

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 090381D

PERMIT ISSUED

MAY 27 2009

CITY OF PORTLAND

This is to certify that Portland Public Market LLC/V LIGHT R... INSTRUCTION

has permission to Office & Cafe (Mercantile) - R private interior, add second floor modification of corner entrance, Tenant fit-up

AT 320 CUMBERLAND AVE G... 027 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
- Health Dept. _____
- Appeal Board _____
- Other _____
Department Name

Jamie Bouke 5/27/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0381	Issue Date: 05/27/2009	CBL: 027 A001001
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Location of Construction: 320 CUMBERLAND AVE	Owner Name: Portland Public Market LLC	Owner Address: 284 Fore St Suite 301	Phone:
Business Name:	Contractor Name: WRIGHT RYAN CONSTRUCTIO	Contractor Address: 10 DANFORTH STREET Portland	Phone 2077733625
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: B-3

Past Use: Vacant Building Connected w/ permit# 090180	Proposed Use: Commercial - Office & Cafe (Mercantile) - Renovate interior, add second floor, modification of corner entrance, Tenant fit-up	Permit Fee: \$33,595.00	Cost of Work: \$3,350,000.00	CEO District: 1
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See conditions</i>	INSPECTION: Use Group: <i>B/M(B)</i> Type: <i>2B</i> <i>IBC-2003</i>
Signature: <i>JMB per KG</i>	Signature: <i>JMB 5/27/09</i>

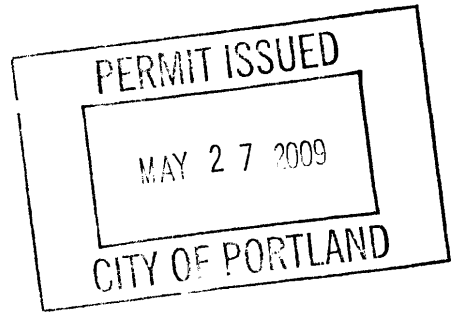
Proposed Project Description:
Office & Cafe (Mercantile) - Renovate interior, add second floor, modification of corner entrance, Tenant fit-up

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) <i>N/A PAD Encouragement</i>		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	<i>ON Pretest ONLY</i>	
Date:		

Permit Taken By: Ldobson	Date Applied For: 04/28/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Site Plan # 2009-0014	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>JMB per MS 5/1/09</i>	Date:	Date: <i>JMB per MS</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0381	Date Applied For: 04/28/2009	CBL: 027 A001001
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Location of Construction: 320 CUMBERLAND AVE	Owner Name: Portland Public Market LLC	Owner Address: 284 Fore St Suite 301	Phone:
Business Name:	Contractor Name: WRIGHT RYAN CONSTRUCTIO	Contractor Address: 10 DANFORTH STREET Portland	Phone (207) 773-3625
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Commercial - Office & Cafe (Mercantile) - Renovate interior, add second floor, modification of corner entrance, Tenant fit-up	Proposed Project Description: Office & Cafe (Mercantile) - Renovate interior, add second floor, modification of corner entrance, Tenant fit-up
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/01/2009

Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) It is noted that there is a Pedestrian Encouragement Area overlay along Preble Street only. That restricts how you may want to change the exterior windows to lessen them in size or to close them from view. AT this time there are no indications that the exterior windows are to be changed.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/27/2009

Note: **Ok to Issue:**

- 1) The updated, signed and sealed statement of special inspections shall be submitted prior to work associated with such requirements.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/13/2009

Note: **Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 3) The sprinkler system shall be installed in accordance with NFPA 13.
- 4) All construction shall comply with NFPA 101
- 5) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 6) The fire alarm system shall comply with NFPA 72. Compliance letter is required.
- 7) Any cutting or welding operations require a separate permit from the Fire dept.
- 8) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 9) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 10) Emergency lights and exit signs are required
- 11) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike, labeled "FIRE ALARM RECORDS".

Location of Construction: 320 CUMBERLAND AVE	Owner Name: Portland Public Market LLC	Owner Address: 284 Fore St Suite 301	Phone:
Business Name:	Contractor Name: WRIGHT RYAN CONSTRUCTIO	Contractor Address: 10 DANFORTH STREET Portland	Phone (207) 773-3625
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

- 12 Fire extinguishers required. Installation per NFPA 10
- 13 Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 14 Fire Alarm system shall be maintained.
If system is to be off line over 4 hours a fire watch shall be in place.
Dispatch notification required 874-8576.
- 15 A separate Fire Alarm System Permit is required per the Fire Department.
- 16 A separate Sprinkler System Permit is required per the Fire Department.
- 17 Fire alarm system requires a Masterbox connection per city ordinance.

Comments:

5/27/2009-jmb: Left vmsg with Steve W. For clarification on some details, smoke partions separating the atriums, rating the corridor at stair 1 for protected exit enclosure, conference room OL, SI statement official signed copy. I called the ICC for technical support on the atrium enclosure requirement (Sec. 404.5) and confirmed that exception 3 is allowed as it's only 2 stories and a smoke control system would also not be required.

5/27/2009-jmb: Steve called back, we reviewed the questions. He has some updates on the plans he will email for some of the issues I addressed. He confirmed the business is not open to the public so the conference rooms are only for employee OL count. The kitchen is not commercial and will have an oven for very minimal use. He will have Becker update and prepare the SI statement with signatures, I will add as a condition. Confirmed with Planning it is ok to issue.

5/27/2009-gg: received site plan from planning as of 5/27/09. Gg

Winton Scott Architects, PA

5 milk street portland, me 04101 t. 207.774.4811 f.207.774.3083 www.wintonscott.com

April 7, 2009

Ms. Genie Bourke
Code Enforcement Officer
City of Portland
389 Congress Street
Portland, ME 04101

RE: Building Permit Application – PowerPay Offices, Renovations to the former Portland Public Market building.

Dear Ms. Bourke,

Attached please find two copies of a completed Building Permit Application and supporting materials for the above referenced project.

This project proposes to convert the former Portland Public Market Building into a mixed use building consisting primarily of offices for PowerPay, a Portland based financial services company and a public café. Renovation plans include the addition of a new second floor and modifications to the corner entrance facing Cumberland Avenue and Preble Street that will increase the total usable square footage of the building from 33,333 s.f. to 46,451 s.f. Other exterior modifications to the building include the addition of new light monitors along the ridge of the roof, and new windows located on the service drive side of the building.

The interior renovations have been designed with the intent of preserving the visual character of the existing structure. The majority of the office space utilizes open work stations to minimize the use of full height partitions. The main market space is designed as an atrium space that is subject to the requirements of IBC, Section 404, Atriums. In NFPA, a two story space can be reviewed under the Communicating Space Section 8.6.6.

During the design phase I met with Ron Peaslee of the State Fire Marshal's office and Captain Cass at the Portland Fire Department. I would also like to meet with you to review the application and answer any questions you may have. I will call your office to set up an appointment.

Best Regards,

A handwritten signature in black ink, appearing to read "Steve Weatherhead". The signature is fluid and cursive, with the first name "Steve" and last name "Weatherhead" clearly distinguishable.

Steve Weatherhead, Associate
Winton Scott Architects

BECKER

structural engineers, inc.

Statement of Special Inspections

PowerPay Office Fit-up
Portland, Maine
March 31, 2009

Statement Prepared by
Structural Engineer of Record
Becker Structural Engineers, Inc.
75 York Street
Portland, ME 04101
207. 879. 1838

Owner
PowerPay, LLC.
280 Fore Street
Portland, ME 04101
877. 877. 3737

Architect of Record
Winton Scott Architects
5 Milk Street
Portland, ME 04101
207. 774. 4811

Contractor
Wright-Ryan Construction
10 Danforth Street
Portland, ME 04101
207. 773. 3625

Special Inspections – Exhibit A

Statement of Special Inspections
List of Agents
Final Report of Special Inspections
Special Inspector/Agent Report

Statement of Special Inspections - Exhibit A

Project: *PowerPay Office Fit-up*

Location: *Portland, Maine*

Owner: *PowerPay LLC*

This *Statement of Special Inspections* encompass the following discipline:

- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: _____

Design Professional in Responsible Charge: *Paul B. Becker, P.E.*

Firm Name: *Becker Structural Engineers, Portland, ME*

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

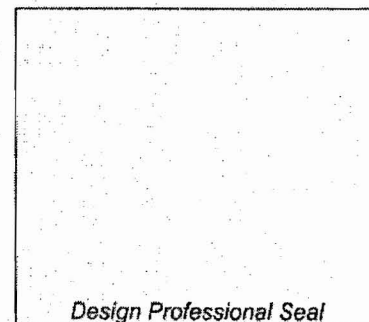
Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

Paul B. Becker, P.E.

(type or print name of the Structural Registered Design Professional in Responsible Charge)

Signature _____ Date 3-27-09



Owner's Authorization:

Building Code Official's Acceptance:

Signature _____ Date _____

Signature _____ Date _____

Statement of Special Inspections (Continued) - Exhibit A

List of AgentsProject: *PowerPay Office Fit-up*Location: *Portland, Maine*Owner: *PowerPay LLC*This *Statement of Special Inspections* encompass the following discipline:

- Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Cold-Formed Steel Framing |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input checked="" type="checkbox"/> Wood Construction | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Structural Special Inspection Coordinator (SSIC)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com</i>
2. Special Inspector (SI 1)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com</i>
3. Special Inspector (SI 2)	<i>To Be Determined</i>	
4. Testing Agency (TA 1)	<i>To Be Determined</i>	
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Statement of Special Inspections (Continued) - Exhibit A

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: *PowerPay Office Fit-up*

Location: *Portland, Maine*

Owner: *PowerPay LLC*

Owner's Address: *280 Fore Street
Portland, Maine 04101*

Architect of Record: *Steve Weatherhead*
(name)

Winton Scott Architects
(firm)

Structural Registered Design

Professional in Responsible Charge: *Paul B. Becker*
(name)

Becker Structural Engineers
(firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

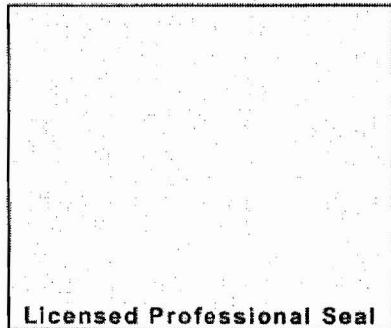
Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date



Statement of Special Inspections (Continued) - Exhibit A
Special Inspector's/Agent's Final Report

Project: *PowerPay Office Fit-up*

Special Inspector
or Agent:

(name)

(firm)

Designation: SI-2

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

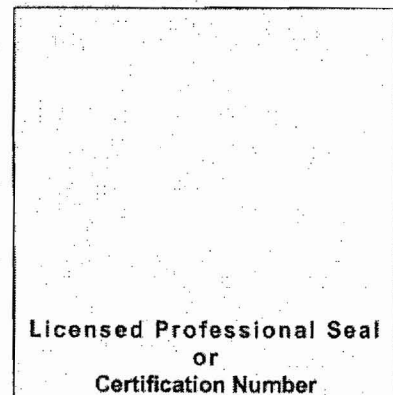
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date



Statement of Special Inspections (Continued) - Exhibit A
Special Inspector's/Agent's Final Report

Project: *PowerPay Office Fit-up*
Special Inspector
or Agent:

(name) (firm)
Designation: TAI

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

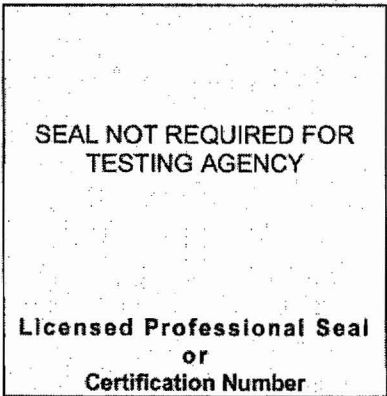
(Attach continuation sheets if required to complete the description of corrections.)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature Date



Special Inspections – Exhibit B

**Qualifications of Inspectors and Test Agency
List of Minimum Qualifications
Schedule of Structural Inspections**

Schedule of Special Inspections - Exhibit B

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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Other

Schedule of Special Inspections – Exhibit B
SOILS & FOUNDATION CONSTRUCTION

©Becker Structural Engineers, Inc. 2005

Project: PowerPay Office Fit-up, Portland, ME
 Date Prepared: 03/31/2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.7, 1704.8, 1704.9							
1. Verify existing soil conditions, fill placement and load bearing requirements							
a. Prior to placement of prepared fill, determine that the site has been prepared in accordance with the approved soils report.	Y	P	IBC 1704.7.1	SI2	PE/GE or EIT		
b. During placement and compaction of fill material, verify material being used and maximum lift thickness comply with the approved soils report.	Y	C	IBC 1704.7.2	SI2	PE/GE or EIT		
c. Test in-place dry density of compacted fill complies with the approved soils report.	Y	P	IBC 1704.7.2	TA1	NICET-ST or NICET-GET		
2. Pile foundations:							
a. Observe and record procedures for static load testing of piles.	N	C	IBC 1704.8	SI2	PE/GE or EIT		
b. Observe and record procedures for dynamic load testing of piles.	N	C		SI2	PE/GE or EIT		
c. Record installation of each pile and results of load test. Include cutoff and tip elevations of each pile relative to permanent reference.	N	C		TA1	NICET-GET		
d. Test welded splices of steel piles	N	C	AWS D1.1	TA1	AWS-CWI		
3. Pier foundations: Verify installation of pier foundations for buildings assigned to Seismic Design Category C, D, E or F.							
a. Verify pier diameter and length	N	C		SI2	PE/GE or EIT		
b. Verify pier embedment (socket) into bedrock	N	P		SI2	PE/GE or EIT		
c. Verify suitability of end bearing strata	N	P		SI2	PE/GE or EIT		

Soils and Foundations Construction has been reviewed in accordance with sections 1704.7, 8 & 9 of the IBC Code

Special Inspector

Date

Page of

Schedule of Special Inspections – Exhibit B

CONCRETE CONSTRUCTION

©Becker Structural Engineers, Inc. 2005

Project: PowerPay Office Fit-up, Portland, ME

Date Prepared: 03/27/2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.4							
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318: 3.5, 7.1-7.7	SII	PE/SE or EIT		
2. Inspection of reinforcing steel welding in accordance with Table 1704.3, Item 5B	N		Welding of Reinf Not Allowed	TA1	AWS-CWI		
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased	N	C	IBC 1912.5	SII	PE/SE or EIT		
4. Verifying use of required design mix	Y	P	ACI 318: Ch 4, 5.2-5.4	SII	PE/SE or EIT		
5. At time fresh concrete is sampled to fabricate specimens for strength test, perform slump and air content test and temperature	Y	C	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	TA1	ACI-CFTT or ACI-STT		
6. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	SII	PE/SE or EIT		
7. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	SII	PE/SE or EIT		
8. Inspection of Prestressed Concrete							
a. Application of prestressing force.	N	C	ACI 318: 18.20	SII	PE/SE or EIT		
b. Grouting of bonded prestressing tendons in seismic force resisting system	N	C	ACI 318: 18.18.4	SII	PE/SE or EIT		
9. Erection of precast concrete members	N	P	ACI 318: Ch 16	SII	PE/SE or EIT		
10. Verification of in-situ concrete strength, prior to stressing of tendons in post-tensioned concrete and prior to removal of shores and forms beams and structural slabs	N	P	ACI 318: 6.2	TA1	ACI-STT		

Concrete Construction has been reviewed in accordance with section 1704.4 of the IBC Code

Special Inspector _____

Date _____

Page of _____

Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: PowerPay Office Fit-up, Portland, ME

Date Prepared: 03/27/2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
1. Material verification of high-strength bolts, nuts and washers:							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material specifications; AISC 335, Section A3.4; AISC LRFD, Section A3.3	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT		
2. Inspection of high-strength bolting							
a. Bearing-type connections.	Y	P	AISC LRFD Section M2.5	TA1	AWS/AISC-SSI		
b. Slip-critical connections.	Y	C or P (method dependent)	IBC Sect 1704.3.3	TA1	AWS/AISC-SSI		
3. Material verification of structural steel (IBC Sect 1708.4):							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
b. Manufacturers' certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
4. Material verification of weld filler materials:							
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector _____

Date _____

Page of _____

Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: PowerPay Office Fit-up, Portland, ME

Date Prepared: 03/27/2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	SII	PE/SE or EIT		
6. Inspection of welding (IBC 1704.3.1):							
a. Structural steel:							
1) Complete and partial penetration groove welds.	Y	C	AWS D1.1	TAI	AWS-CWI		
2) Multipass fillet welds.	Y	C		TAI	AWS-CWI		
3) Single-pass fillet welds > 5/16"	Y	C		TAI	AWS-CWI		
4) Single-pass fillet welds < 5/16"	Y	P		TAI	AWS-CWI		
5) Floor and Roof deck welds.	Y	P	AWS D1.3	TAI	AWS-CWI		
b. Reinforcing steel (IBC Sect 1903.5.2):							
1) Verification of weldability of reinforcing steel other than ASTM A706.	N		Welding of Reinforcement not permitted	N/A			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	N	C	AWS D1.4 ACI 318: 3.5.2	TAI	AWS-CWI		
3) Shear reinforcement.	N	C		TAI	AWS-CWI		
4) Other reinforcing steel.	N	P		TAI	AWS-CWI		
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:							
a. Details such as bracing and stiffening.	Y	P		SII	PE/SE or EIT		
b. Member locations.	Y	P		SII	PE/SE or EIT		
c. Application of joint details at each connection.	Y	P		SII	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector _____

Date _____

Page of _____

Schedule of Special Inspection Services – Exhibit B
FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

©Becker Structural Engineers, Inc. 2005

Project: PowerPay Office Fit-up, Portland, ME
 Date Prepared: 03/27/2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.2							
1. Fabrication Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. AISC Certification	Y	S	Fabricator shall submit one of the two qualifications	SII	PE/SE or EIT		
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	SII	PE/SE or EIT		

Fabricator Qualifications have been reviewed in accordance with section 1704.2 of the IBC Code

Special Inspector _____ Date _____ Page of _____

Special Inspections – Exhibit C

Quality Assurance for Seismic Resistance Seismic Checklist
Quality Assurance for Seismic Resistance Wind Checklist
Schedule of Inspections

**(Note: participation of Architect, Mechanical Engineer,
and Electrical Engineer of Record will be required
to complete Exhibit C)**

QUALITY ASSURANCE FOR WIND REQUIREMENTS CHECK LIST [IBC 1706]

Project: PowerPay Office Fit-up, Portland, ME

Date Prepared: 03/27/2009

SEISMIC DESIGN CATEGORY:	
QUALITY ASSURANCE PLAN REQUIREMENTS	
(A Quality Assurance Plan, enacted through the Special Inspections requirements for this project, are in place for the following systems)	
<input checked="" type="checkbox"/> FOR SEISMIC DESIGN CATEGORY C OR HIGHER:	
Structural: <input checked="" type="checkbox"/> The seismic-force-resisting systems <input type="checkbox"/> Steel Braced Frames and associated connections/anchorage <input checked="" type="checkbox"/> Steel Moment Frames and associated connections <input type="checkbox"/> Shear walls: <input type="checkbox"/> CMU <input type="checkbox"/> Wood <input type="checkbox"/> Concrete <input type="checkbox"/> Diaphragms: <input checked="" type="checkbox"/> Floor <input type="checkbox"/> Roof <input type="checkbox"/> Other:	SER
Mechanical/Piping: <input type="checkbox"/> Heating, ventilating and air-conditioning (HVAC) ductwork containing hazardous materials and anchorage of such ductwork <input type="checkbox"/> Hazardous Material: <input type="checkbox"/> Hazardous Material: <input type="checkbox"/> Piping systems and mechanical units containing flammable, combustible or highly toxic materials <input type="checkbox"/> Material: <input type="checkbox"/> Material:	MER
Electrical: <input type="checkbox"/> Anchorage of electrical equipment used for emergency or standby power systems <input type="checkbox"/> Equipment: <input type="checkbox"/> Equipment: <input type="checkbox"/> Equipment:	EER
<input type="checkbox"/> ADDITIONAL SYSTEMS FOR SEISMIC DESIGN CATEGORY D OR HIGHER:	
Architectural: <input type="checkbox"/> Exterior wall panels and their anchorage <input type="checkbox"/> Precast Concrete <input type="checkbox"/> Brick <input type="checkbox"/> Stone: <input type="checkbox"/> Other: <input type="checkbox"/> Suspended ceiling systems and their anchorage <input type="checkbox"/> Access floors and their anchorage <input type="checkbox"/> Steel storage racks and their anchorage <input type="checkbox"/> Retail Storage Racks <input type="checkbox"/> High Density Files <input type="checkbox"/> Other: <input type="checkbox"/> Life-safety component required to function after an earthquake: <input type="checkbox"/> Engineered Egress Stairs <input type="checkbox"/> Fire Protection Sprinkler System <input type="checkbox"/> Other: <input type="checkbox"/> Other: <input type="checkbox"/> Other:	RAR
<input type="checkbox"/> ADDITIONAL SYSTEMS FOR SEISMIC DESIGN CATEGORY D OR HIGHER:	
Electrical: <input type="checkbox"/> Electrical equipment	EER

Structural Engineer of Record (SER): <hr/> Signature _____ Date _____ Mechanical Engineer of Record (MER):	Registered Architect of Record (RAR): <hr/> Signature _____ Date _____ Electrical Engineer of Record (EER):
<hr/> Signature _____ Date _____ Building Code Official's Acceptance:	<hr/> Signature _____ Date _____
<hr/> Signature _____ Date _____	©Becker Structural Engineers, Inc. 2005

Quality Assurance Plan – Exhibit C

QUALITY ASSURANCE FOR WIND REQUIREMENTS CHECK LIST [IBC 1706]

Project: PowerPay Office Fit-up, Portland, ME

Date Prepared: 03/27/2009

Wind Exposure: B

REQUIRED	NOT REQUIRED	NOT APPLICABLE	QUALITY ASSURANCE PLAN REQUIREMENTS (A Quality Assurance Plan is required where indicated below)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In wind exposure Categories A and B, where the 3-second-gust basic wind speed is 120 miles per hour (mph) (52.8 m/sec) or greater.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	In wind exposure Categories C and D, where the 3-second-gust basic wind speed is 110 mph (49 m/sec) or greater.

Prepared by:

Building Code Official's Acceptance:

Signature

Date

Signature

Date

Schedule of Special Inspections – Exhibit C
SEISMIC RESISTANCE - STRUCTURAL

©Becker Structural Engineers, Inc. 2005

Project: PowerPay Office Fit-up, Portland, ME
Date Prepared: 03/27/2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1707							
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following:			Seismic Design Category: D				
a. The seismic-force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	Y	P	IBC 1707.1	SI1	PE/SE or EIT		
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	Y	P	IBC 1707.2	TA1	AWS-CWI		
3. Structural wood:							
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system.	N	C	IBC 1707.3	SI1	PE/SE or EIT		
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including drag struts, braces and hold-downs	N	P	IBC 1707.3	SI1	PE/SE or EIT		
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including struts, braces, and hold-downs	N	N	CFSF for this project not part of the primary seismic-force resisting system				
4. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	N	N	IBC 1707.8 Seismic isolators not used				

Structural Seismic Resistance has been reviewed in accordance with section 1707 of the IBC Code

Special Inspector _____

Date _____

Page X of X

Special Inspections – Exhibit D

**Contractor's Statement of Responsibility
Fabricator's Certificate of Compliance**

Contractor's Statement of Responsibility –Exhibit D

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. Make additional copies of this form as required.

Project:

Contractor's Name:

Address:

License No.:

Description of designated building systems and components included in the Statement of Responsibility:

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

Signature

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

Fabricator's Certificate of Compliance – Exhibit D

Each approved fabricator that is exempt from Special Inspection of shop fabrication and implementation procedures per section 1704.2 of the International Building Code must submit a *Fabricator's Certificate of Compliance* at the completion of fabrication.

Project:

Fabricator's Name:

Address:

Certification or Approval Agency:

Certification Number:

Date of Last Audit or Approval:

Description of structural members and assemblies that have been fabricated:

I hereby certify that items described above were fabricated in strict accordance with the approved construction documents.

Signature

Date

Title

Attach copies of fabricator's certification or building code evaluation service report and fabricator's quality control manual.

End of Statement of Special Inspections



General Building Permit Application

4/17/09
090381

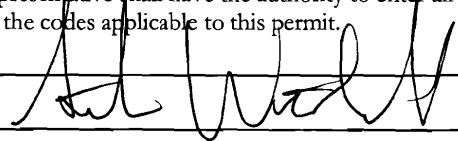
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 320 Cumberland Avenue		
Total Square Footage of Proposed Structure/Area Exist'g 33,333 S.F. / Proposed 46,451 S.F.		Square Footage of Lot 47,647 S.F. (1.0938 Acres)
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 027 027 A001	Applicant * must be owner, Lessee or Buyer * Name Stephen Goodrich, c/o Portland Public Market, LLC Address 280 Fore St., Suite 301 City, State & Zip Portland, ME 04101	Telephone: 207-450-2420
Lessee/DBA (If Applicable) PowerPay	Owner (if different from Applicant) Name SAME AS APPLICANT Address City, State & Zip	Cost Of Work: \$ 3,350,000 C of O Fee: \$ 75.00 Total Fee: \$ 33,595
Current legal use (i.e. single family) <u>VACANT</u>		
If vacant, what was the previous use? <u>Public Market & Restaurant</u> <i>Phase II</i>		
Proposed Specific use: <u>Office Use (Business) & Cafe (Mercantile)</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: Renovations to the former Portland Public Market Building to add approximately 13,118 of new second floor within the building; complete reconfiguration of interior; installation of new mechanical & electrical systems; addition of skylights and windows; modification of the corner entrance at Preble & Cumberland		
Contractor's name: <u>Wright Ryan Construction, Inc.</u>		
Address: <u>10 Danforth Street</u>		
City, State & Zip <u>Portland, ME 04101</u>		Telephone: <u>773-3625</u>
Who should we contact when the permit is ready: <u>Tom Burrill, Project Manager</u>		Telephone: <u>756-2542</u>
Mailing address: <u>10 Danforth Street, Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: <u>4/17/09</u>
--	----------------------

This is not a permit; you may not commence ANY work until the permit is issue

State of Maine



Department of the Secretary of State

I, the Secretary of State of Maine, certify that according to the provisions of the Constitution and Laws of the State of Maine, the Department of the Secretary of State is the legal custodian of the Great Seal of the State of Maine which is hereunto affixed and that the paper to which this is attached is a true copy from the records of this Department.

In testimony whereof, I have caused the Great Seal of the State of Maine to be hereunto affixed. Given under my hand at Augusta, Maine, this second day of April 2009.



A handwritten signature in black ink, appearing to read "Matthew Dunlap".

MATTHEW DUNLAP

Secretary of State

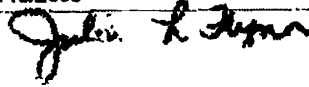
**DOMESTIC
LIMITED LIABILITY COMPANY**

STATE OF MAINE

ARTICLES OF AMENDMENT

25 Preble Street, LLC
(Name of Limited Liability Company)

File No 20091105DC Pages 2
Fee Paid \$ 50
DCN 2083851500034 LNME
FILED
12/18/2008



Deputy Secretary of State

A True Copy When Attested By Signature

Deputy Secretary of State

Pursuant to 31 MRSA §623, the undersigned limited liability company executes and delivers for filing these articles of amendment:

FIRST: The name of the limited liability company has been changed to (if no change, so indicate)

Portland Public Market LLC

(The name must contain one of the following "Limited Liability Company", "L.L.C." or "LLC", §603-A 1)

SECOND: The management of the limited liability company has been changed (if no change, so indicate no change). If changed, "X" one box only.

- A. The management of the company is vested in a member or members
- B. The management of the company is vested in a manager or managers. The minimum number shall be _____ managers and the maximum number shall be _____ managers.

THIRD: Other amendments to the articles, if any, that the members determine to adopt are set forth in Exhibit _____ attached hereto and made a part hereof.

DATED December 17, 2008

Manager(s)/Member(s)

Dennis C. Sbraga
(signature)

Dennis C. Sbraga, Duty Authorized Person

(type or print name and capacity)

(signature)

(type or print name and capacity)

(signature)

(type or print name and capacity)

For Manager(s)/Member(s) which are Entities

Name of Entity _____

By _____
(authorized signature) (type or print name and capacity)

Name of Entity _____

By _____
(authorized signature) (type or print name and capacity)

Name of Entity _____

By _____
(authorized signature) (type or print name and capacity)

*Articles MUST be signed by:

- (1) at least one manager OR
- (2) at least one member if the limited liability company is managed by the members OR
- (3) any duly authorized person.

The execution of this certificate constitutes an oath or affirmation under the penalties of false swearing under 17-A MRSA §453.

Please remit your payment made payable to the Maine Secretary of State.

SUBMIT COMPLETED FORMS TO: CORPORATE EXAMINING SECTION, SECRETARY OF STATE,
 101 STATE HOUSE STATION, AUGUSTA, ME 04333-0101
 TEL. (207) 624-7752

FORM NO. MLLC-9 (2 of 2) Rev. 3/1/2004

Received
 Recorded Register of Deeds
 Apr 06, 2009 11:48:21A
 Cumberland County
 Pamela E. Lovles

QUITCLAIM WITH COVENANT DEED

KNOW ALL BY THESE PRESENTS, that Atlantic National Holdings, LLC, a Delaware limited liability company, the mailing address is in c/o 50 Portland Pier, Suite 400, Portland, Maine 04101 ("Grantor"), for consideration paid, grants to 25 Preble Street, LLC, a Maine limited liability company with a mailing address of 113 Foreside Road, Falmouth, Maine 04105 ("Grantee"), with Quitclaim Covenant, certain real estate located in the City of Portland, County of Cumberland and State of Maine, which is more particularly described on Exhibit A attached hereto and made a part hereof (the "The Portland Public Market Land").

This conveyance is made SUBJECT, HOWEVER, to real estate taxes which are not yet due and payable, which, by acceptance hereof, Grantee assumes and agrees to pay.

EXCEPT WITH RESPECT TO THE QUITCLAIM COVENANT SPECIFICALLY SET FORTH IN THIS DEED, GRANTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, WHETHER OF MERCHANTABILITY, SUITABILITY OR FITNESS FOR A PARTICULAR PURPOSE, OR QUALITY AS TO THE PORTLAND PUBLIC MARKET LAND AND ANY IMPROVEMENTS THEREON, IT BEING UNDERSTOOD THAT THE PORTLAND PUBLIC MARKET LAND AND ANY IMPROVEMENTS THEREON ARE CONVEYED HEREUNDER "AS IS, WHERE IS, WITH ALL FAULTS" ON THE DATE HEREOF, AND IN THEIR PRESENT CONDITION, AND GRANTEE HAS RELIED UPON ITS OWN EXAMINATION THEREOF.

IN WITNESS WHEREOF, Atlantic National Holdings, LLC has caused this instrument to be executed on its behalf by its duly authorized undersigned representative, this 31st day of October, 2008.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCES OF:

Atlantic National Holdings, LLC

[Signature]
Witness

By: [Signature]
Printed Name: Theodore V. West
Its: Manager

STATE OF MAINE
County of Cumberland

October 31, 2008

Then personally appeared the above-named Theodore V. West, in his capacity as Manager of Atlantic National Holdings, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of Atlantic National Holdings, LLC.

Before me,
[Signature]
Notary Public/Attorney At Law
Printed Name: Tom S. Houlson
Commission Expires: N/A

MAINE REAL ESTATE TAX PAID

1

EXHIBIT A

Description of Portland Public Market Land

A certain lot or parcel of land, with the buildings thereon, situated in the City of Portland, County of Cumberland, State of Maine, on the southwesterly side of Elm Street, on the southeasterly side of Cumberland Avenue, and on the easterly side of Preble Street, more particularly described as follows:

Beginning at the intersection of the southeasterly sideline of Cumberland Avenue and the southwesterly sideline of Elm Street;

Thence South $32^{\circ} 08' 40''$ East a distance of 119.17 feet by Elm Street to land of the City of Portland;

Thence South $57^{\circ} 52' 03''$ West by land now of formerly of the City of Portland and on a line parallel to and 10.00 feet northwesterly of the extension of the northwesterly end of the Portland Public Library building shown on said plan a distance of 7.00 feet;

Thence South $40^{\circ} 35' 00''$ West by land now of formerly of the City of Portland a distance of 8.41 feet;

Thence South $57^{\circ} 52' 03''$ West by land now of formerly of the City of Portland a distance of 63.96 feet;

Thence southwesterly, southerly and southeasterly by land now of formerly of the City of Portland on a curve to the left having a radius of 16.34 feet and an arc distance of 25.36 feet, which line passes 2.8 feet northwesterly from the northwest corner of said Portland Public Library building;

Thence South $31^{\circ} 04' 10''$ East by land now of formerly of the City of Portland a distance of 145.58 feet to land conveyed to GRE Congress Canal LLC;

Thence by said land now of formerly of GRE Congress Canal LLC S $58^{\circ} 20' 30''$ West, 122.35 feet to Preble Street;

Thence North $30^{\circ} 57' 40''$ West by Preble Street 297.90 feet to the back corner of an 8"x8" granite monument found at the point of intersection at the southerly sideline of Cumberland Avenue and the easterly sideline of Preble Street;

Thence North $62^{\circ} 01' 40''$ East by Cumberland Avenue, 214.83 feet to the point of beginning.

Meaning and intending to describe a parcel containing 47,647 square feet and labeled "Portland Public Market" on plan entitled "ALTA/ACSM Land Title Survey on Congress Street, Cumberland Avenue, Preble Street & Elm Street, Portland, Maine made for Record Owner October Corporation" by Owen Haskell, Inc., dated August 23, 2006 (the "Plan"). Reference is made to the deed from October Corporation to Canal Congress LLC dated August 24, 2006 and recorded in the Cumberland County Registry of Deeds in Book 24299, Page 59 and to deed to the Grantor dated May 15, 2008 and recorded in said Registry of Deeds in Book 26103, Page 331.

The Portland Public Market Land is conveyed together with all right, title and interest of Grantor in and to any easements appurtenant thereto, including, without limitation, the following:

1. Rights and easements set forth in deed from Marcy, Inc. to the City of Portland dated October 17, 1977, and recorded in the Cumberland County Registry of Deeds in Book 4188, Page 175, as modified by deed to Ram & Co., dated August 17, 1981 and recorded in Book 4842, Page 131, and by Agreement to Modify Easement by and between the City of Portland and October Corporation, dated April 16, 1996 and recorded in Book 12460, Page 175.
2. Common law party wall rights.
3. Rights and easements set forth in deed from Crown Life Insurance Company to October Corporation dated June 12, 1995, and recorded in the Cumberland County Registry of Deeds in Book 11974, Page 39, as modified by Agreement between the City of Portland and October Corporation, dated April 12, 1996 and recorded in Book 12460, Page 172.
4. Rights and easements set forth in Easement Deed between the City of Portland and August Corporation, dated August 5, 1997 and recorded in Book 13239, Page 75.
5. Easement Agreement by and between GRE Congress Canal LLC and Atlantic National Holdings, LLC dated June 2, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26103, Page 335.
6. Easements, covenants, conditions and restrictions of record, to the extent applicable.

Received
Recorded Register of Deeds
Nov 03, 2008 02:49:40P
Cumberland County
Pamela E. Lovies