement of Special Inspections shall be submitted.* The revised Statement of Special Inspections has been submitted to the City as requested.
2. *Separate permits are required for electrical, plumbing, sprinkler, fire alarm, and HVAC systems.* Understood. Permits have been obtained as required during construction by the contractor.
3. *Application approval based on information provided by the applicant. Any deviations require review and approval.* This submittal is being submitted to document changes made to the original submission design during construction.

#### FIRE DEPT. CONDITIONS:

1. *Emergency Lights to be tested at the electrical panel.* Understood.
2. *System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Dept.*
3. *The sprinkler system shall be installed per NFPA 13.* Understood.
4. *All construction shall comply with NFPA 101.* Understood.
5. *Installation of a Knox Box required.* Existing Knox Box was left at original location at an exit door on the back side of the building. The location was reviewed with the PFD on site.
6. *The fire alarm system shall comply with NFPA 72. A compliance letter is required.* Understood.
7. *Any cutting or welding operations require a separate permit from the PFD.* Understood. The contractor has requested permits for such work as required during the construction period.
8. *The fire alarm and sprinkler systems shall be reviewed by a licensed contractor for code compliance. Compliance letters are required.* Understood.
9. *Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.* Requirement Met.
10. *Emergency lights and exit signs are required.* Requirement Met.
11. *All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike labeled "FIRE ALARM RECORDS".* Understood.
12. *Fire extinguishers required. Installation per NFPA 10.* Requirement Met.
13. *Sprinkler protection shall be maintained. If system is shut down for maintenance or repair, it shall be checked at the end of each day to insure the system is back on line.* Understood.



14. *Fire Alarm system shall be maintained. If system is to be off line over 4 hours, a fire watch shall be in place. Dispatch notification is required. Understood.*
15. *A separate Fire Alarm System Permit is required per PFD. Requirement Met.*
16. *A separate Sprinkler System Permit is required per PFD. Requirement Met.*
17. *Fire alarm system requires a Masterbox connection per City ordinance. Understood.*

In addition to the layout changes described on the attached plans, the owner is seeking a waiver from the Portland Fire Dept. to allow the use of a chemical based extinguishing system in lieu of an NFPA 13 water sprinkler system for the computer server room. I will be forwarding this request directly to Captain Gautreau along with documentation on the type of system proposed.

Please let me know if I can be of further assistance or I can provide any additional information to facilitate your review of this amended Building Permit application package.

Regards,

A handwritten signature in black ink, appearing to read "Steve Weatherhead". The signature is fluid and cursive, with the first name "Steve" and last name "Weatherhead" clearly distinguishable.

Steve Weatherhead, Senior Associate  
Winton Scott Architects

Cc: Captain Gautreau, Fire Prevention Bureau,  
Portland Fire Department.



# Certificate of Design Application

From Designer: Stephen Weatherhead, Project Architect- Winton Scott Architects  
 Date: April 3, 2009  
 Job Name: PowerPay Offices- Renovations to the Portland Public Market  
 Address of Construction: 320 Cumberland Avenue

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 Use Group Classification (s) Business (B) / Mercantile (M)

Type of Construction Type IIB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) Report done in 1997 when orig. Bldg. was constructed.

### Structural Design Calculations

Completed Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown
<u>Offices</u>	<u>50 PSF + 20 PSF Partition</u>
<u>Corridors abv. 1st flr.</u>	<u>80 PSF</u>
<u>Stairs</u>	<u>100 PSF</u>
<u>Meeting Rms.</u>	<u>100 PSF</u>
<u>Storage</u>	<u>125 PSF</u>

### Wind loads (1603.1.4, 1609)

<u>N/A</u>	Design option utilized (1609.1.1, 1609.6)
<u>N/A</u>	Basic wind speed (1809.3)
<u>N/A</u>	Building category and wind importance Factor, $I_w$ (table 1604.5, 1609.5)
<u>N/A</u>	Wind exposure category (1609.4)
<u>N/A</u>	Internal pressure coefficient (ASCE 7)
<u>N/A</u>	Component and cladding pressures (1609.1.1, 1609.6.2.2)
<u>N/A</u>	Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

<u>Equiv. Force</u>	Design option utilized (1614.1) (Seismic Upgrade Not Req'd to Exist. Bldg.)
<u>I</u>	Seismic use group ("Category")
<u>.371, .160</u>	Spectral response coefficients, $S_D$ & $S_1$ (1615.1)
<u>D</u>	Site class (1615.1.5)

<u>.7@ int. col.</u>	Live load reduction
<u>.87@ edge col.</u>	Live load reduction
<u>18 PSF</u>	Roof live loads (1603.1.2, 1607.11)
<u>46.2 PSF+ Drift</u>	Roof snow loads (1603.7.3, 1608)
<u>60 PSF</u>	Ground snow load, $P_g$ (1608.2)
<u>46.2 PSF+ Drift</u>	If $P_g > 10$ psf, flat-roof snow load $P_f$
<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, $C_e$
<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, $I_s$
<u>1.1</u>	Roof thermal factor, $C_t$ (1608.4)
<u>46.2 PSF+ Drift</u>	Sloped roof snowload, $P_s$ (1608.4)
<u>C</u>	Seismic design category (1616.3)
<u>OMF</u>	Basic seismic force resisting system (1617.6.2)
<u>3.0</u>	Response modification coefficient, $R$ and deflection amplification factor $C_d$ (1617.6.2)
<u>Equiv. Force</u>	Analysis procedure (1616.6, 1617.5)
<u>60K</u>	Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

<u>N/A</u>	Flood Hazard area (1612.3)
<u>N/A</u>	Elevation of structure

### Other loads

<u>N/A</u>	Concentrated loads (1607.4)
<u>20 PSF</u>	Partition loads (1607.5)
<u>N/A</u>	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)





# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- See attached  Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

**Fire Department requirements.**

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**





# Accessibility Building Code Certificate

Designer: WINTON SCOTT ARCHITECTS

Address of Project: 5 MILK STREET, PORTLAND, ME 04101

Nature of Project: INTERIOR RENOVATION ADDING 13,118 S.F. OF NEW SECOND FLOOR SPACE, COMPLETE RE-DESIGN OF INTERIOR LAYOUT; NEW MECHANICAL & ELECTRICAL SYSTEMS; NEW FIRE PROTECTION, SMOKE AND ALARM SYSTEMS. NEW EXTERIOR WINDOWS AND SKYLIGHTS.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: *Ad. Walsh*

Title: ASSOCIATE

Firm: WINTON SCOTT ARCHITECTS

Address: 5 MILK STREET

PORTLAND, ME 04101

Phone: 774-4811 EXT. 3#

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

Date:

February 15, 2010

From:

WINTON SCOTT ARCHITECTS, 5 MILK ST., PORTLAND, ME 04101

These plans and / or specifications covering construction work on:

POWERPAY OFFICES- RENOVATIONS TO THE FORMER PORTLAND PUBLIC MARKET, 320 CUMBERLAND AVE

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature:

Title:

ASSOCIATE

Firm:

WINTON SCOTT ARCHITECTS

Address:

5 MILK STREET

PORTLAND, ME 04101

Phone:

774-4811 EXT. 3#

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



## BUILDING R-VALUES

Power Pay - 0837  
January 15, 2009

Outside = -10  
Inside = 72

ROOF:	"R" VALUE	"U" VALUE	TEMPERATURE SCALE	
Top (outside) surface	0.170	5.882	0.170	-9.572
Metal roof	0.000	0.000	0.000	-9.572
6" Rigid insulation	30.000	0.033	30.000	65.911
2 x 6 Deck	1.800	0.556	1.800	70.440
Bottom (inside) surface	0.620	1.613	0.620	72.000
<b>Total "R" factor</b>	<b>32.590</b>	<b>0.031</b>	<b>32.590</b>	2.516

WALLS TYPE 1:	"R" VALUE	"U" VALUE	TEMPERATURE SCALE	
Outside surface	0.170	5.882	0.170	-8.947
4" Brick	0.610	1.639	0.610	-5.170
Air space	0.000	0.000	0.000	-5.170
2" Rigid insulation	10.000	0.100	10.000	56.749
26" Concrete	0.610	1.639	0.610	60.526
Air space	0.610	1.639	0.610	64.303
5/8" Gypsum board	0.563	1.776	0.563	67.789
Inside surface	0.680	1.471	0.680	72.000
<b>Total "R" factor</b>	<b>13.243</b>	<b>0.076</b>	<b>13.243</b>	6.192

WALLS TYPE 2:	"R" VALUE	"U" VALUE	TEMPERATURE SCALE	
Outside surface	0.170	5.882	0.170	-8.606
4" Brick	0.610	1.639	0.610	-3.603
Air space	0.000	0.000	0.000	-3.603
1/2" Plywood	0.625	1.600	0.625	1.523
5.1/2" Fiberglass insulation*	7.350	0.136	7.350	61.805
5/8" Gypsum board	0.563	1.776	0.563	66.423
Inside surface	0.680	1.471	0.680	72.000
<b>Total "R" factor</b>	<b>9.998</b>	<b>0.100</b>	<b>9.998</b>	8.202

<b>WALLS TYPE 3:</b>	<b>"R" VALUE</b>	<b>"U" VALUE</b>	<b>TEMPERATURE SCALE</b>	
Outside surface	0.170	5.882	0.170	-8.515
Metal siding	0.000	0.000	0.000	-8.515
Air space	0.000	0.000	0.000	-8.515
1/2" Plywood	0.625	1.600	0.625	-3.056
5.1/2" Fiberglass insulation*	7.350	0.136	7.350	61.143
5/8" Gypsum board	0.563	1.776	0.563	66.061
Inside surface	0.680	1.471	0.680	72.000
<b>Total "R" factor</b>	<b>9.388</b>	<b>0.107</b>	<b>9.388</b>	8.735

<b>EXPOSED FLOORS:</b>	<b>"R" VALUE</b>	<b>"U" VALUE</b>	<b>TEMPERATURE SCALE</b>	
Top surface	0.620	1.613	0.620	-8.183
3.1/2" Concrete	0.280	3.571	0.280	-7.363
Air space	0.000	0.000	0.000	-7.363
12" Fiberglass batts	19.000	0.053	19.000	48.314
Air space	7.350	0.136	7.350	69.852
5/8" Gypsum board	0.563	1.776	0.563	71.502
Bottom surface	0.170	5.882	0.170	72.000
<b>Total "R" factor</b>	<b>27.983</b>	<b>0.036</b>	<b>27.983</b>	2.930

<b>GLASS:</b>	<b>"R" VALUE</b>	<b>"U" VALUE</b>
<b>Thermopane - 1/4" space</b>	<b>1.818</b>	<b>0.550</b>

\* R-value adjusted for steel studs

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

April 29, 2010

Ms. Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Building Permit #090180 – PowerPay Offices, Renovations to the former Portland Public Market building.

Dear Jeanie,

In response to our telephone conversation the other day, I am enclosing additional drawings to add to the project file and augment the package I sent you in March addressing the design changes that have occurred during construction.

The original package I sent included updated architectural plans and fire egress plans showing all of the layout changes as well as a written response to each of the conditions of approval that were a part of the original building permit that was issued. Included here are all of the construction drawings that were used during construction to implement the various changes.

In the case of structural, changes were handled with 8.5 x 11 sketches that are in addition to the original structural construction drawings. The mechanical, plumbing, and electrical changes were incorporated into the original drawings and reissued so the attached drawings supercede the original construction drawings that were submitted.

I hope this additional information makes your project file complete. If there is any additional information you require, please let me know as soon as possible as we are fast approaching the Owner's hoped for move in date of May 14<sup>th</sup>.

Best Regards,

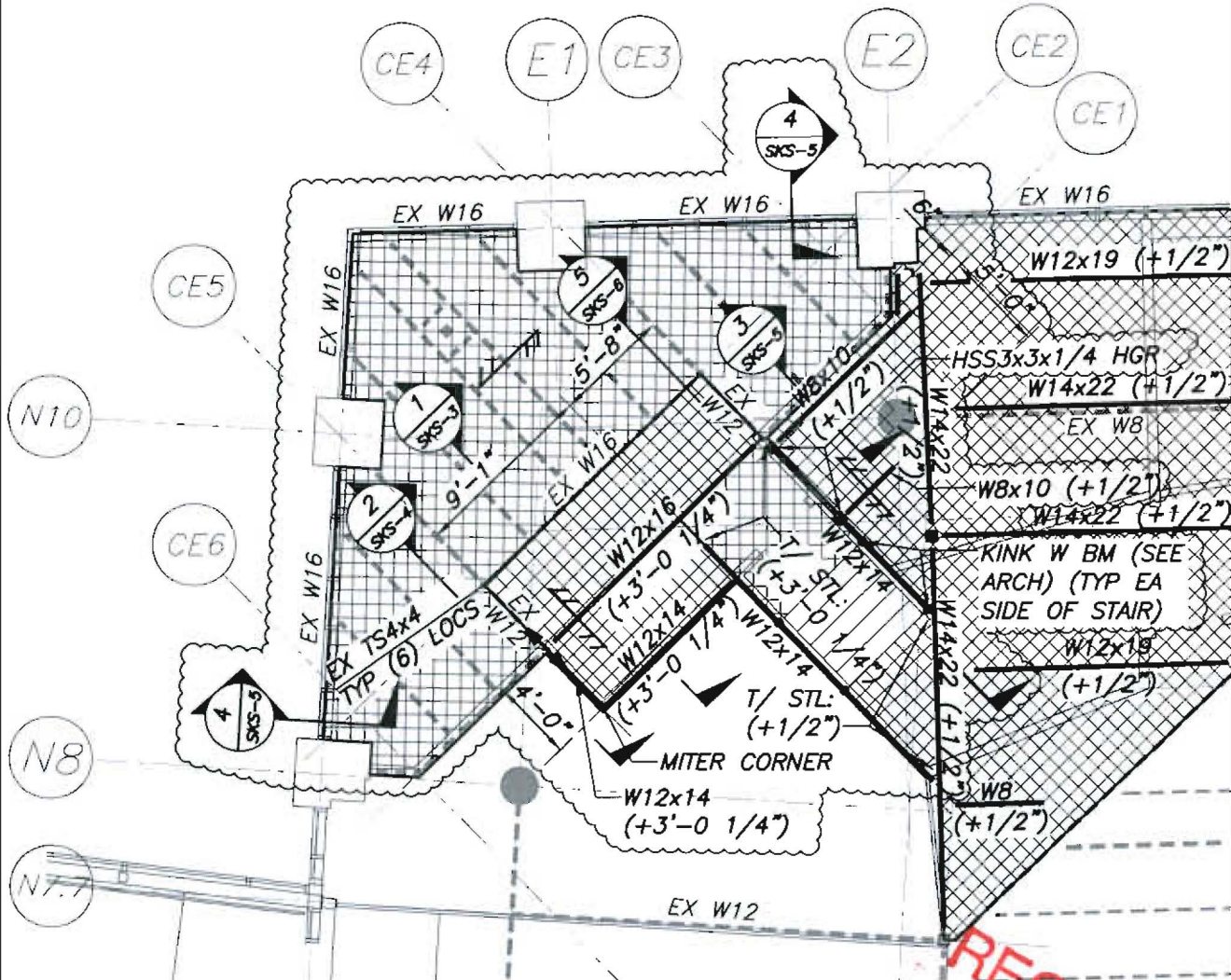


Steve Weatherhead, Associate  
Winton Scott Architects

RECEIVED  
MAY - 1 2010  
Dept. of Building Inspections  
City of Portland Maine  
(Apr 30, 2010)  
JMB



NOTE: EXISTING FRAMING SHOWN ON PLAN IS FROM STRUCT DRAWINGS FOR ORIGINAL BUILDING. G/C SHALL FIELD VERIFY EXISTING FRAMING & NOTIFY ARCH & STRUCT ENGINEER IF ANY DISCREPANCIES PRIOR TO CONSTRUCTION



**PARTIAL MEZZANINE LEVEL  
FRAMING PLAN**

1/8" = 1'-0"

REF: S1.2 FOR PLAN NOTES  
AND ADDL INFORMATION

**RECEIVED**  
MAY - 1 2010

*April 30, 2010 gmb*  
Dept. of Building Inspections  
City of Portland Maine

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Portland, ME 04101-4701  
info@beckerstructural.com

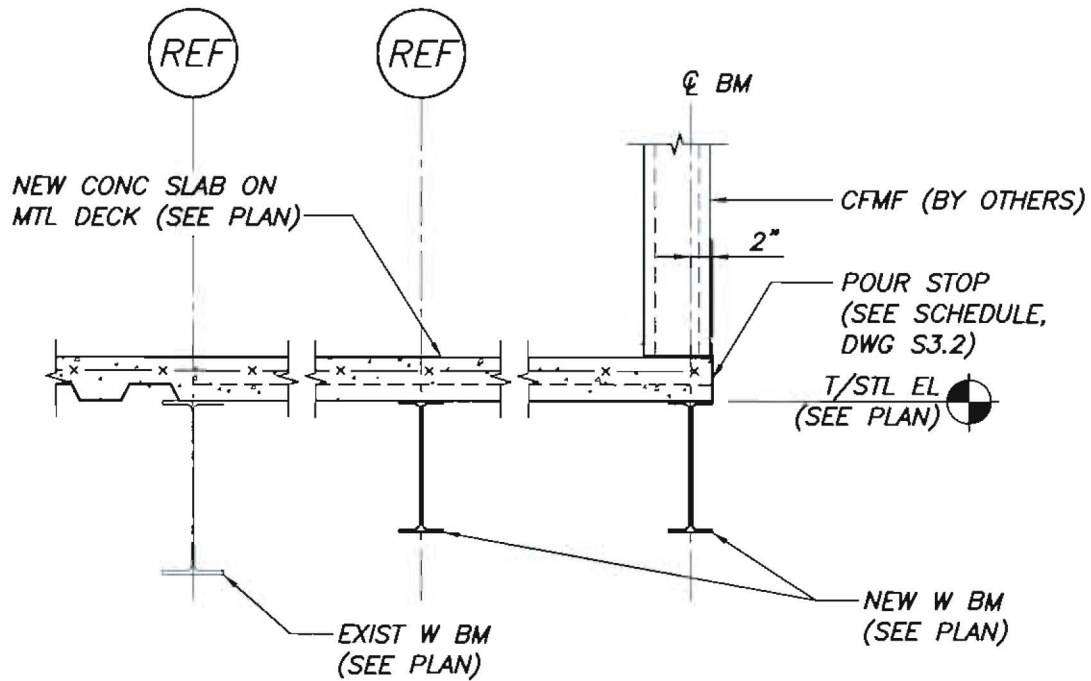
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Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	4/16/09

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PORTLAND, ME

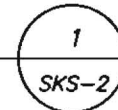
Becker Job Number  
2036

SKS-2



SECTION

$3/4" = 1'-0"$



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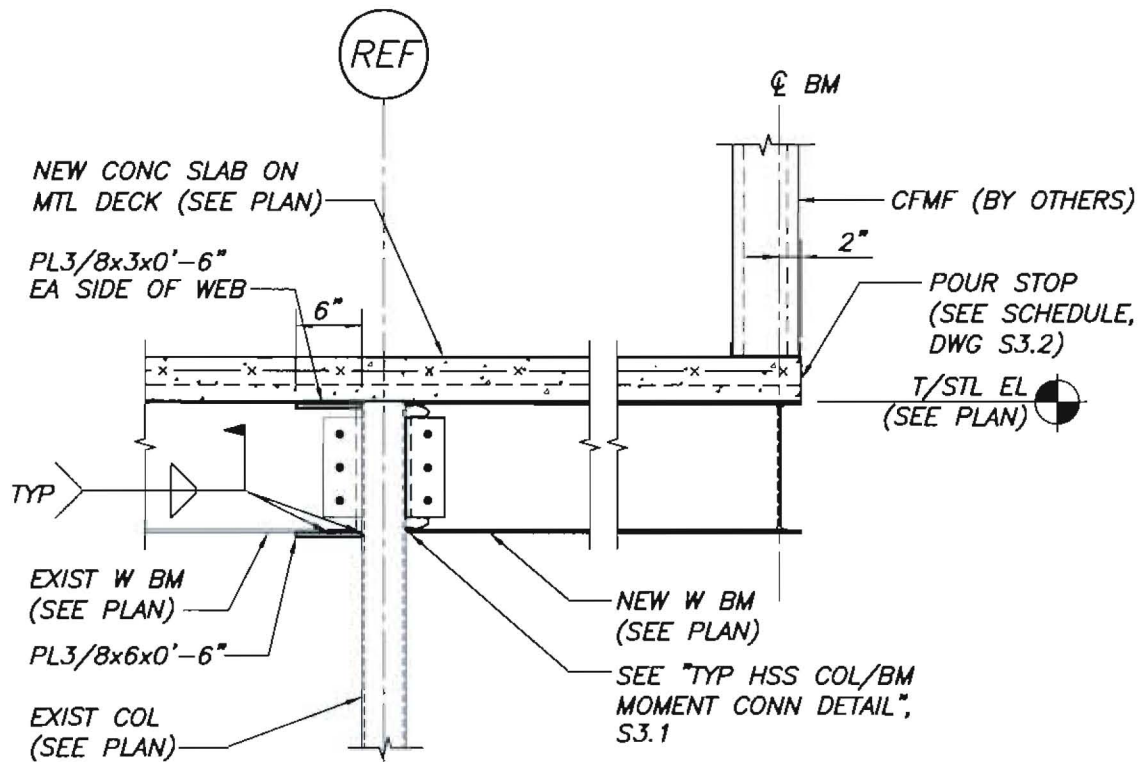
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Checked	PBB
Scale	AS NOTED
Date	4/16/09

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PORTLAND, ME

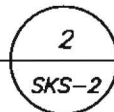
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2036

SKS-3



SECTION

3/4"=1'-0"



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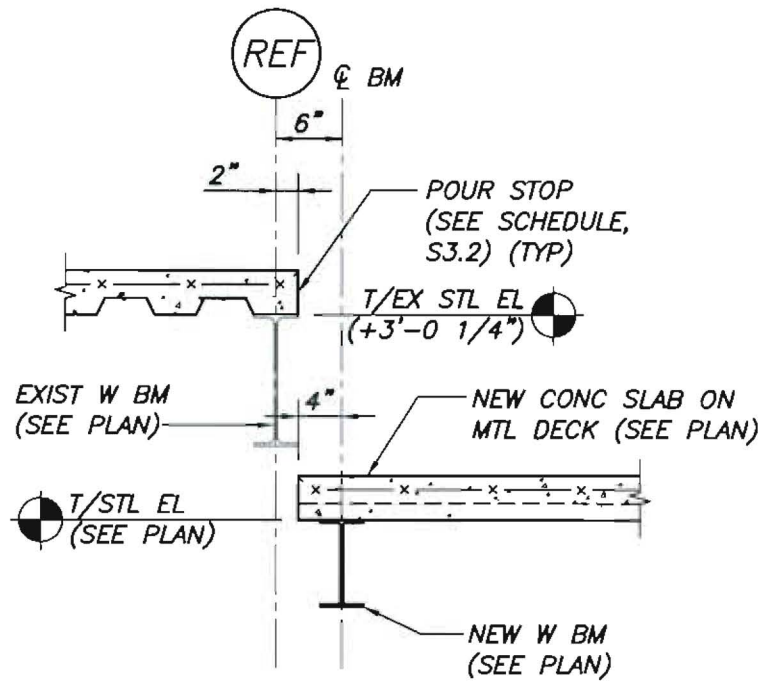
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Date	4/16/09

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PORTLAND, ME

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SKS-4



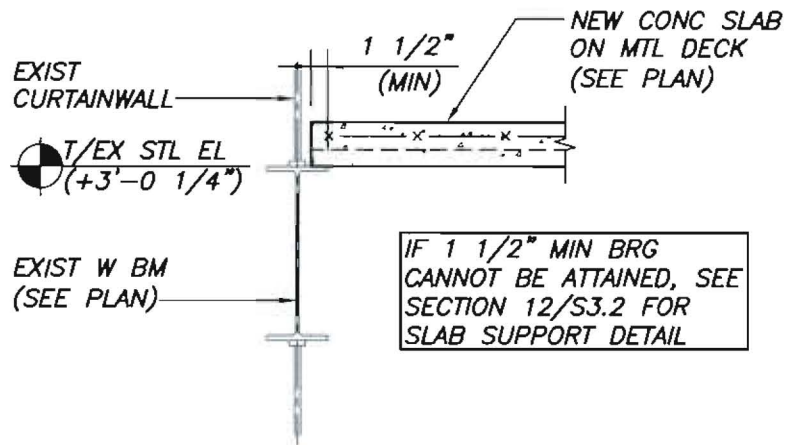


SECTION

3/4"=1'-0"

3

SKS-2



SECTION

3/4"=1'-0"

4

SKS-2

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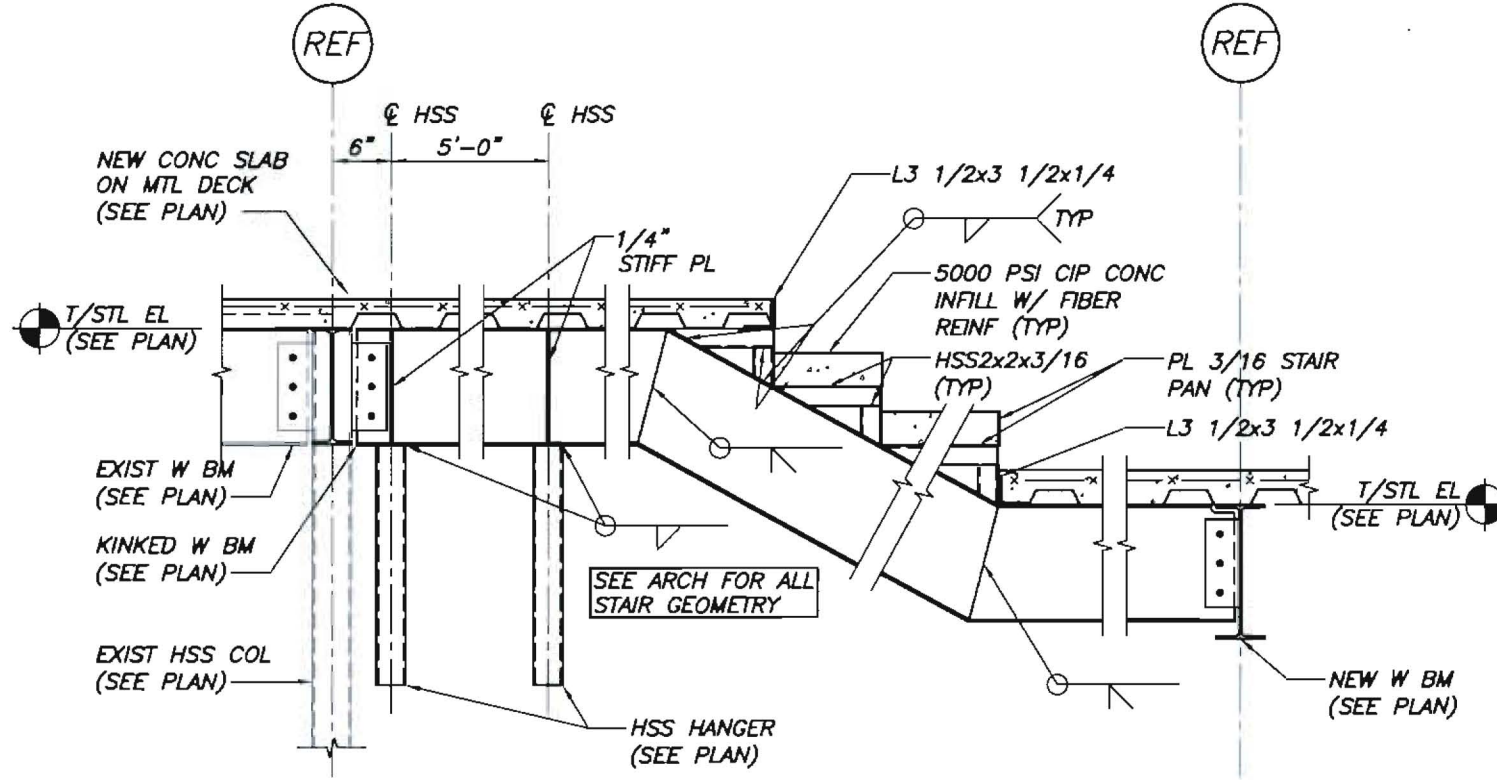
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Drawn **CHF**  
Checked **PBB**  
Scale **AS NOTED**  
Date **4/16/09**

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PORTLAND, ME

Becker Job Number  
**2036**

**SKS-5**



SECTION

3/4" = 1'-0"

5  
SKS-2

Becker Job Number  
2036

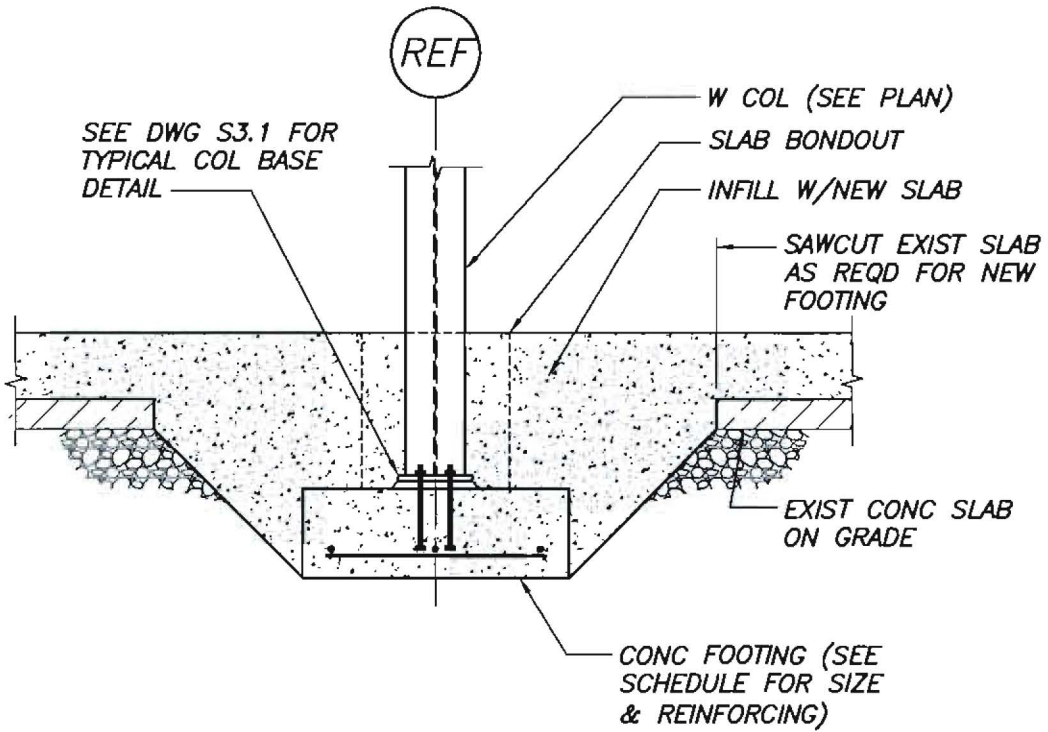
SKS-6

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PORTLAND, ME

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Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	4/16/09

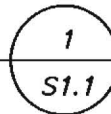
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SECTION

1/2" = 1'-0"



REFERENCE DWG S2.1

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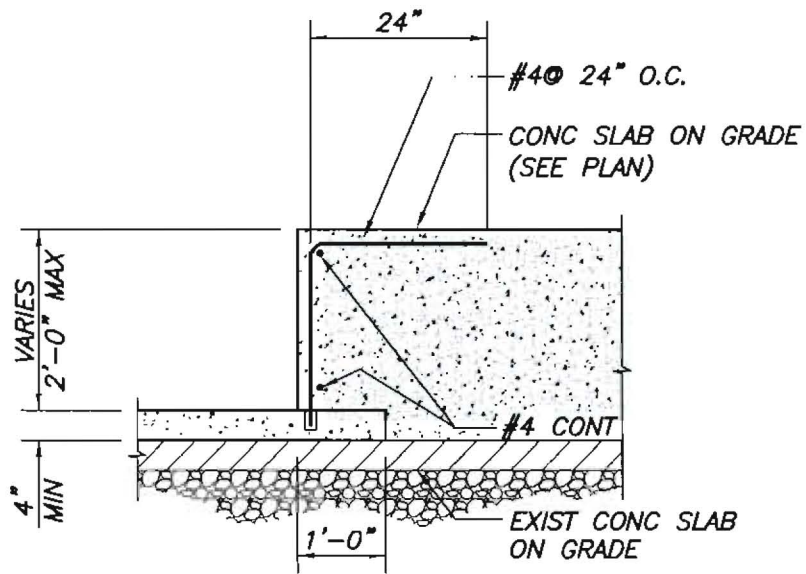
Designed	NRM
Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	6/3/09

POWERPAY OFFICE  
PORTLAND, ME

Becker Job Number  
2036

SKS-7





TYP DROPPED SLAB DETAIL  
N.T.S.

REFERENCE DWG S2.1

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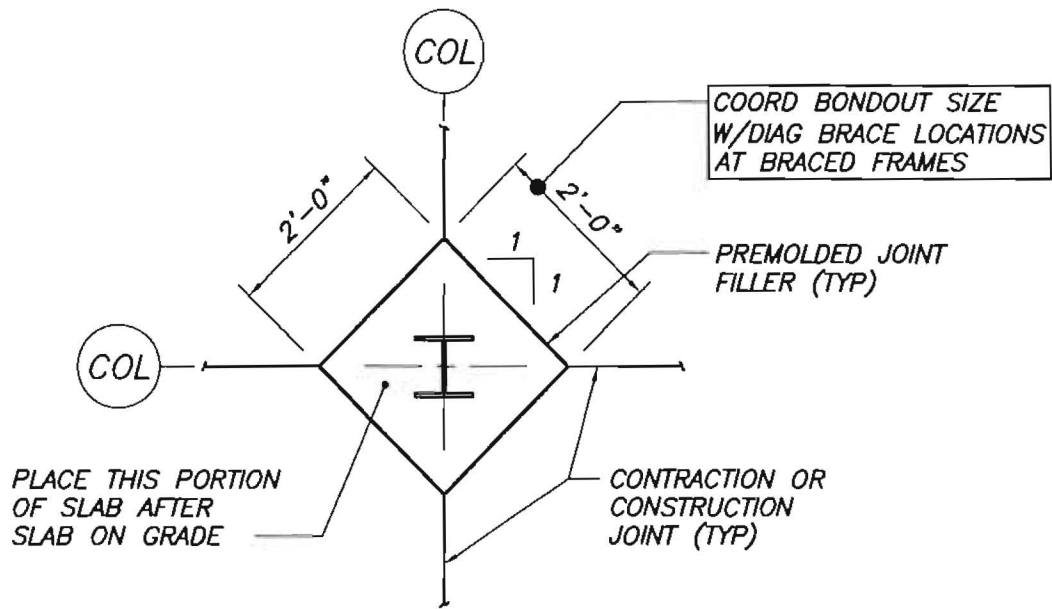
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Scale	AS NOTED
Date	6/3/09

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2036

SKS-8



TYP INT COLUMN ISOLATION  
JOINT DETAIL  
 N.T.S.

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Scale	AS NOTED
Date	6/3/09

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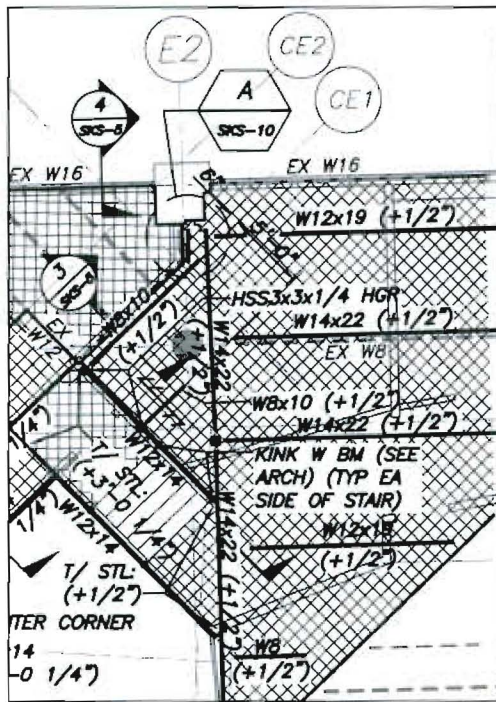
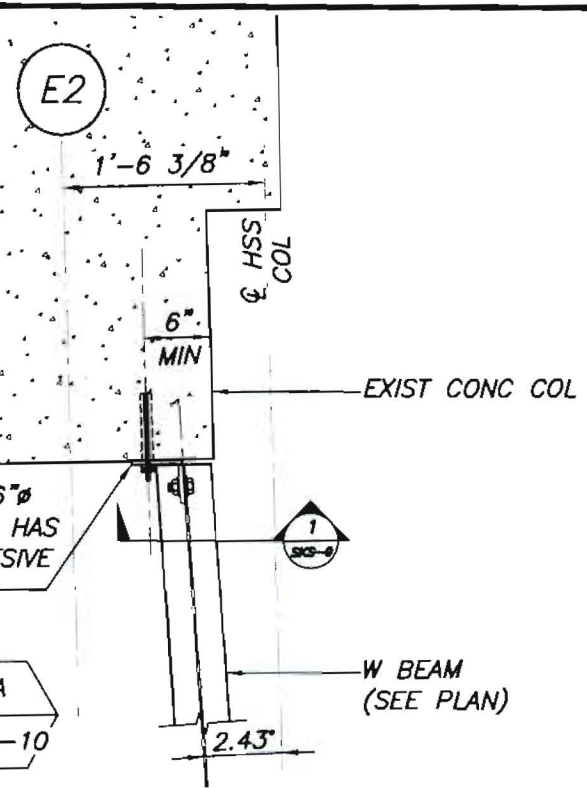
SKS-9

NOTE: SURROUNDING BEAMS NOT SHOWN FOR CLARITY

3/8" BENT PL W/(3)13/16" HOLES FOR (3)3/4" HILTI HAS RODS W/HIT-RE 500 ADHESIVE (6 3/4" EMBED MIN)

DETAIL  
3/4" = 1'-0"

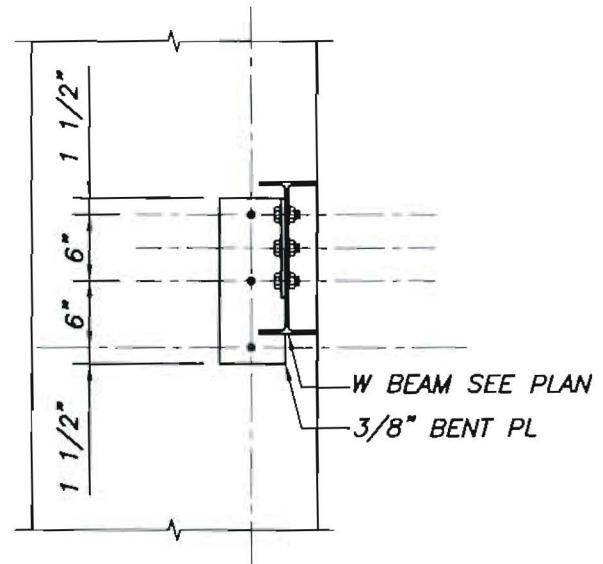
A  
SKS-10



REFERENCE DWG S1.2

SECTION  
3/4" = 1'-0"

1  
SKS-10



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Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	6/3/09

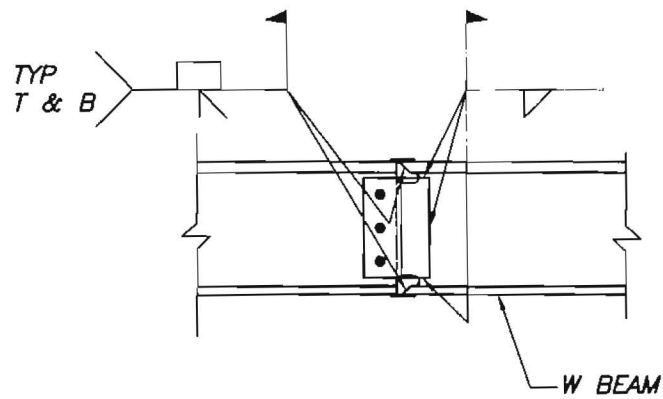
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2036

SKS-10







**NOTE: SPLICE SHALL OCCUR WITHIN MID 1/3 OF OVERALL BM SPAN. INSTALL BM SUCH THAT TOP FLANGE IS SNUG TO UNDERSIDE OF FLOOR DECK, TYP.**

TYP W-BM FIELD SPLICE  
N.T.S.

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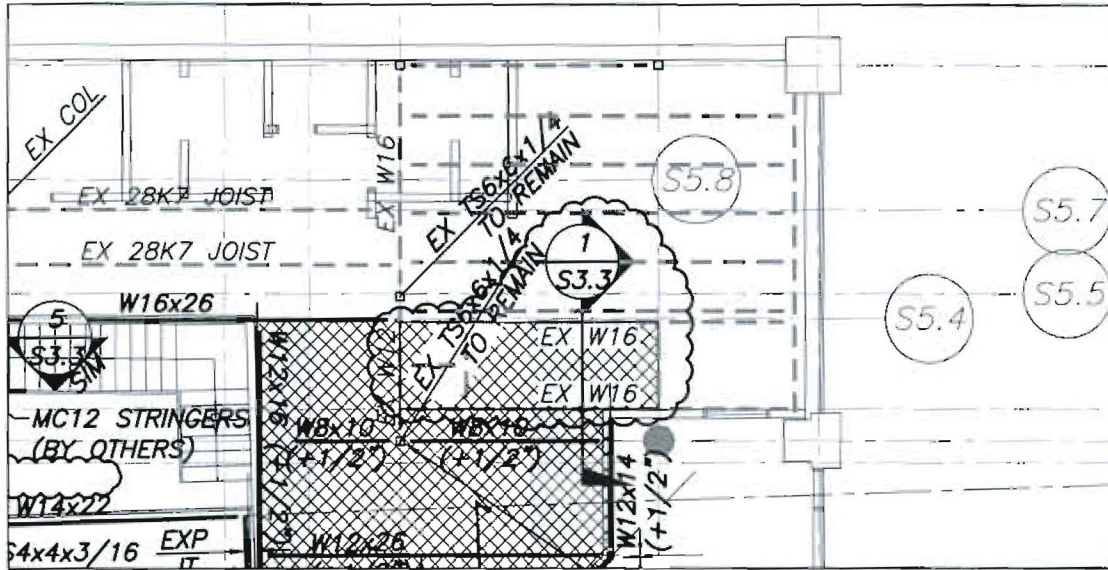
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Designed	NRM
Drawn	CHF
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Scale	AS NOTED
Date	6/15/09

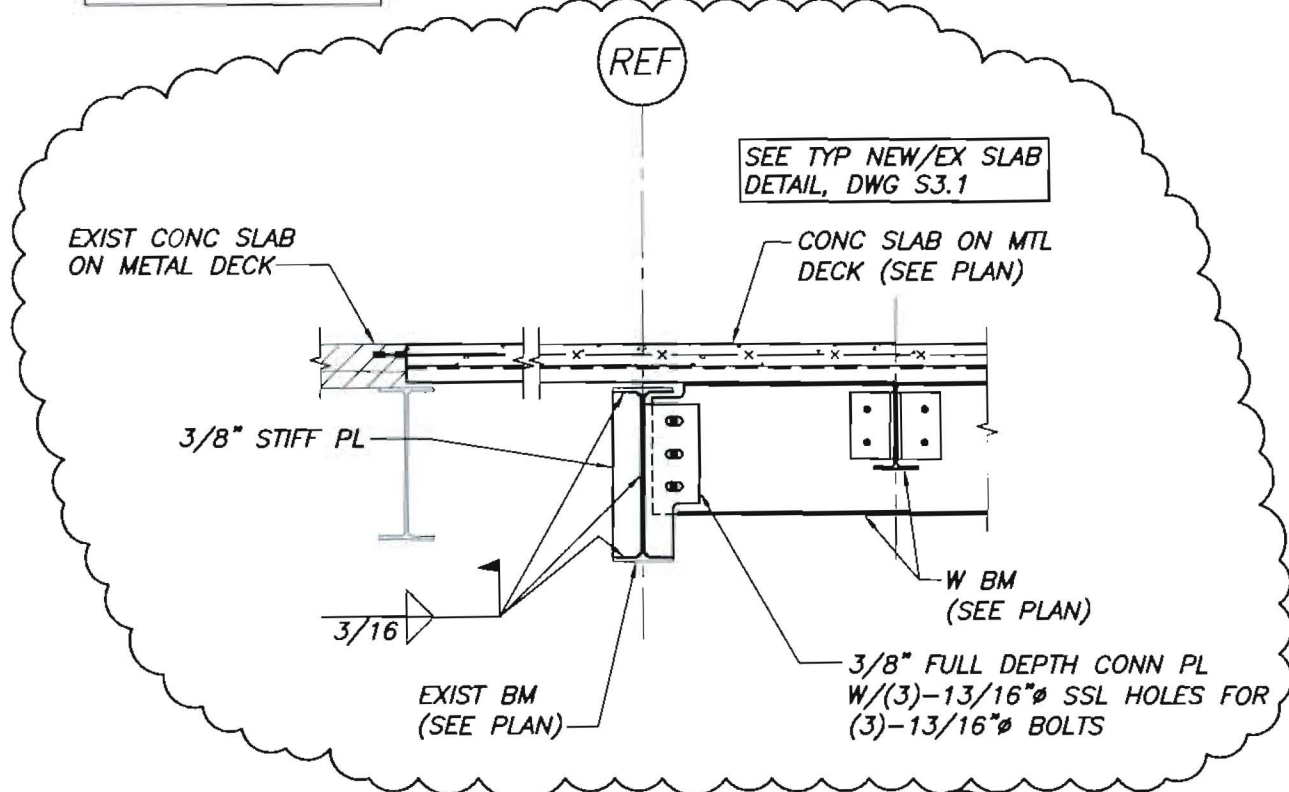
POWERPAY OFFICE  
PORTLAND, ME

Becker Job Number  
2036

SKS-12



REFERENCE DWG S1.2



REFERENCE DWG S3.3

SECTION  
3/4"=1'-0"

1  
S1.2

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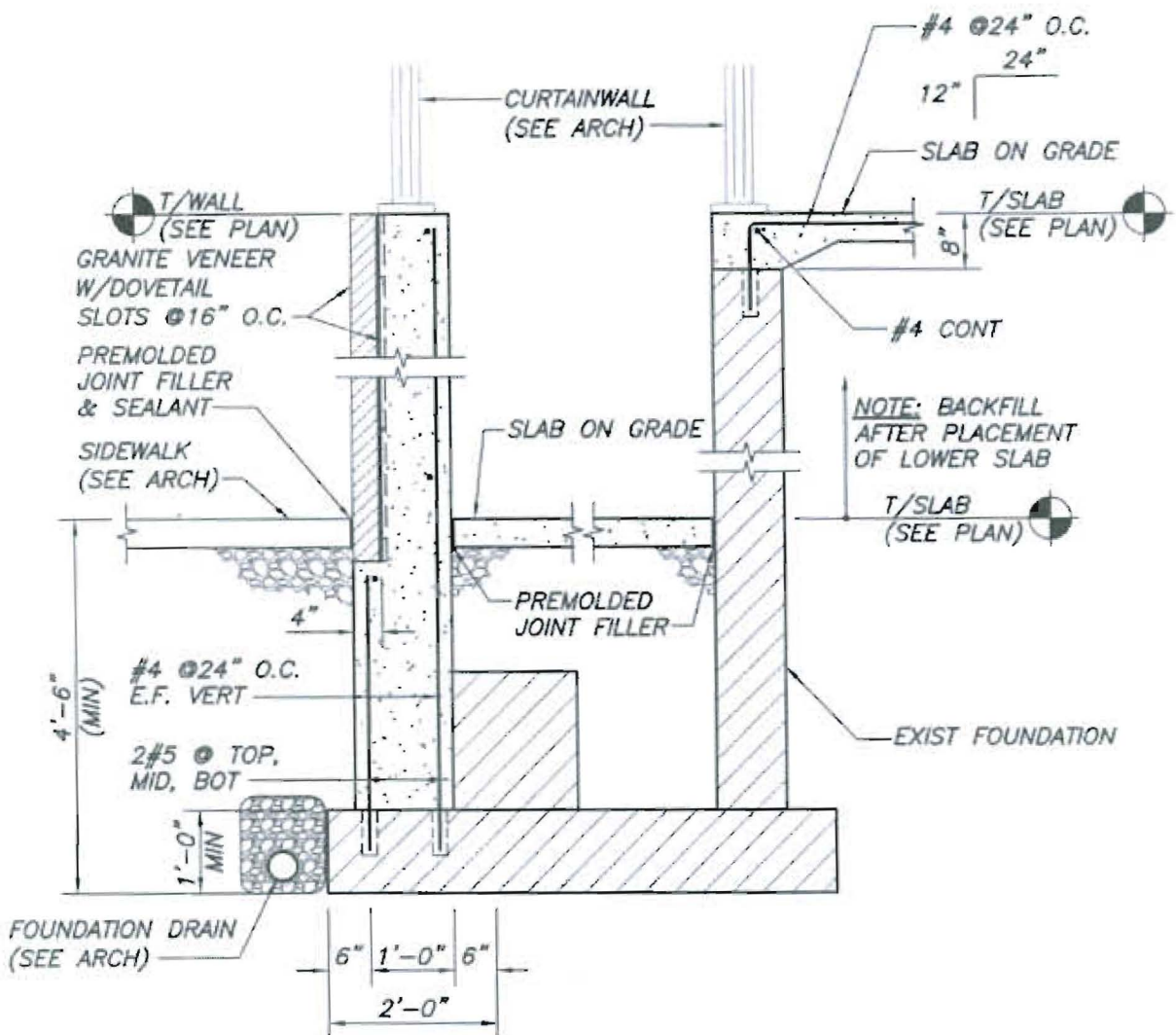
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Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	6/16/09

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2036

SKS-13





SECTION

1/2" = 1'-0"

2  
S1.1

REFERENCE DWG S2.1

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Scale AS NOTED  
Date 7/13/09

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2036

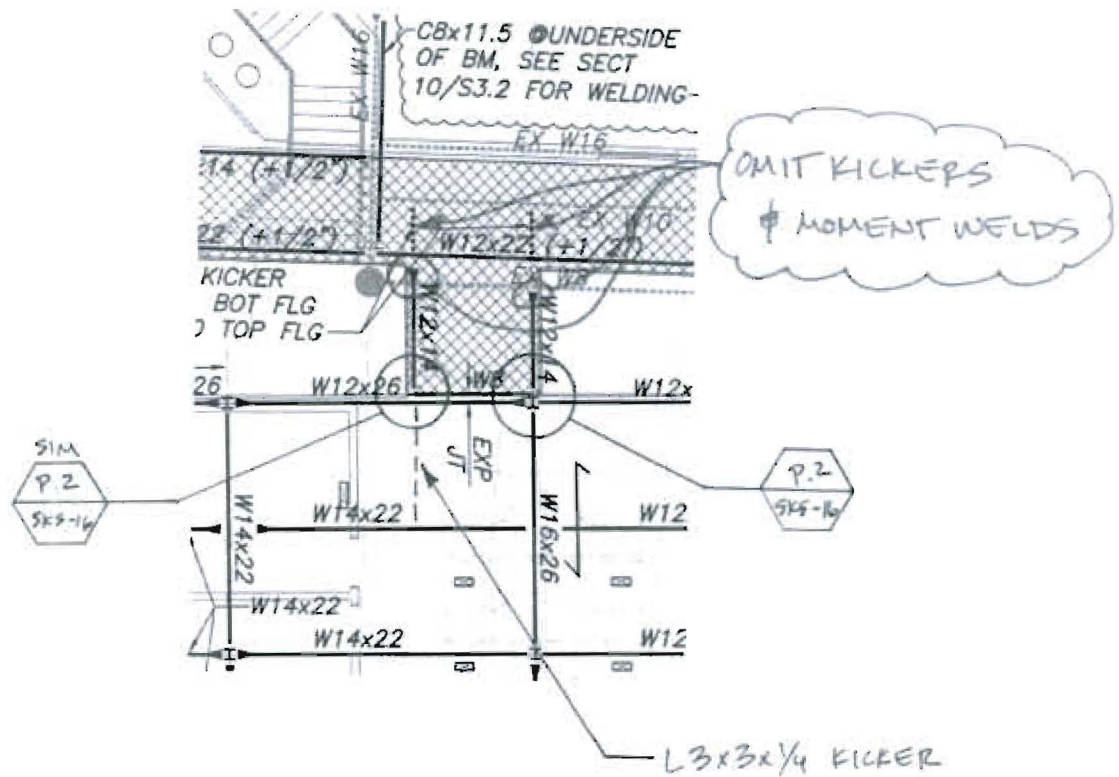
SKS-14



POWERPAY

7/13/09

BECKER STRUCT



- REVISIONS TYPICAL @ (3) "CATWALK" LOCATIONS -

SKS-16 p.1



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75 York Street, Portland, ME 04101-4550  
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Project POWERPAY

W.O. 2036

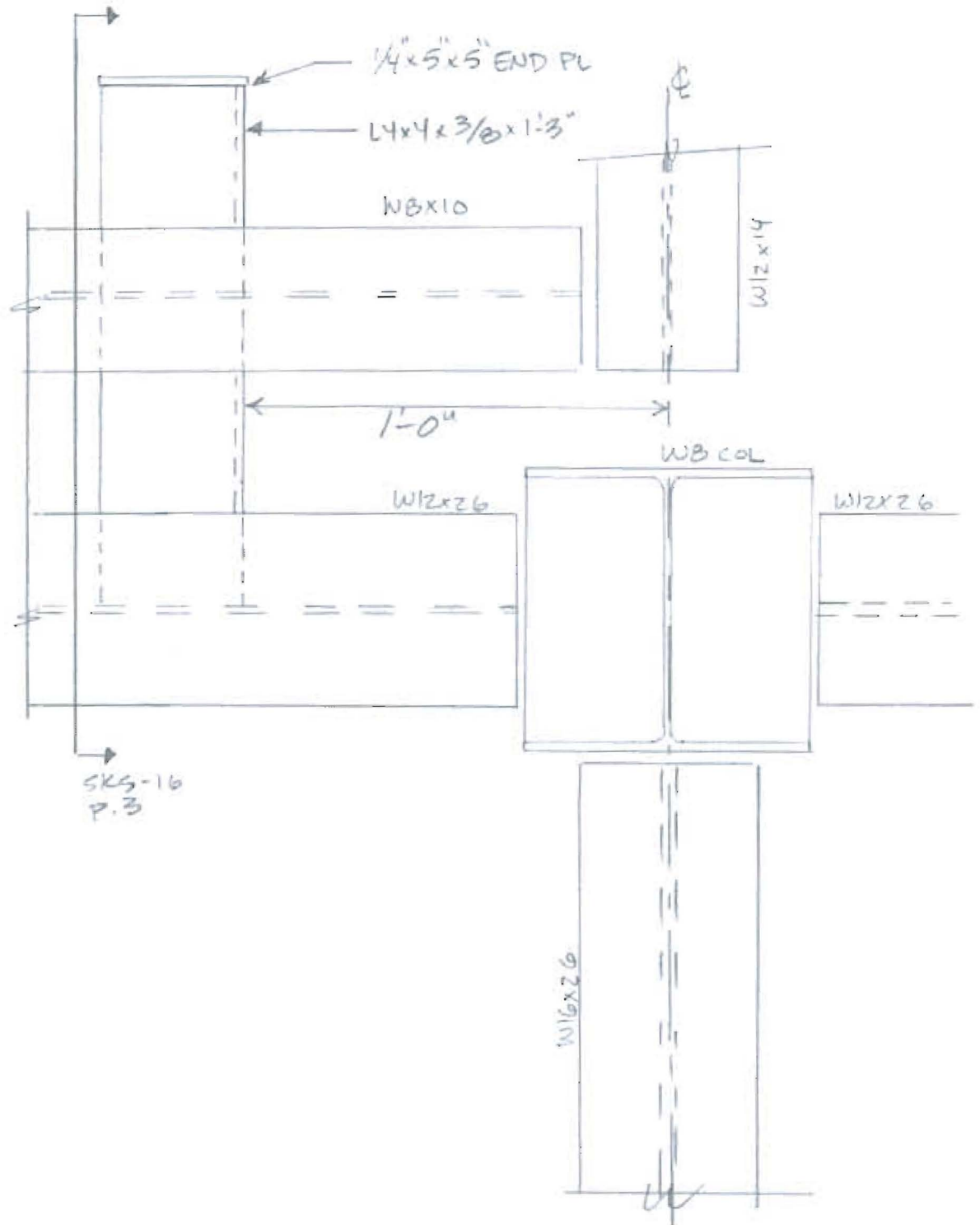
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Calculated By:     

Date 7/13/09

Checked By:     

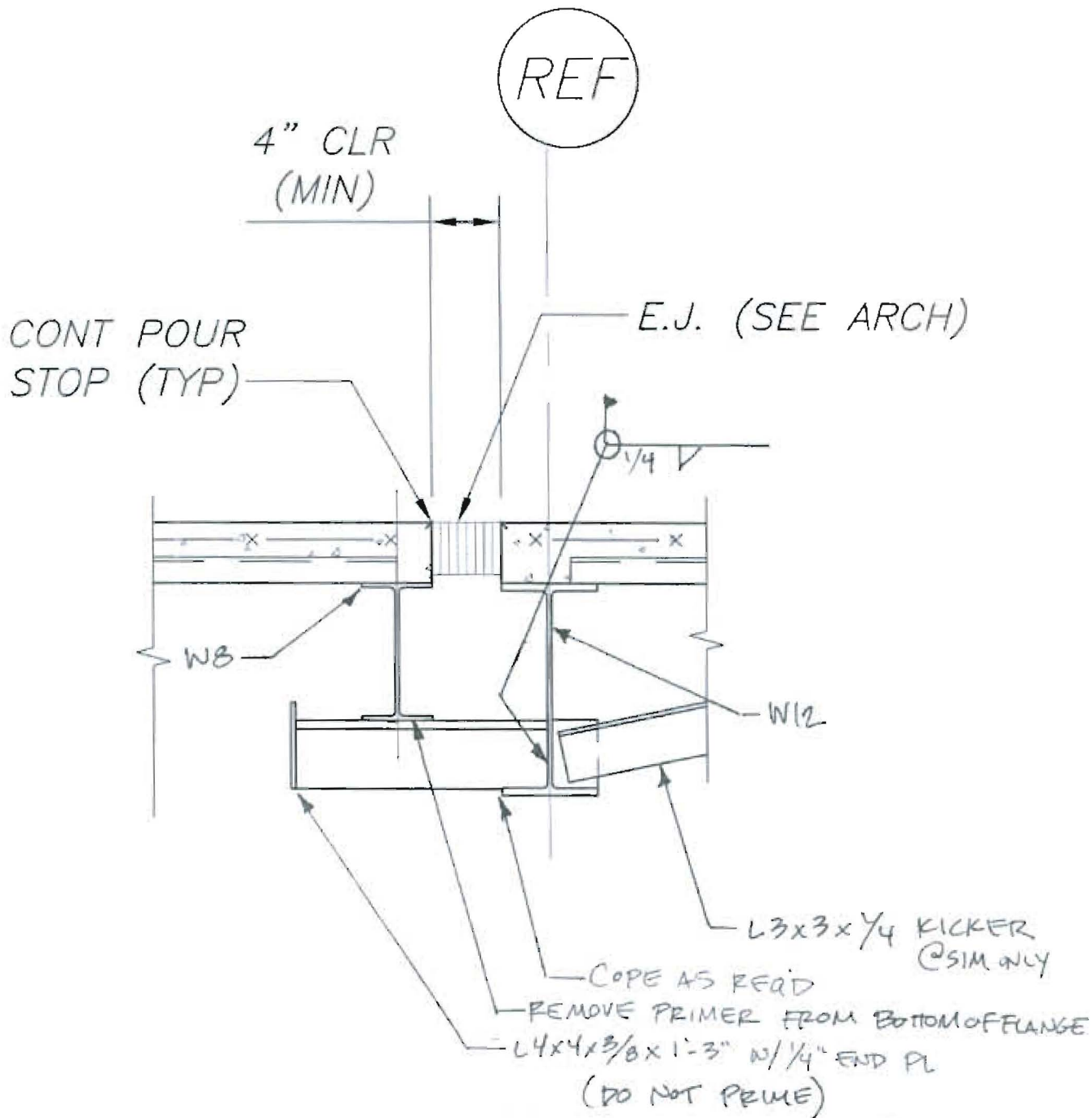
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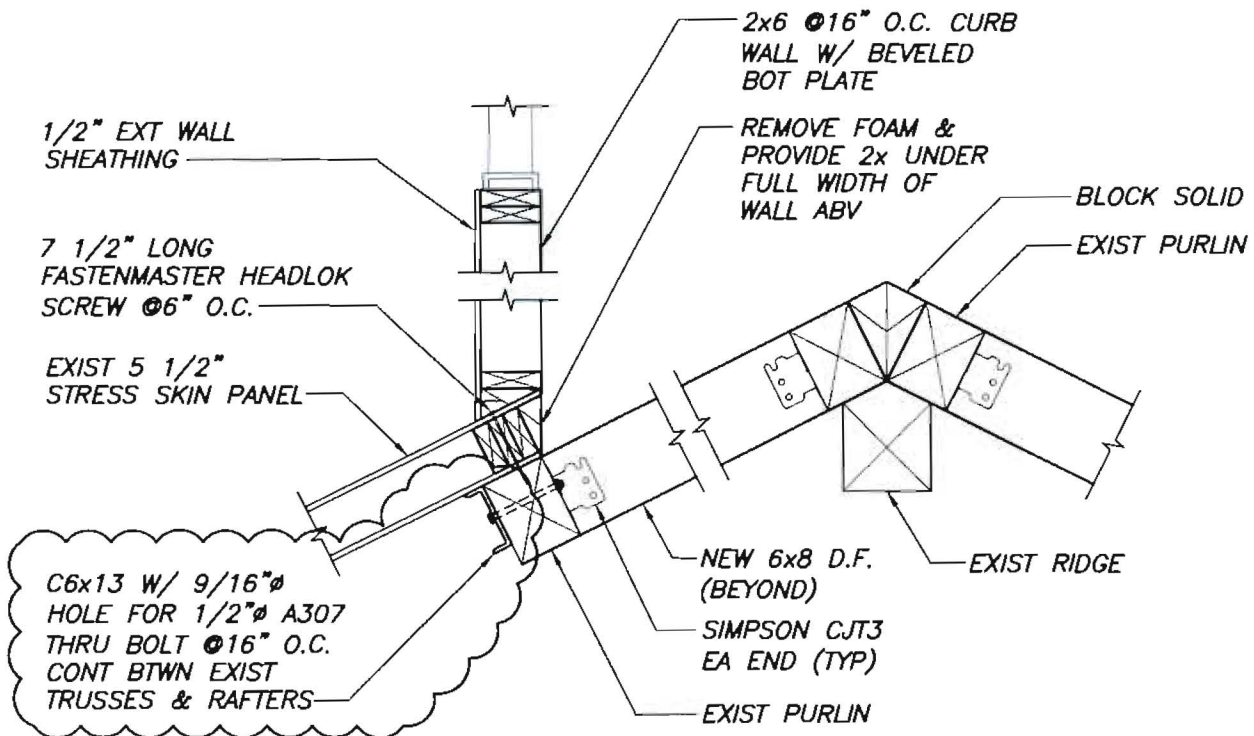
POWER PAV

7/13/09

BECKER STRUCT



SKS-16 p.3



SECTION 2  
 3/4" = 1'-0" S1.3

REFERENCE DWG S1.3

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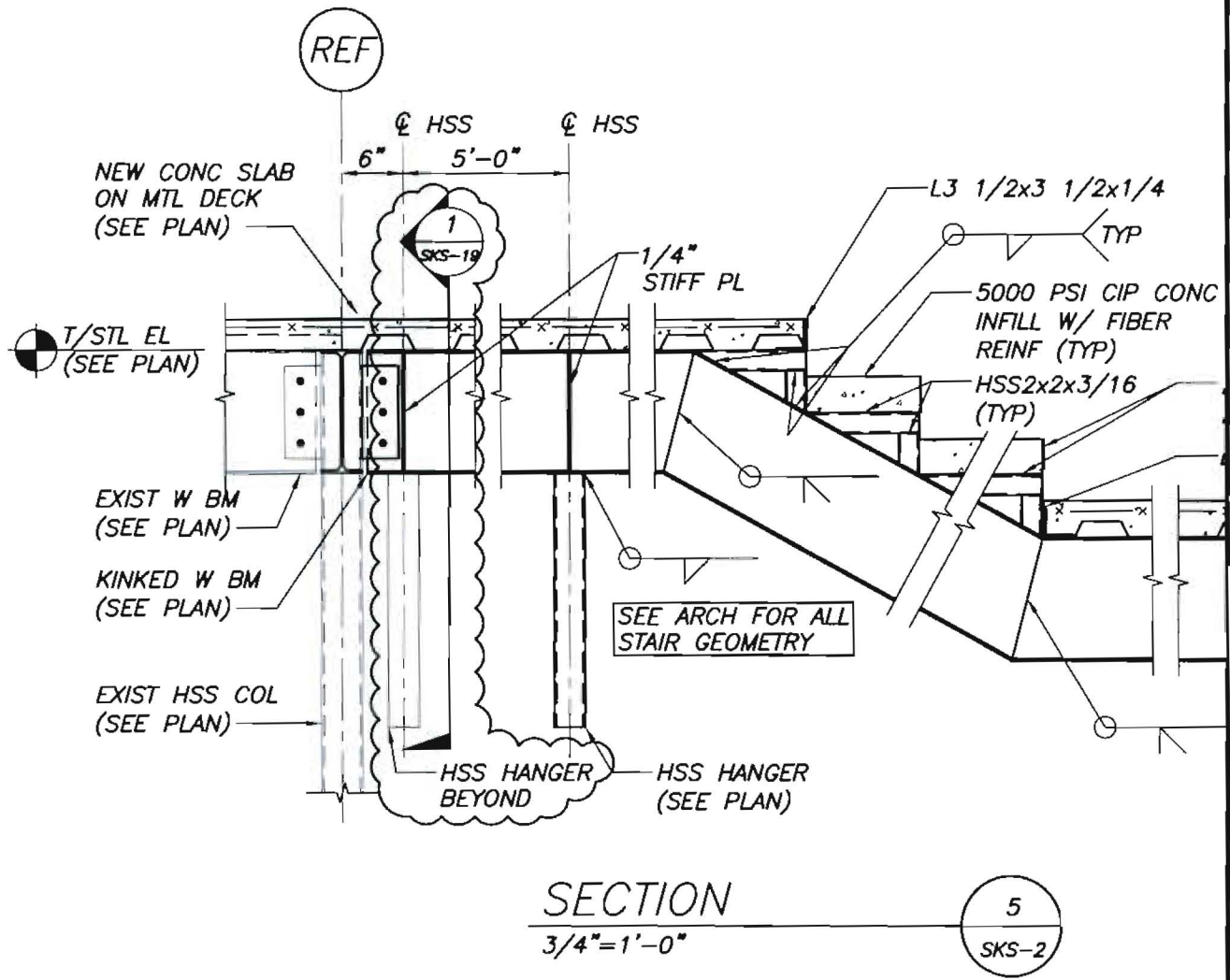
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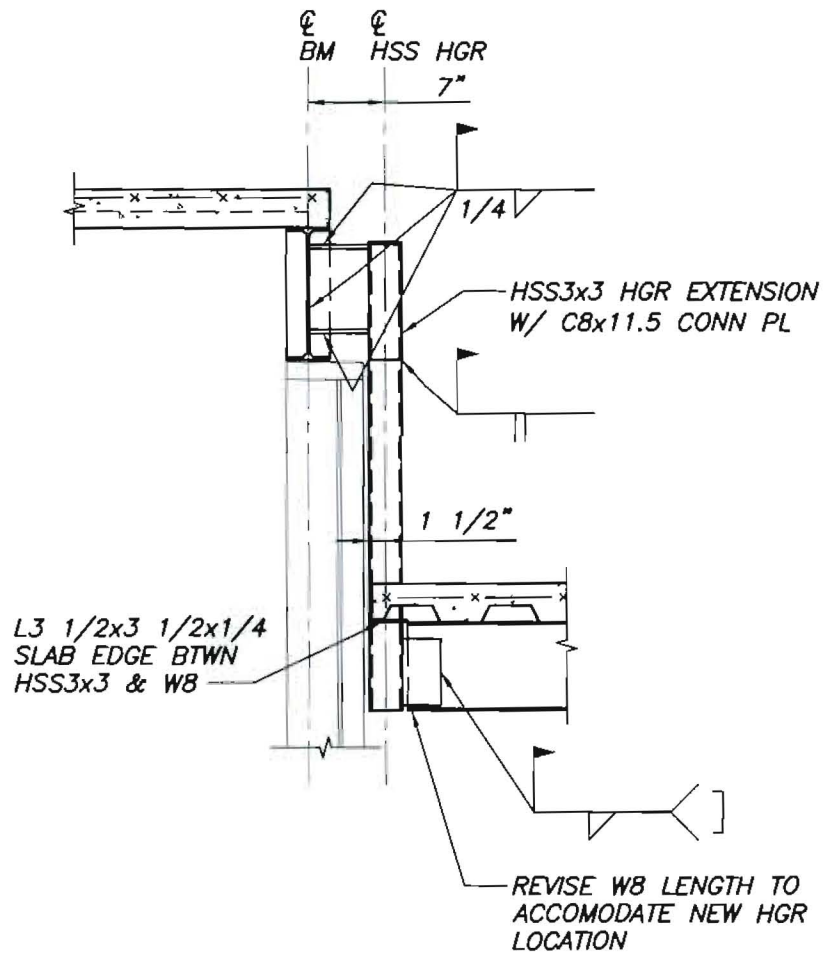
SKS-17



REFERENCE DWG SKS-6

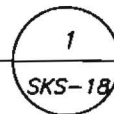
<b>BECKER</b> structural engineers, inc. 75 York Street Portland, ME 04101-4701 info@beckerstructural.com	Designed <b>NRM</b>	<b>POWERPAY OFFICE</b> <b>PORTLAND, ME</b>	Becker Job Number <b>2036</b>
	Drawn <b>CHF</b>		<b>SKS-18</b>
	Checked <b>PBB</b>		
	Scale <b>AS NOTED</b>		
Date <b>8/25/09</b>			





SECTION

3/4" = 1'-0"



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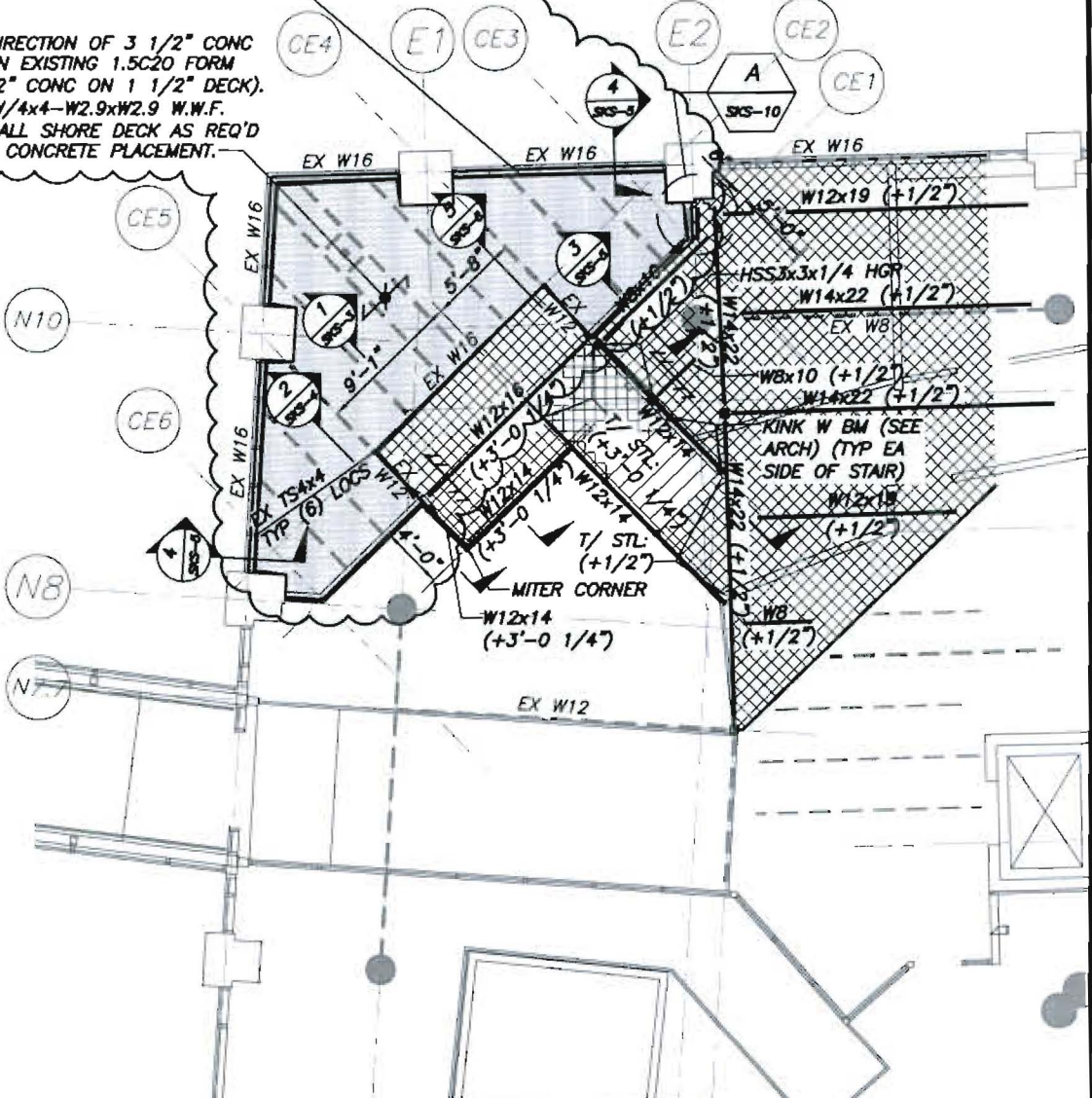
Becker Job Number  
2036

SKS-19

PROVIDE L3 1/2x3 1/2x5/16  
SLAB SUPPORT @BLDG  
PERIMETER WHERE REQ'D

SPAN DIRECTION OF 3 1/2" CONC  
SLAB ON EXISTING 1.5C20 FORM  
DECK (2" CONC ON 1 1/2" DECK).  
REINF W/4x4-W2.9xW2.9 W.W.F.  
G.C. SHALL SHORE DECK AS REQ'D  
DURING CONCRETE PLACEMENT.

NOTE: EXISTING FRAMING SHOWN ON  
PLAN IS FROM STRUCT DRAWINGS FOR  
ORIGINAL BUILDING. G/C SHALL FIELD  
VERIFY EXISTING FRAMING & NOTIFY  
ARCH & STRUCT ENGINEER IF ANY  
DISCREPANCIES PRIOR TO CONSTRUCTION



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2036

SKS-20





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Project: POWER PLANT OFFICES

W.D. 2036

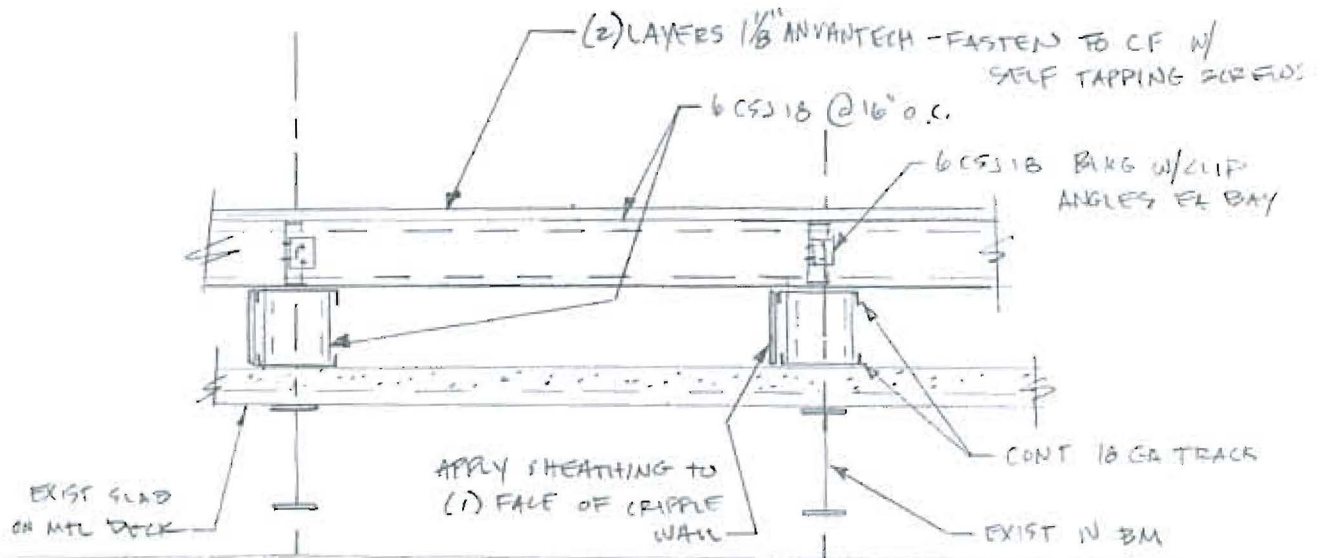
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Calculated By: \_\_\_\_\_

Date 8/31/09

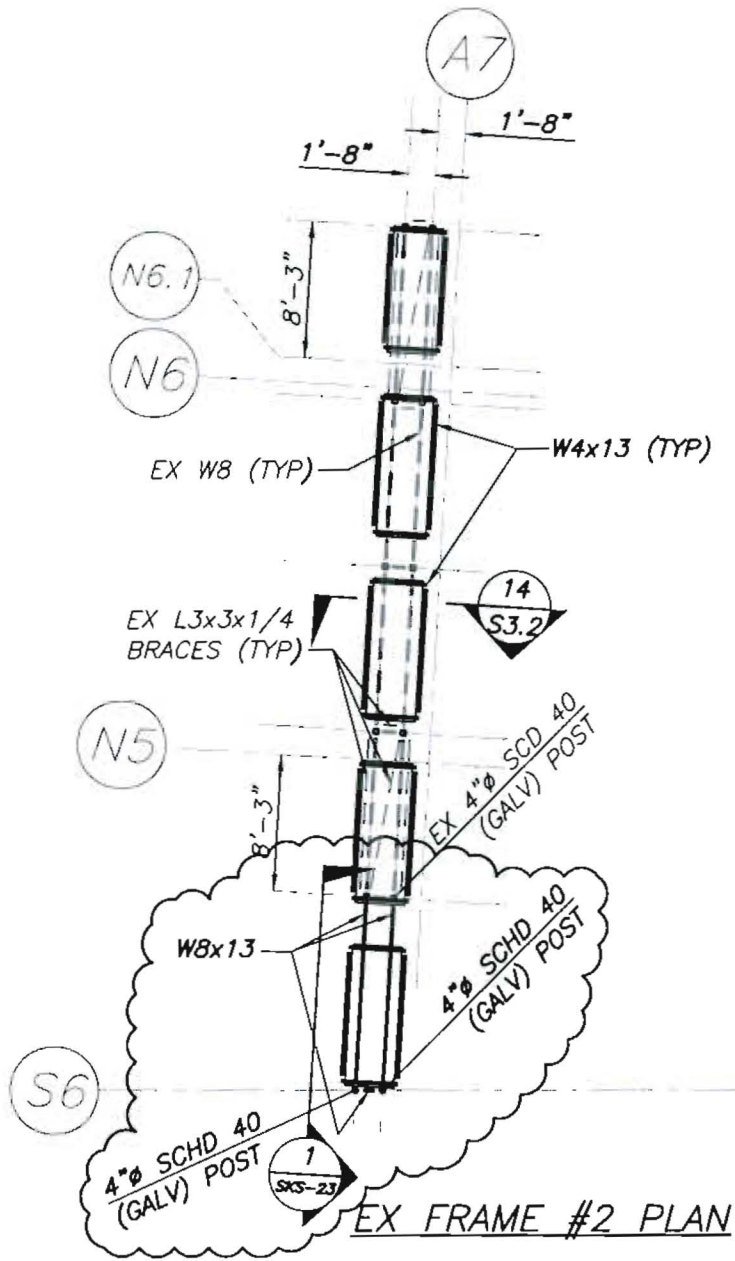
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Date \_\_\_\_\_



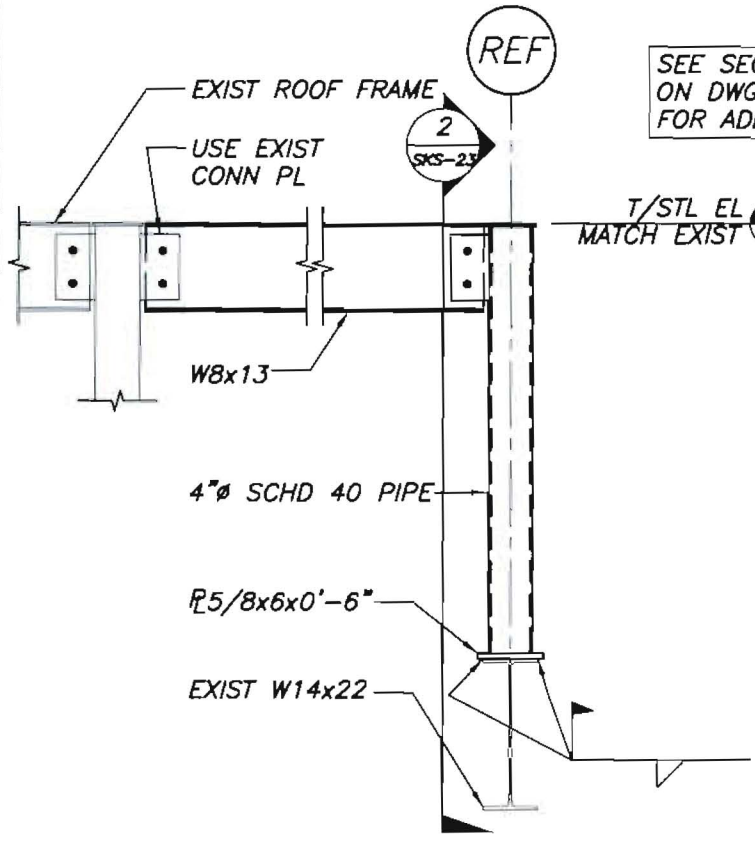
SKS-21 p.2





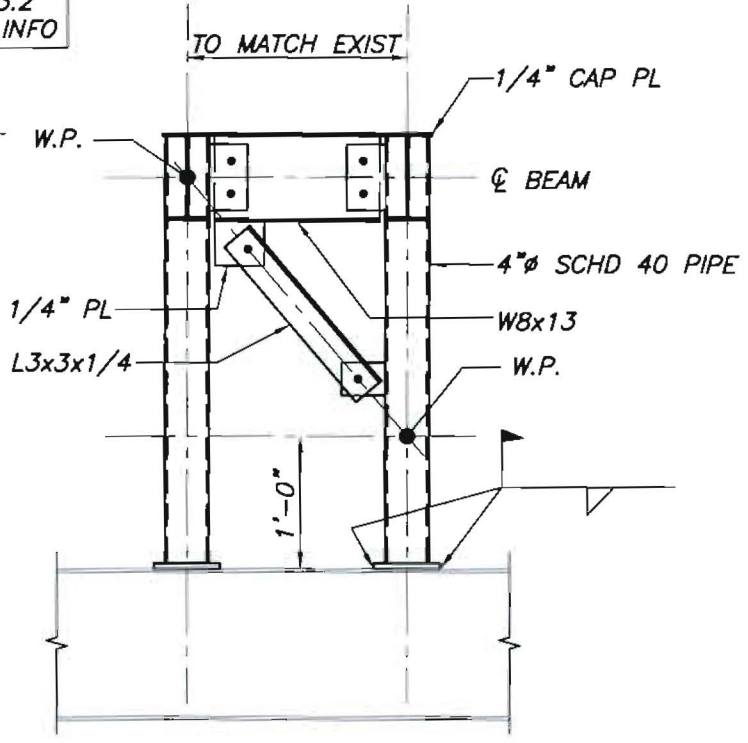
ALL STEEL ABV ROOF TO BE H.D. GALV.  
 ANY MODIFICATIONS TO EXIST STEEL  
 MEMBERS SHALL RECEIVE COATING OF  
 ZRC COLD GALVANIZING COMPOUND. SEE  
 MANUF FOR COATING REQUIREMENTS.

<b>BECKER</b> structural engineers, inc. 75 York Street Portland, ME 04101-4701 info@beckerstructural.com	Designed <b>NRM</b> Drawn <b>CHF</b> Checked <b>PBB</b> Scale <b>AS NOTED</b> Date <b>9/11/09</b>	POWERPAY OFFICE PORTLAND, ME	Becker Job Number <b>2036</b>
			<b>SKS-22</b>



SEE SECT 14  
ON DWG S3.2  
FOR ADDL INFO

T/STL EL  
MATCH EXIST



SECTION  
3/4" = 1'-0"

1  
SKS-22

SECTION  
3/4" = 1'-0"

2  
SKS-23

Becker Job Number  
2036

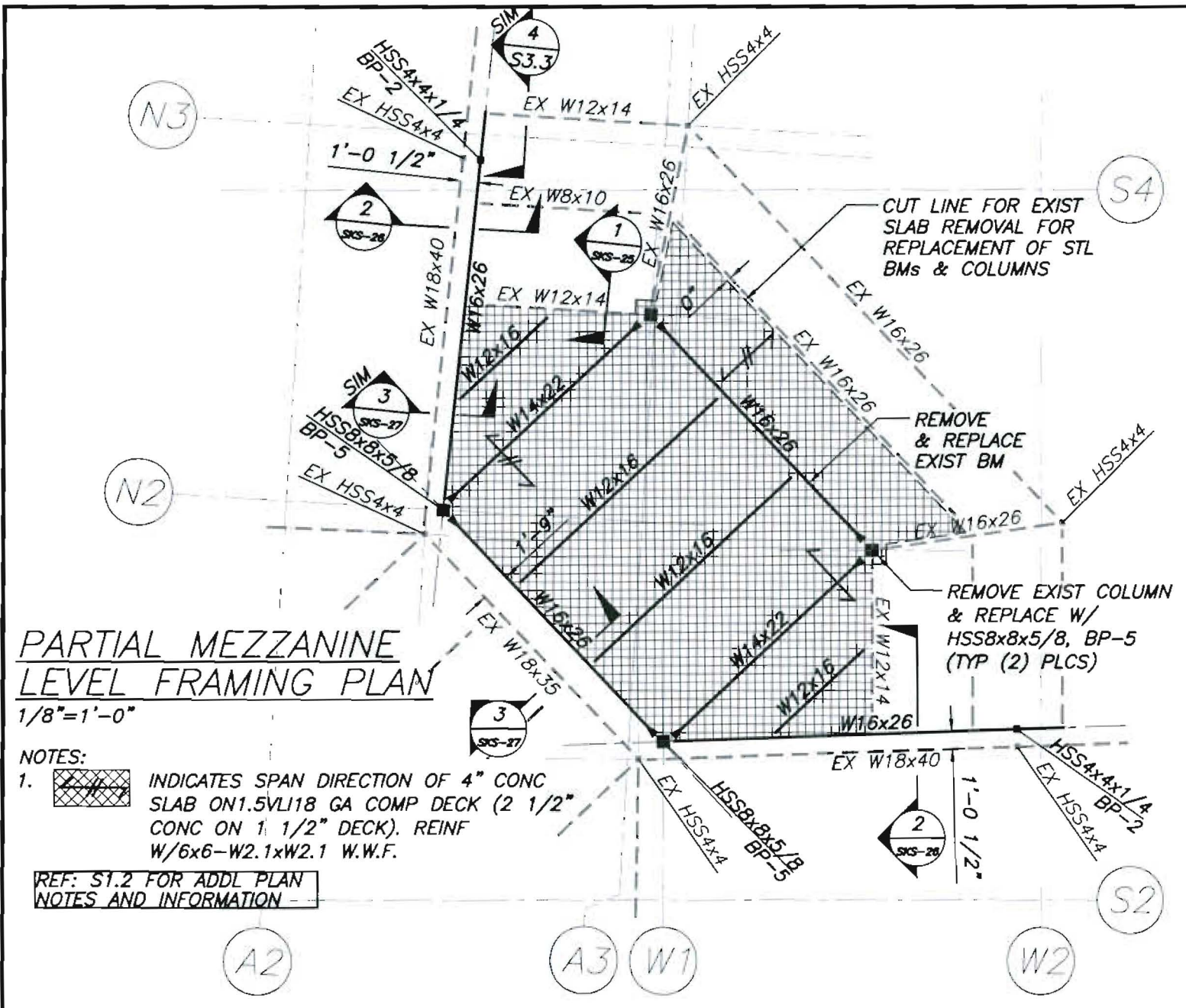
SKS-23

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PORTLAND, ME

Designed	NRM
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Scale	AS NOTED
Date	9/11/09

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Fax 207-879-1822  
www.beckersstructural.com  
info@beckersstructural.com



**PARTIAL MEZZANINE  
LEVEL FRAMING PLAN**

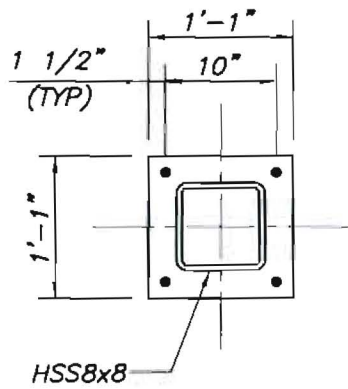
1/8" = 1'-0"

**NOTES:**

- 
 INDICATES SPAN DIRECTION OF 4" CONC SLAB ON 1.5VLI18 GA COMP DECK (2 1/2" CONC ON 1 1/2" DECK). REINF W/6x6-W2.1xW2.1 W.W.F.

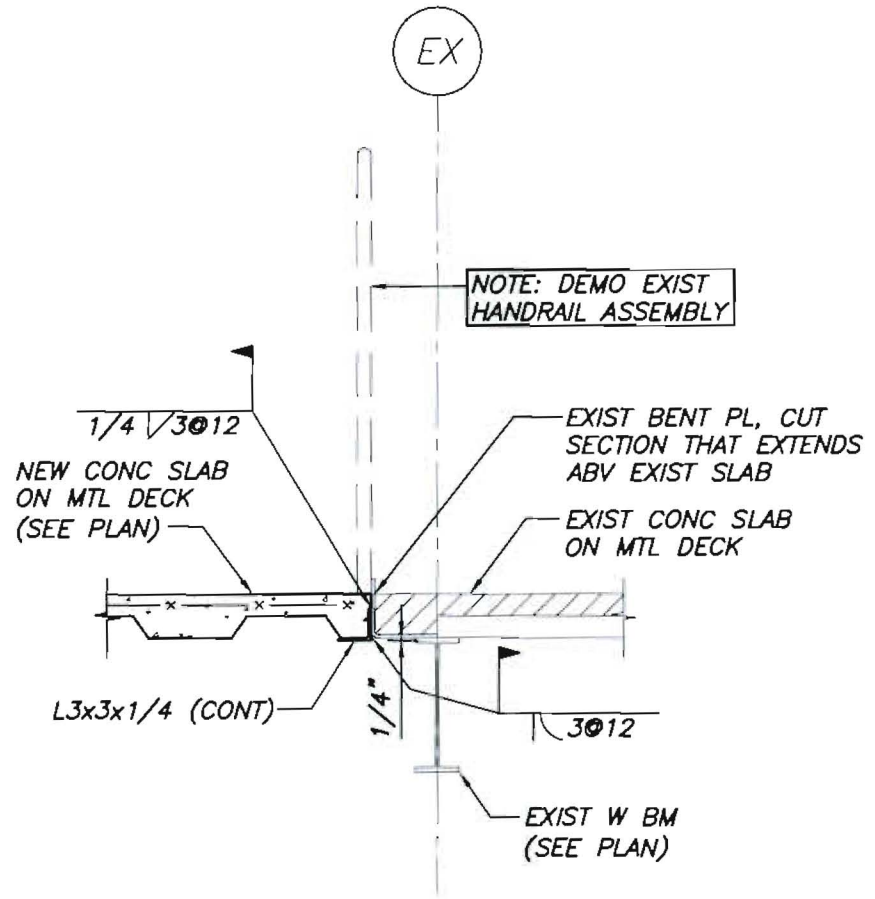
REF: S1.2 FOR ADDL PLAN NOTES AND INFORMATION

Becker Job Number <b>2036</b>		<b>SKS-24</b>	
<b>POWERPAY OFFICE PORTLAND, ME</b>			
Designed	NRM	Checked	PBB
Drawn	CHF	Scale	AS NOTED
			Date <b>9/28/09</b>
<b>BECKER</b> structural engineers, inc.			
75 York Street Portland, ME 04101-4701 info@beckerstructural.com		Tel 207-879-1838 Fax 207-879-1822 www.beckerstructural.com	



PL 1x13x1'-1"  
 W/(4)-1 5/16"Ø HOLES FOR  
 (4)-3/4"Ø HILTI HIT HY150  
 ADHESIVE ANCHORS  
 W/6" EMBED & 5" PROJ

BP-5



NOTE: DEMO EXIST  
 HANDRAIL ASSEMBLY

SECTION  
 3/4"=1'-0"

1  
 SKS-24

Becker Job Number  
 2036

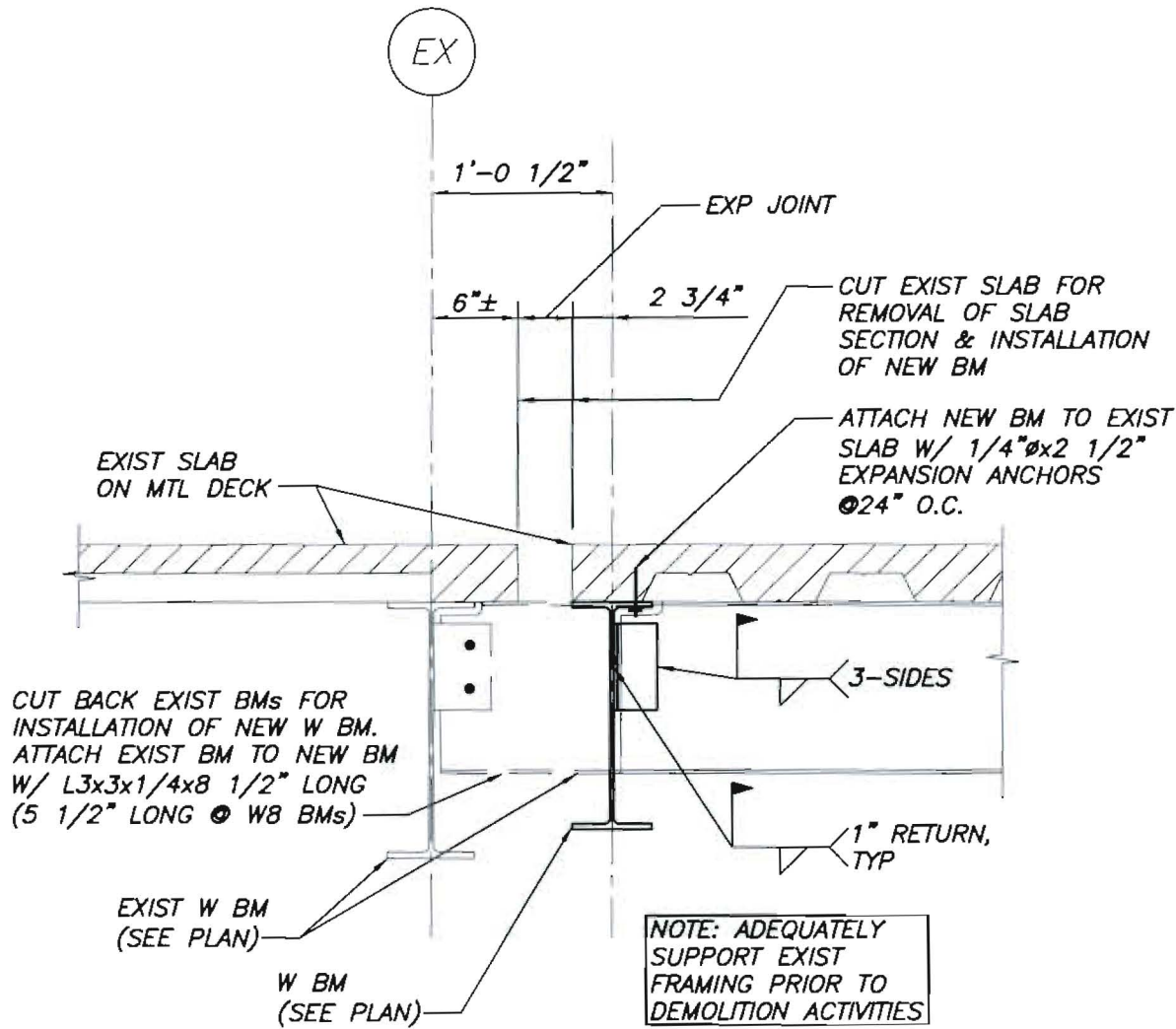
SKS-25

POWERPAY OFFICE  
 PORTLAND, ME

Designed NRM  
 Drawn CHF  
 Checked PBB  
 Scale AS NOTED  
 Date 9/28/09

**BECKER**  
 structural engineers, inc.  
 75 York Street  
 Portland, ME 04101-4701  
 info@beckerstructural.com  
 Tel 207-879-1838  
 Fax 207-879-1822  
 www.beckerstructural.com





SECTION

1"=1'-0"

2  
SKS-24

Becker Job Number

2036

SKS-26

POWERPAY OFFICE

PORTLAND, ME

Designed NRM

Drawn CHF

Checked PBB

Scale AS NOTED

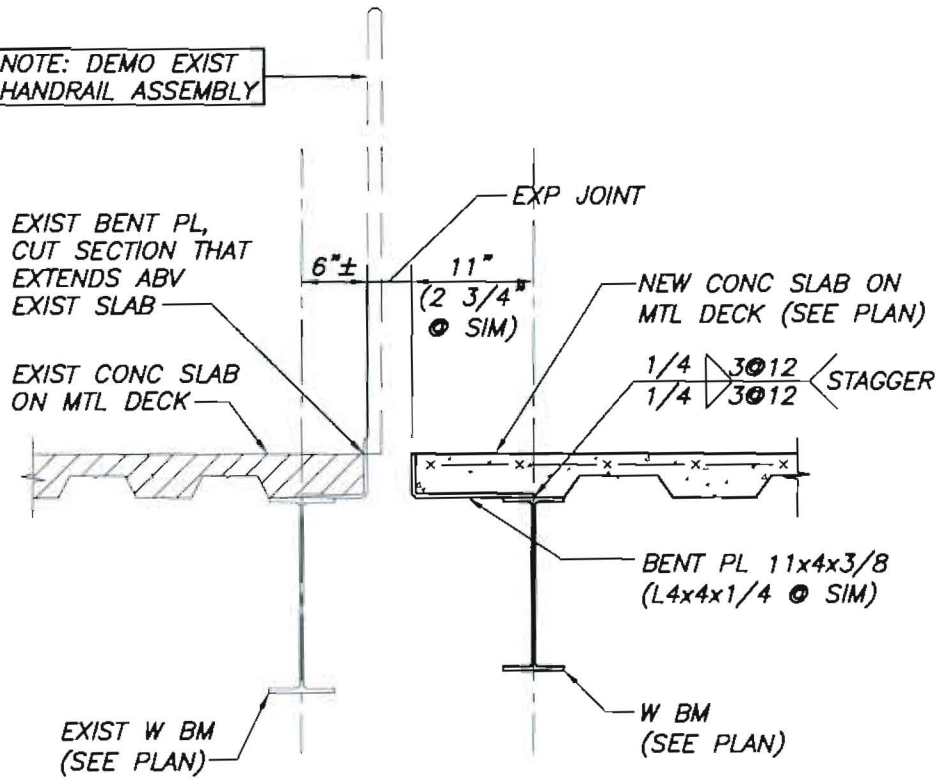
Date 9/28/09

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NOTE: DEMO EXIST  
HANDRAIL ASSEMBLY



SECTION  
3/4" = 1'-0" 3  
SKS-24

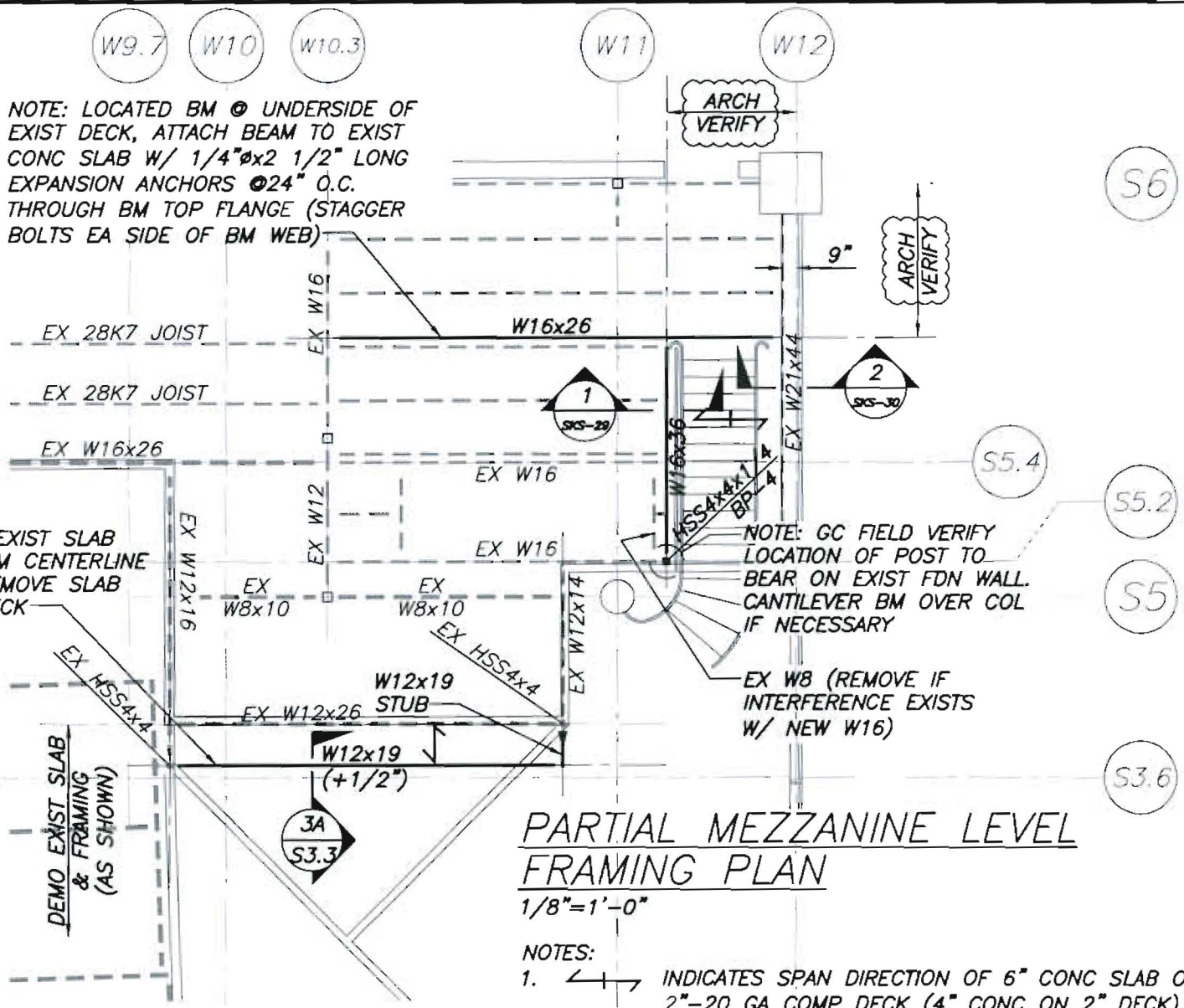
Becker Job Number  
**2036**  
**SKS-27**

**POWERPAY OFFICE**  
**PORTLAND, ME**

Designed	<b>NRM</b>
Drawn	<b>CHF</b>
Checked	<b>PBB</b>
Scale	<b>AS NOTED</b>
Date	<b>9/28/09</b>

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NOTE: LOCATED BM @ UNDERSIDE OF EXIST DECK, ATTACH BEAM TO EXIST CONC SLAB W/ 1/4"Øx2 1/2" LONG EXPANSION ANCHORS @24" O.C. THROUGH BM TOP FLANGE (STAGGER BOLTS EA SIDE OF BM WEB)

NOTE: GC FIELD VERIFY LOCATION OF POST TO BEAR ON EXIST FDN WALL. CANTILEVER BM OVER COL IF NECESSARY

EX W8 (REMOVE IF INTERFERENCE EXISTS W/ NEW W16)

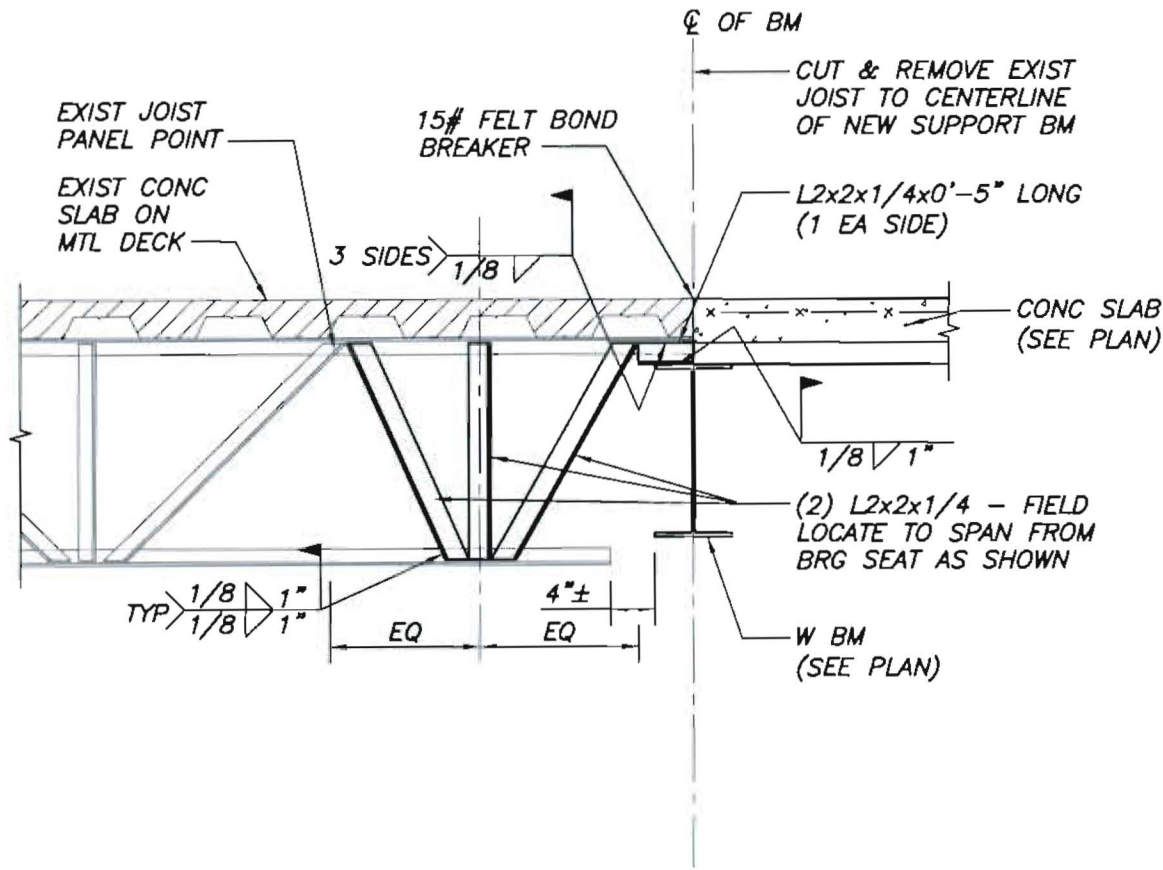
**PARTIAL MEZZANINE LEVEL FRAMING PLAN**

1/8"=1'-0"

- NOTES:
- ← INDICATES SPAN DIRECTION OF 6" CONC SLAB ON 2"-20 GA COMP DECK (4" CONC ON 2" DECK). REINF W/6x6-W2.1xW2.1 W.W.F.

REF: S1.2 FOR ADDL PLAN NOTES AND INFORMATION

Becker Job Number <b>2036</b>		SKS-28	
POWERPAY OFFICE PORTLAND, ME			
Designed	NRM	Checked	PBB
Drawn	CHF	Scale	AS NOTED
			Date 9/28/09
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SECTION  
3/4" = 1'-0"

1  
SKS-28

Becker Job Number  
2036

SKS-29

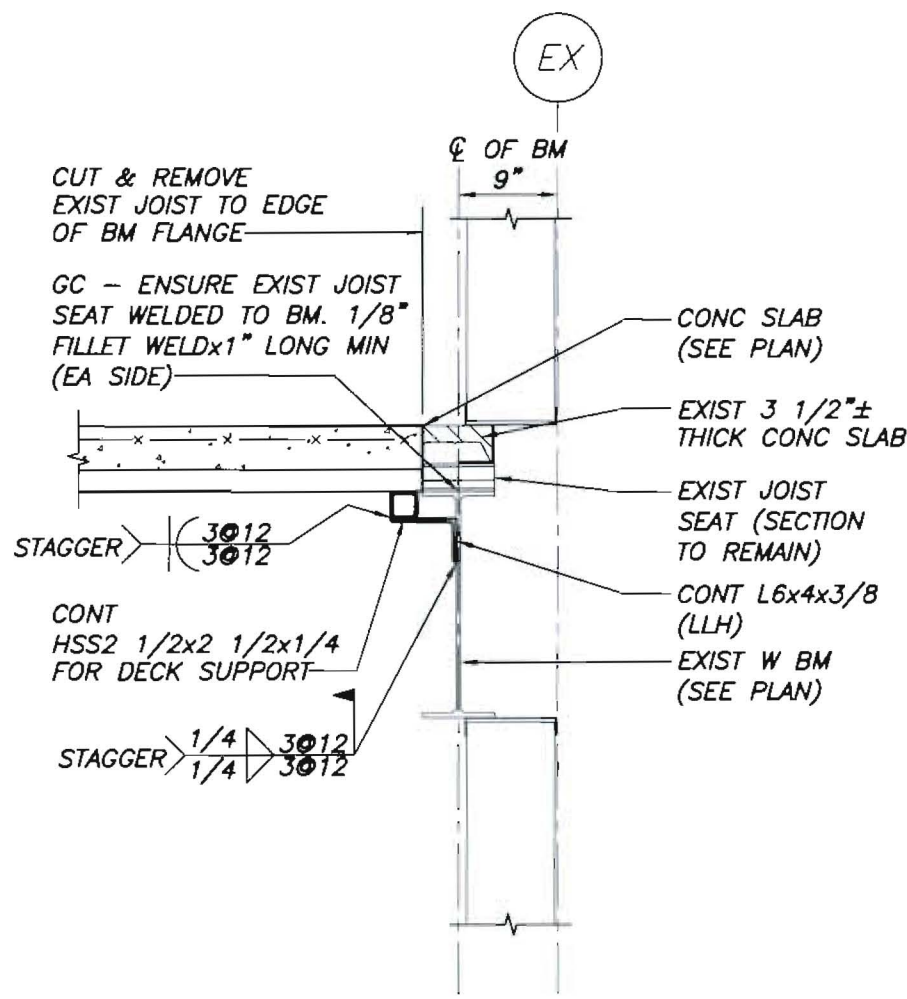
POWERPAY OFFICE  
PORTLAND, ME

Designed	NRM
Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	9/28/09

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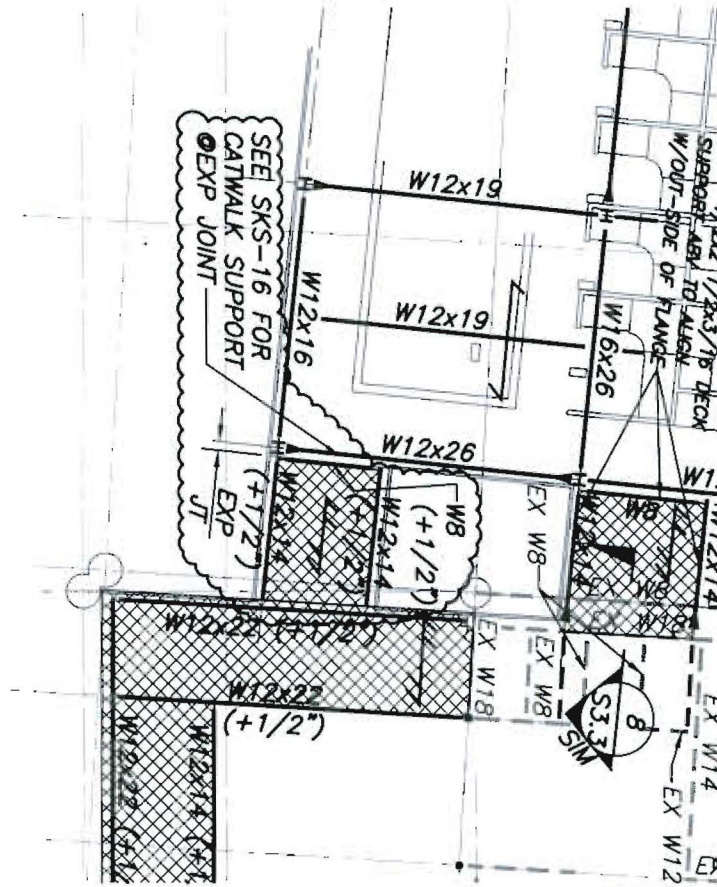




SECTION  
3/4" = 1'-0"

2  
SKS-28

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		Drawn	CHF
		Checked	PBB
		Scale	AS NOTED
		Date	9/28/09
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SEE SKS-16 FOR  
CATWALK SUPPORT  
EXP JOINT

SUPPORT AND TO ALIGN  
W/OUT-SIDE OF FLANGE

W12x14 (+1/2")  
W12x14 (+1/2")  
W12x14 (+1/2")

W12x23 (+1/2")  
W12x23 (+1/2")

EX W8  
EX W8  
EX W8

EX W18  
EX W18

S33  
B

EX W14  
EX W12

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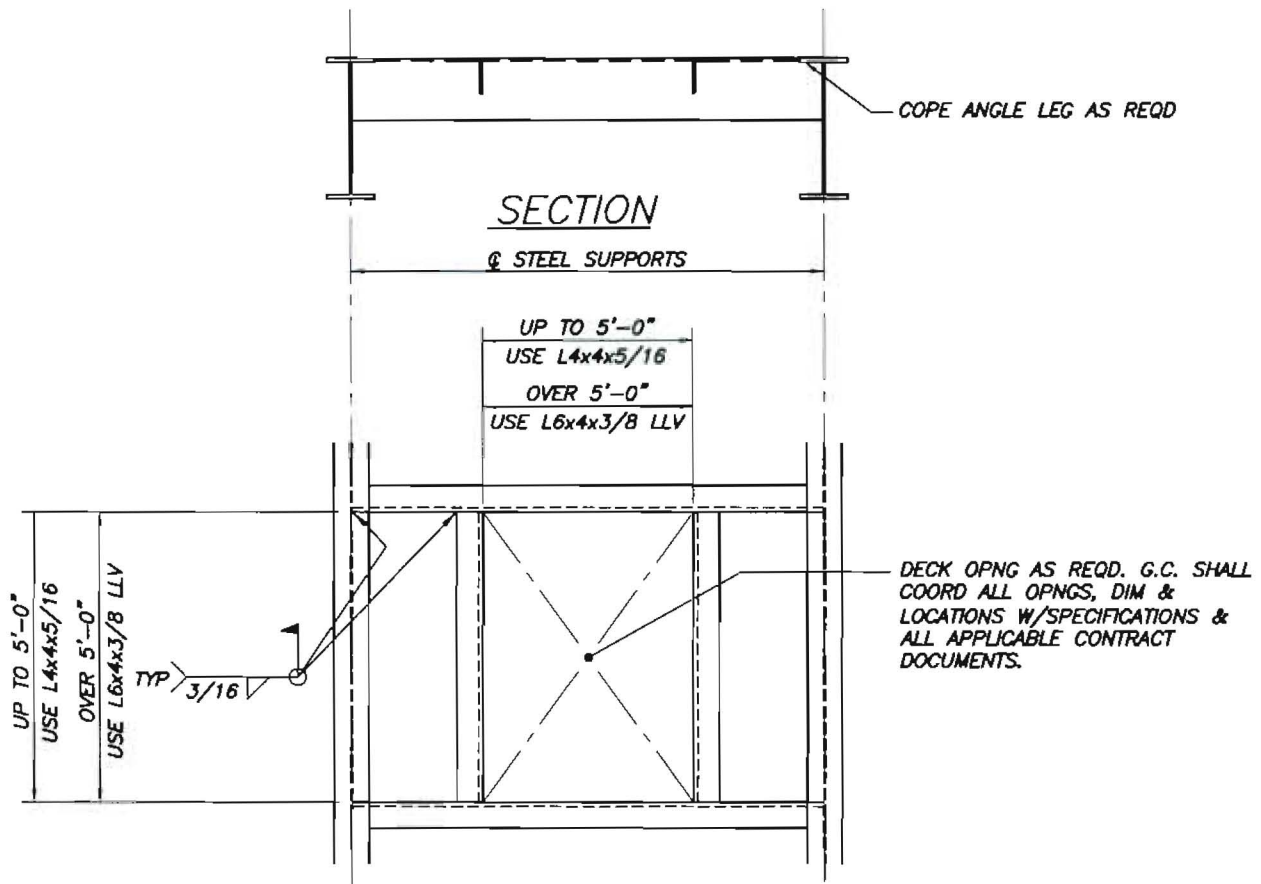
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Designed	NRM
Drawn	CHF
Checked	PBB
Scale	AS NOTED
Date	9/28/09

POWERPAY OFFICE  
PORTLAND, ME

Becker Job Number  
2036

SKS-31



PLAN OF TYP PENETRATION IN EXIST FLOOR DECK

N.T.S.

**NOTE:**

DETAIL TYPICAL IF OPENING IS LARGER THAN 12"Ø OR CUTS MORE THAN (1) DECK RIB. FOR OPENINGS LESS THAN 12"Ø, REINF OPNG W/16GA MIN PL. MIN PL LENGTH SHALL BE "D"+4". EXTEND AS REQD FOR 2" MIN BRG ON DECK RIB.

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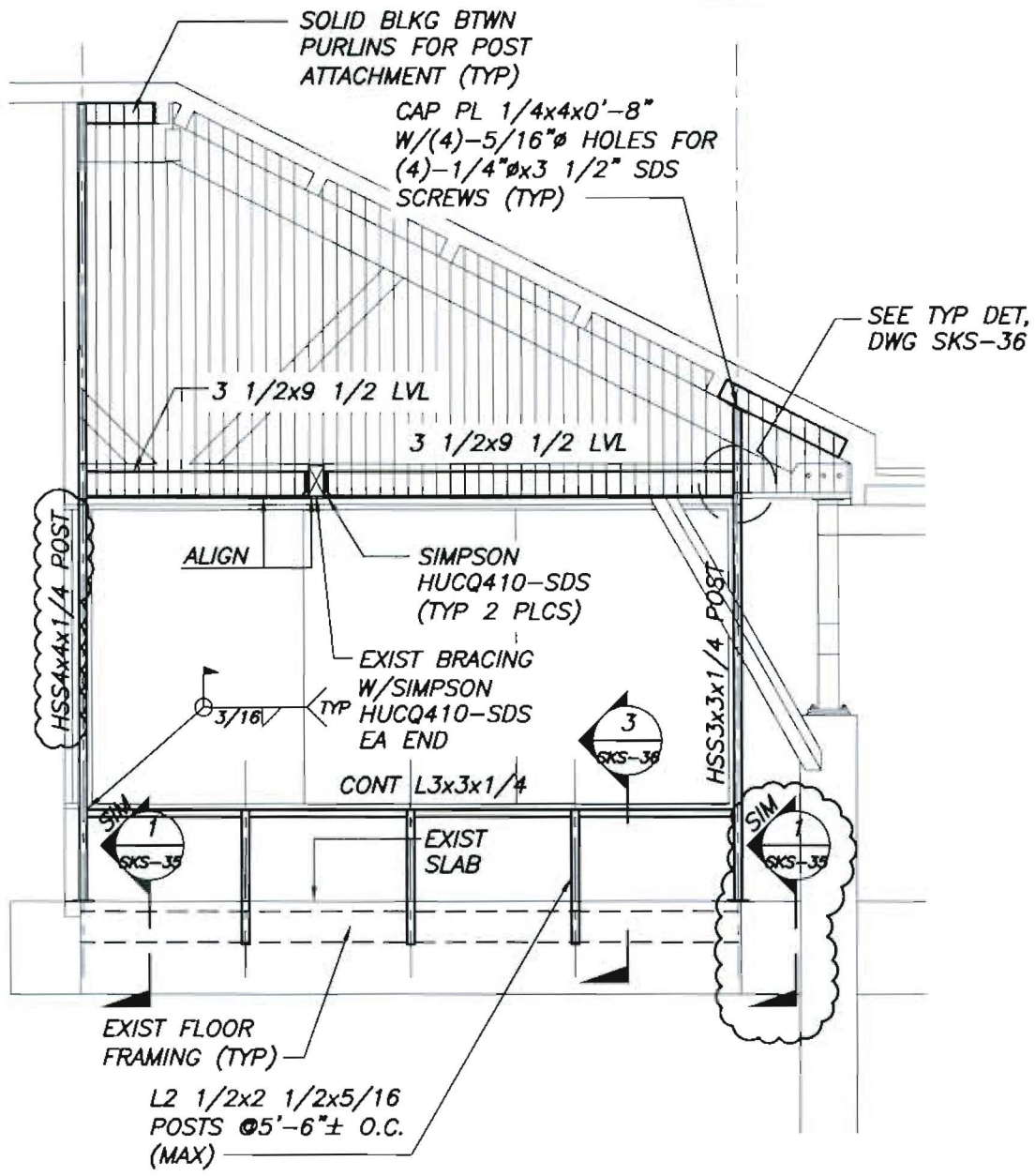
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POWERPAY OFFICE  
PORTLAND, ME

Becker Job Number  
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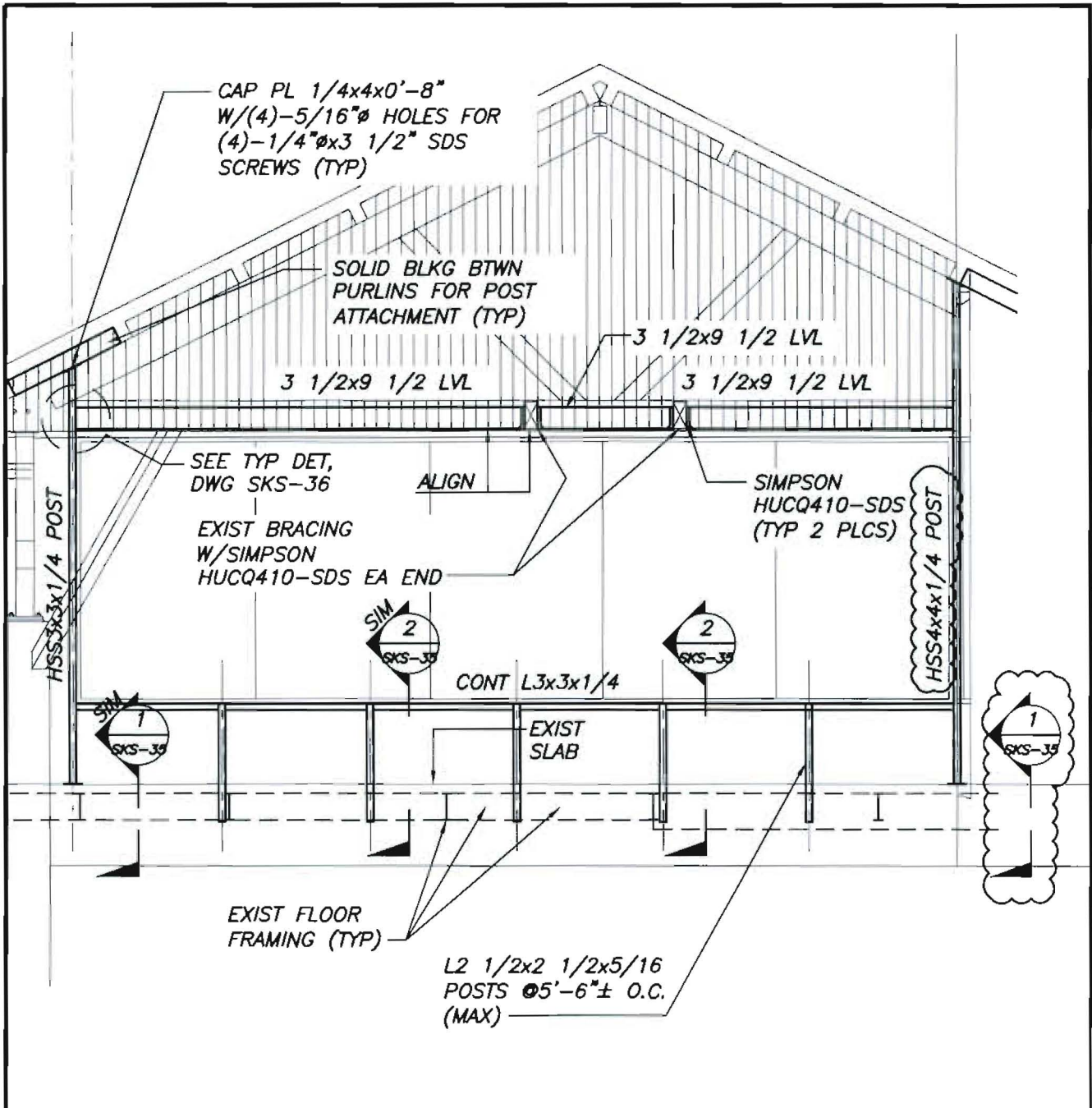
SKS-32



FRAMING ELEVATION  
N.T.S.

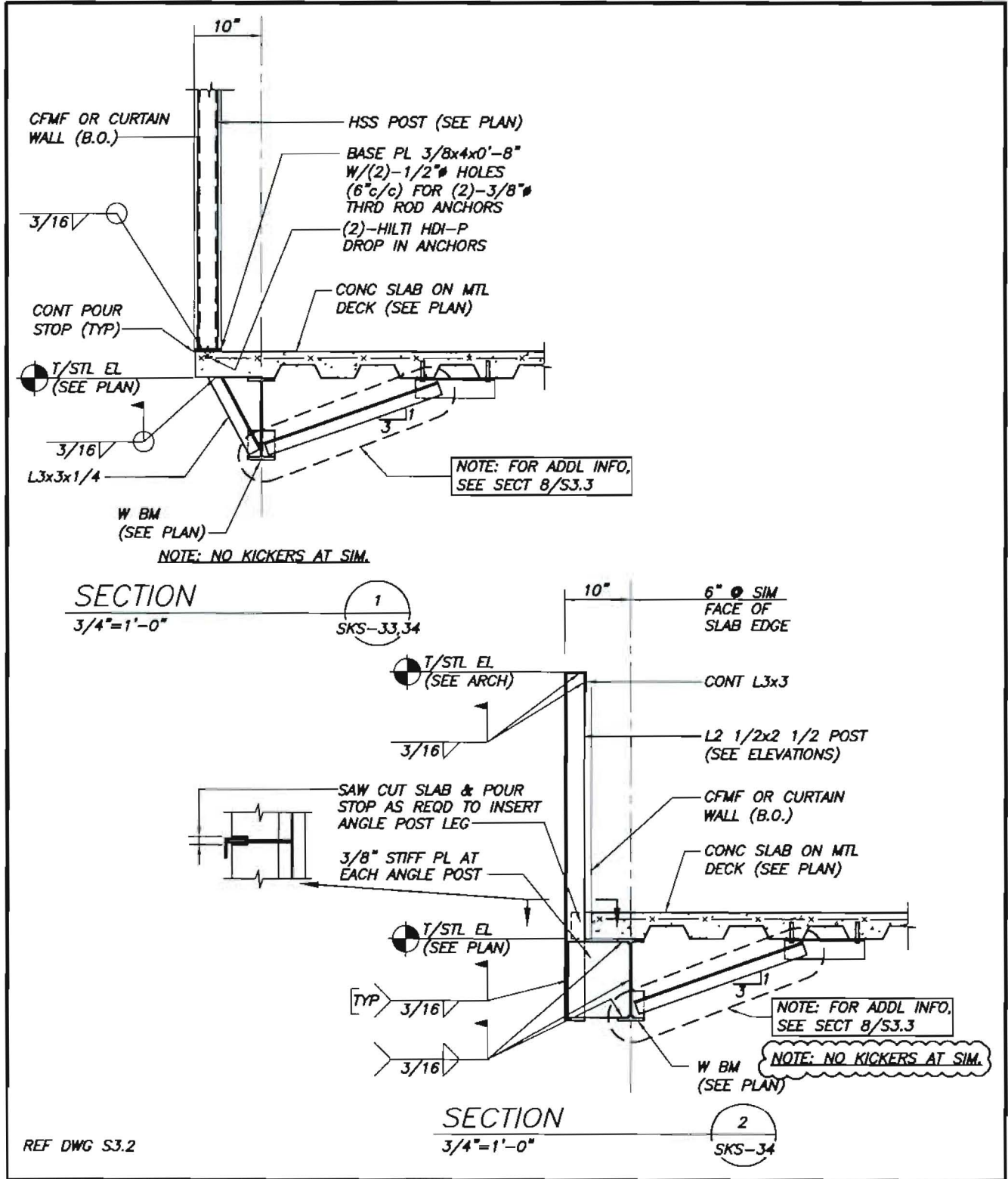
<p><b>BECKER</b> structural engineers, inc.</p> <p>75 York Street Portland, ME 04101-4701 info@beckerstructural.com</p> <p>Tel 207-879-1838 Fax 207-879-1822 www.beckerstructural.com</p>	Designed	NRM	<p>POWERPAY OFFICE PORTLAND, ME</p>	Becker Job Number	2036
	Drawn	APP		<p>SKS-33 REV1</p>	
	Checked	PBB			
	Scale	AS NOTED			
	Date	11/20/09			





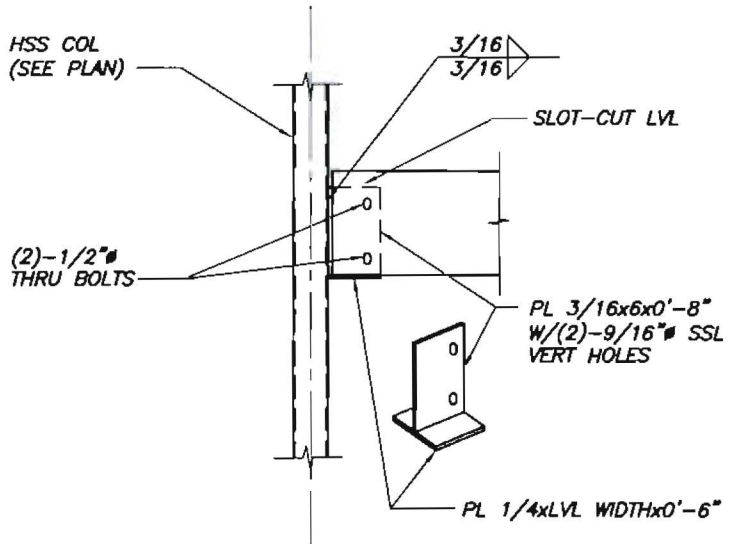
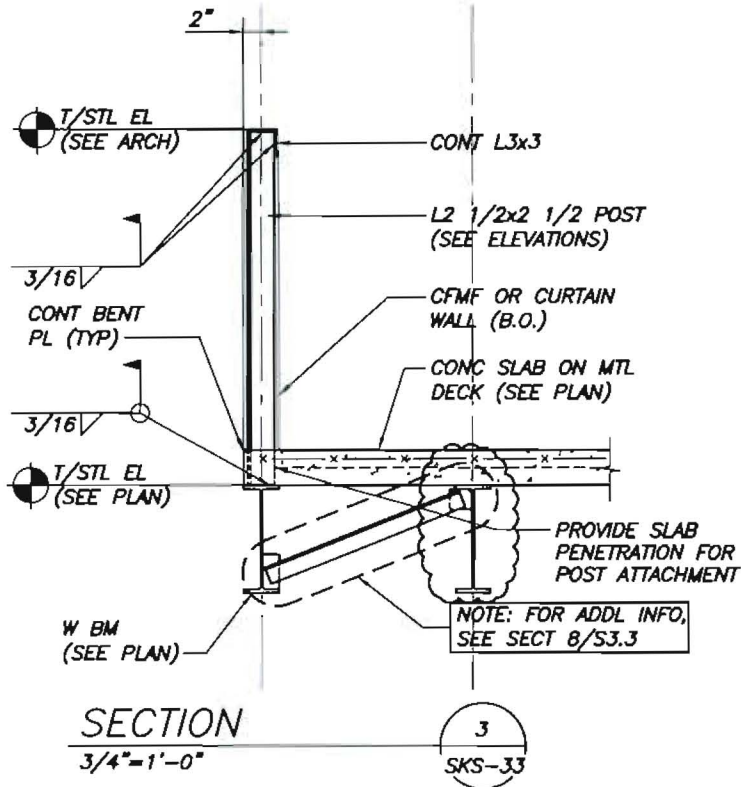
FRAMING ELEVATION  
 N.T.S.

<b>BECKER</b> structural engineers, inc.  75 York Street Portland, ME 04101-4701 info@beckerstructural.com	Designed <b>NRM</b>	<b>POWERPAY OFFICE</b> <b>PORTLAND, ME</b>	Becker Job Number <b>2036</b>
	Drawn <b>APP</b>		<b>SKS-34</b> <b>REV1</b>
	Checked <b>PBB</b>		
	Scale <b>AS NOTED</b>		
	Date <b>11/20/09</b>		



REF DWG S3.2

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	Drawn	APP		<p>SKS-35 REV1</p>	
	Checked	PBB			
	Scale	AS NOTED			
	Date	11/20/09			



TYP HSS TO LVL DETAIL  
N.T.S.

REF DWG S3.2

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Designed	NRM
Drawn	APP
Checked	PBB
Scale	AS NOTED
Date	11/20/09

POWERPAY OFFICE  
PORTLAND, ME

Becker Job Number  
2036

SKS-36  
REV1

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

May 4, 2010

Ms. Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Building Permit #090180 – PowerPay Offices, Renovations to the former Portland Public Market building.

Dear Jeanie,

I received your telephone message today and I am submitting the additional architectural drawings you requested for the project file. The enclosed ASKs provide detailed architectural descriptions for the various building layout changes that I submitted earlier. I also went through all of the ASKs issued during construction and made copies of anything that I thought was pertinent to you from a building code perspective.

For the new conference room configuration above the employee lounge where the floor was filled in, I have included the glass wall shop drawings. I did not do any detailing for these walls because it is a proprietary system of glass panels and connection hardware so the detailing comes directly from the manufacturer.

I have included both hard copies and a disc containing a PDF of each drawing. Let me know if there is any additional information you need to wrap this up.

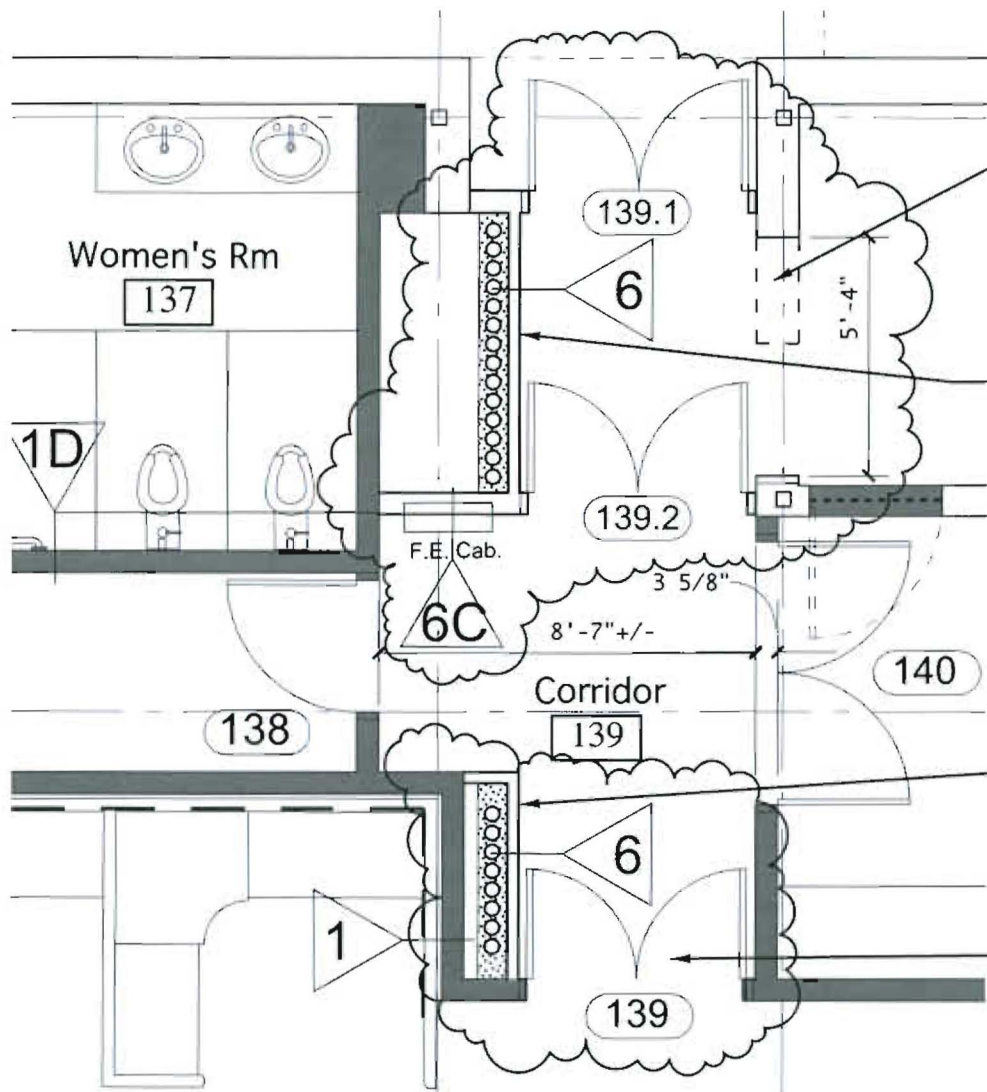
Thanks,



Steve Weatherhead, Associate  
Winton Scott Architects

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City of Portland Maine





Enlarge existing masonry opening as shown.

New electrical chase as shown. Firestop conduits at slab

New electrical chase as shown. Firestop conduits at slab

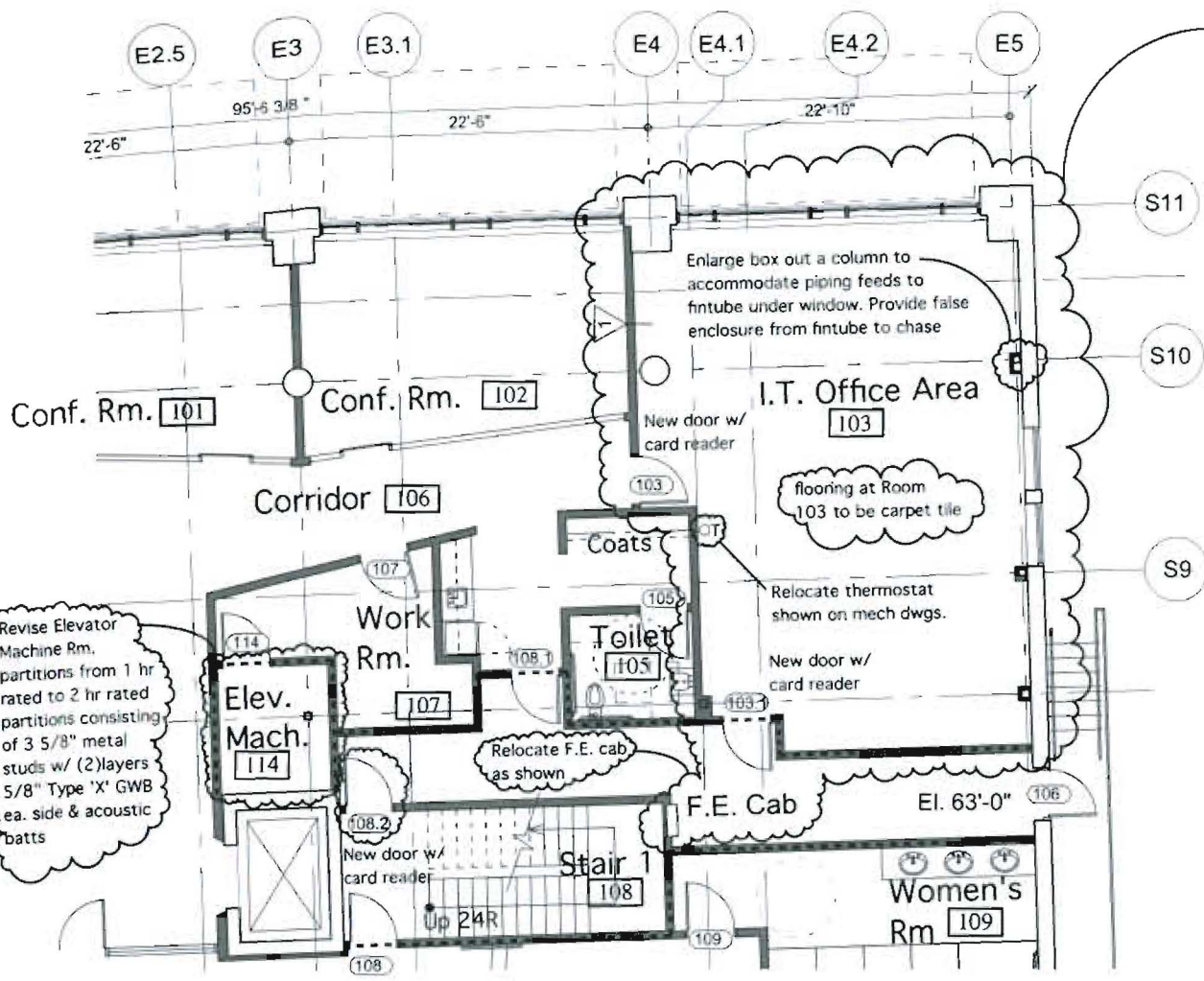
Doors 139, 139.1, 139.2 shall all be pairs of 2'-6"x7'-0" with panic hardware. Door 139 requires smoke seals and Door 139.2 shall have a 60 minute label. All are type 'A' doors. Door dtls H1/J1 apply to doors 139, 139.2. Details for Door 139.1 are similar to dtls H3/J3

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FIRST FLOOR PLAN REVISIONS AT STAIR 4  
Scale: 1/4" = 1'-0"

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Revise interior partition layout and provide two new doors as shown to eliminate two conference rooms & create an open office area as shown.



**New Door Schedule:**

Door 103:  
 3'-0" x 7'-0"  
 solid core wood,  
 door type 'D', frame  
 type 'F1', Card reader

Door 103.1:  
 3'-0" x 7'-0"  
 solid core wood,  
 door type 'A', frame  
 type 'F1'. 60 min. label  
 Card reader.

Door 108.2:  
 3'-0" x 7'-0"  
 solid core wood,  
 door type 'A', frame  
 type 'F1'. 60 min. label  
 Card reader.

Revise Elevator Machine Rm. partitions from 1 hr rated to 2 hr rated partitions consisting of 3 5/8" metal studs w/ (2)layers 5/8" Type 'X' GWB ea. side & acoustic batts

Enlarge box out a column to accommodate piping feeds to fintube under window. Provide false enclosure from fintube to chase

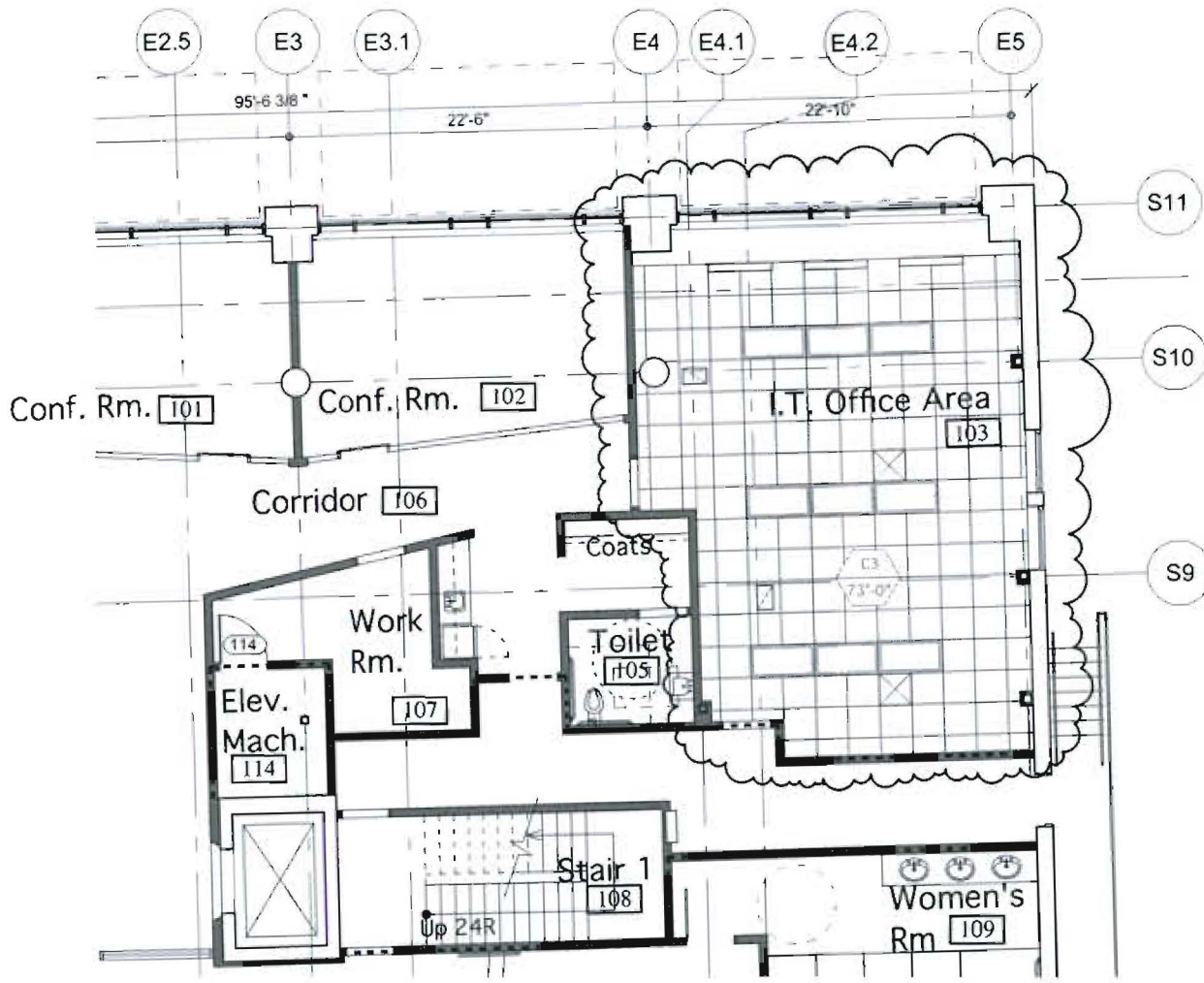
flooring at Room 103 to be carpet tile

Relocate F.E. cab as shown

Relocate thermostat shown on mech dwgs.

**FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

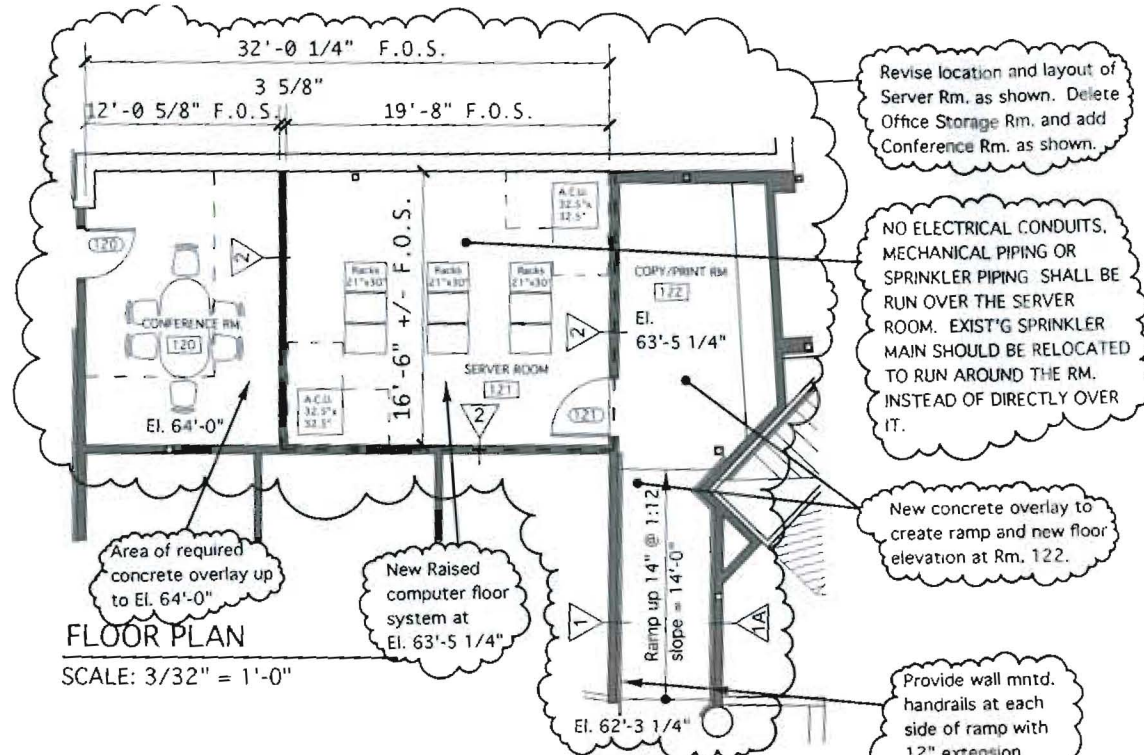
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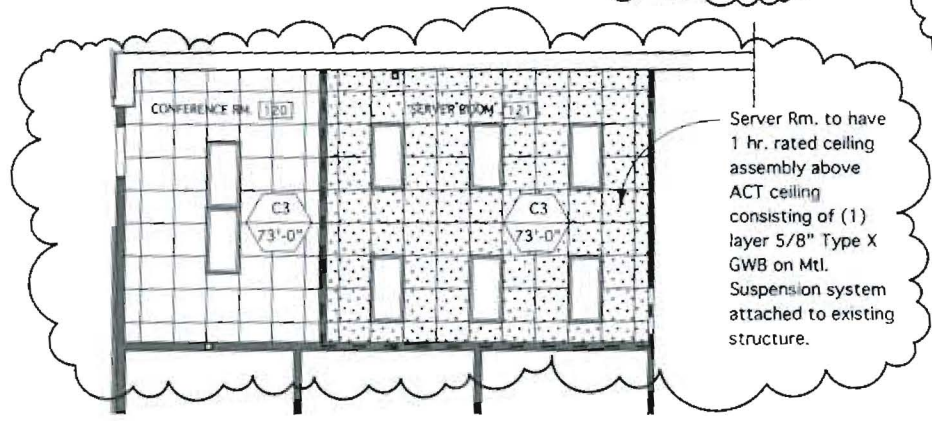
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CEILING PLAN  
 SCALE: 3/32" = 1'-0"





**FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



**CEILING PLAN**  
 SCALE: 3/32" = 1'-0"

Door Schedule revisions:

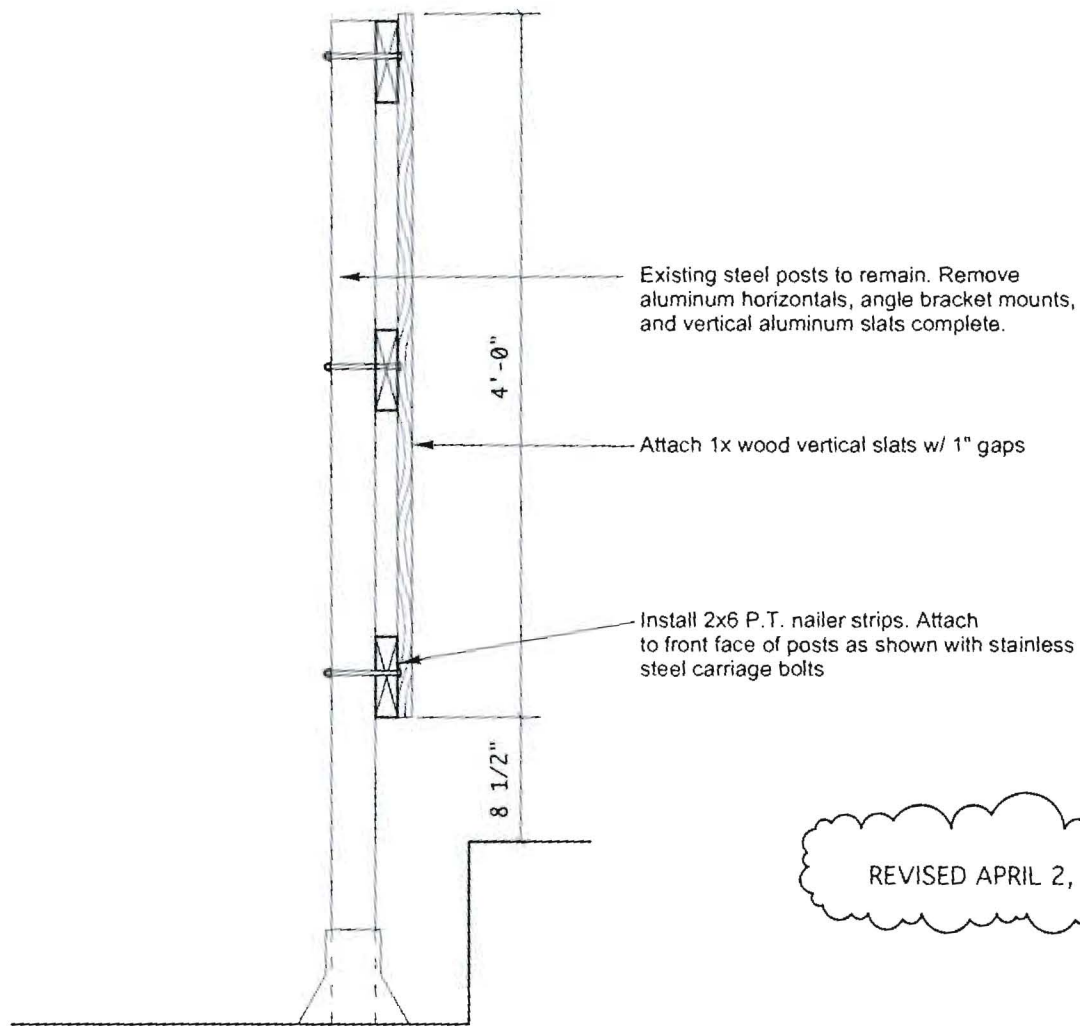
**Door 120:**  
 3'-0" x 7'-0"  
 solid core wood,  
 door type 'D', frame  
 type 'F1'

**Door 121:**  
 3'-6" x 7'-0"  
 solid core wood,  
 door type 'A', frame  
 type 'F1'. 60 min. label  
 & smoke gasketing.

**GENERAL NOTES:**

1. At areas of concrete floor overlays, edge of concrete should be located such that the adjacent metal stud partition can be built on the lower floor level. Horizontal framing should be provided between studs at the level of the higher slab to provide continuous edge support for GWB. See addendum #1, item 1.2

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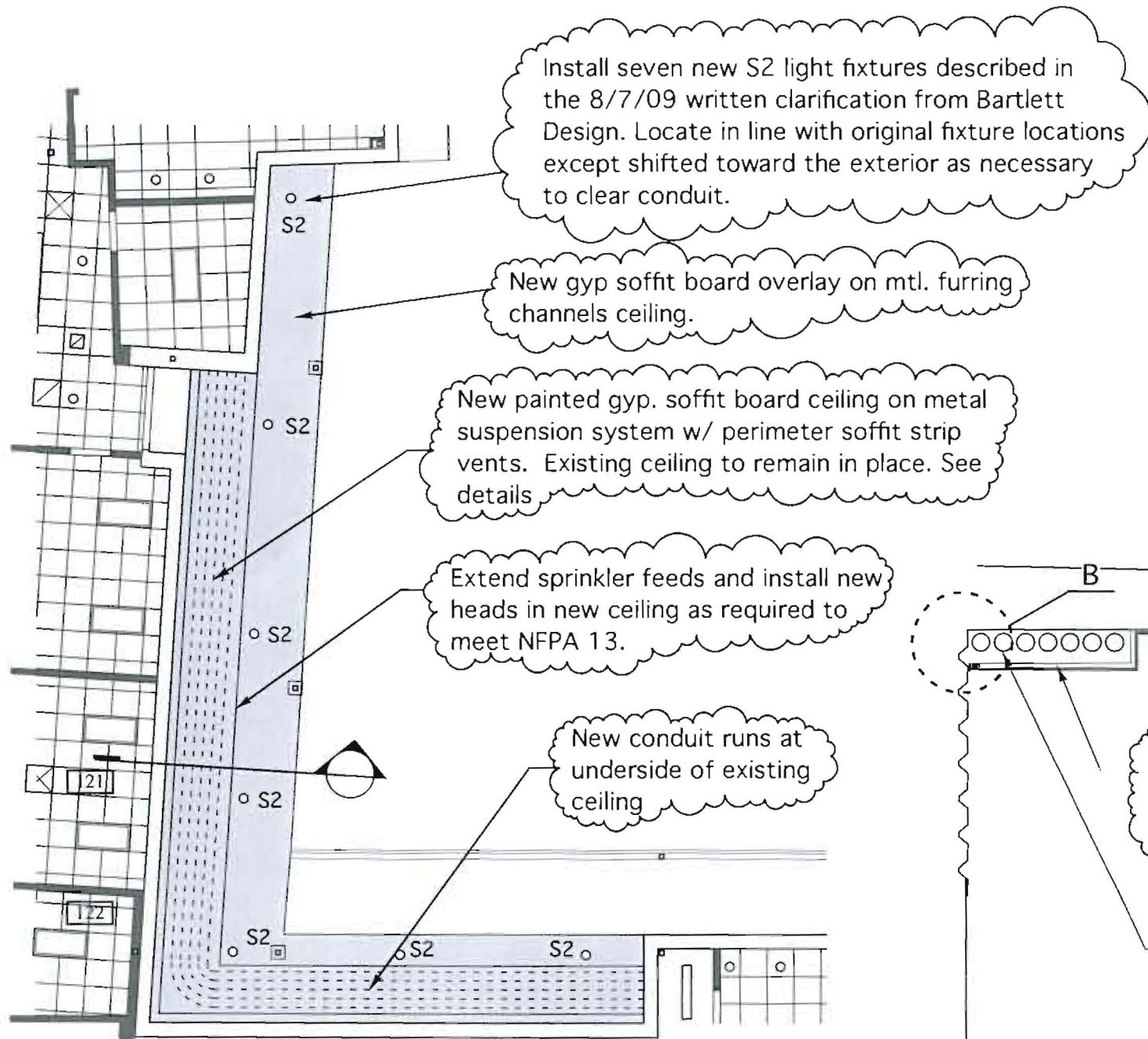
REVISED APRIL 2, 2010

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**DETAIL A @ MECHANICAL SCREEN**

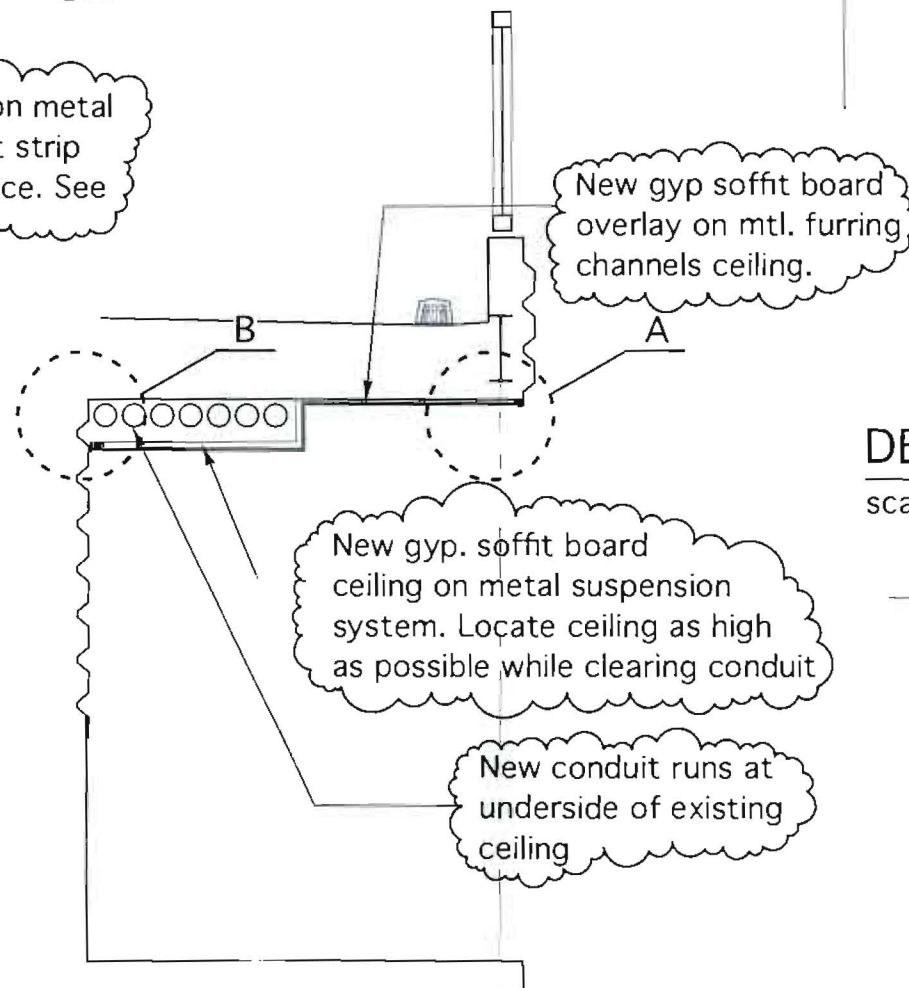
Scale: 1" = 1'-0"





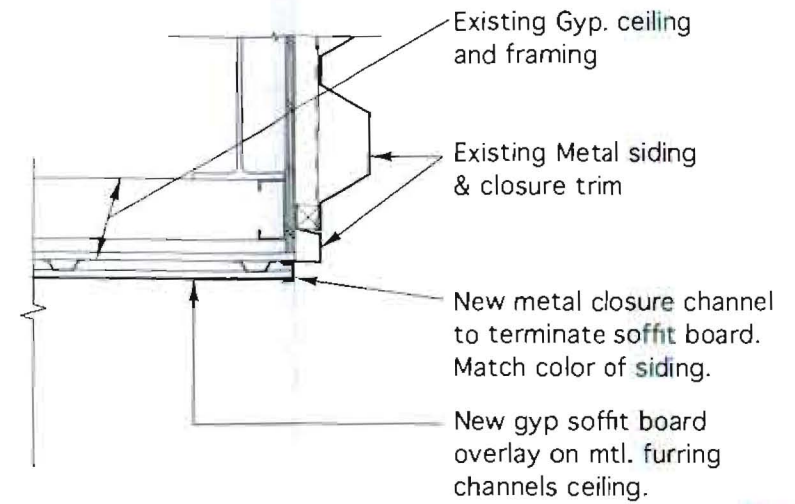
**CEILING PLAN**

scale: 3/32" = 1'-0"



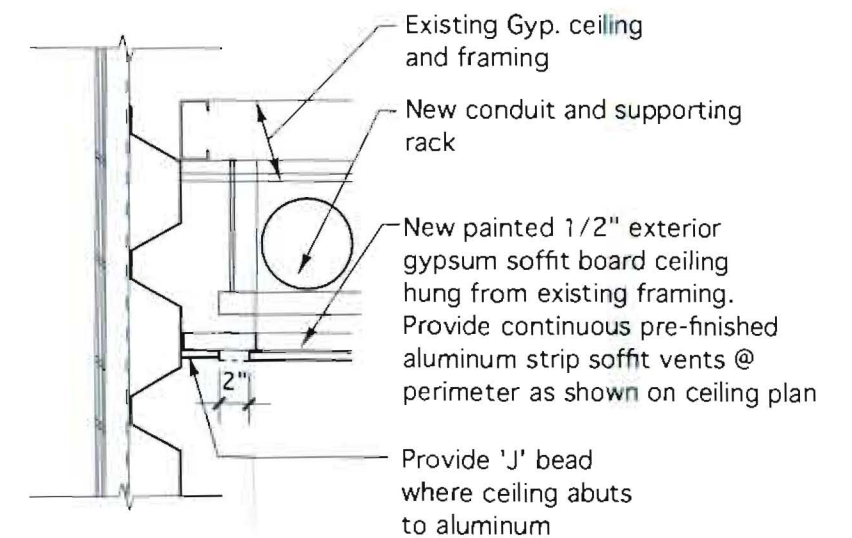
**SECTION**

scale: 1/4" = 1'-0"



**DETAIL A**

scale: 1" = 1'-0"



**DETAIL B**

scale: 1" = 1'-0"

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