Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 05/1414

PERMIT ISSUED
OCT 6 2005
CITY OF PORTLAND

This is to certify that York John W/Jay York

has permission to ~~Renovate 6 studio and 1 carriage house to condo units.~~ 3 UNITS IN MAIN BUILDING

AT 239 Cumberland Ave CBL: 026 L010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Cass PFD 9-6-05

Health Dept.

Appeal Board

Other

Department Name

10/6/05

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

CLOSED

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
05-1141	08/03/2005	026 L010001

Location of Construction:	Owner Name:	Owner Address:	Phone:
239 Cumberland Ave	York John W	58 Wilmot St	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Jay York	58 Wilmot Street Portland	(207) 773-3434
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Change of Use - Condo Conversion	

Proposed Use:	Proposed Project Description:
Change of use- Renovate 6 studio and 1 carriage house to 4 residential condo units.Three D.U. in the main bldg & 1 DU in the carriage house	Renovate 6 studio and 1 carriage house to 4 residential condo units. This permits is for the Main house ONLY!!

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/31/2005

Note: This proposal does not violate section 14-483 which regulates the elimination of three (3) or more du - only 2 du are being eliminated. **Ok to Issue:** ☑

1) Separate permits shall be required for future decks, sheds, pools, and/or garages.

2) This property shall remain a four (4) family condominium dwelling with the issuance of this permit and the subsequent issuance of certificates of occupancy. Three (3) residential condominiums are located within 239 Cumberland Avenue building and one (1) residential condominium is located within the carriage house on Pearl Street. Any change of use shall require a separate permit application for review and approval.

3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

4) PLEASE NOTE: Under the City's Condominium conversion regulations, A) BEFORE a developer offers to convey a converted unit, a conversion permit shall be obtained. B) Rent may not be altered during the official noticing period unless expressly provided in a preexisting written lease. C) For a sixty (60) day period following the notice of intent to convert, the tenant has an exclusive and irrevocable option to purchase during which time the developer may not convey or offer to convey the unit to any other person. D) The developer shall post a copy of the permit in a conspicuous place in each unit, and shall make copies available to prospective purchasers upon request. E) If a tenant is eligible for tenant relocation payments, they SHALL be paid a CASH PAYMENT BEFORE the tenant is required to vacate.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 10/06/2005

Note: **Ok to Issue:** ☑

1) The applicant did not pay the $9. Per $1000. Construction cost

2) This permits is for the Main house ONLY!!

3) Spiral stair detail must be submitted for approval prior to installation.
Floor ceiling UL listed design w/ STC must be submitted and approved prior to installation.
Sleeping rooms must have egress windows

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 09/06/2005

Note: **Ok to Issue:** ☑

1) Need to provide details for means of egress 2nd floor of carraige house.

2) All building construction to comply with NFPA 101.
Fire alarm system to comply with NFPA 72 and City code.
Loft area dosn't appear to meet egress for sleeping area.

PERMIT ISSUED

OCT 6 2005

CITY OF PORTLAND

Comments:

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
05-1141	08/03/2005	026 L010001

Location of Construction:	Owner Name:	Owner Address:	Phone:
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Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
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3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

4) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:**

Note: **Ok to Issue:** ☐

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 09/06/2005

Note: **Ok to Issue:** ☑

1) All building construction to comply with NFPA 101.
Fire alarm system to comply with NFPA 72 and City code.
Loft area dosn't appear to meet egress for sleeping area.

2) Need to provide details for means of egress 2nd floor of carraige house.

Comments:

9/7/2005-mjn: Spoke with Jay York...Plans need to be detailed and stamped

Location of Construction:	Owner Name:	Owner Address:	Phone:
239 Cumberland Ave	York John W	58 Wilmot St	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Jay York	58 Wilmot Street Portland	(207) 773-3434
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Change of Use - Condo Conversion	

9/7/2005-mjn: Spoke with Jay York...Plans need to be detailed and stamped

10/6/2005-mjn:

Condominium Conversion and Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 239 Cumberland Avenue / 142 Pearl Street

Total Square Footage of Proposed Structure: 5398

Square Footage of Lot: 3448

Tax Assessor's Chart, Block & Lot
Chart# 026 Block# L Lot# 10

Owner: John W. York

Telephone: 774-9600

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 3 2005
RECEIVED

Lessee/Buyer's name (if applicable)

Applicant name, address & telephone:
Jay York
58 Wilmot Street
Portland, ME 04101
774-9600

Cost Of Work: $ 200,000

Fee: $
____ **units @ $150.00 per unit $**_____ **+ $75.00 per unit CofO $**_____
Total Fee: 900

Current use: rentals number of units: 6+ (artist studio in detached carriage house 3-1 bedroom)

Proposed use: Condominiums **number of units:** 4

Project description: Renovate 6 studio or one bedroom apts into 1-2 bedroom condos by consolidation. Renovate carriage house (current use is artist studio) into 1 bedroom condo.

Contractor's name, address & telephone: Jay York, 58 Wilmot Street, Portland ME 04101

Whom should we contact when the permit is ready: Jay York > 773-3434

Mailing address: Same

Phone: 774-9600

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: John W. York **Date:** 7/29/05

This is not a Permit, you may not commence ANY work until the Permit is issued.

Location of Construction:	Owner Name:	Owner Address:	Phone:
239 Cumberland Ave	York John W	58 Wilmot St	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Jay York	58 Wilmot Street Portland	(207) 773-3434
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Change of Use - Condo Conversion	

9/7/2005-mjn: Spoke with Jay York...Plans need to be detailed and stamped

10/6/2005-mjn:

Zoning Division
Marge Schmuckal
Zoning Administrator

return to Marge

Department of Planning & Development
Lee Urban, Director

CITY OF PORTLAND

CITY OF PORTLAND HOUSING CODE
DWELLING UNIT COMPLIANCE

Section 14-391 of the Land Use Ordinance allows illegal nonconforming dwelling units to become legalized thru a given process. Part of this process is that the dwelling unit(s) that are requested to be legalized must comply or be able to comply with the City of Portland's Housing Code PRIOR to issuing the requested permit.

Please return this form to the Zoning Administrator (Marge Schmuckal) as to compliance or the ability to comply with these codes.

Location: 440 St. John Street

Owner: Brad James

Address of Owner: 341 Saco Street **Telephone:** 671-9146
Westbrook, ME 04092

Applicant information if different than above:

Current number of legal units: 2

Number of units to be legalized: ~~1~~ 1 (extra unit within rear bldg on property)
total 3

Comments of approval or disapproval (list any and all conditions):

Signature: **Date:**

Room 315 – 389 Congress Street - Portland, Maine 04101 (207) 874-8695 - FAX: (207) 874-8716 - TTY: (207) 874-8936

10/3/05

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT - 4 2005
RECEIVED

CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

198
ANSI
Fed. Fair Housing
Exist. Building

ACCESSIBILITY CERTIFICATE

Designer: MICHAEL BELLEAU

Address of Project: 239 CUMBERLAND AVE

Nature of Project: EXISTING APARTMENT BUILDINGS CONVERTING ONE BUILDING TO 3 CONDOS

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

EXISTING BUILDING

EXISTING BUILDING - NOT COMMERCIAL OR PUBLIC OR MERCANTILE

Signature:

Title: PRINCIPAL

(SEAL)

LICENSED ARCHITECT
MICHAEL J. BELLEAU
No. AR2260
STATE OF MAINE

Firm: MICHAEL BELLEAU ARCHITECT

Address: 61 PLEASANT ST.
PORTLAND ME 04101

Phone: 874-7668

ADDENDUM #1 (consists of drawings SK1, SK2, SK3, SK4)

PROJECT: CUMBERLAND PEARL CONDOMINIUMS

LOCATION: 237,239,241 CUMBERLAND AVE. PORTLAND MAINE

OWNER: JAY YORK 58 WILMOT STREET PORTLAND MAINE

ADDENDUM TO BUIDING PERMIT SET OF DRAWINGS DATED 10/03/05

PER MIKE NUGENTS REQUEST; HIS ITEM #2 CONDITION:
2. Floor/ceiling UL listed design with STC must be submitted and approved prior to installation.
1 hour separation between units next to or above or abut common stairs or hallways. also stc of 50.

MAKE THE FOLLOWING CHANGES TO THE DRAWINGS:

1. MAKE WALLS DESIGNATED ON SK2 1 HOUR FIRE RATED.
2. MAKE WALLS DESIGNATED ON SK3 1 HOUR FIRE RATED.
3. MAKE CEILING OF WHOLE BASEMENT 1 HOUR FIRE RATED USING DETAIL SHOWN ON 1/SK4.
4. MAKE CEILING OF WHOLE SECOND FLOOR OF BUILDING 1 HOUR FIRE RATED USING DETAIL SHOWN ON 2/SK4.

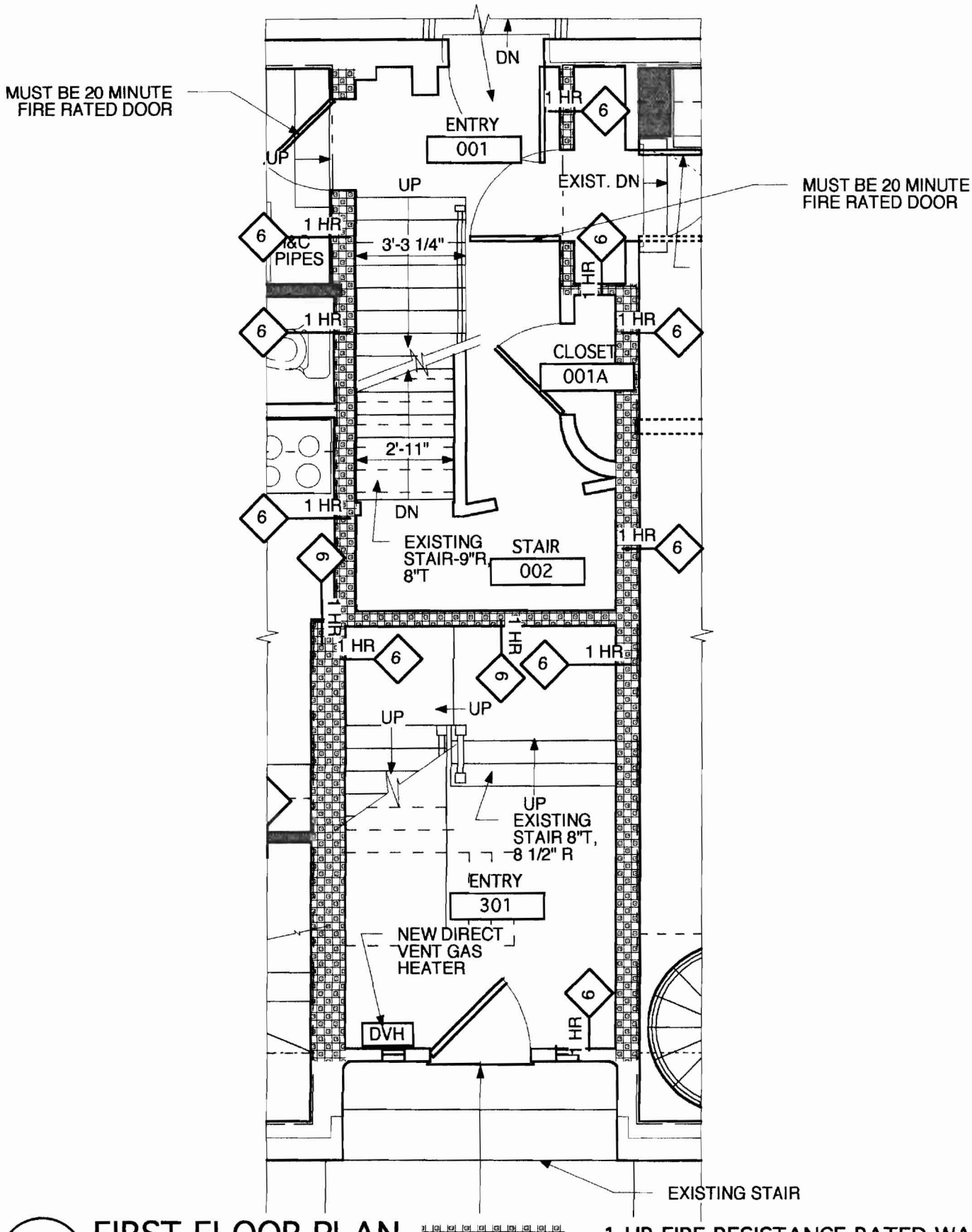
NOTE: OWNER TO VERIFY ALL STC OF 50 REQUIREMENTS FOR THESE RATED WALL AND FLOOR ASSEMBLIES BY TESTING ON SITE AS THESE WALL AND FLOOR ASSEMBLIES CONTAIN EXISTING COMPONENTS.

TITLE: ADDENDUM #1
CUMBERLAND PEARL CONDOMINIUMS

PROJECT: 03.05
DATE 10/27/05

SK1

MICHAEL BELLEAU ARCHITECTS 61 Pleasant St., Portland, ME 04101 (207)874-7668 michaelbelleau.com



1 / SK2 FIRST FLOOR PLAN = 1 HR FIRE RESISTANCE RATED WALL

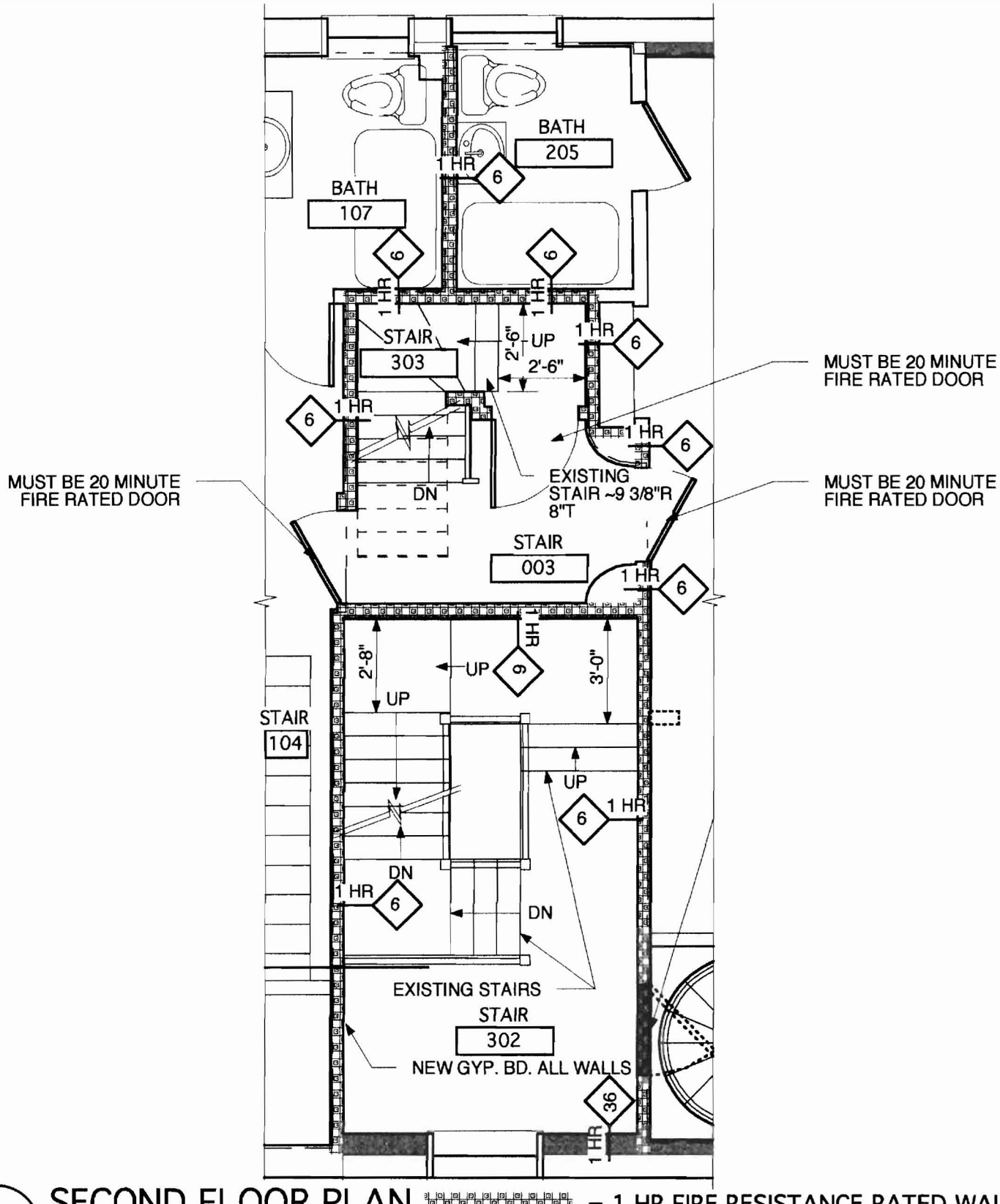
SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

TITLE: ADDENDUM #1
CUMBERLAND PEARL CONDOMINIUMS

PROJECT: 03.05
DATE 10/27/05

SK2

MICHAEL BELLEAU ARCHITECTS 61 Pleasant St., Portland, ME 04101 (207)874-7668 michaelbelleau.com



1 SK2 SECOND FLOOR PLAN = 1 HR FIRE RESISTANCE RATED WALL

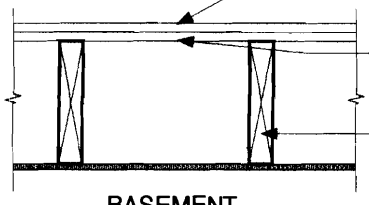
SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

TITLE: ADDENDUM #1
CUMBERLAND PEARL CONDOMINIUMS

PROJECT: 03.05
DATE 10/27/05

SK3

MICHAEL BELLEAU ARCHITECTS 61 Pleasant St., Portland, ME 04101 (207)874-7668 michaelbelleau.com



UL DESIGN CALLS FOR 1X4 LAID PERPENDICULAR TO JOISTS;
NEW IS EXISTING 1X OLD WOOD FLOORING OR CARPET AND
PAD OR NEW 1X3 T&G WOOD OR THINSET CERAMIC TILE, ETC.

UL DESIGN CALLS FOR 1X6 T&G DIAGONALLY LAID OR
3/4" T&G PLYWOOD OR OSB;
NEW IS EXISTING 1X WOOD SUBFLOORING

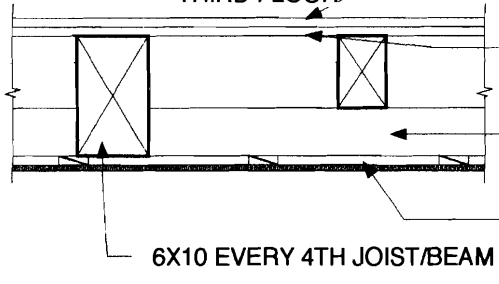
UL IS 2X10 WOOD JOISTS @16" O.C. WITH 1X4 BRIDGING;
NEW IS EXISTING FULL 2X10 WOOD JOISTS @16"O.C.

UL DESIGN AND SUBMITTAL IS NEW 1/2" THICK GYPSUM BOARD OR
5/8" THICK TYPE 'X' IF USING BATT INSUL. BETWEEN JOISTS.
ARCHITECT RECOMMENDS 5/8" TYPE 'X'.
SECURE WITH 5D CEMENT COATED NAILS 6" O.C.,ETC.
SEE UL BOOK FOR LIST OF APPROVED MANUFACTURERS
AND TYPES

UL DESIGN NO. L503 (1 HOUR FIRE RATING)
COMES CLOSEST TO THIS EXISTING FLOOR WITH
NEW GYP. CEILING.

1 / SK1 **ALL OF BASEMENT CEILING**

SCALE: 3/4" = 1'-0"



UL DESIGN CALLS FOR 1X4 LAID PERPENDICULAR TO JOISTS;
SUBMITTAL IS EXISTING 1X OLD WOOD FLOORING OR CARPET AND
PAD OR NEW 1X3 T&G WOOD OR THINSET CERAMIC TILE, ETC.

UL DESIGN CALLS FOR 1X6 T&G DIAGONALLY LAID OR
3/4" T&G PLYWOOD OR OSB;
SUBMITTAL IS EXISTING 1X WOOD SUBFLOORING

UL IS 2X10 WOOD JOISTS @16" O.C. WITH 1X4 BRIDGING;
SUBMITTAL IS EXISTING FULL 4X6 AND 6X10 WOOD @21"O.C.
WITH NEW WOOD BLOCKING TO MAKE EVEN DEPTH FOR STRAPPING

UL DESIGNIS NEW 1/2" THICK GYPSUM BOARD OR
5/8" THICK TYPE 'X' IF USING BATT INSUL. BETWEEN JOISTS.
ARCHITECT RECOMMENDS 5/8" TYPE 'X'.
SECURE WITH 5D CEMENT COATED NAILS 6" O.C.,ETC.
SEE UL BOOK FOR LIST OF APPROVED MANUFACTURERS
AND TYPES
SUBMITTAL IS SAME BUT WITH 1X3 WOOD STRAPPING 16"O.C.

UL DESIGN NO. L503 (1 HOUR FIRE RATING)
COMES CLOSEST TO THIS EXISTING FLOOR WITH
NEW GYP. CEILING.

2 / SK1 **ALL OF SECOND FLOOR CEILING**

SCALE: 3/4" = 1'-0"

TITLE: ADDENDUM #1
CUMBERLAND PEARL CONDOMINIUMS

PROJECT: 03.05
DATE 10/27/05

SK4

MICHAEL BELLEAU ARCHITECTS 61 Pleasant St., Portland, ME 04101 (207)874-7668 michaelbelleau.com

CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: JAY YORK

RE: Certificate of Design

DATE: 9.13.05

These plans and / or specifications covering construction work on:

237, 239, 241 CUMBERLAND AVE AND 142 PEARL STREET

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ***2003 International Building Code*** and local amendments.

LICENSED ARCHITECT
MICHAEL J. BELLEAU
No. AR2230
STATE OF MAINE

(SEAL)

Signature: [signature]

Title: PRINCIPAL

Firm: MICHAEL BELLEAU ARCHITECT

Address: 61 PLEASANT ST. PORTLAND ME

As per Maine State Law:

$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

FROM DESIGNER: MICHAEL BELLEAU

DATE: 9.13.05

Job Name: CUMBERLAND PEARL CONDOMINIUMS

Address of Construction: 237, 239, 241 CUMBERLAND AVE AND 240 PEARL ST.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) R-2

Type of Construction III B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? NO if yes, separated or non separated (see Section 302.3) _____

Supervisory alarm system? NO Geotechnical/Soils report required?(See Section 1802.2) NO

STRUCTURAL DESIGN CALCULATIONS

No special conditions Submitted for all structural members *(106.1, 106.1.1)*

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads *(1603.1.1, 1607)*

Floor Area Use	Loads Shown
RESIDENTIAL	40 LBS/S.F.

Wind loads *(1603.1.4, 1609)* NA

- _____ Design option utilized *(1609.1.1, 1609.6)*
- _____ Basic wind speed *(1609.3)*
- _____ Building category and wind importance factor, I_w *(Table 1604.5, 1609.5)*
- _____ Wind exposure category *(1609.4)*
- _____ Internal pressure coefficient *(ASCE 7)*
- _____ Component and cladding pressures *(1609.1.1, 1609.6.2.2)*
- _____ Main force wind pressures *(1609.1.1, 1609.6.2.1)*

NA Earthquake design data *(1603.1.5, 1614 - 1623)*

- _____ Design option utilized *(1614.1)*
- _____ Seismic use group ("Category") *(Table 1604.5, 1616.2)*
- _____ Spectral response coefficients, S_{DS} & S_{D1} *(1615.1)*
- _____ Site class *(1615.1.5)*

- _____ Live load reduction *(1603.1.1, 1607.9, 1607.10)*
- _____ Roof live loads *(1603.1.2, 1607.11)*

Roof snow loads *(1603.1.3, 1608)* NA

- _____ Ground snow load, P_g *(1608.2)*
- _____ If P_g > 10 psf, flat-roof snow load, P_f *(1608.3)*
- _____ If P_g > 10 psf, snow exposure factor, C_e *(Table 1608.3.1)*
- _____ If P_g > 10 psf, snow load importance factor, I_s *(Table 1604.5)*
- _____ Roof thermal factor, C_t *(Table 1608.3.2)*
- _____ Sloped roof snowload, P_s *(1608.4)*

- _____ Seismic design category *(1616.3)*
- _____ Basic seismic-force-resisting system *(Table 1617.6.2)*
- _____ Response modification coefficient, R, and deflection amplification factor, C_d *(Table 1617.6.2)*
- _____ Analysis procedure *(1616.6, 1617.5)*
- _____ Design base shear *(1617.4, 1617.5.1)*

Flood loads *(1603.1.6, 1612)* NA

- _____ Flood hazard area *(1612.3)*
- _____ Elevation of structure

Other loads

- _____ Concentrated loads *(1607.4)*
- _____ Partition loads *(1607.5)*
- _____ Impact loads *(1607.8)*
- _____ Misc. loads *(Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)*

CONDOMINIUM CONVERSION PERMIT
CITY OF PORTLAND, MAINE
PART III: PROJECT DATA

1. Assessors reference, Chart, Block, Lot: 26-L-10

2. Number of Units before conversion: _____

   6 Units with 1 bedroom _____ Units with 2 bedrooms

   _____ Units with 3 or more bedrooms

3. Monthly rent range (specify with or without utilities, being specific about the utilities)
   400-550 w/o utilities & 600-625 w/heat

4. Number of Units after conversion: _____

   3 Units with 1 bedroom 1 Units with 2 bedrooms

   _____ Units with 3 or more bedrooms

5. Purchase Price range: $180,000 — 320,000

6. Length of time building owned by applicant: 8½ years

7. Improvements, renovations or modifications being made in association with this conversion will require the following permits (please circle all that apply):

   Building ? Plumbing Heating ? Electrical

8. Type and cost of building improvements being made in association with this conversion that will not require permits:

   $ 50,000 exterior walls, windows, doors, roof

   $ 5,000 insulation

   $ 70,000 interior cosmetic (wall/floor refinishing, etc.

   $ _____ other (please specify) _____

   $ 0.00 no improvements being made

Submit with Condominium Conversion Permit Application

Project Data:

Address: 239 Cumberland Ave. / 142 Pearl St.

C-B-L: 26-L-10

Number of units in building: 6

	Tenant name	Tenant tel. #	occup. length	Date of notice	eligible for $?
Vacant	Unit 1 ~~David Alphonso~~	318-1571	1¼ years	9/1/04	yes
	Unit 2 Vacant				
Vacant	Unit 3 ~~Shawn Coleman~~	318-5559	4 years	9/1/04	yes
Vacant	Unit 4 ~~Bonnie Crocker~~	954 560-6777	2½ months	9/1/04	yes
Vacant	Unit 5 ~~Caleb Coulthard~~	879-4923	3¾ years	9/1/04	yes
	Unit 6 Vacant				
	Unit 7				
	~~Unit 8~~ Carriage house vacant				

If more units, submit same information on all units

Length of time building owned by applicant 8½ years

Are any building improvements, renovations, or modifications being made associated with this conversion that requires a building, plumbing, electrical, or heating permit? YES ✓ NO _____ (check one)

Type and cost of building improvements associated with this conversion that do not require permits:

$50,000 exterior walls, windows, doors, roof

$5,000 insulation

$70,000 interior cosmetics (walls/floors/ hallways refinishing, etc.)

$_____ other (specify)

York Property Management 58 Wilmot Street, Portland, Maine 04101
207 773-3434 or 774-9600

Condominium Conversion for 239 Cumberland Avenue
" Cumberland Pearl Condominiums"

July 29, 2005

Marge Schmuckal
Zoning Administrator

The condominium conversion project I am proposing is for the 2 buildings I own at 239 Cumberland Avenue and 142 Pearl Street on lot# 26-L-10. The 3 story Cumberland Avenue building currently has 6 one bedroom apartments of about 450 sq. ft. each. All units are currently vacant. The Pearl Street building is an artist's studio of 1000 sq. ft. with two floors. It is currently vacant and being used by me as material storage for renovations. The total lot size is 3448 sq. ft. I also own the adjacent parking lot (#26-L-8-9) at 144-148 Pearl Street which is 9021 sq. ft.

I propose consolidating the 6 units in 239 Cumberland Avenue into 3 units and turning 142 Pearl Street into 1 unit for a total of 4 condominiums. To achieve this I would combine the two apartments 3E and 3W on the third floor with the attic and front hall/stairs for one 2 bedroom, 1 and 1/2 bathroom unit of approximately 1600 sq. ft. The 1st floor entrance is at 239 Cumberland Avenue and rear egress is into the common back stairwell that has an exit to the parking between the to buildings. Two direct vent gas heaters will be installed for the living area and front hall/stairs. The current electric baseboard in the bedrooms will be replaced with new. Current plumbing to both bathrooms is adequate. Plumbing to one kitchen (3E) will be removed when it becomes a closet. An electric hot water heater will be installed on the 3rd floor. The plaster walls of 3E will be removed, insulation added and windows replaced. Consolidation of electrical services will be needed.

The two entrances from the front hall/stairs to the two 2nd floor apartments (2E and 2W) will be removed. Stairs will be constructed in both of the 1st floor apartments (1E and 1W) to the apartments (2E and 2W) directly above. The kitchens in 2E and 2W will be removed. All 4 bathrooms will be retained. This will result in two 900 sq. ft. two floor, 1 bedroom and 1 and 1/2 bathroom condominiums with 400 sq. ft. basement storage areas. Both will have 1st floor front entrances on Cumberland Avenue (241 & 237)

and rear egresses to the back stairwell from both floors. Direct vent gas heaters are already in place on the 1st floor of both units. Each unit has it's own hot water heater in basement. Consolidation of electrical services will be needed.

142 Pearl Street will need to have the first floor entry moved from the side to the front to facilitate the parking between the buildings. A full bath and kitchen will constructed on the 2nd floor.

Parking for the proposed 4 condominiums will be provided by current 9'x36' parking spaces between (to the rear of 239 Cumberland Ave. and to the left of 142 Pearl Street) the two buildings and the proposed new parking spaces on a 20'x36' space to the right of 142 Pearl Street. This is on land (#26-L-8-9) owned by me and not currently being used by my parking lot.

Sincerely,

Jay York

York Property Management 58 Wilmot Street, Portland, Maine 04101
207 773-3434 or 774-9600

Condominium Conversion for 239 Cumberland Avenue
" Cumberland Pearl Condominiums"

July 29, 2005

Marge Schmuckal
Zoning Administrator

The condominium conversion project I am proposing is for the 2 buildings I own at 239 Cumberland Avenue and 142 Pearl Street on lot# 26-L-10. The 3 story Cumberland Avenue building currently has 6 one bedroom apartments of about 450 sq. ft. each. All units are currently vacant. The Pearl Street building is an artist's studio of 1000 sq. ft. with two floors. It is currently vacant and being used by me as material storage for renovations. The total lot size is 3448 sq. ft. I also own the adjacent parking lot (#26-L-8-9) at 144-148 Pearl Street which is 9021 sq. ft.

I propose consolidating the 6 units in 239 Cumberland Avenue into 3 units and turning 142 Pearl Street into 1 unit for a total of 4 condominiums. To achieve this I would combine the two apartments 3E and 3W on the third floor with the attic and front hall/stairs for one 2 bedroom, 1 and 1/2 bathroom unit of approximately 1600 sq. ft. The 1st floor entrance is at 239 Cumberland Avenue and rear egress is into the common back stairwell that has an exit to the parking between the to buildings. Two direct vent gas heaters will be installed for the living area and front hall/stairs. The current electric baseboard in the bedrooms will be replaced with new. Current plumbing to both bathrooms is adequate. Plumbing to one kitchen (3E) will be removed when it becomes a closet. An electric hot water heater will be installed on the 3rd floor. The plaster walls of 3E will be removed, insulation added and windows replaced. Consolidation of electrical services will be needed.

The two entrances from the front hall/stairs to the two 2nd floor apartments (2E and 2W) will be removed. Stairs will be constructed in both of the 1st floor apartments (1E and 1W) to the apartments (2E and 2W) directly above. The kitchens in 2E and 2W will be removed. All 4 bathrooms will be retained. This will result in two 900 sq. ft. two floor, 1 bedroom and 1 and 1/2 bathroom condominiums with 400 sq. ft. basement storage areas. Both will have 1st floor front entrances on Cumberland Avenue (241 & 237)

and rear egresses to the back stairwell from both floors. Direct vent gas heaters are already in place on the 1st floor of both units. Each unit has it's own hot water heater in basement. Consolidation of electrical services will be needed.

142 Pearl Street will need to have the first floor entry moved from the side to the front to facilitate the parking between the buildings. A full bath and kitchen will constructed on the 2nd floor.

Parking for the proposed 4 condominiums will be provided by current 9'x36' parking spaces between (to the rear of 239 Cumberland Ave. and to the left of 142 Pearl Street) the two buildings and the proposed new parking spaces on a 20'x36' space to the right of 142 Pearl Street. This is on land (#26-L-8-9) owned by me and not currently being used by my parking lot.

Sincerely,

Jay York

York Property Management 58 Wilmot Street Portland, Maine 04101
207 774-9600

Condominium Conversion for 239 Cumberland Avenue

07/29/05

Marge Schmuckle
Zoning Administrator

Seven units are currently vacant in the buildings at 239 Cumberland Avenue and 142 Pearl Street being proposed for condominium conversion.

James Priestly resided at apartment 3E until October, 2003 when he moved out of Portland.He currently works for Richard Rockefeller in Falmouth. Caleb Coulthard who was residing at apartment 3W moved into 3E vacated by James Priestly in November, 2003.

My brother, George York, vacated his artist studio in 142 Pearl in April, 2004 to move into a building he had purchased. His telephone #879-1062.

Katie and Mike Allen vacated apartment 1W in July, 2004 to move into a larger apartment. They currently owe me three months rent and left the apartment a mess. I do not know where they resided but Katie is a student at Maine College of Art.

Bonnie Crocker resided at apartment 2E until September 31, 2004. Her telephone #954 560-2027. She declined to purchase a condo and was given a relocation fee of the equivalent of two months rent plus her security deposit in full.

Shawn Coleman resided at apartment 2W until February 14, 2005. His telephone #207 318-5559. He is moving to Stockholm, Sweden. He declined to purchase a condo and was given a relocation fee of the equivalent of two months rent. His security deposit was returned in full minus two weeks rent.

Caleb Coulthard vacated apartment 3E in April, 2005. I do not have his current phone or address. He declined to purchase a condo and was given a relocation fee of the equivalent of two months rent.

Dave Alphonso vacated apartment 1E May 1, 2005. His telephone #207 318-1571. He is moving to Nevada to be closer to his son. He declined to purchase a condo and was given a relocation fee of the equivalent of two months rent plus his security deposit in full.

Sincerely,

Jay York

York Property Management 58 Wilmot Street Portland, Maine 04101
207 774-9600

Caleb Coulthard
239 Cumberland Avenue,#3E
Portland, ME 04101

09/01/04

As I have already told you in person the buildings at 239 Cumberland Avenue and 142 Pearl Street are to be converted into condominiums. This notice is required by the City of Portland to inform you of yours rights.

"Notice to Quit". You are hereby asked to vacate the apartment 3E in no more than 120 days from the date of this notice.

"Option to Purchase". For the next 60 days you have an exclusive and irrevocable option to purchase the unit in which you now live.

"Relocation Payments". If you do not buy your apartment you are entitled to a cash payment in an amount equal to the last two months rent paid.

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have question about your rights under the law, or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, Maine 04101 (telephone: 874-8703).

Sincerely,

Jay York

York Property Management 58 Wilmot Street Portland, Maine 04101
207 774-9600

David Alphonso
239 Cumberland Avenue,#1E
Portland, ME 04101

09/01/04

As I have already told you in person the buildings at 239 Cumberland Avenue and 142 Pearl Street are to be converted into condominiums. This notice is required by the City of Portland to inform you of yours rights.

"Notice to Quit". You are hereby asked to vacate the apartment 1E in no more than 120 days from the date of this notice.

"Option to Purchase". For the next 60 days you have an exclusive and irrevocable option to purchase the unit in which you now live.

"Relocation Payments". If you do not buy your apartment you are entitled to a cash payment in an amount equal to the last two months rent paid.

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have question about your rights under the law, or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, Maine 04101 (telephone: 874-8703).

Sincerely,

Jay York

and rear egresses to the back stairwell from both floors. Direct vent gas heaters are already in place on the 1st floor of both units. Each unit has it's own hot water heater in basement. Consolidation of electrical services will be needed.

142 Pearl Street will need to have the first floor entry moved from the side to the front to facilitate the parking between the buildings. A full bath and kitchen will constructed on the 2nd floor.

Parking for the proposed 4 condominiums will be provided by current 9'x36' parking spaces between (to the rear of 239 Cumberland Ave. and to the left of 142 Pearl Street) the two buildings and the proposed new parking spaces on a 20'x36' space to the right of 142 Pearl Street. This is on land (#26-L-8-9) owned by me and not currently being used by my parking lot.

Sincerely,

Jay York

York Property Management 58 Wilmot Street Portland, Maine 04101
207 774-9600

Shawn Coleman
239 Cumberland Avenue,#2E
Portland, ME 04101

09/01/04

As I have already told you in person the buildings at 239 Cumberland Avenue and 142 Pearl Street are to be converted into condominiums. This notice is required by the City of Portland to inform you of yours rights.

"Notice to Quit". You are hereby asked to vacate the apartment 2E in no more than 150 days from the date of this notice.

"Option to Purchase". For the next 60 days you have an exclusive and irrevocable option to purchase the unit in which you now live.

"Relocation Payments". If you do not buy your apartment you are entitled to a cash payment in an amount equal to the last two months rent paid.

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have question about your rights under the law, or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, Maine 04101 (telephone: 874-8703).

Sincerely,

Jay York

York Property Management 58 Wilmot Street Portland, Maine 04101
207 774-9600

Bonnie Cocker 09/01/04
239 Cumberland Avenue,#2W
Portland, ME 04101

As I have already told you in person the buildings at 239 Cumberland Avenue and 142 Pearl Street are to be converted into condominiums. This notice is required by the City of Portland to inform you of yours rights.

"Notice to Quit". You are hereby asked to vacate the apartment 2W in no more than 120 days from the date of this notice.

"Option to Purchase". For the next 60 days you have an exclusive and irrevocable option to purchase the unit in which you now live.

"Relocation Payments". If you do not buy your apartment you are entitled to a cash payment in an amount equal to the last two months rent paid.

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have question about your rights under the law, or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, Maine 04101 (telephone: 874-8703).

Sincerely,

Jay York

Sec. 14-433. Lots of record and accessory structure setbacks for existing buildings.

Any lot of record as of June 5, 1957, and held under separate and distinct ownership from adjacent lots and having a street frontage of forty (40) feet, or to which a means of access has been previously approved by the City Council as provided elsewhere in this article, may be considered a buildable lot in any residential zone except as provided below for island residential zones, with a minimum lot size of five thousand (5,000) square feet, except that a lot in the R-6 zone may have a minimum lot size of three thousand (3,000) square feet, provided that the applicable yard dimensions can be met.

A lot in the R-1, R-2, R-3, R-4, R-5, R-5A or R-6 zones that was described in a subdivision plat approved by the Planning Board after June 5, 1981, or a lot of record that conformed to the applicable lot size requirement, lot width and street frontage as of June 5, 1984, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

Where such a lot has a principal structure which existed as of July 19, 1988, an accessory structure or building addition may be located within the following side and rear yards, provided that the normal applicable yard requirements cannot be met provided, however, ~~that less restrictive zoning~~ requirements which meet the requirements contained within 14-139(2) for residential small lot development shall apply:

a. *R-1, R-2:*

Rear yard: Ten (10) feet.

Side yard: Five (5) feet.

b. *R-3, R-4, R-5, R-5A, R-6:*

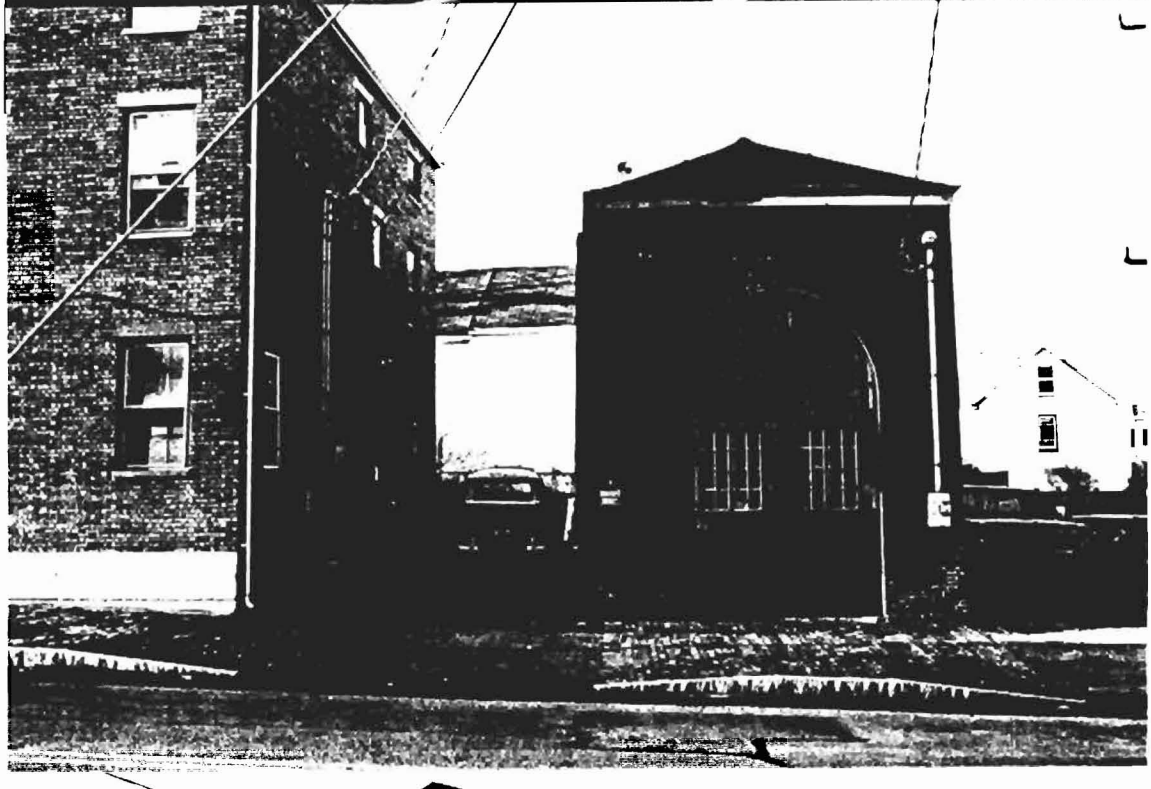
Rear yard: Five (5) feet.

Side yard: Five (5) feet.

R-2 [illegible] R-6 Allowance

Any detached or accessory structure in the R-4 or R-6 zones, with a ground coverage exceeding two hundred fifty (250) square feet and which was in existence on January 1, 1940, may be converted to dwelling uses without meeting front, side or rear yard set backs, provided there is no enlargement of any nonconforming portion of the existing building footprint and provided the conversion will conform to the minimum area per dwelling unit.

Any lot of record as of July 15, 1985, and held under separate and



22

239-241 Cumberland Ave.
cor. 138-142 Pearl St.

February 25, 1981

David Aaskov
32 Orkney St.
Portland, Me.

Building permit and certificate of occupancy to change the use of the four family apartment building and two retail stores at the above named location to a six family apartment house with the new apartments on the first floor, are not issuable under the Zoning Ordinance because the area of the lot on which this building is located is only about 3,448 sq. ft. rather than the 6,000 sq. ft. minimum required by Section 602.7.B.8 of the Ordinance applying to the B-1 Business Zone in which this property is located. (R-5 requirements - 1000 sq. ft. per dwelling unit) Two additional off street parking spaces will not be provided as required by Section 602.14.B

We understand that you would like to exercise your appeal rights in this matter. Accordingly, you or your authorized representative should come to this office, room 317 City Hall, to file the appeal on forms which are available here. A fee of $25. for a Dwelling Unit Conversion Appeal shall be paid at this office at the time the appeal is filed. If fee has been paid and appeal filed prior to this letter, then consider this letter as a matter of formality. Section 602.24.C.3.b.2

Very truly yours,

Malcolm G. Ward
Zoning Enforcement Officer

MGW:K

The foregoing conditions (~~have~~/have not) been deliberately created by, or with the consent or acquiescence of, the owner, his predecessors and title, or any user of the property in order to bring the subject property within the standards of this section, as shown by: [illegible]

There (~~is~~/is not) any alternative available to the owner, other than a variance to permit an increase in the number of dwelling units, which would suffice to permit the economic use and maintenance of the subject property because of the following: based on info received

SPECIFIC RELIEF GRANTED

After a public hearing held on April 2, 1981, the Board of Appeals find that all of the conditions required by the Ordinance (do/~~do not~~) exist with respect to this property and that a variance for dwelling unit conversion should _____ be granted in this case.

It is therefore determined that a variance from the provisions of the Zoning Ordinance should _____ be granted in this case.

Conditions:
Owner must utilize the 2 parking spaces to be provided to the [illegible]. (not mandatory)

[signature]
[signature]
[signature]
[signature]
[signature]

Approved
[illegible]

29

APPLICATION FOR PERMIT

PERMIT ISSUED
JUL 23 1981
CITY of PORTLAND

GROUP .....
TYPE OF CONSTRUCTION 722
LOCATION _____ PORTLAND, MAINE, Feb. 19, 1981

TO BOARD OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 239 Cumberland Avenue ..... Fire District #1 ☐, #2 ☐
1. Owner's name and address David Aaskov - 32 Orkney St. ..... Telephone 772-8521
2. Lessee's name and adddress ..... Telephone .....
3. Contractor's name and address owner ..... Telephone .....
4. Architect ..... Specifications ..... Plans ..... No. of sheets .....
Proposed use of building ..... No. families .....
Last use ..... No. families .....
Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing ..... 25. stop Pay
Other buildings on same lot ..... 100. Related
Estimated contractural cost $ 1500. ..... Fee $ 10. $135.
$25.00 appeal fee pd.

FIELD INSPECTOR—Mr. ..... @ 775-5451 Ext. 234

This application is for:
Dwelling .....
Garage .....
Masonry Bldg. .....
Metal Bldg. .....
Alterations .....
Demolitions .....
Change of Use .....
Other .....

GENERAL DESCRIPTION

Change of use from 4 family & 2 retail stores to 6 family with alterations

Stamp of Special Conditions

This application is subject to the decision of the Board of Appeals. In the event the appeal is sustained, applicant shall be at liberty to proceed according to plans submitted and pay fees.

Appeal sustained 4-9-81

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐
Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....
Has septic tank notice been sent? ..... Form notice sent? .....
Height average grade to top of plate ..... Height average grade to highest point of roof .....
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....
Kind of roof ..... Rise per foot ..... Roof covering .....
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....
Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....
On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....
Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....
If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ...., to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:	*DATE*	MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER		Will work require disturbing of any tree on a public street? ..
ZONING: OK Mail	7/7/81	
BUILDING CODE		Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. yes
Fire Dept.: Lt. James P. Collins		
Health Dept.:		
Others:		

[signature] Phone # 772-8521

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APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 1 1981
CITY of PORTLAND

B.O.C.A. USE GROUP .....
B.O.C.A. TYPE OF CONSTRUCTION ..... 358 .....
NG LOCATION _____ PORTLAND, MAINE, April 30, 1981

e DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 239-241 CUMBERLAND AVE. ..... Fire District #1 ☐, #2 ☐
1. Owner's name and address DAVE AASKOV 32 Orkney St. ..... Telephone 772-8521
2. Lessee's name and adddress ..... Telephone .....
3. Contractor's name and address owner ..... Telephone .....
4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building 6 apt. bldg. ..... No. families .....
Last use ..... No. families .....
Material ..... No. stories ..... Heat ....., Style of roof ..... Roofing .....
Other buildings on same lot .....
Estimated contractural cost $ 2000. ..... Fee $ 10. .....

FIELD INSPECTOR—Mr. ..... @ 775-5451 Ext. 234

This application is for:
Dwelling .....
Garage .....
Masonry Bldg. .....
Metal Bldg. .....
Alterations .....
Demolitions .....
Change of Use .....
Other .....

GENERAL DESCRIPTION
To replace two windows with new and add new wall

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐
Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....
Has septic tank notice been sent? ..... Form notice sent? .....
Height average grade to top of plate ..... Height average grade to highest point of roof .....
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....
Kind of roof ..... Rise per foot ..... Roof covering .....
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....
Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....
On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....
Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....
If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ... number commercial cars to be accommodated ....
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*
BUILDING INSPECTION—PLAN EXAMINER .....
ZONING: .....
BUILDING CODE: .....
Fire Dept.: .....
Health Dept.: .....

MISCELLANEOUS
Will work require disturbing of any tree on a public street? ..
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes ..

[illegible]

History A

York Property Management

58 Wilmot Street Portland, ME 04101 207 773-3434 or 774-9600

re: History of use for the two buildings on lot 026-L-010 at 239 Cumberland Avenue and 142 Pearl Street in regards to a request for a functional division of the property.

142 Pearl Street

Sept. 23, 1931	Owner: (from Registry of Deeds) Danish Building Association Permit: Issued to erect one outside brick chimney. Use of building: Public Garage
1932-39	Occupant: (from Portland Directory) William E. Bourgea Auto Repair
1940-58	Occupant: Henry Davidson Auto Repair
1952	Real Estate Assessment: Garage (rented)
1959	Occupant: Garage
1964-72	Owner: Vincent & Barbara Montefuseo Personal statement: Barbara Motefuseo recalls building was used for owner's storage. Did not live at 239 Cumberland Avenue. Occupant: no listing
1972-78	Owner: Ronald & Judith Sevigny of Cape Elizabeth Occupant: Ronnie's Cleaning Service (out-1976)
1977-80	Occupant: Nik-Nak Wood Products
1981-82	Owner: David & Vicki Aaskvo (1980) Occupant: Vacant
1983-86	Owner: James & Louise Murphy Occupant: Looking Good Auto Reconditioning (in-1985)
1987-1996	Owner: Alison Hildreth and Claudia Whitman
Dec. 4, 1987	Permit: Issued to install two 100 gal. propane tanks Use of building: Art Studio
1996-present	Owner: John W. York Occupant: George York's art studio

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED
OCT 6 2005
CITY OF PORTLAND

Permit No:	Issue Date:	CBL:
05-1141		026 L010001

Location of Construction:	Owner Name:	Owner Address:	Phone:
239 Cumberland Ave	York John W	58 Wilmot St	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone:**
	Jay York	58 Wilmot Street Portland	2077733434
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Change of Use - Condo Conversion	B2

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
Multi- unit- 6 studio apartments	Change of use- Renovate 6 studio and 1 carriage house to 4 condo units. (3 DU in main bldg and ~~1 DU in carriage~~ carriage house)	$900.00	$900.00	1

FIRE DEPT: ☑ Approved ☐ Denied
Signature: CAPT CASS U 9/6/05

INSPECTION:
Use Group: R2 Type: 53
Signature: 10/6/05

Proposed Project Description:
~~Renovate 6 studio and 1 carriage house to 4 condo units.~~
3 - DU Conversion
~~Carriage House~~

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied
Signature: Date:

Permit Taken By:	Date Applied For:
ldobson	08/03/2005

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland N/A	☐ Variance	☑ Not in District or Landmark
☐ Wetland, No violation of Section 14-483	☑ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☐ Site Plan N/A	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☐	☐ Denied	☐ Denied
OK with conditions		
Date: 8/31/05	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

CITY OF PORTLAND, MAINE

Department of Building Inspections

Aug 3 20 05

Received from Jay York

Location of Work 239 Cumberland Ave.

Cost of Construction $_____ 4 Condo Conversion

Permit Fee $ 100.00

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 26 L 10

Check #: 7288 **Total Collected $** 100.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less $10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

CITY OF PORTLAND, MAINE

Department of Building Inspections

Oct 7 20 05

Received from John D York

Location of Work 239 Cumberland Ave.

Cost of Construction $ 200,000

Permit Fee $ 1821.00

Building (IL) X Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 26 L 010

Check #: _____ **Total Collected $** 1821.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less $10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

CITY OF PORTLAND, MAINE

Department of Building Inspection

Certificate of Occupancy

LOCATION 239 Cumberland Ave **CBL** 026 L010001

Issued to York John W/Jay York **Date of Issue** 11/10/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 05-1141, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance ~~and Building Code~~ of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES	APPROVED OCCUPANCY
carriage house only	residential condo use group: R2 type: 5B

Limiting Conditions:

Use permit only. This certificate does not certify building code compliance.

This certificate supersedes
certificate issued

Approved: 11/10/05

(Date) *Inspector* *Inspector of Buildings*

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Carriage house

10/12/05 w/ McCollins and Capt Cass.

1. handrail, gd on stairs needed – AR

2. Cleat panel over counter – bottom counter or panel must be moved. – McCollins

A Rowe

10/8/05 Above items completed in carriage house. AR OK for COJO on the one unit

CUMBERLAND PEARL CONDOMINIUMS

237,239,241 CUMBERLAND AVENUE
PORTLAND MAINE

JAY YORK, OWNER

58 WILMOT STREET
PORTLAND MAINE

MICHAEL BELLEAU ARCHITECTS

61 PLEASANT STREET
PORTLAND MAINE

SITE PLAN
SCALE: 1/16" = 1'-0"
CONDOMINIUM PLAT
09/27/2004 SURVEY

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING WINDOWS BEFORE ORDERING OR INSTALLING OR CONSTRUCTING WORK

2. OWNER RESPONSIBLE FOR PROJECT MEETING ALL LOCAL, STATE, AND FEDERAL BUILDING, MECHANICAL, ELECTRICAL, FIRE SAFETY/LIFE SAFETY, ETC. CODES, LAWS AND ORDINANCES AND WEATHERABILITY FOR THIS PROJECT. ARCHITECT HAS NO LIABILITY REGARDING ABOVE FOR THIS PROJECT

3. EXISTING STAIRS AND CEILING HEIGHT DO NOT MEET STANDARDS FOR NEW CONSTRUCTION- ARCHITECT VERIFIED WITH CITY CODE OFFICER THIS WAS ACCEPTABLE ON 8/1/05.

4. THESE ARE NOT "CONDOMINIUM DOCUMENTS" OR ANY OTHER LEGAL DESCRIPTION OF CONDOMINIUMS FOR FUTURE OWNERS USE

237,239, **241** CUMBERLAND AVENUE,

EXISTING BUILDING-
PROPOSED CONDOMINIUM
CONVERSION
FFE 107.0'

NFPA 101:

CLASSIFICATION: EXISTING APARTMENT BUILDINGS- CHAPTER 19

19.2.2.2.1 DOORS COMPLYING WITH 5.2.1 SHALL BE PERMITTED

5.2.1.2.2 EXCEPTION NO. 2:
EXISTING BUILDINGS DOOR OPENINGS IN MEANS OF EGRESS MUST BE 28" MIN. CLEAR WIDTH

5.2.1.3 FLOOR LEVEL. EXCEPTION NO. 2
"IN EXISTING BUILDINGS, A DOOR AT THE TOP OF A STAIR SHALL BE PERMITTED TO OPEN DIRECTLY AT A STAIR PROVIDED THE DOOR DOES NOT SWING OVER THE STAIR." (AND OCCUPANT LOAD <50)

19.2.2.3.1 STAIRS COMPLYING WITH 5.2.2 SHALL BE PERMITTED

5.2.2.1 GENERAL:
STAIRS USED AS A COMPONENT IN THE MEANS OF EGRESS SHALL CONFORM TO THE GENERAL REQUIREMENTS OF SECTION 5.1 AND TO THE SPECIAL REQUIREMENTS OF THIS SUBSECTION.

EXCEPTION NO. 2:
"EXISTING NONCOMPLYING STAIRS WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION."

THE ABOVE IS INTERPRETED AS MEANING THAT BECAUSE ARCHITECT VERIFIED IN PHONE CALL WITH CITY CODE OFFICER ON 8/1/05 THAT EXISTING STAIRS DID NOT NEED TO BE CHANGED, ALL EXISTING STAIRS IN THIS PROJECT ARE EXEMPT FROM ANY REQUIREMENTS DUE TO EXCEPTION NO. 2 INCLUDING THE ABOVE REQUIREMENT FOR DOOR WIDTH.

19.2.4 NUMBER OF EXITS
EVERY DWELLING UNIT SHALL HAVE ACCESS TO AT LEAST TWO SEPARATE EXITS REMOTELY LOCATED FROM EACH OTHER AS REQUIRED BY 5.5.1

EXCEPTION NO. 1:
ANY DWELLING UNIT SHALL BE PERMITTED TO HAVE A SINGLE EXIT PROVIDED THAT
(A) THE DWELLING UNIT HAS AN EXIT DOOR OPENING DIRECTLY TO THE STREET OR YARD AT GROUND LEVEL (THIS IS THE CASE FOR UNITS 1 AND 2 ON GROUND LEVEL WITH INTERIOR UNIT STAIR TO UNIT SECOND LEVEL)
(C) THE DWELLING UNIT HAS DIRECT ACCESS TO AN INTERIOR STAIR SERVING ONLY THAT UNIT AND SEPARATED FROM ALL OTHER PORTIONS OF THE BUILDING BY FIRE BARRIERS HAVING A MINIMUM 1-HR FIRE RESISTANCE RATING WITH NO OPENING THEREIN (THE TOP UNIT HAS STAIR ALL ITS OWN DOWN TO GROUND LEVEL AND IS NOW TO BE LINED WITH 2 LAYERS 5/8" TYPE "X" GYP. BD. TO MAKE 1 HOUR FIRE RATED)

19.2.2.2.4 WITHIN AN INDIVIDUAL DWELLING UNIT, STAIRS MORE THAN ONE STORY ABOVE OR BELOW THE ENTRANCE FLOOR LEVEL OF THE DWELLING UNIT SHALL NOT BE PERMITTED
THIS MEANS THAT THE TOP UNIT MUST BE WALLED OFF WITH DOOR TO STAIR 302

19-2.2.3.3 SPIRAL STAIRS WITHIN UNIT OKAY
19-2.2.3.4 WINDERS OKAY (REFER TO 5-2.2.2.5)

ZONING INFORMATION:

1. EXISTING BUILDING- NO EXTERIOR EXTENSIONS
2. UTILITIES
   TOWN SEWER FROM STREET
   TOWN WATER FROM STREET
   ELECTRICITY FROM POLE
   GAS FROM STREET

LIST OF DRAWINGS.

LICENSED ARCHITECT
MICHAEL J. BELLEAU
NO. AR-2659
STATE OF MAINE

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

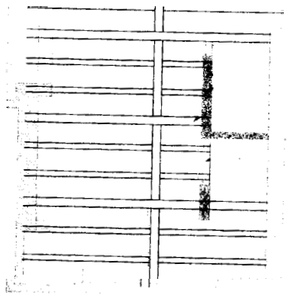
BUILDING PERMIT SET

bell eau

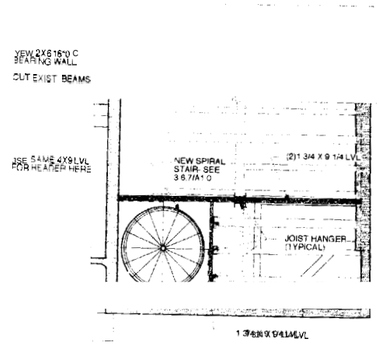
michael belleau architects
61 pleasant street
portland, maine 04101
207.87.4.7766

job #
03.05
client
york
location
237,239,241
cumberland ave
portland, maine
date
10.03.05
scale
as noted
drawing title
site plan

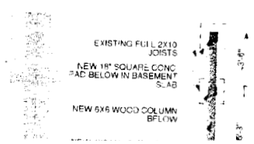
number
1



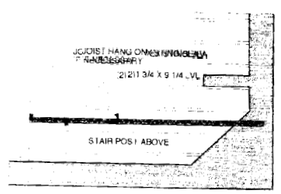
5 / A1.0 STAIR PARTIAL 2ND FL. FRAMING PLAN
SCALE: 1/4" = 1'-0"



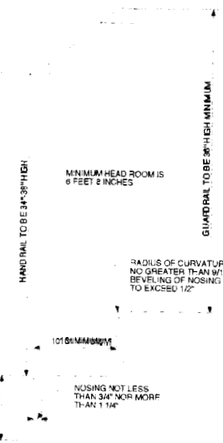
9 / A1.0 STAIR PARTIAL 2ND FL. FRAMING PLAN
SCALE: 1/4" = 1'-0"



5 / A1.0 STAIR PARTIAL 1ST FL. FRAMING PLAN
SCALE: 1/4" = 1'-0"



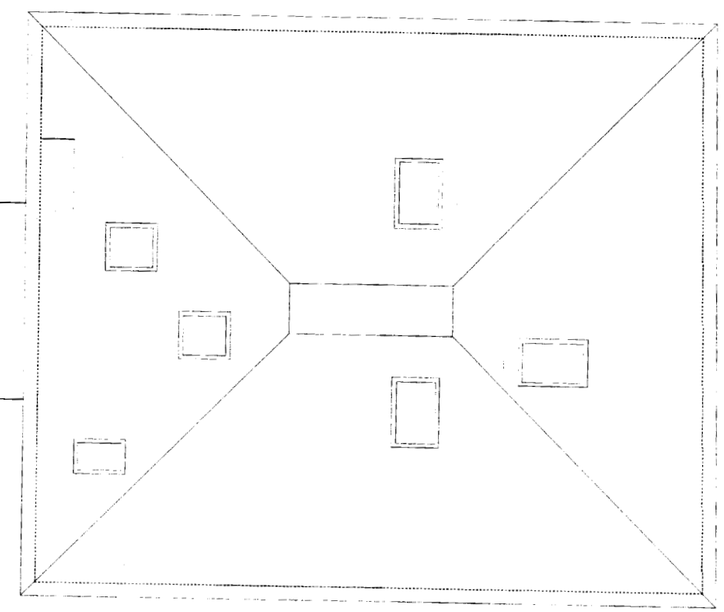
8 / A1.0 STAIR PARTIAL 1ST FL. FRAMING PLAN
SCALE: 1/4" = 1'-0"



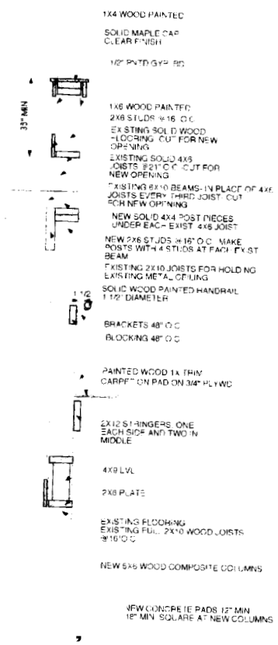
WINDERS ARE PERMITTED, PROVIDED THAT THE DEPTH OF TIC TREAD AT A POINT NOT MORE THAN 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER IS NOT LESS THAN 10 INCHES AND THE MINIMUM DEPTH OF ANY TREAD IS NOT LESS THAN 6 INCHES. THE CONTINUOUS HANDRAIL REQUIRED SHALL BE LOCATED ON THE SIDE WHERE THE TREAD IS NARROWER.

SPIRAL STAIRS MINIMUM WIDTH 26 INCHES WITH EACH TREAD

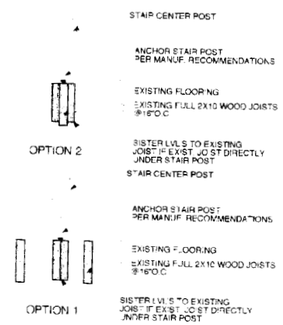
1 / A1.0 TYPICAL STAIR DETAIL- NEW STAIRS
237,239-241 CUMBERLAND AVENUE



2 / A1.0 ROOF PLAN
SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

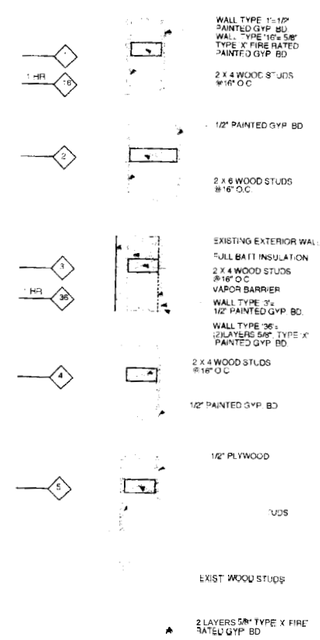


STAIR DETAIL SECTION

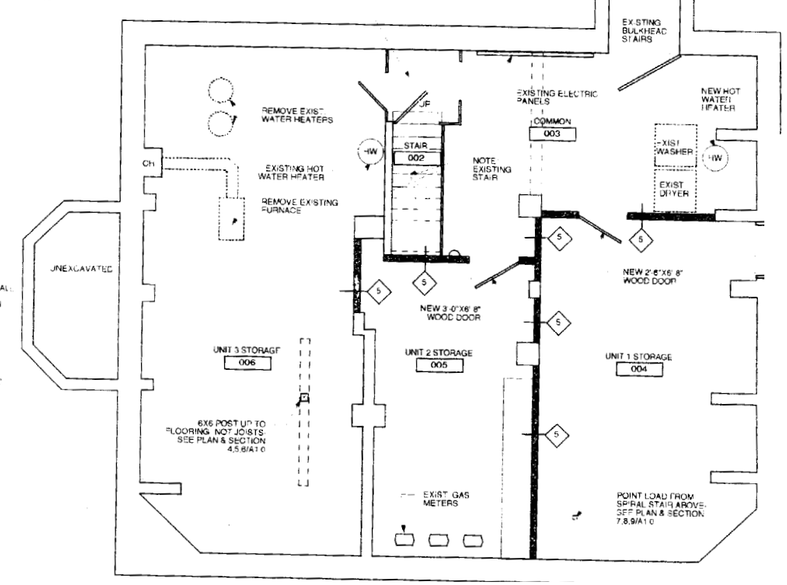


7 / A1.0 STAIR DETAIL SECTION AT FIRST FLOOR FRAMING
SCALE: 1 1/2" = 1'-0"

WALL TYPES:



NOTE: OWNER TO CONTACT CITY FIRE DEPARTMENT TO REVIEW THIS PROPOSED CONDOMINIUM CONVERSION TO OBTAIN ANY AND ALL REQUIREMENTS AND IMPLEMENT THEM.



1 / A1.0 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

LIST OF DRAWINGS:

LICENSED ARCHITECT MICHAEL J. BELLEAU No. AR 2080 STATE OF MAINE

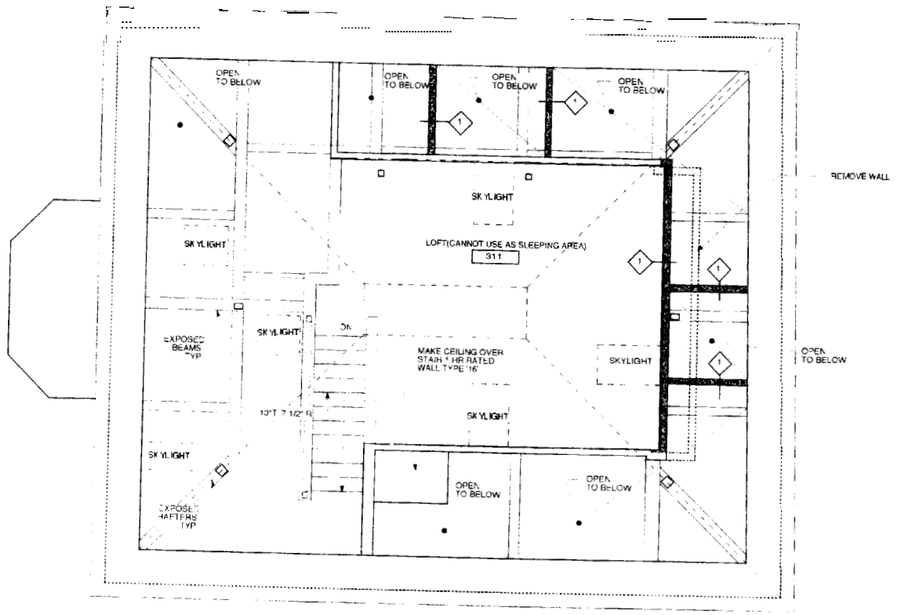
NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

BUILDING PERMIT SET

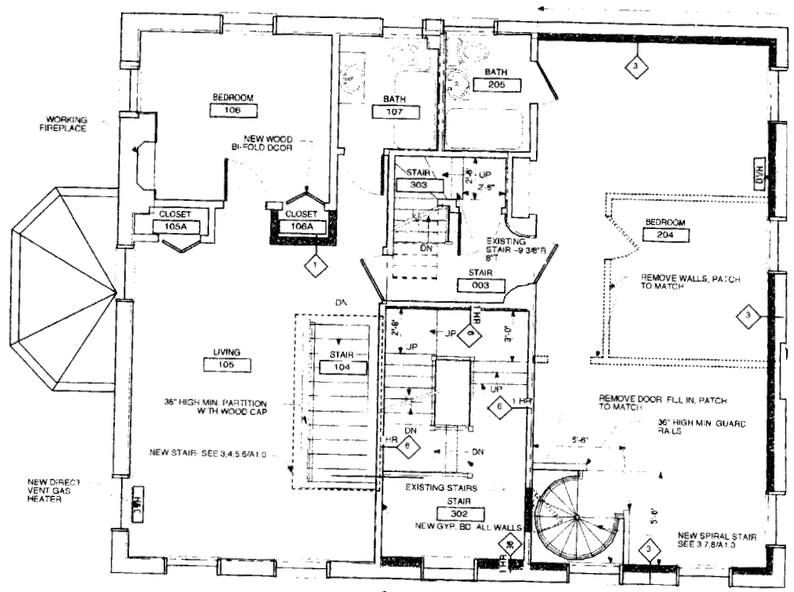
bell eau

michael belleau architect
1 pleasant street
t. 207.772.7746 f. 04101

job # 93.05
client
jonk
locate
237,2
cumb
portla
date
10.03
scale
as not



4 A1.1 LOFT FLOOR PLAN
SCALE: 1/4" = 1'-0" 237.239.241 CUMBERLAND AVENUE

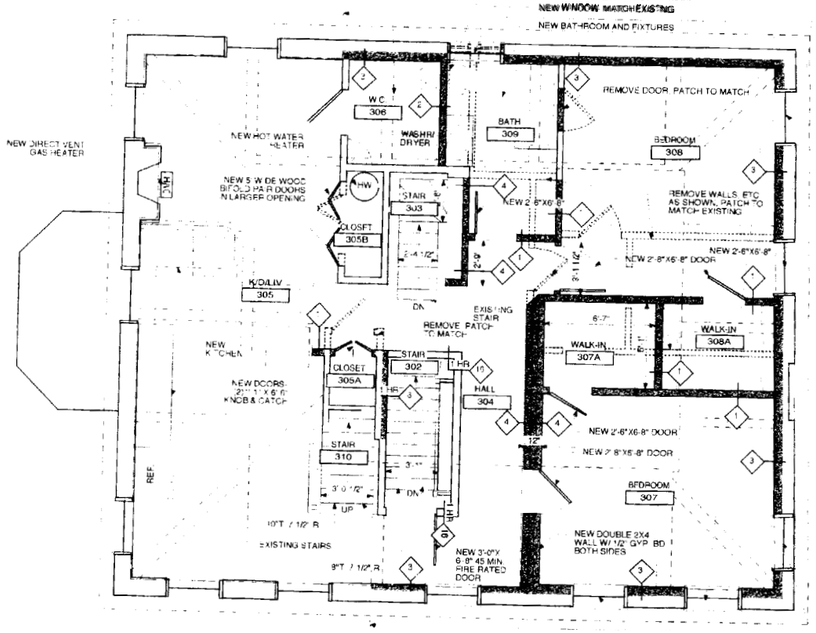


2 A1.1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 237.239.241 CUMBERLAND AVENUE

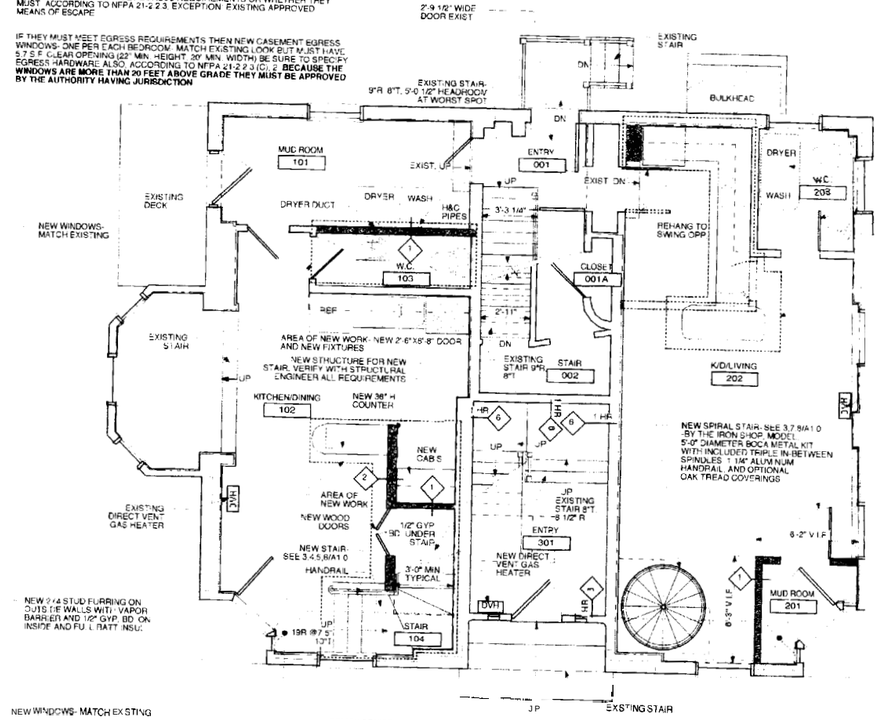
NEW OPENING FOR NEW STAIR- VERIFY WITH STRUCTURAL ENGINEER EXACT STRUCTURAL REQUIREMENTS

NEW WINDOWS, MATCH EXISTING-
CHECK WITH CITY CODE OFFICER AND FIRE DEPARTMENT TO DETERMINE WHETHER BECAUSE THESE WINDOWS WERE INTO BEDROOMS PREVIOUSLY THEY DO NOT HAVE TO MEET EGRESS REQUIREMENTS OR WHETHER THEY MUST, ACCORDING TO NFPA 21-2.2.3, EXCEPTION EXISTING APPROVED MEANS OF ESCAPE

IF THEY MUST MEET EGRESS REQUIREMENTS THEN NEW CASEMENT EGRESS WINDOWS- ONE PER EACH BEDROOM. MATCH EXISTING LOOK BUT MUST HAVE 5.7 S.F. CLEAR OPENING (22" MIN. HEIGHT, 20" MIN. WIDTH) BE SURE TO SPECIFY EGRESS HARDWARE ALSO, ACCORDING TO NFPA 21-2.2.3 (3) 2. **BECAUSE THE WINDOWS ARE MORE THAN 20 FEET ABOVE GRADE THEY MUST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION**



3 A1.1 THIRD FLOOR PLAN
SCALE 1/4 = 1'-0" 237.239.241 CUMBERLAND AVENUE



1 A1.1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0 237.239.241 CUMBERLAND AVENUE

REMOVE TUB, NEW WASHER AND DRYER. NEW DOOR IF NECESSARY TO ALLOW WASHER AND DRYER TO FIT THROUGH DOOR OPENING

NEW KITCHEN, REMOVE OLD KITCHEN AND WALLS ETC PATCH TO MATCH

NEW DIRECT VENT GAS HEATER

NEW 3'-0"X 6'-8" WOOD DOOR

LIST OF DRAWINGS.

L1	SITE PLAN/ COVER SHEET
A1.0	BASEMENT/ROOF PLANS
A1.1	1st,2nd,3rd,Loft PLANS
A2.1	ELEVATIONS

MICHAEL A. BELLEAU LICENSED ARCHITECT No. 4112000 STATE OF MAINE

NOTE: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE APPROXIMATE
TYPICAL ALL DRAWINGS THIS PROJECT
CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

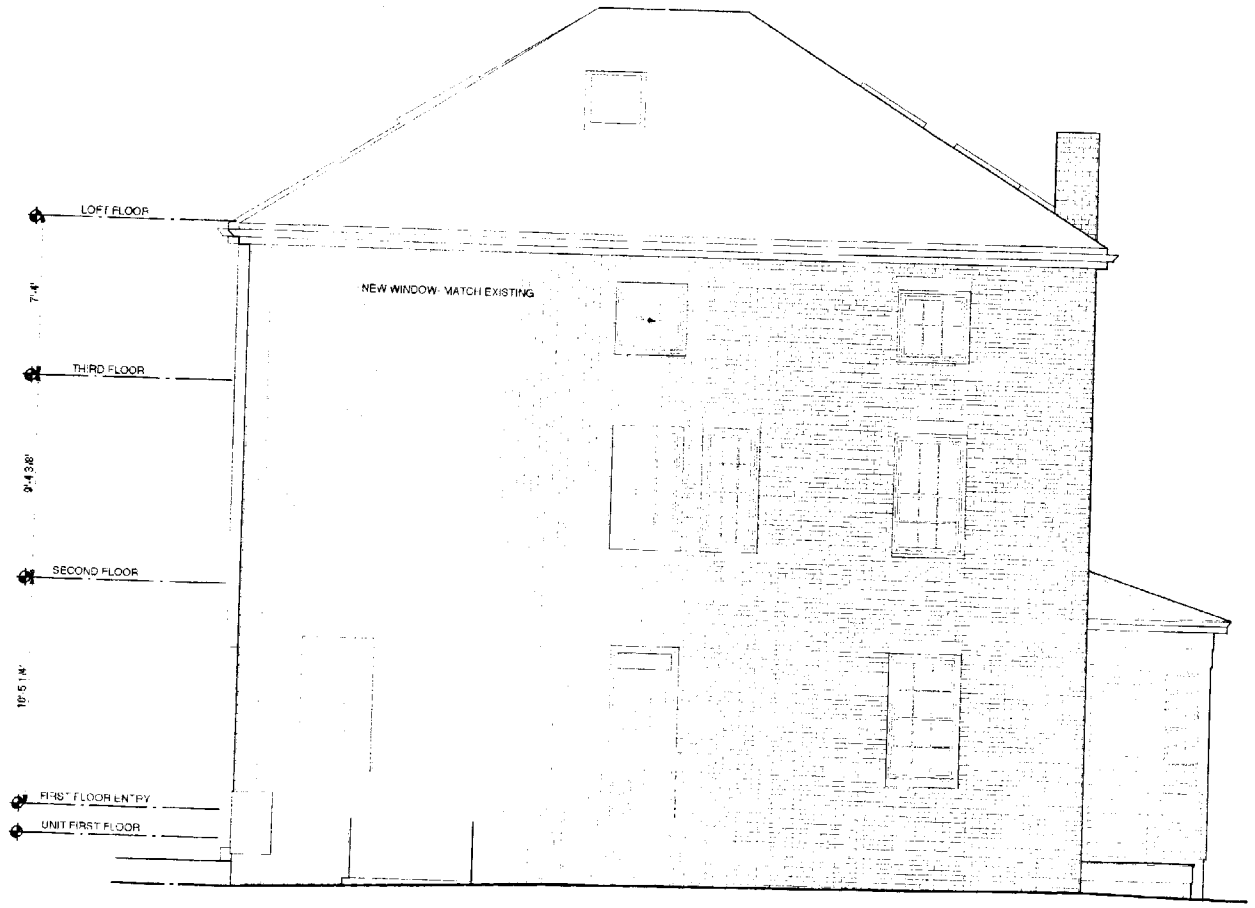
BUILDING PERMIT SET

bell eau

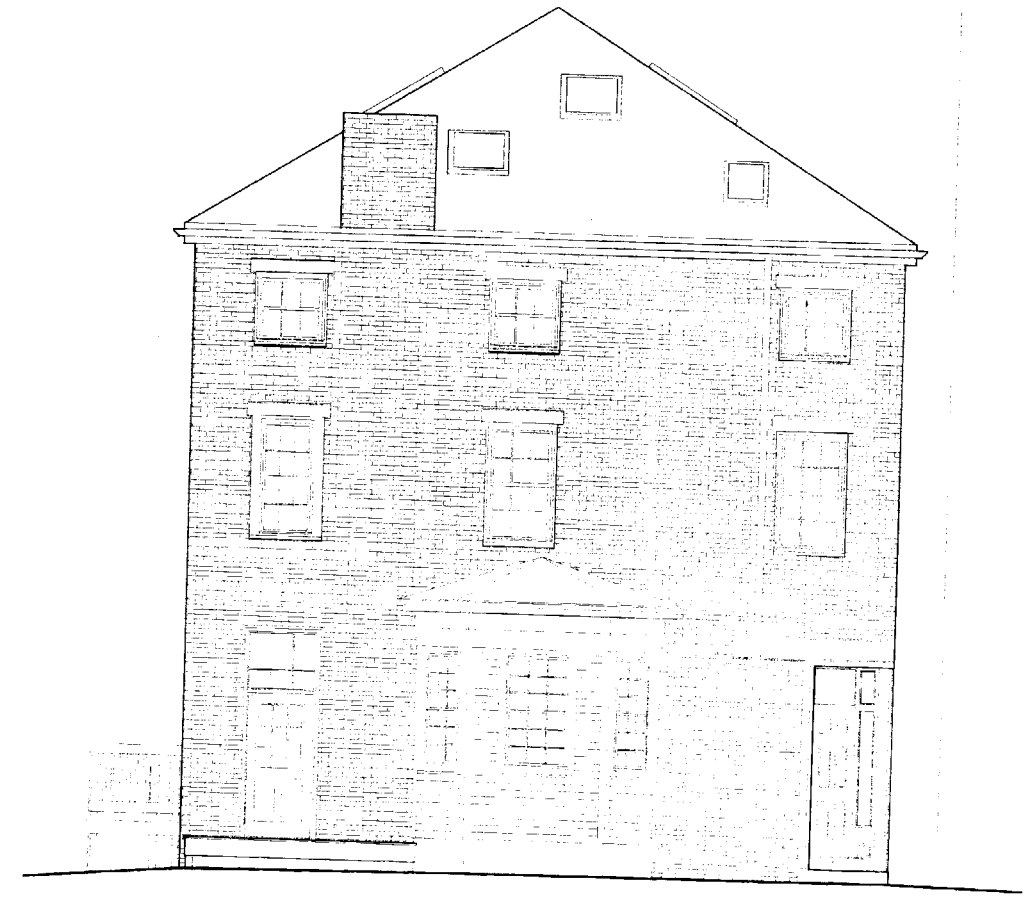
michael bell eau, architects
61 pleasant street
cape elizabeth, 04107
207 874.7658

job # 03.05
client york
location 237,239,241 cumberland ave portland, maine
date 10.03.05
scale as noted
drawing title 1st 2nd 3rd loft plans

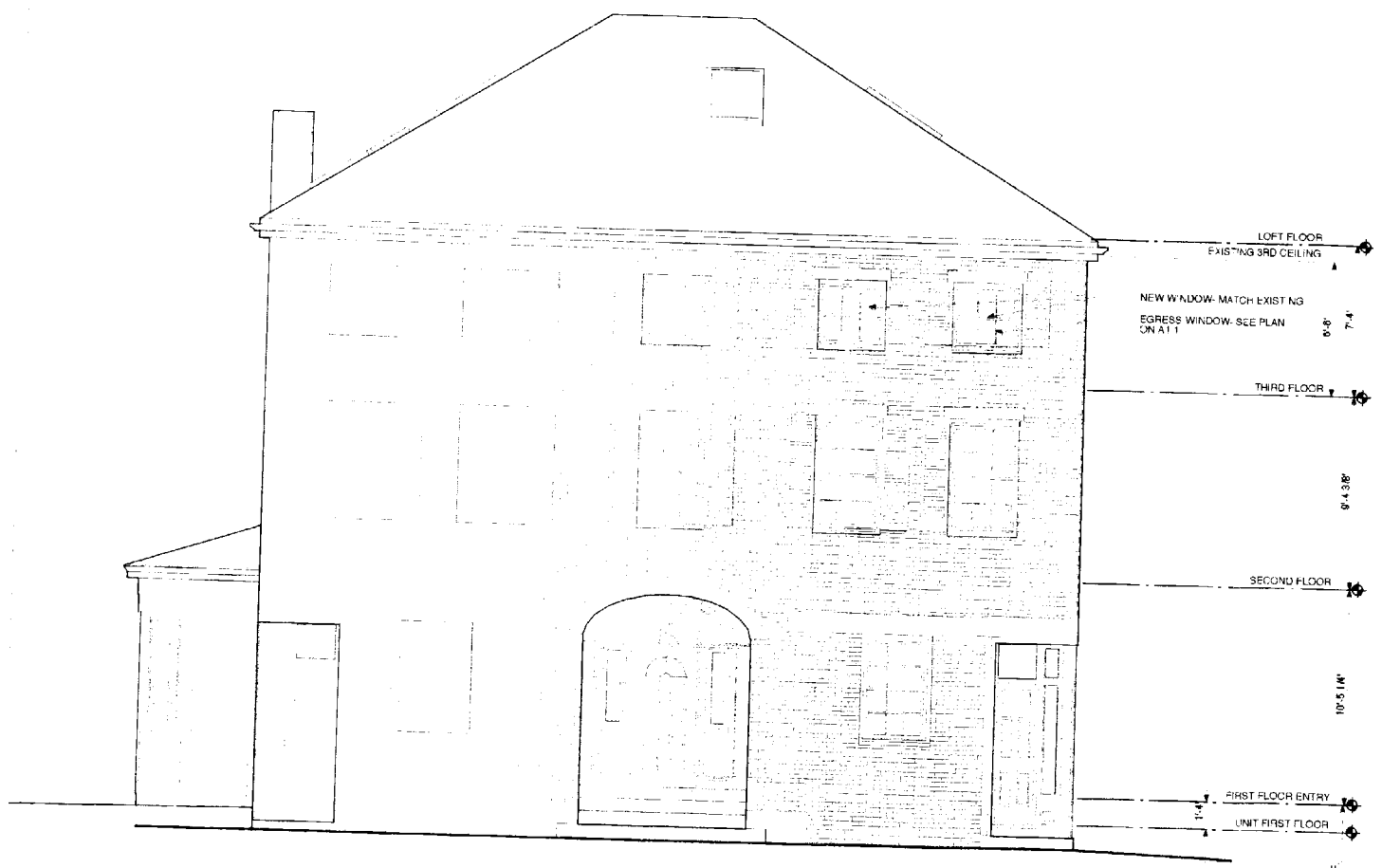
sheet: 1.1



4 A2.1 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



2 A2.1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



3 A2.1 SOUTHEAST ELEVATION
SCALE: 1/4 = 1'-0" 237,239,241 CUMBERLAND AVENUE

1 NORTHEAST ELEVATION

NEW WINDOWS- MATCH EXISTING

EGRESS WINDOW- SEE PLAN ON A1.1

REGISTERED ARCHITECT
MICHAEL BELLEAU
No. AR2280
STATE OF MAINE

LIST OF DRAWINGS:

L1	SITE PLAN/ COVER SHEET
A1.0	BASEMENT/ROOF PLANS
A1.1	1st,2nd,3rd,Loft PLANS
A2.1	ELEVATIONS

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE TYPICAL ALL DRAWINGS THIS PROJECT CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD.

BUILDING PERMIT SET

bell eau

michael belleau architects
45 commercial street
portland, me 04101
207.874.7669

job #
03.05
client
york
location
237,239,241
cumberland ave
portland, maine
date
10.03.05
scale
as noted
drawing title
elevations

number:
A2.1

CUMBERLAND PEARL CONDOMINIUMS

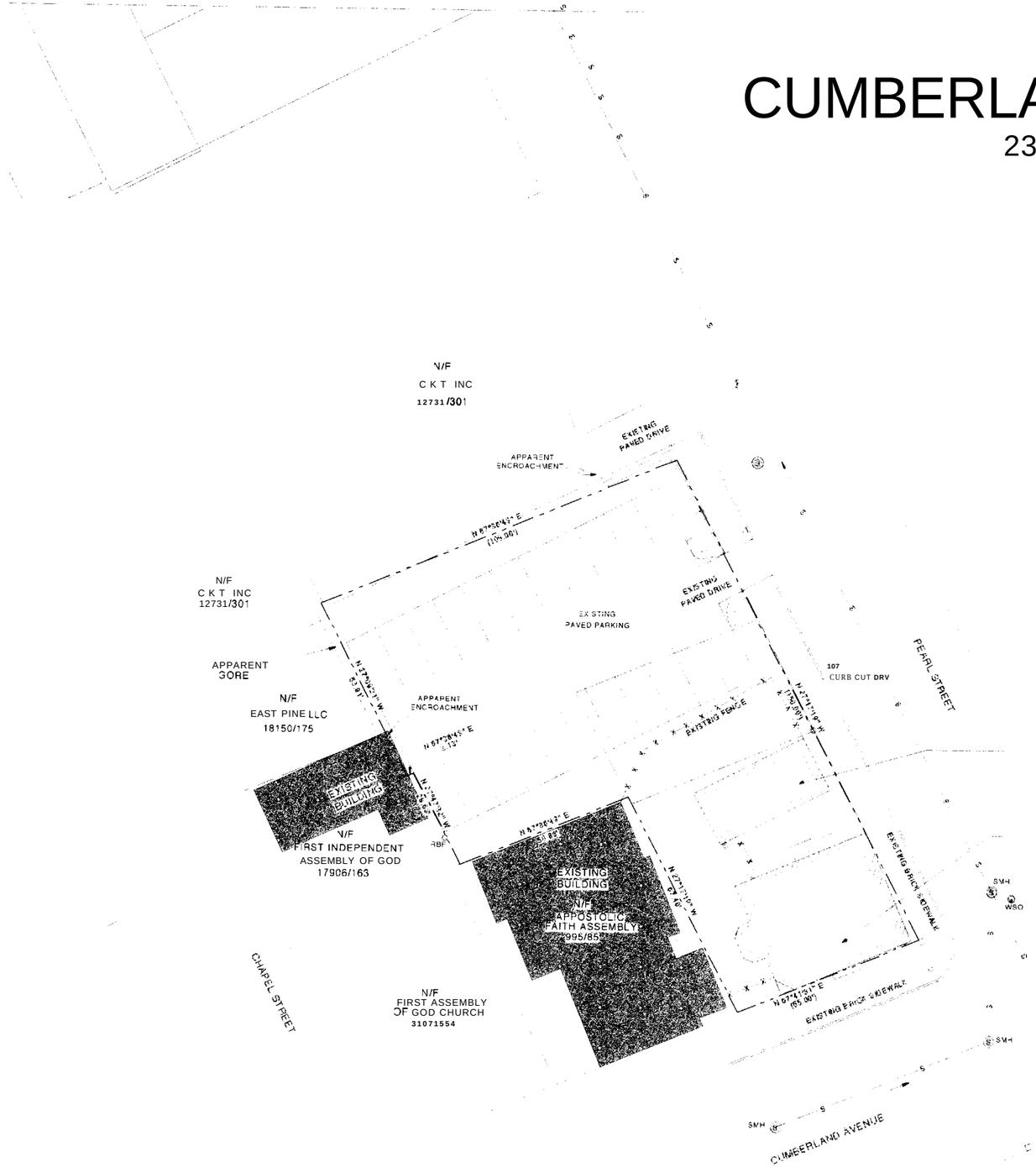
237,239,241 CUMBERLAND AVENUE & 142 PEARL STREET
PORTLAND MAINE

JAY YORK, OWNER

58 WILMOT STREET
PORTLAND MAINE

MICHAEL BELLEAU ARCHITECTS

61 PLEASANT STREET
PORTLAND MAINE



1 / L1 SITE PLAN
SCALE: 1/16" = 1'-0"

CONDOMINIUM PLAT
09/27/2004 SURVEY

N

142 PEARL STREET,"CARRIAGE HOUSE"

EXISTING BUILDING-
PROPOSED CONDOMINIUM
CONVERSION
FFE 103.9

237,239,241 CUMBERLAND AVENUE:

EXISTING BUILDING
PROPOSED CONDOMINIUM

FFE 107.0'

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING WINDOWS BEFORE ORDERING OR INSTALLING OR CONSTRUCTING WORK.

2. OWNER RESPONSIBLE FOR PROJECT MEETING ALL LOCAL, STATE, AND FEDERAL BUILDING, MECHANICAL, ELECTRICAL, FIRE SAFETY/LIFE SAFETY, ETC. CODES, LAWS AND ORDINANCES AND WEATHERABILITY FOR THIS PROJECT. ARCHITECT HAS NO LIABILITY REGARDING ABOVE FOR THIS PROJECT.

3. EXISTING STAIRS AND CEILING HEIGHT DO NOT MEET STANDARDS FOR NEW CONSTRUCTION. ARCHITECT VERIFIED WITH CITY CODE OFFICER THIS WAS ACCEPTABLE ON 8/1/05

4. OWNER TO CONTACT CITY FIRE DEPARTMENT TO REVIEW THIS PROPOSED CONDOMINIUM CONVERSION TO OBTAIN ANY AND ALL REQUIREMENTS AND IMPLEMENT THEM

ZONING INFORMATION:

1. EXISTING BUILDING- NO EXTERIOR EXTENSIONS
5. UTILITIES
   TOWN SEWER FROM STREET
   TOWN WATER FROM STREET
   ELECTRICITY FROM POLE

LIST OF DRAWINGS:

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

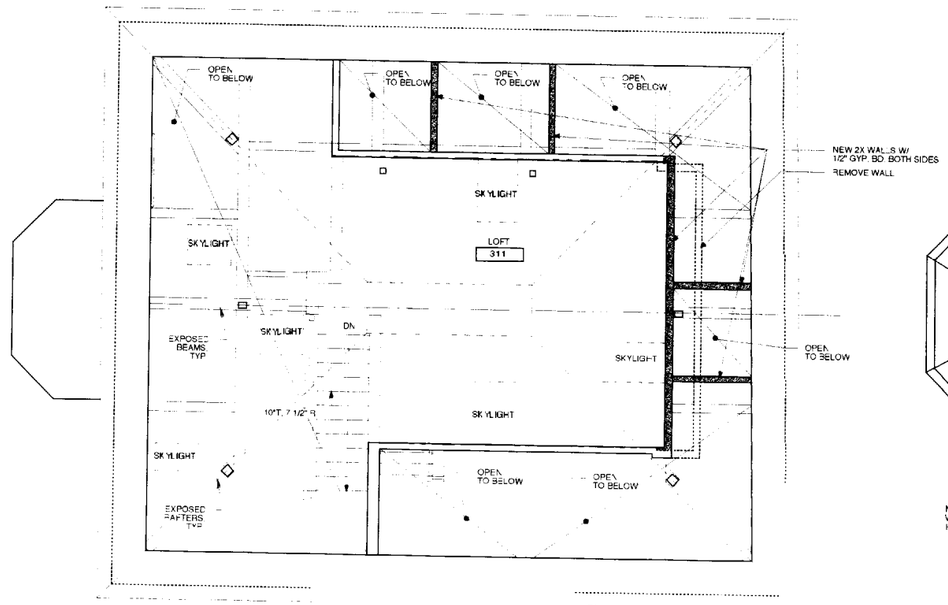
BUILDING PERMIT SET

bell eau

michael belleau architects
61 pleasant street
portland, me 04101
207.874.1669

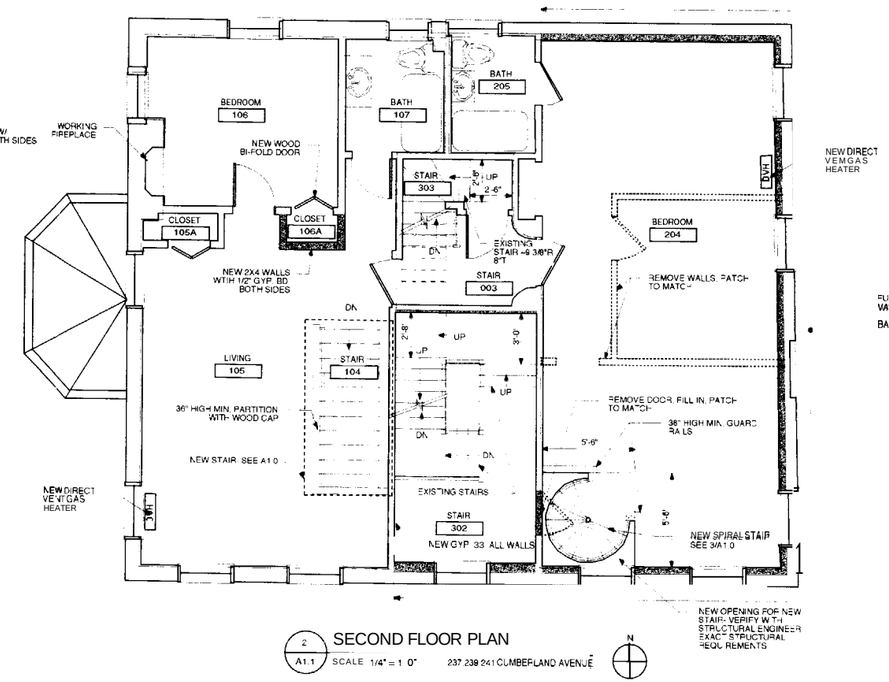
job #
05.05
client:
york
location:
237,239,241
cumberland ave
&142 pearl st
portland maine
date
08.01.05
scale:
as noted
drawing title
site plan

drawing number:
L1



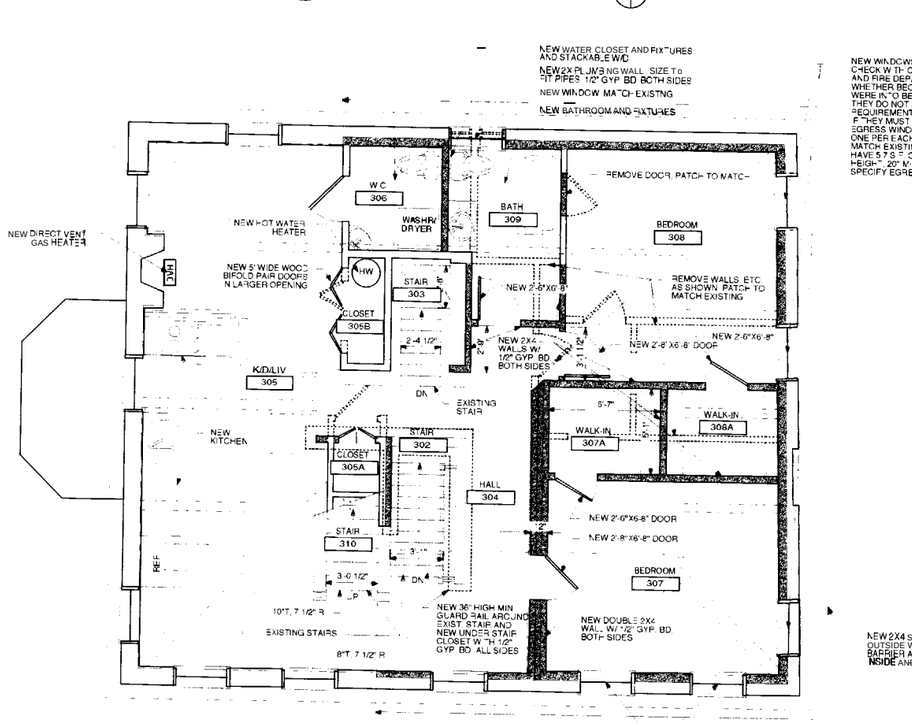
4 A1.1 LOFT FLOOR PLAN

SCALE 1/4" = 1-0" 237 239 241 CUMBERLAND AVENUE



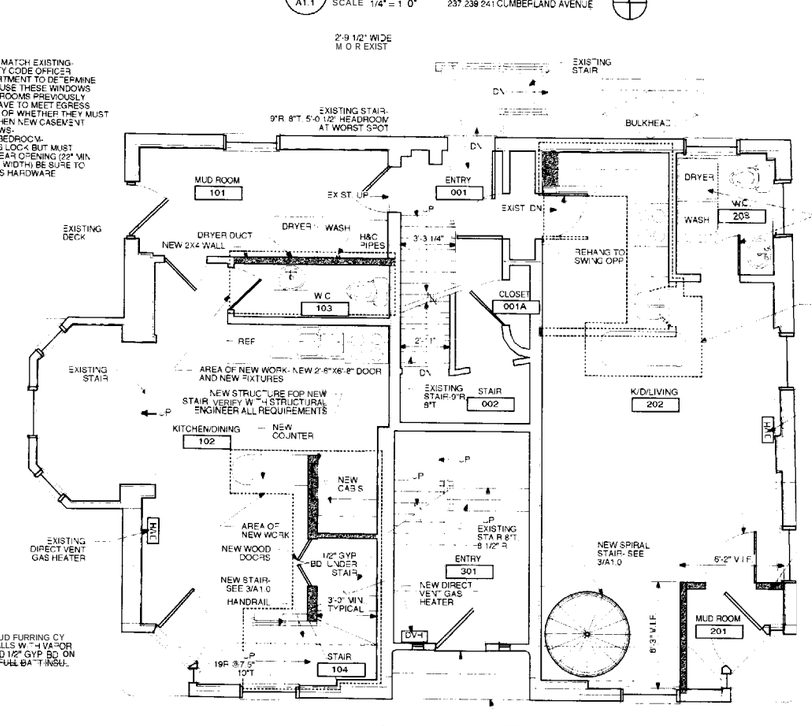
2 A1.1 SECOND FLOOR PLAN

SCALE 1/4" = 1 0" 237 239 241 CUMBERLAND AVENUE



3 A1.1 THIRD FLOOR PLAN

SCALE 1/4" = 1 0" 237239241 CUMBERLANDAVENUE



1 A1.1 FIRST FLOOR PLAN

SCALE 1/4" = 1 0" 237 239 241 CUMBERLAND AVENUE

LIST OF DRAWINGS:

L1	SITE PLAN/ COVER SHEET
A1.0	BASEMENT/ROOF PLANS
A1.1	1st,2nd,3rd,Loft PLANS
A1.2	ELEVATIONS
A2.1	CARRIAGE HOUSE

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

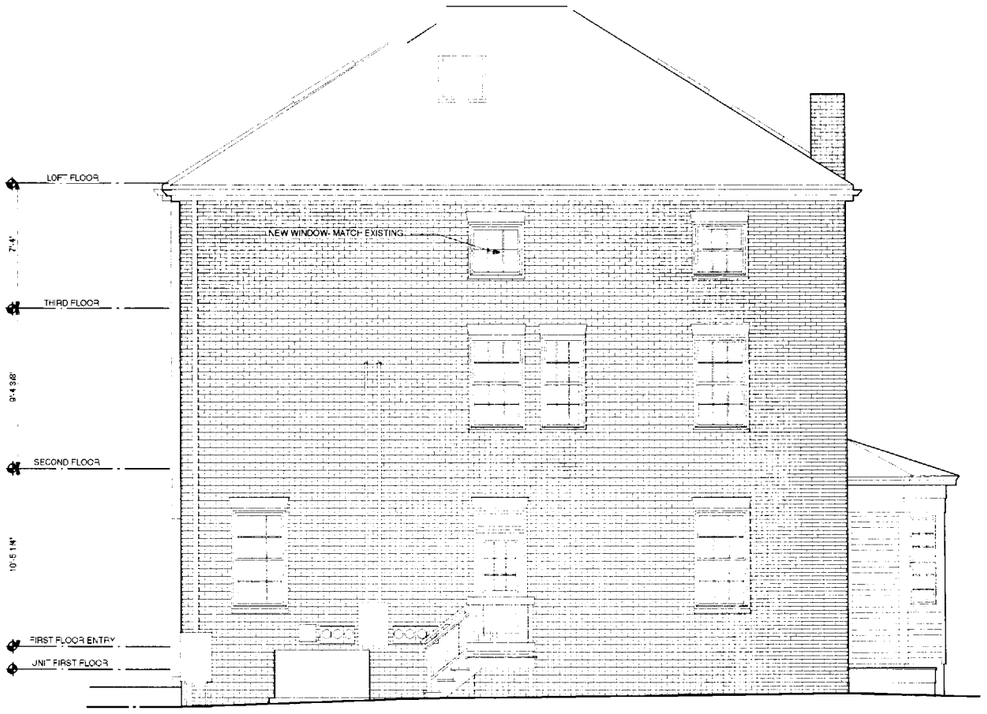
BUILDING PERMIT SET

bell eau

job #
03 05
client
york
location
237 239 241
cumberland ave
&142 sear st
portland, maine
date
08 01 05
scale
as noted
drawing title
1st,2nd,3rd loft plans

drawing number
A1.1

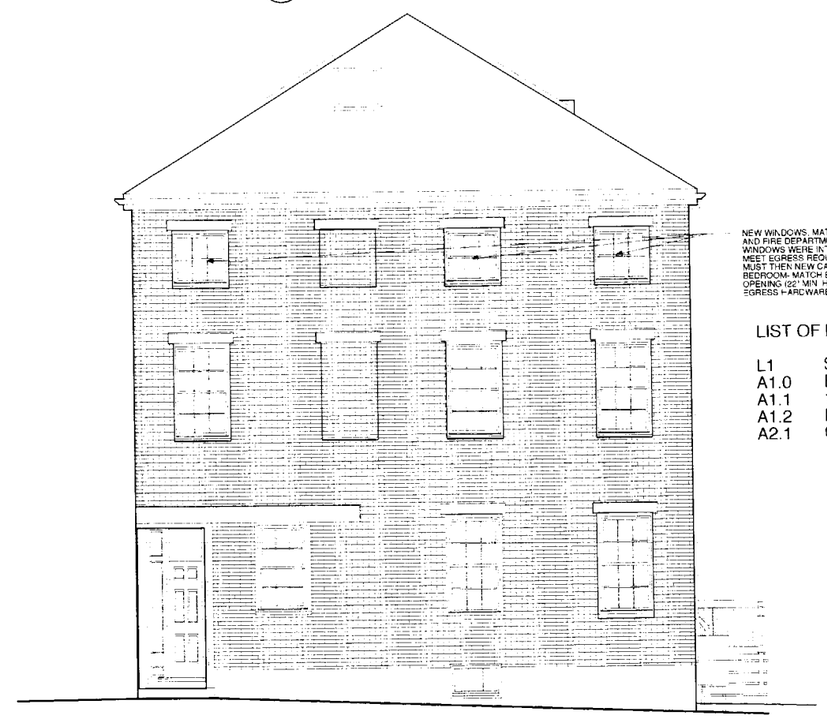
michael bellows architects
61 pleasant street
portland, maine 04101
207 761 2450



4 A1.2 NORTHWEST ELEVATION
SCALE 1/4" = 1 0" 237239241 CUMBERLAND AVENUE

2 A1.2 SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0" 237 239 241 CUMBERLAND AVENUE

3 A1.2 SOUTHEAST ELEVATION
SCALE 114. = 1 0' 237239241 CUMBERLAND AVENUE



1 A1.2 NORTHEAST ELEVATION
SCALE 1/4" = 1'-0" 237 239 241 CUMBERLAND AVENUE

NEW WINDOWS, MATCH EXISTING- CHECK WITH CITY CODE OFFICER AND FIRE DEPARTMENT TO DETERMINE WHETHER BECAUSE THESE WINDOWS WERE IN TO BEDROOMS PREVIOUSLY THEY DO NOT HAVE TO MEET EGRESS REQUIREMENTS OR WHETHER THEY MUST IF THEY MUST THEN NEW CASEMENT EGRESS WINDOWS- ONE PER EACH BEDROOM- MATCH EXISTING LOOK BUT MUST HAVE 5.7 S.F. CLEAR OPENING (22" MIN. HEIGHT, 20" MIN. WIDTH) BE SURE TO SPECIFY EGRESS HARDWARE

LIST OF DRAWINGS:

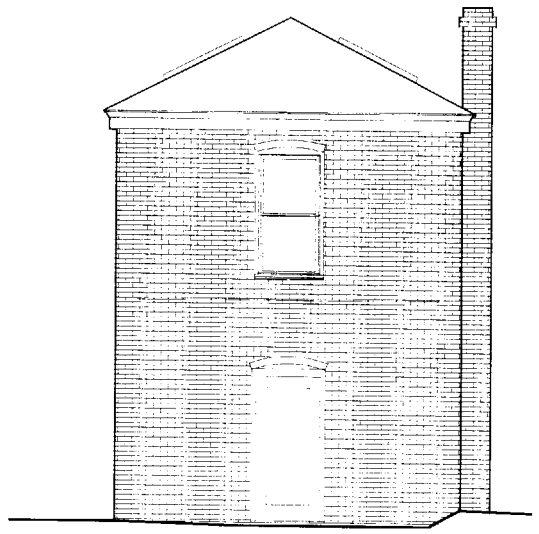
NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

BUILDING PERMIT SET

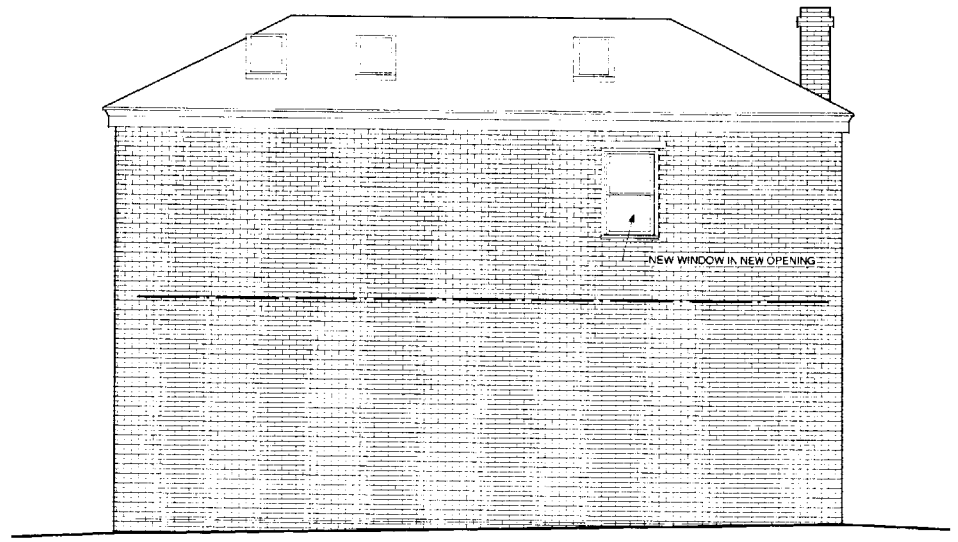
bell eau
michael bellerau architects
61 pleasant street
portland, maine 04101
207.874.7069

job # 03.05
client: york
location: 237 239 241 cumberland ave & 142 pearl st portland maine
date: 08.01.05
scale: as noted
drawing title: **elevations**

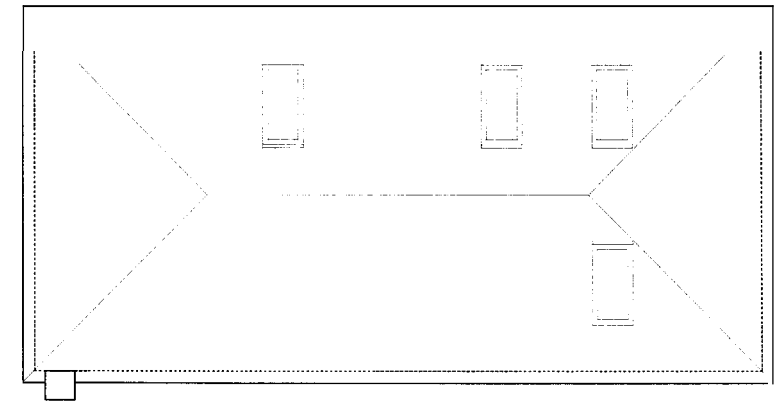
24 x 36 Plot Size:
A1.2



6 A2.1 C.H. WEST ELEVATION
SCALE: 1/4" = 1'-0" 142 PEARL STREET

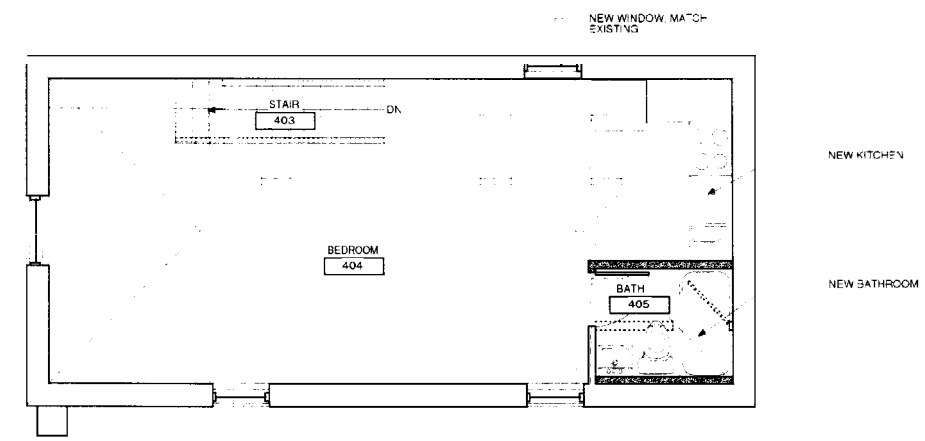


7 A2.1 C.H. NORTH ELEVATION
SCALE: 1/4" = 1'-0" 142 PEARL STREET



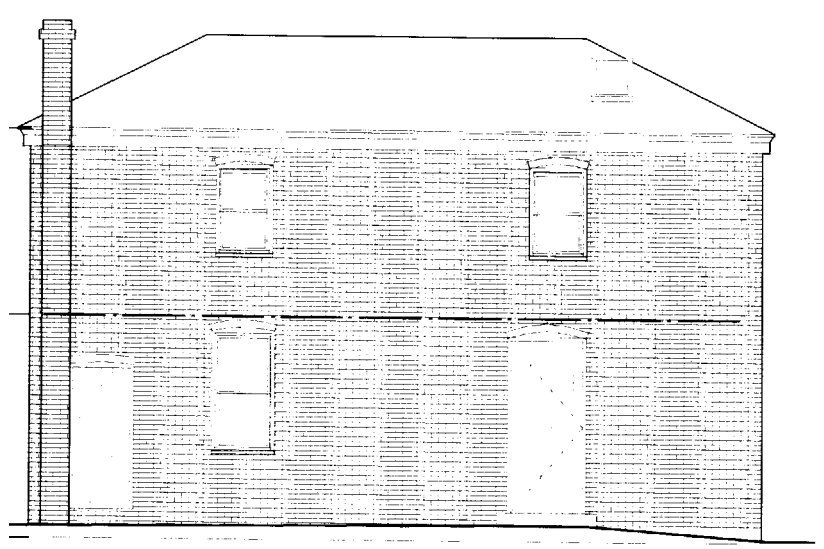
3 A2.1 C.H. ROOF PLAN
SCALE: 1/4" = 1'-0" 142 PEARL STREET

N

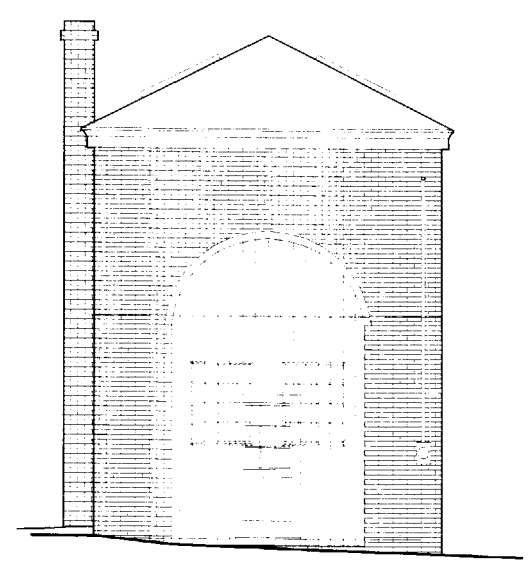


2 A2.1 C.H. SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 142 PEARL STREET

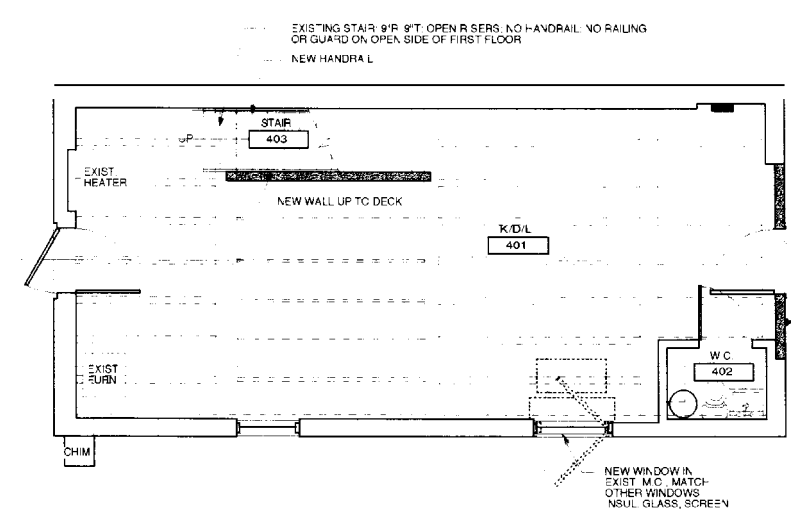
D1



5 A2.1 C.H. SOUTH ELEVATION
SCALE: 1/4" = 1'-0" 142 PEARL STREET



4 A2.1 C.H. EAST ELEVATION
SCALE: 1/4" = 1'-0" 142 PEARL STREET



1 A2.1 C.H. GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0" 142 PEARL STREET

N

NEW 2X6 WALL W/ 1/2" GYP. BD. & VAPOR BARRIER AND 1/2" SHEATHING AND 1X WOOD SIDING WITH NEW 3'-0" X 6'-8" INSULATED DOOR

LIST OF DRAWINGS:

L1	SITE PLAN/ COVER SHEET
A1.0	BASEMENT/ROOF PLANS
A1.1	1st,2nd,3rd,Loft PLANS
A1.2	ELEVATIONS
A2.1	CARRIAGE HOUSE

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

BUILDING PERMIT SET

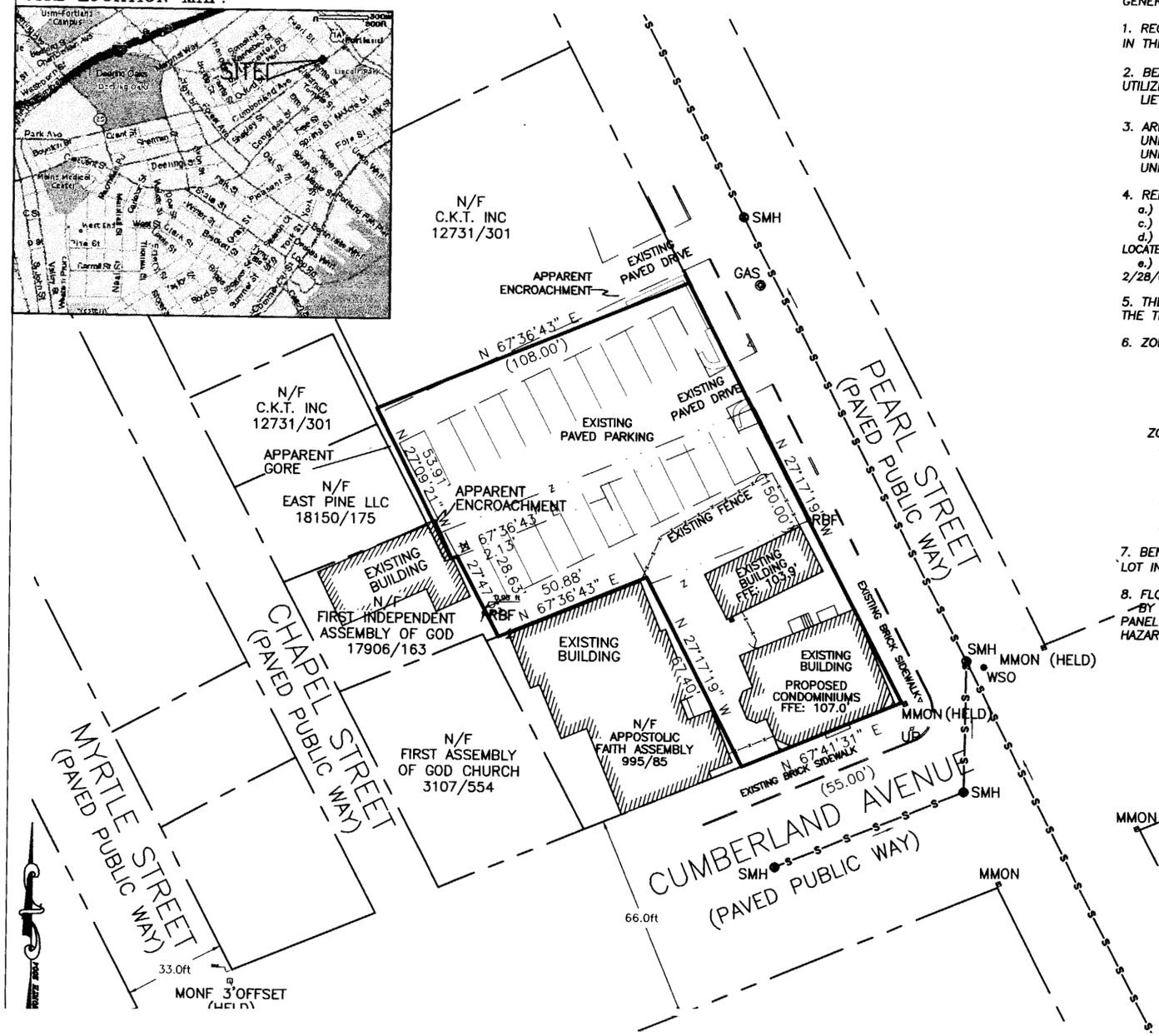
bell eau

michael bell eau architects
p.o. box 4 pearl st
portland, me 04101
207.874.7666

job #
33.05
client
yck
location
237,239,241
cumberland ave
&142 pearl st
portland, maine
date
08.01.05
scale
as noted
drawing title
carriage house

sheet number
A2.1

SITE LOCATION MAP:



0' 20' 40' 80

GRAPHIC SCALE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED 2005
AT : H .M. AND RECORDED IN
PLAN BOOK PAGE

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JOHN W. YORK, BOOK 12791 PAGE 44 AND BOOK 12791 PAGE 53 AS RECORDE IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).

2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, 10/08/2004, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.

3. AREA OF SUBJECT PARCEL: X.XX SQ. FT., 0.XX ACRES
UNIT 1 INTERIOR AREA: 1,005.8 SQ. FT.
UNIT 2 INTERIOR AREA: 983.7 SQ. FT.
UNIT 3 INTERIOR AREA: 1,547.7 SQ. FT.

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND TAX ASSESSORS MAP NO. 26, BLOCK L, LOTS 8–9 & 10, REVISED 10/10/82.
c.) CITY OF PORTLAND CUMBERLAND STREET SHEETS NO. 150, SHEET NO. 3, AND PEARL STREET NO. 55, SHEET NO. 2.
d.) PLAN MADE FOR DR. HOLT & DR. BOWERS, SEPT. 1834, BY JORDAN & RICHARDSON, PORTLAND, MAINE, UNRECORDED, LOCATED IN THE CITY OF PORTLAND VAULT, PLAN BOOK 405 PAGE 22.
e.) PORTLAND WATER DISTRICT, PORTLAND SEWER SYSTEM INFILTRATION–INFLOW ANALYSIS, DRAWING NO. IV–12, UPDATED 2/28/01, BY HUNTER–BALLEW ASSOCIATES.

5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.

6. ZONING: BUILDING: B–3 DOWNTOWN BUSINESS ZONE
SETBACKS: NONE (NO MORE THAN 5 FT FROM STREET LINE)
MINIMUM LOT SIZE: NONE
MINIMUM STREET FRONT: 15 FT
MINIMUM BUILDING HEIGHT: 35 FT (NEW CONSTRUCTION)
MAXIMUM LOT COVERAGE: 100%

ZONING: PARKING LOT: B–2 COMMUNITY BUSINESS ZONE
SETBACKS: FRONT – NONE
REAR – 10 FT (20 FT IF ABUTTING RESIDENCE ZONE)
SIDE – NONE (10 FT IF ABUTTING RESIDENCE ZONE)
MINIMUM LOT SIZE: 10,000 SQ FT
MINIMUM STREET FRONT: 50 FT
MINIMUM BUILDING HEIGHT: 35 FT (NEW CONSTRUCTION)
MAXIMUM IMPERVIOUS SURFACE COVERAGE: 80%

7. BENCH MARK: ELEVATIONS ARE BASED ON AN ASSUMED VALUE OF 100.0 FT AT A SPIKE (SPK) IN PARKING LOT INDICATED AS "BM: 100.0'"

8. FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986, AND IS NOT IN A SPECIAL FLOO HAZARD AREA.

LEGEND

IPF Iron Pipe Found
(50.00') Distance from reference plan or deed.
N/F Now Or Formerly
Z Indicates Ownership in Common
Utility Pole
— ? — Underground Utility
Abutter Line
Property Line
Street Line
Edge of traveled way
Setback Line
Sewer Manhole
Water Shut Off Valve
Gasline Shut Off

MMON

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
b) NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

DATE: FEBRUARY 03. 2005

CONDOMINIUM PLAT

10 | 10 | 10 — 0 — 40

SCALE: 1"=40'

SHEET 10 OF 10 - CONDOMINIUM PLAT

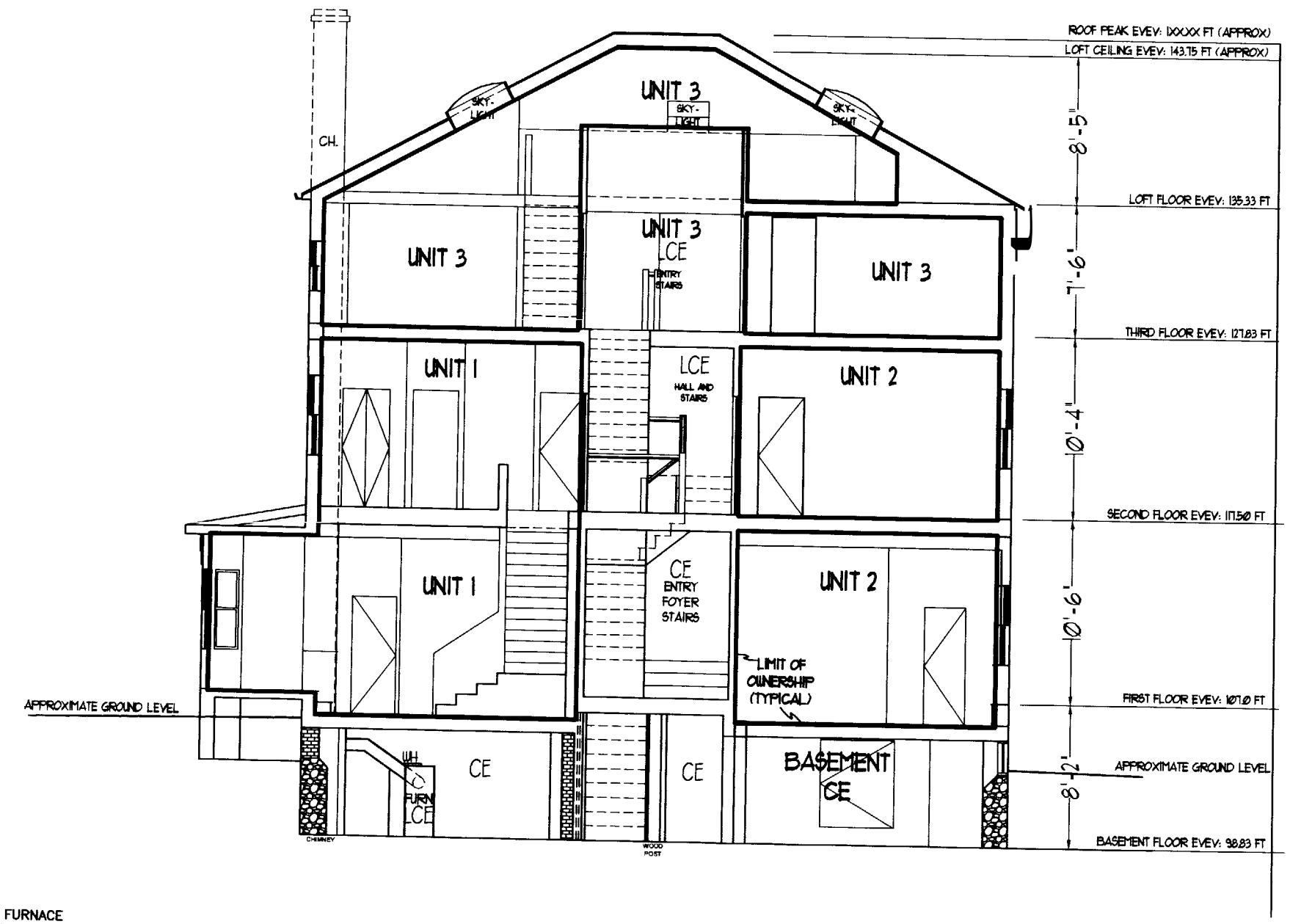
BACK BAY BOUNDARY, INC.
LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 761.2010
backbayboundary@cs.com

REVISED: 02/03/2005 – REVISED PROPERTY AND ABUTTERS' LINES PER RESEARCH

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

JOB NO.: 2004113

ISSUE DATE
PRINT 02/04/2005



LEGEND:

CE = COMMON ELEMENT
CH. = CHIMNEY
COIN OP. = COIN OPERATED
ELEC. = ELECTRICAL
FFE = FIRST FLOOR ELEVATION
FURN = FURNACE
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
TYP. = TYPICAL
WH = WATER HEATER(S)
#R = NUMBER OF STAIR RISERS

2. ELEVATIONS ARE BASED ON ASSUMED 100.0' – SEE CONDOMINIUM PLAT, PAGE 14 OF 14.

1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

9 / 9 | 10

UNITS 1-3 BUILDING SECTION

0 8'0" 1/8"=1'-0"

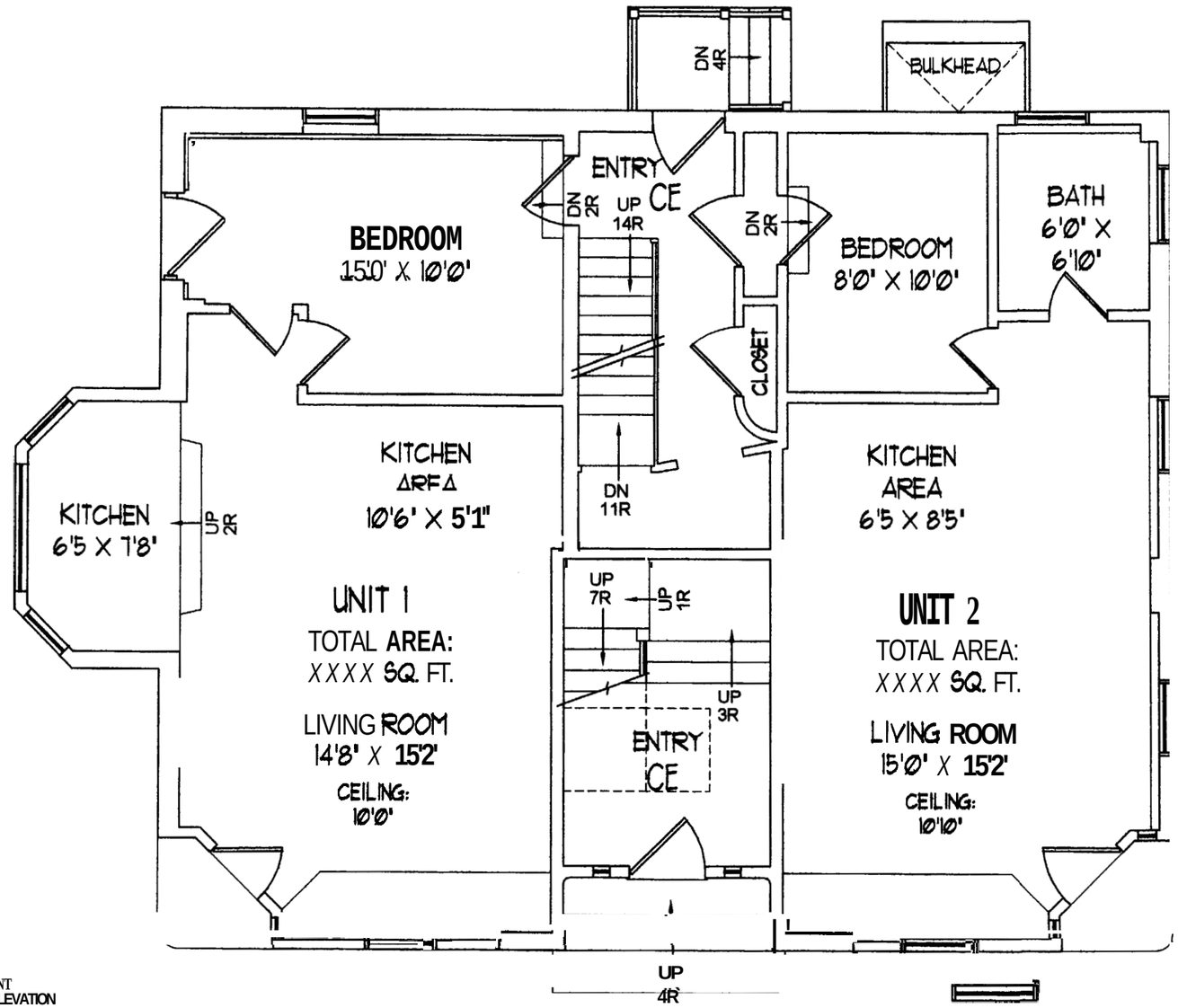
SHEET 9 OF 10 - BUILDING SECTION

BACK BAY BOUNDARY, INC
LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 761.2010
backbayboundary@cs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

JOB NO.: 2004113

ISSUE DATE	
PRINT	07/04/2005



LEGEND:

CH. = CHIMNEY
CE = COMMON ELEMENT
FFE = FIRST FLOOR ELEVATION
FURN. = FURNACE
LCE = LIMITED COMMON ELEMENT
#R = NUMBER OF RISERS

UNIT 1&2 FLOOR PLAN

2 | 2 | 10

0 5'4'

SCALE: 3/16'=1'0'

SHEET 2 OF 9- FIRST FLOOR

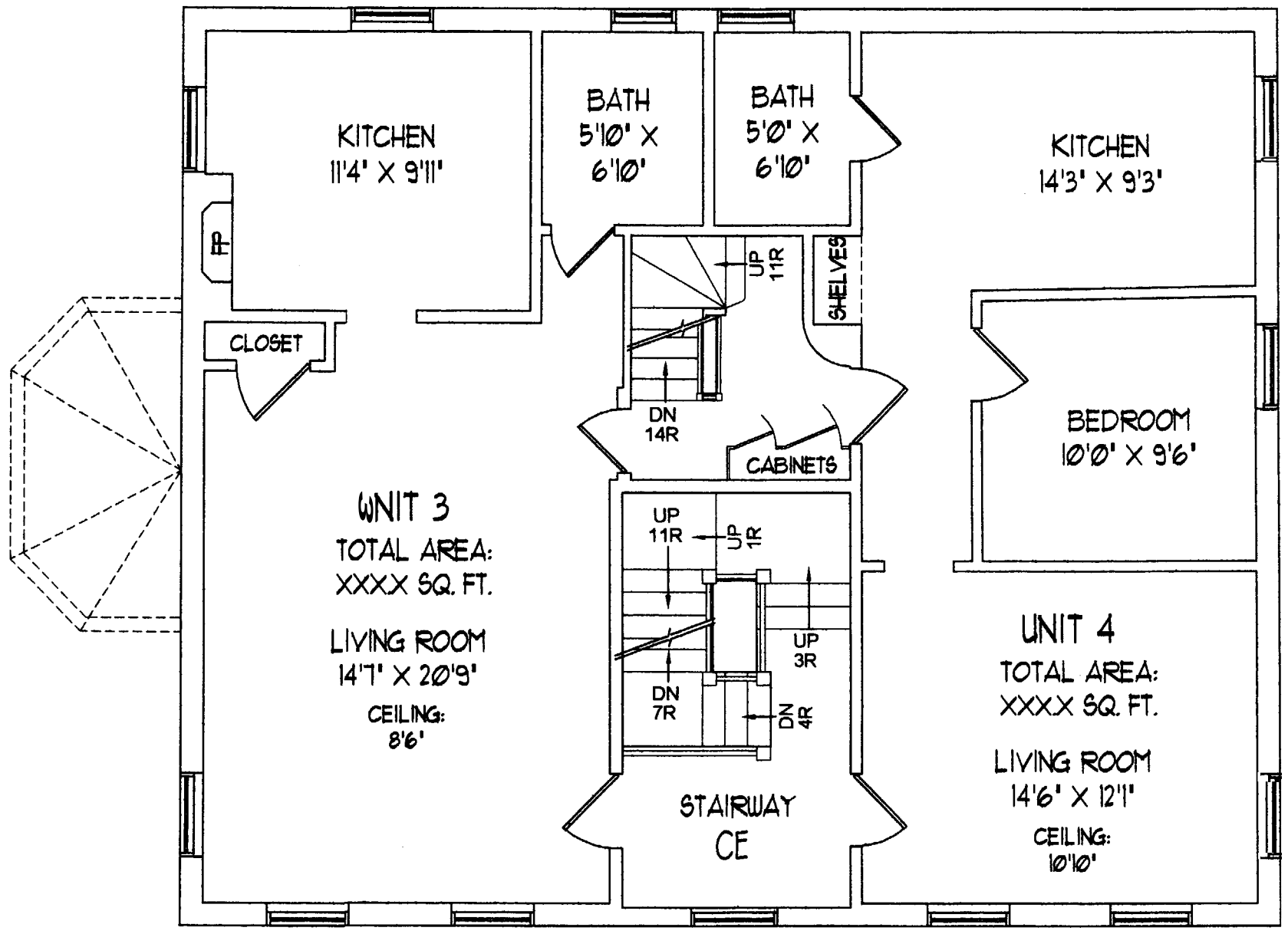
1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

BACK BAY BOUNDARY, INC.
LAND SURVEYING
85 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax 761.2010
backbayboundary@cs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

JOB NO. 2004113

ISSUE DATE	
PRINT	11/23/2004



CH. = CHIMNEY
CE = COMMON ELEMENT
FFE = FIRST FLOOR ELEVATION
FURN. = FURNACE
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
#R = NUMBER OF RISERS

1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

3
3 | 3

UNIT 2 FLOOR PLAN

0 5'4"

SCALE: 3/16"=1'0"

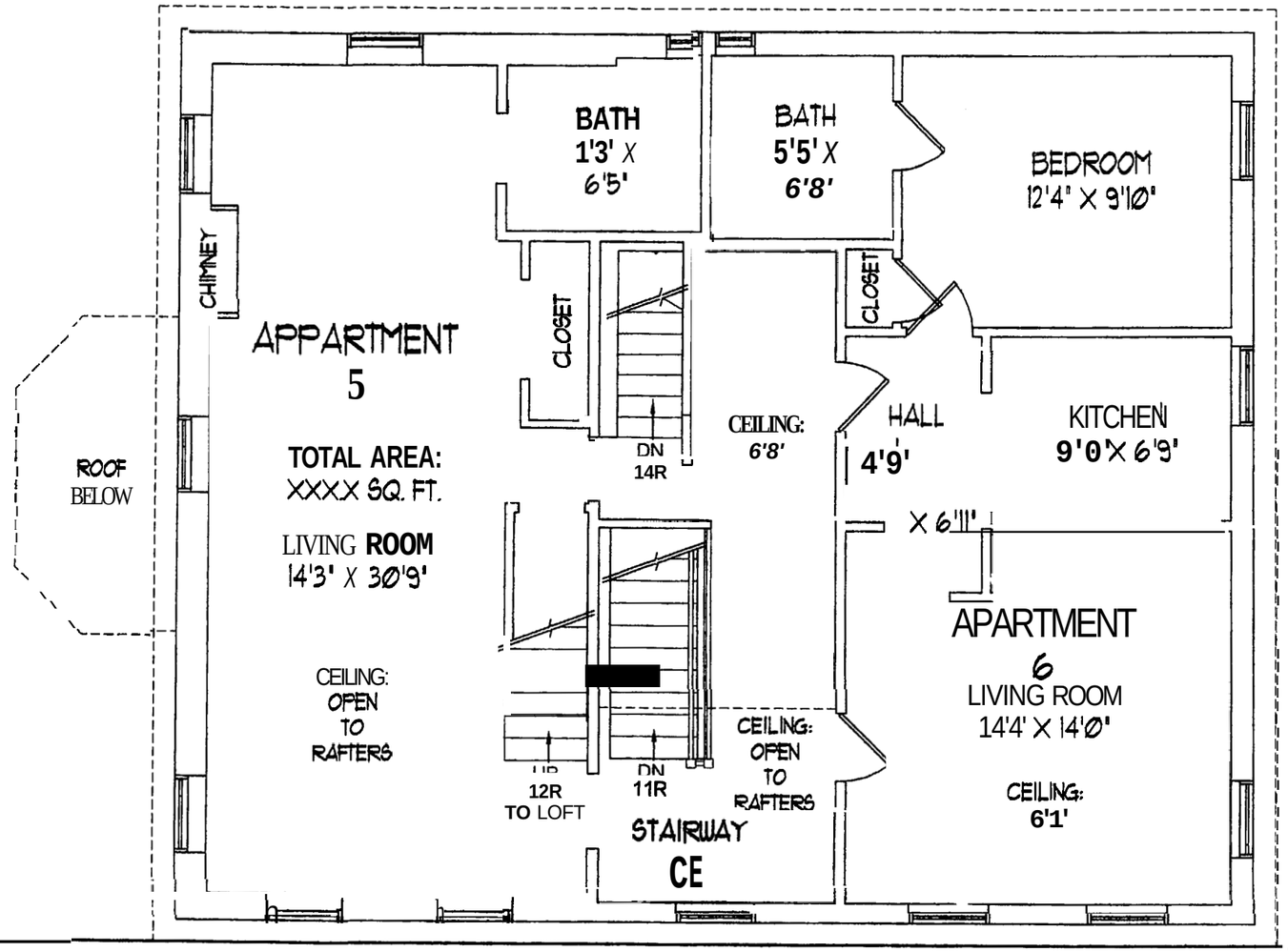
SHEET 3 OF 9 - SECOND FLOOR

LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 761.2010
backbayboundary@cs.com

CUMBERLAND PEAK DOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

JOB NO.: 2004113

ISSUE DATE	
PRINT	1/23/2004



LEGEND:

CE = COMMON ELEMENT
CH. = CHIMNEY
COIN OP. = COIN OPERATED
ELEC. = ELECTRICAL
FFE = FIRST FLOOR ELEVATION
FURN. = FURNACE
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
TYP. = TYPICAL
WH = WATER HEATER
#R = NUMBER OF RISERS

1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12781 PAGE 44 AS RECORDED IN THE CUMBERLAND C W N M REGISTRY OF DEEDS.

4
4 | 10

UNIT 3 FLOOR PLAN

0 5'4"

SCALE: 3/16"=1'0"

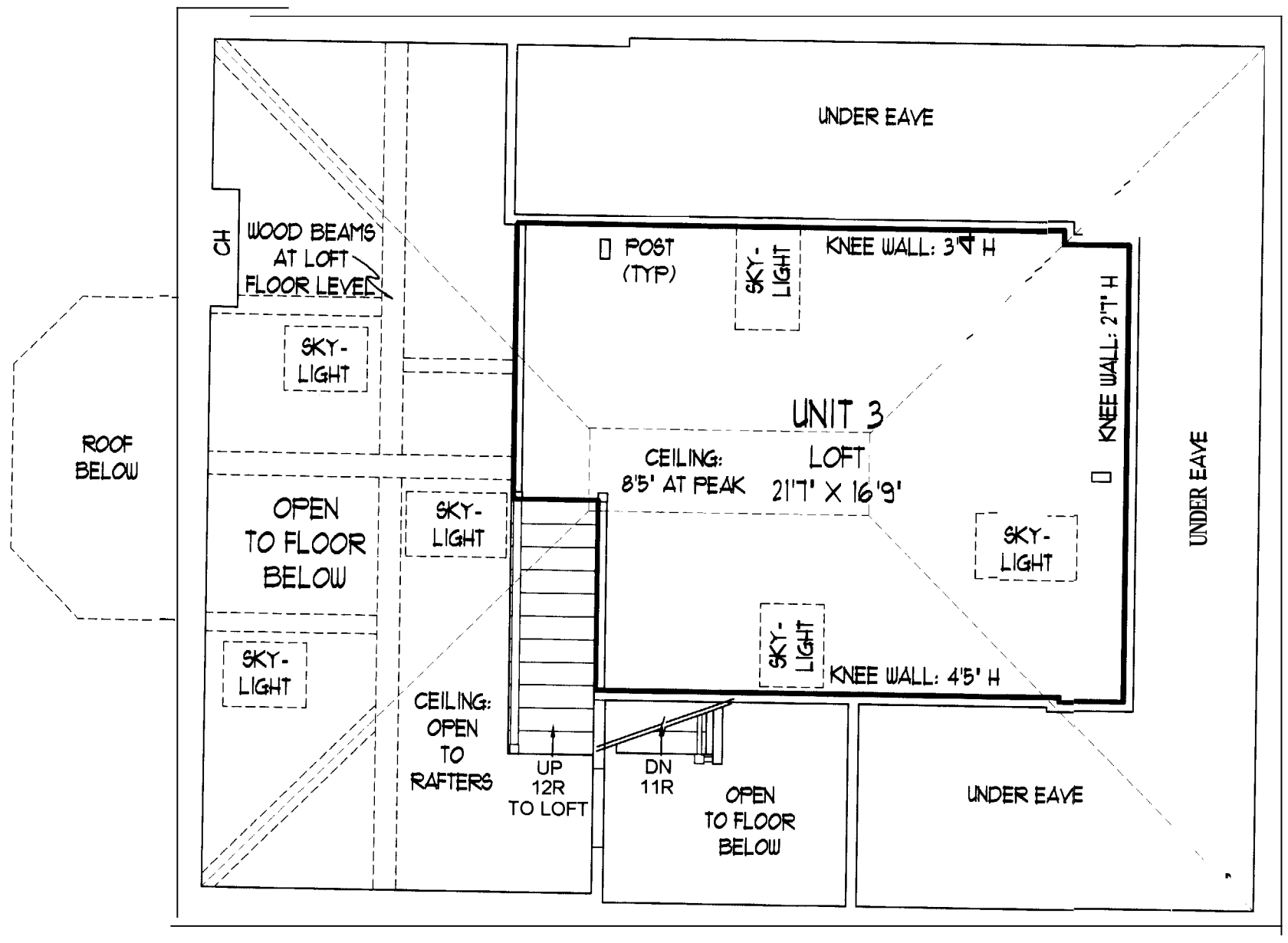
SHEET 4 OF 9 - THIRD FLOOR

BACK BAY BOUNDARY, INC.
LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 761.2010
backbayboundaryOcs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
PORTLAND, MAINE

JOB NO.: 2004113

ISSUE DATE
PRINT 11/23/2004



LEGEND:

CH. = CHIMNEY
CE = COMMON ELEMENT
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
TYP. = TYPICAL
#R = NUMBER OF RISERS

1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

5 | 5 | 10

UNIT 3 LOFT FLOOR PLAN

Ø 5'4"

SCALE: 3/16"=1'Ø'

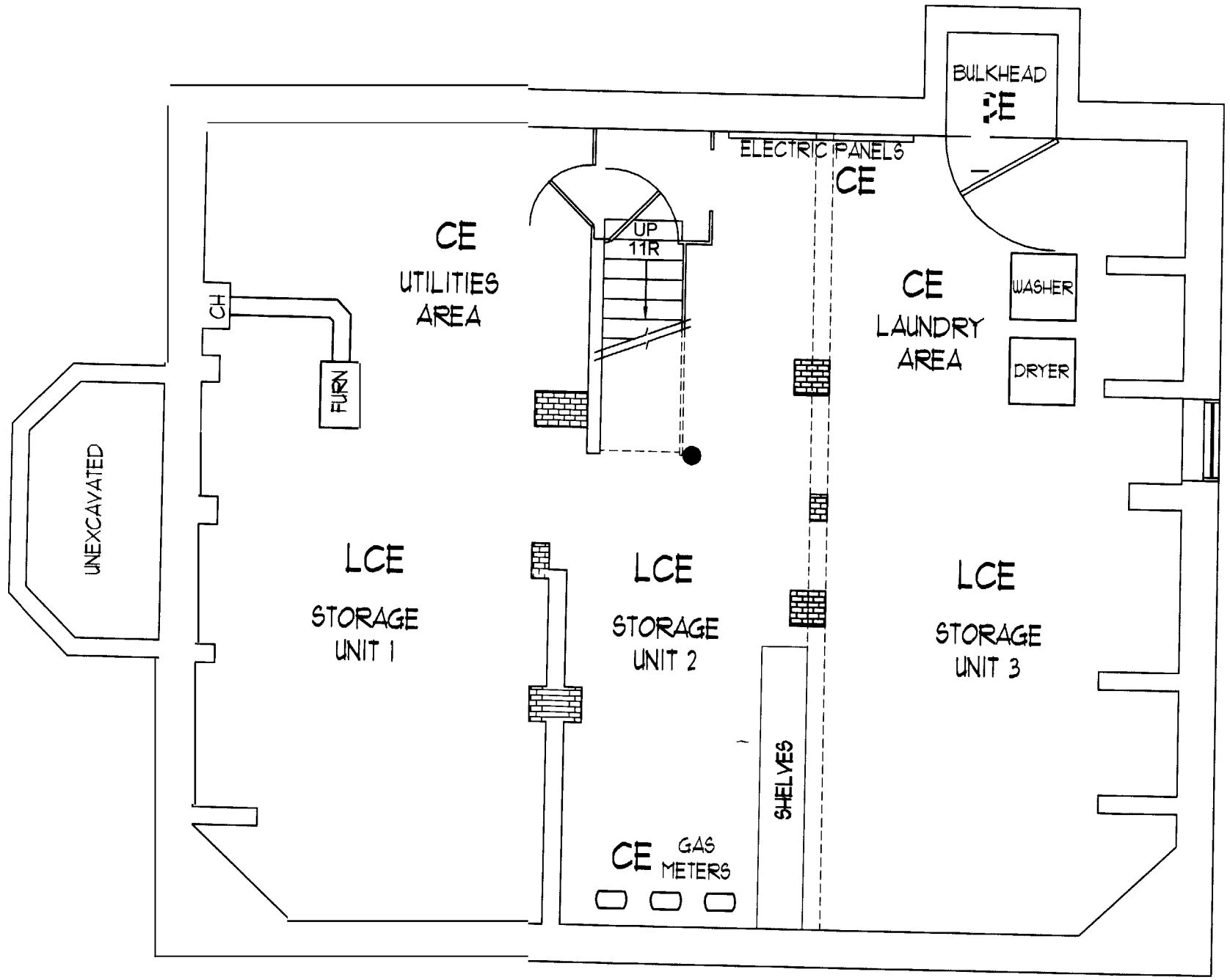
SHEET 5 OF 9 - LOFT (4TH) FLOOR

BACK BAY BOUNDARY, INC.
LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 761.2010
backbayboundary@cs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

JOB NO.: 4113204113

ISSUE DATE



LEGEND:

CH. = CHIMNEY
CE = COMMON ELEMENT
ELEC. = ELECTRICAL
FFE = FIRST FLOOR ELEVATION
FURN. = FURNACE
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
#R = NUMBER OF RISERS
WH = WATER HEATER

1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

UNITS 1-3 BASEMENT FLOOR PLAN

1 | 1 | 10

0 5'4"

SCALE: 3/16"=1'0"

SHEET 1 OF 9 - BASEMENT FLOOR

BACK BAY BOUNDARY, INC
LAND SURVEYING
85 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 781.2010
backbayboundary@cs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

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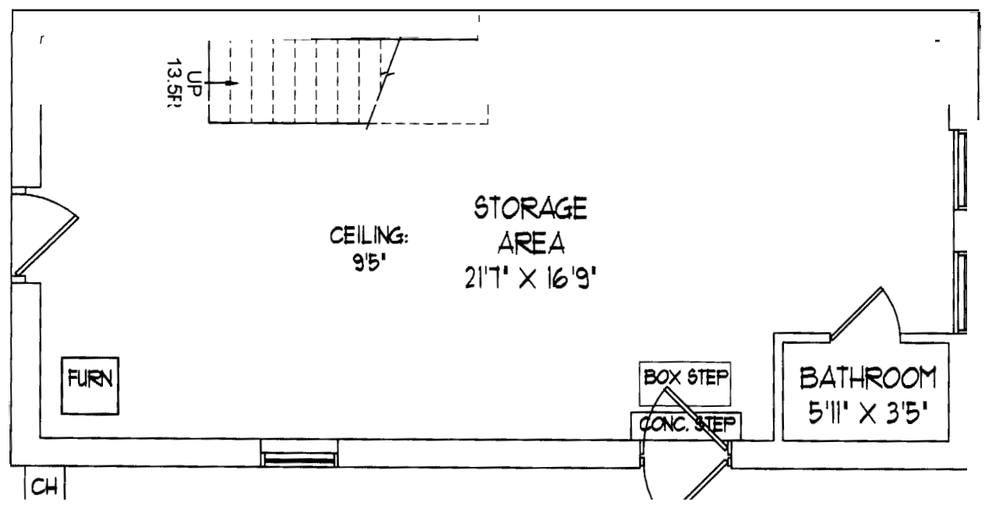

LEGEND:

CH. = CHIMNEY
CE = COMMON ELEMENT
N R N = FURNACE
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
#R = NUMBER OF RISERS

1. RECORD OWNER OF PARCEL JOHN W. YORK. AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

UNIT 4 FIRST FLOOR PLA

SCALE: 3/16"=1'0"

SHEET 6 OF 9- UNIT 4 FIRST FLOOR

BACK BAY BOUNDARY, INC
LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
207.774.2855
fax: 761.2010
backbayboundary@cs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

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ISSUE DATE
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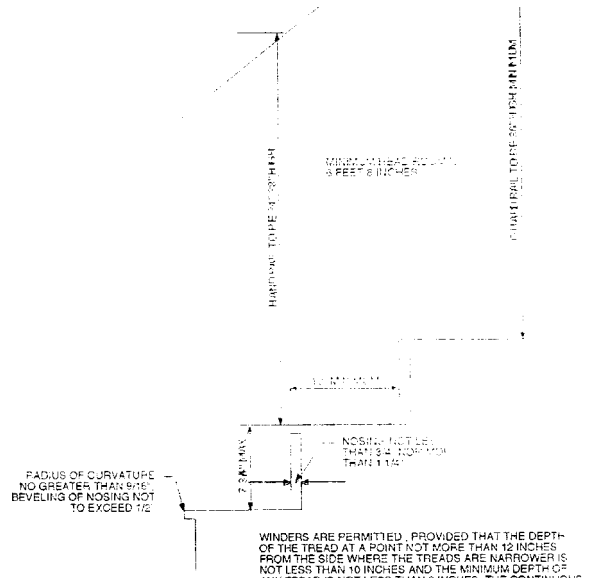
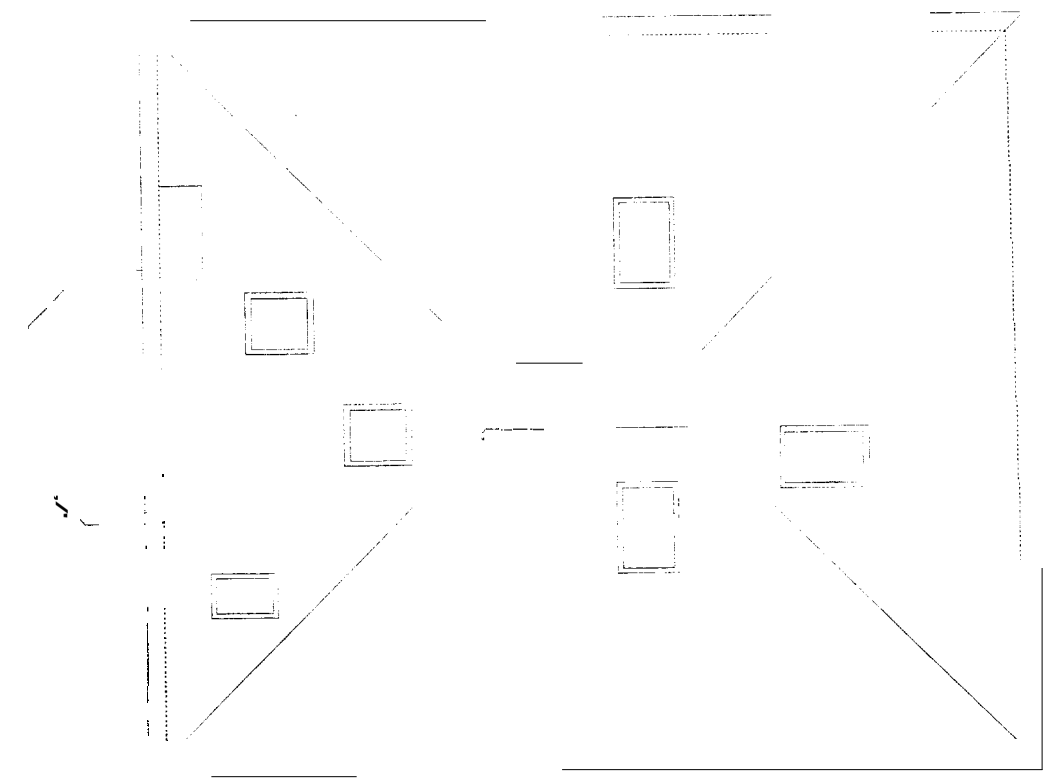
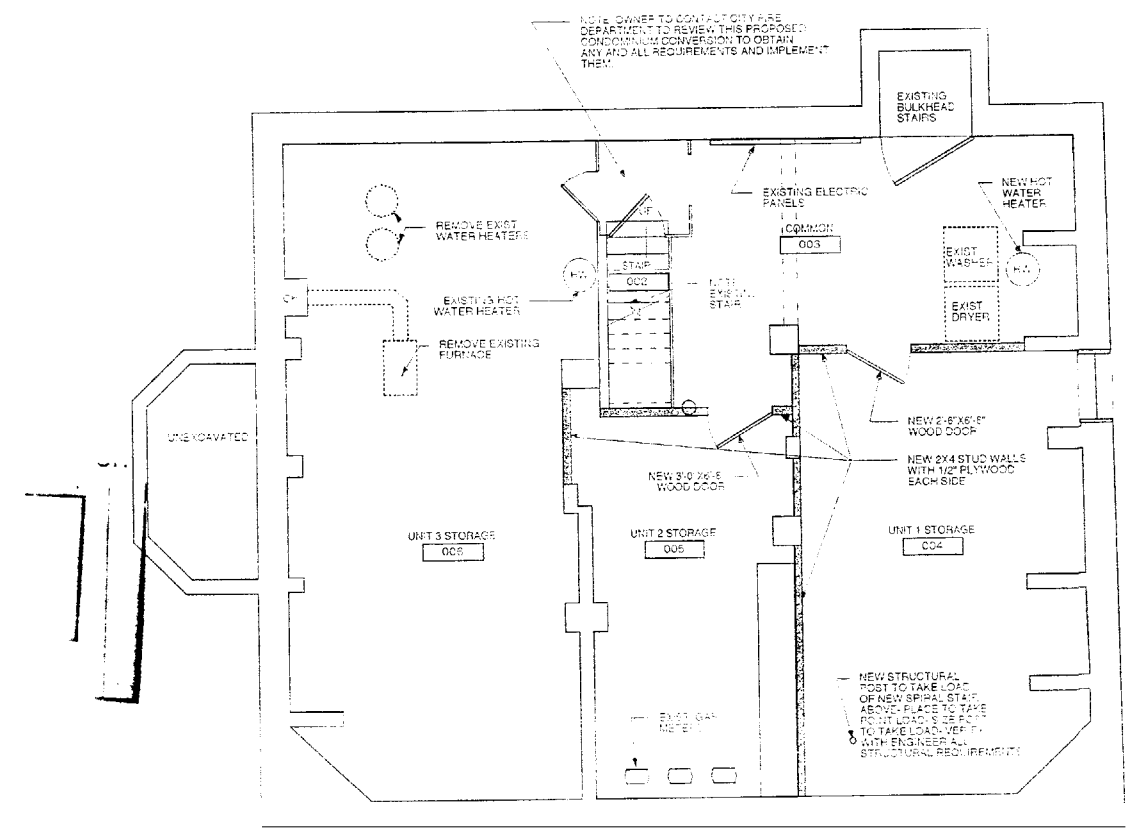


TYPICAL STAIR DETAIL - NEW STAIRS



ROOF PLAN



BASEMENT FLOOR PLAN

A1.0 SCALE: 1/4" = 1'-0" 237-239-241 CUMBERLAND AVENUE

LIST OF DRAWINGS:

L1	SITE PLAN/ COVER SHEET
A1.0	BASEMENT/ROOF PLANS
A1.1	1ST & 2ND FLOOR PLANS
A2.1	ELEVATIONS

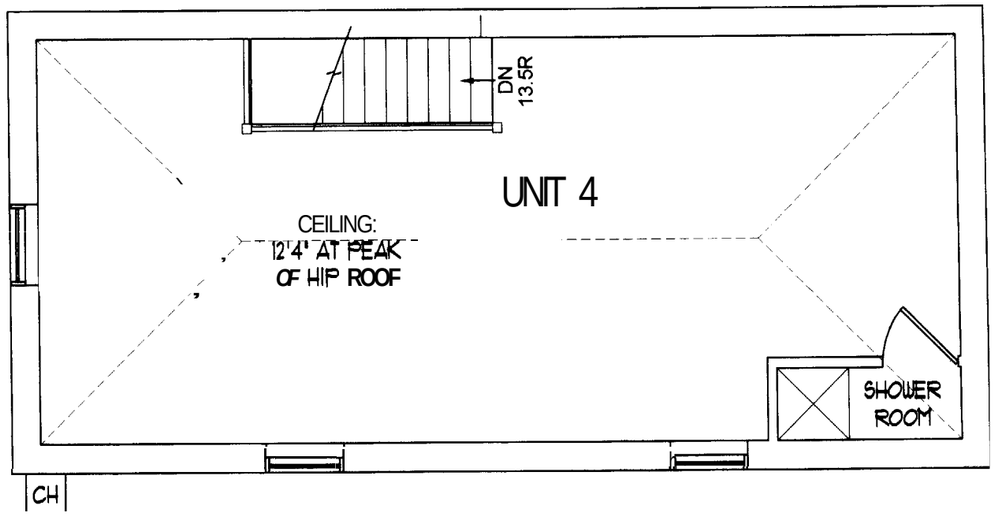
NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

BUILDING PERMIT SET

bell eau

drawing number: A1.0

drawing title: basement, roof



LEGEND:

CH. = CHIMNEY
CE = COMMON ELEMENT
DN = DOWN
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
#R = NUMBER OF RISERS

1. RECORD OWNER OF PARCEL: JOHN W. YORK. AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN M E CUMEERLAND COUNM REGISTRY OF DEEDS.

UNIT 4 2ND FLOOR PLAN

1 | 10

0 5'4"

SCALE: 3/16'=1'0"

SHEET 1 OF 9 - UNIT 4 SECOND FLOOR

LAND SURVEYING
65 NEWBURY STREET
PORTLAND, ME 04101
fax: 761.2010
backbayboundary@cs.com

CUMBERLAND PEARL CONDOMINIUMS
239 CUMBERLAND AVENUE & 146 PEARL STREET
Portland, Maine

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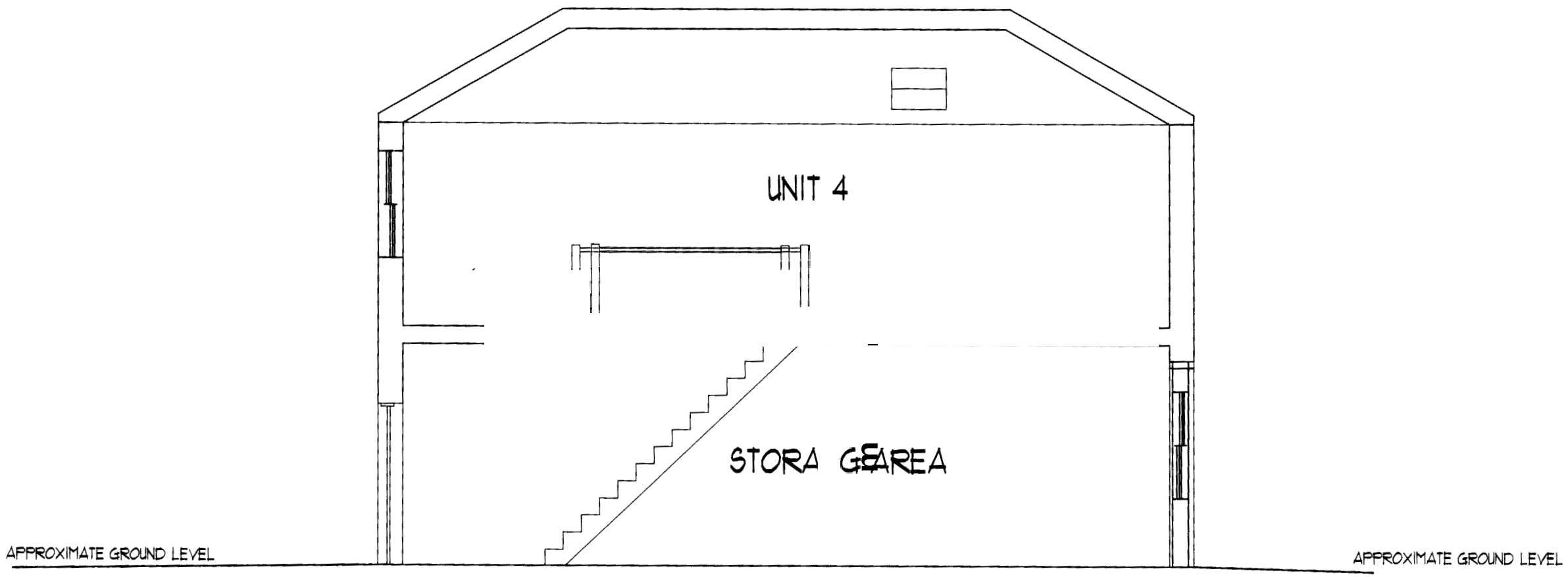

LEGEND:

CE = COMMON ELEMENT
LCE = LIMITED COMMON ELEMENT
SQ. FT. = SQUARE FEET
TYP. = TYPICAL
#R = NUMBER OF RISERS

8 / 8 | 10

UNIT 4 BUILDING SECTION

0 5'4"

SCALE: 3/16"=1'0"

SHEET 8 OF 10

1. RECORD OWNER OF PARCEL: JOHN W. YORK, AS DESCRIBED IN BOOK 12791, PAGE 53 AND BOOK 12791 PAGE 44 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

BACK BAY BOUNDARY, INC.
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