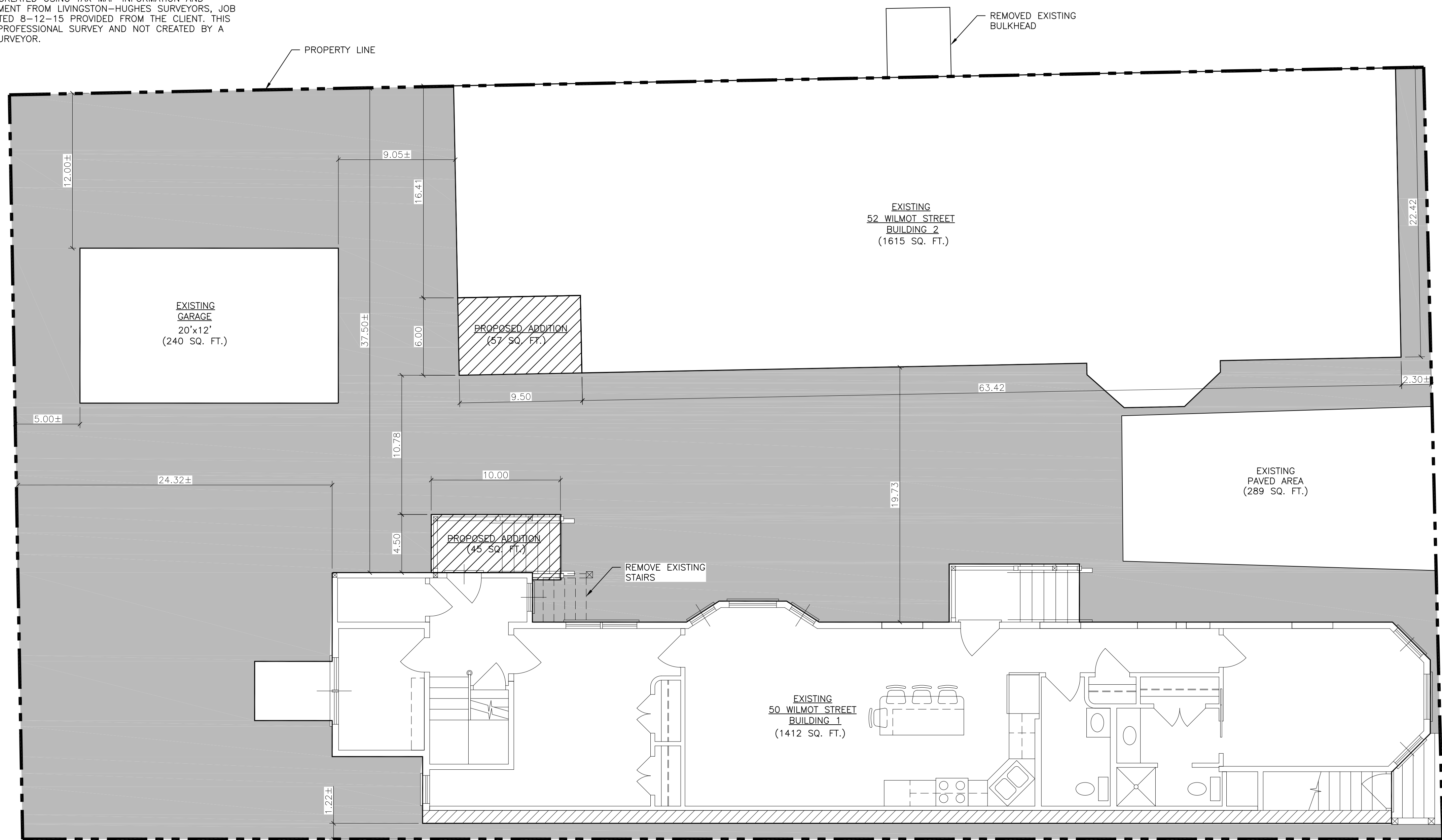


THIS PLAN WAS CREATED USING TAX MAP INFORMATION AND MORTGAGE DOCUMENT FROM LIVINGSTON-HUGHES SURVEYORS, JOB NO. 858-92, DATED 8-12-15 PROVIDED FROM THE CLIENT. THIS PLAN IS NOT A PROFESSIONAL SURVEY AND NOT CREATED BY A PROFESSIONAL SURVEYOR.



PROPOSED NON-IMPERVIOUS AREA (2783 SQ. FT.)

PROPOSED ADDITIONS

BUILDING LOT COVERAGE

TOTAL LOT AREA 6441 SQ. FT.

TOTAL MAXIMUM BUILDING LOT COVERAGE ALLOWED (60% OF TOTAL LOT AREA) 3865 SQ. FT.

TOTAL MAXIMUM BUILDING LOT COVERAGE ALLOWED (60%) 3865 SQ. FT.

TOTAL EXISTING BUILDING LOT COVERAGE 3267 SQ. FT.

BALANCE ALLOWED 598 SQ. FT.

BALANCE OF LOT COVERAGE ALLOWED 598 SQ. FT.

PROPOSED ADDITION LOT COVERAGE 102 SQ. FT.

LOT COVERAGE BALANCE 496 SQ. FT.

LANDSCAPED OPEN SPACE COVERAGE

TOTAL LOT AREA 6441 SQ. FT.

LANDSCAPED OPEN SPACE REQUIRED (20% OF TOTAL LOT AREA) 1288 SQ. FT.

TOTAL IMPERVIOUS AREA ALLOWED 5153 SQ. FT.

TOTAL EXISTING BUILDING AREA 3267 SQ. FT.

TOTAL EXISTING PAVING AREA 289 SQ. FT.

TOTAL EXISTING IMPERVIOUS AREA 3556 SQ. FT.

TOTAL EXISTING IMPERVIOUS AREA 3556 SQ. FT.

PROPOSED IMPERVIOUS AREA 102 SQ. FT.

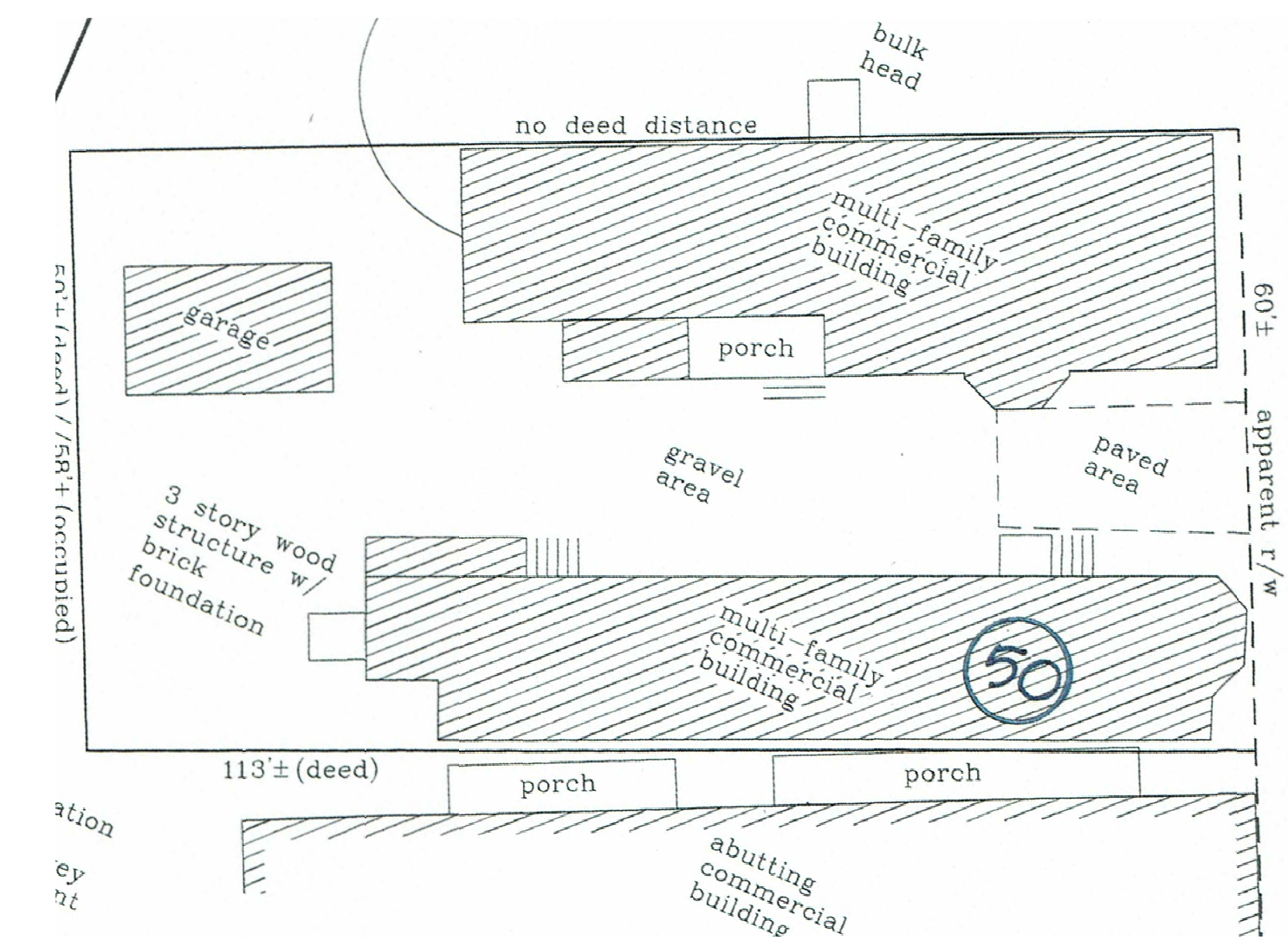
TOTAL PROPOSED IMPERVIOUS AREA 3658 SQ. FT.

TOTAL IMPERVIOUS AREA ALLOWED 5153 SQ. FT.

TOTAL PROPOSED IMPERVIOUS AREA 3658 SQ. FT.

IMPERVIOUS AREA BALANCE 1495 SQ. FT.

PROPOSED SITE LAYOUT



EXISTING SITE LAYOUT



ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR PROFESSIONAL LAND SURVEYORS. ALL CODES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE REGISTERED PROFESSIONAL. IF NOT, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER. ALL NOTING, SPECIFICATIONS AND DIMENSIONS SHALL BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE WORK BEGINS. ALL OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF MORIN DRAFTING AFTER REVIEW. IF PLANS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS, MORIN DRAFTING SHALL BE HELD HARMLESS. IN ALL EVENTS DAMAGES SHALL BE LIMITED TO THE COST OF THE PLANS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS, CHANGES AND/OR REVISIONS TO THE PLANS. ALL PLANS ARE THE PROPERTY OF MORIN DRAFTING.

50-52 WILMOT STREET	
MORIN DRAFTING 318-1177	
50-52 WILMOT STREET, L.L.C. 477 CONGRESS STREET PORTLAND, MAINE	
LOT LAYOUT	
DRAWN: J. MORIN	C1
SCALE: AS NOTED	
DATE: 05-28-2016	
PLAN NO:	