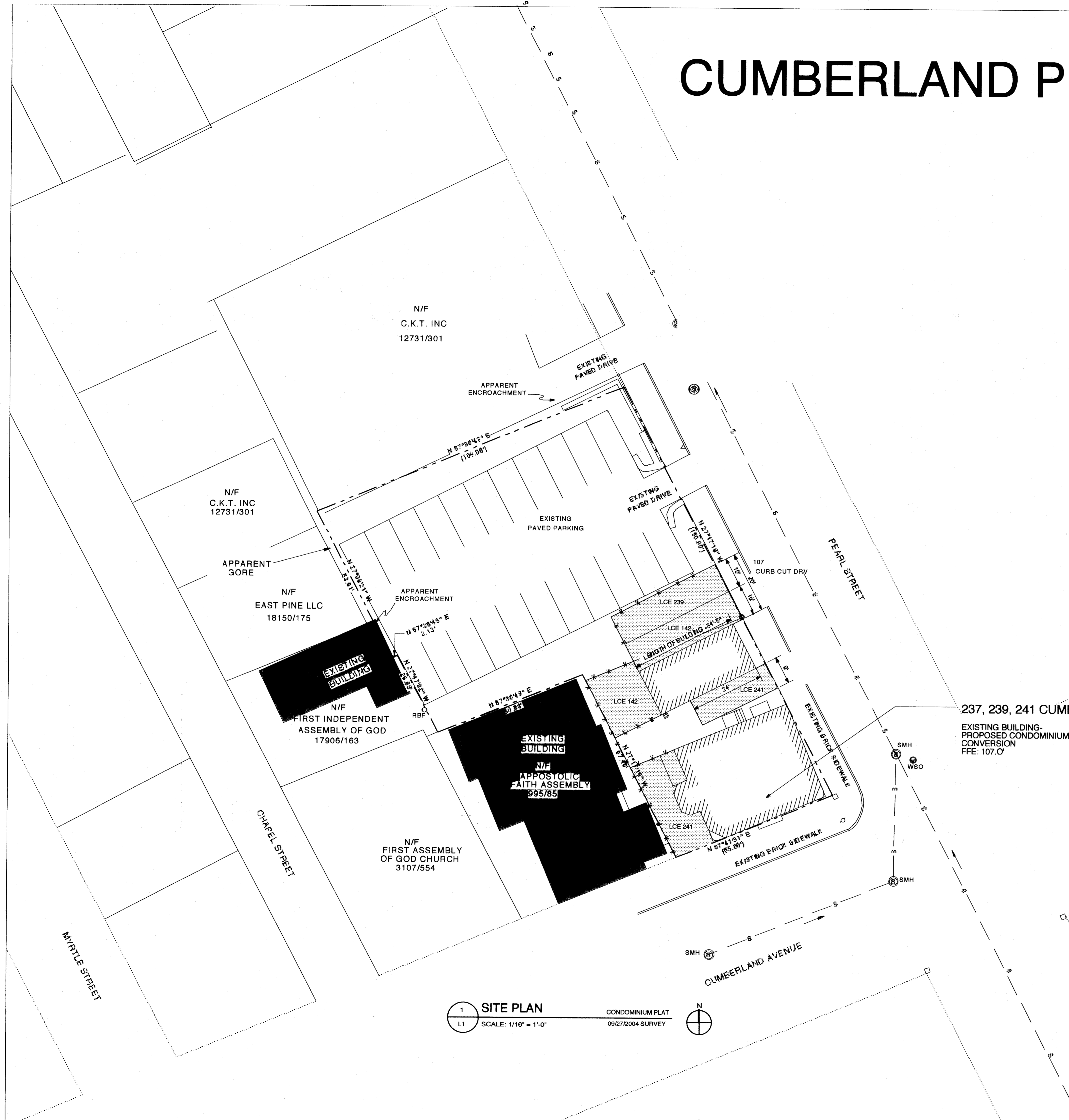


CUMBERLAND PEARL CONDOMINIUMS

237, 239, 241 CUMBERLAND AVENUE
 PORTLAND MAINE
JAY YORK, OWNER
 58 WILMOT STREET
 PORTLAND MAINE

MICHAEL BELLEAU ARCHITECTS
 61 PLEASANT STREET
 PORTLAND MAINE



GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING WINDOWS BEFORE ORDERING OR INSTALLING OR CONSTRUCTING WORK.
2. OWNER RESPONSIBLE FOR PROJECT MEETING ALL LOCAL, STATE, AND FEDERAL BUILDING, MECHANICAL, ELECTRICAL, FIRE SAFETY/LIFE SAFETY, ETC. CODES, LAWS AND ORDINANCES AND WEATHERABILITY FOR THIS PROJECT; ARCHITECT HAS NO LIABILITY REGARDING ABOVE FOR THIS PROJECT.
3. EXISTING STAIRS AND CEILING HEIGHT DO NOT MEET STANDARDS FOR NEW CONSTRUCTION- ARCHITECT VERIFIED WITH CITY CODE OFFICER THIS WAS ACCEPTABLE ON 8/1/05.
4. THESE ARE NOT "CONDOMINIUM DOCUMENTS", OR ANY OTHER LEGAL DESCRIPTION OF CONDOMINIUMS FOR THIS OWNER OR ANY FUTURE OWNERS USE.

ZONING INFORMATION:

1. EXISTING BUILDING- NO EXTERIOR EXTENSIONS.
2. UTILITIES:
 TOWN SEWER FROM STREET
 TOWN WATER FROM STREET
 ELECTRICITY FROM POLE
 GAS FROM STREET

LIST OF DRAWINGS:

- L1 SITE PLAN/ COVER SHEET
- A1.0 BASEMENT/ROOF PLANS
- A1.1 1ST & 2ND FLOOR PLANS
- A1.2 ELEVATIONS AS
- A2.1 CARRIAGE HOUSE 18

NFPA 101:

CLASSIFICATION- EXISTING APARTMENT BUILDINGS- CHAPTER 19
 19-2.2.2.1 DOORS COMPLYING WITH 5-2.1 SHALL BE PERMITTED.
 5-2.1.2.2 EXCEPTION NO. 2
 EXISTING BUILDINGS DOOR OPENINGS IN MEANS OF EGRESS MUST BE 28" MIN. CLEAR WIDTH.
 5-2.1.3 FLOOR LEVEL, EXCEPTION NO. 2
 "IN EXISTING BUILDINGS, A DOOR AT THE TOP OF A STAIR SHALL BE PERMITTED TO OPEN DIRECTLY AT A STAIR PROVIDED THE DOOR DOES NOT SWING OVER THE STAIR...."(AND OCCUPANT LOAD <50)
 19-2.2.3.1 STAIRS COMPLYING WITH 5-2.2 SHALL BE PERMITTED.
 *5-2.2.1 GENERAL
 STAIRS USED AS A COMPONENT IN THE MEANS OF EGRESS SHALL CONFORM TO THE GENERAL REQUIREMENTS OF SECTION 5-1 AND TO THE SPECIAL REQUIREMENTS OF THIS SUBSECTION.

EXCEPTION NO. 2:
 "EXISTING NONCOMPLYING STAIRS WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION."

THE ABOVE IS INTERPRETED AS MEANING THAT BECAUSE ARCHITECT VERIFIED IN PHONE CALL WITH CITY CODE OFFICER ON 8/1/05 THAT EXISTING STAIRS DID NOT NEED TO BE CHANGED. ALL EXISTING STAIRS IN THIS PROJECT ARE EXEMPT FROM ANY REQUIREMENTS DUE TO EXCEPTION NO. 2 INCLUDING THE ABOVE REQUIREMENT FOR DOOR WIDTH.
 19-2.4 NUMBER OF EXITS
 EVERY DWELLING UNIT SHALL HAVE ACCESS TO AT LEAST TWO SEPARATE EXITS REMOTELY LOCATED FROM EACH OTHER AS REQUIRED BY 5-5.1

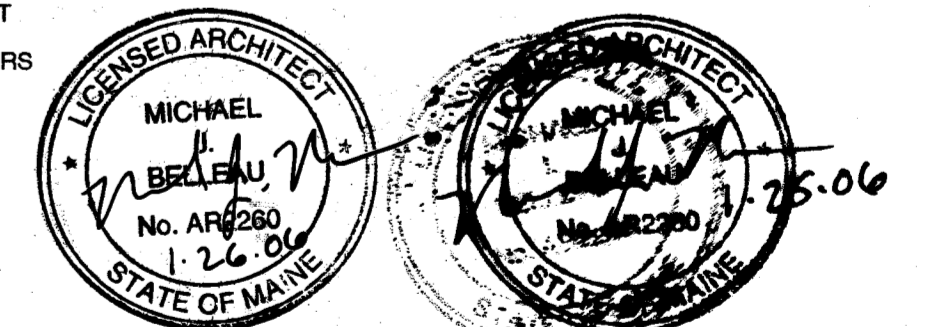
EXCEPTION NO. 1:
 ANY DWELLING UNIT SHALL BE PERMITTED TO HAVE A SINGLE EXIT PROVIDED THAT
 (A) THE DWELLING UNIT HAS AN EXIT DOOR OPENING DIRECTLY TO THE STREET OR YARD AT GROUND LEVEL (THIS IS THE CASE FOR UNITS 1 AND 2 ON GROUND LEVEL WITH INTERIOR UNIT STAIR TO UNIT SECOND LEVEL)
 (B) THE DWELLING UNIT HAS DIRECT ACCESS TO AN INTERIOR STAIR SERVING ONLY THAT UNIT AND SEPARATED FROM ALL OTHER PORTIONS OF THE BUILDING BY FIRE BARRIERS HAVING A MINIMUM 1-HR FIRE RESISTANCE RATING WITH NO OPENING THEREIN (THE TOP UNIT HAS STAIR ALL ITS OWN DOWN TO GROUND LEVEL AND IS NOW TO BE LINED WITH 2 LAYERS 5/8" TYPE 'X' GYP. BD. TO MAKE 1 HOUR FIRE RATED)

19-2.2.2.4 WITHIN AN INDIVIDUAL DWELLING UNIT, STAIRS MORE THAN ONE STORY ABOVE OR BELOW THE ENTRANCE FLOOR LEVEL OF THE DWELLING UNIT SHALL NOT BE PERMITTED
 THIS MEANS THAT THE TOP UNIT MUST BE WALLED OFF WITH DOOR TO STAIR 502.

19-2.2.3.3 SPIRAL STAIRS WITHIN UNIT OKAY
 19-2.2.3.4 WINDOWS OKAY (REFER TO 5-2.2.2.5).

237, 239, 241 CUMBERLAND AVENUE:

EXISTING BUILDING-
 PROPOSED CONDOMINIUM
 CONVERSION
 FFE: 107.0'



NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

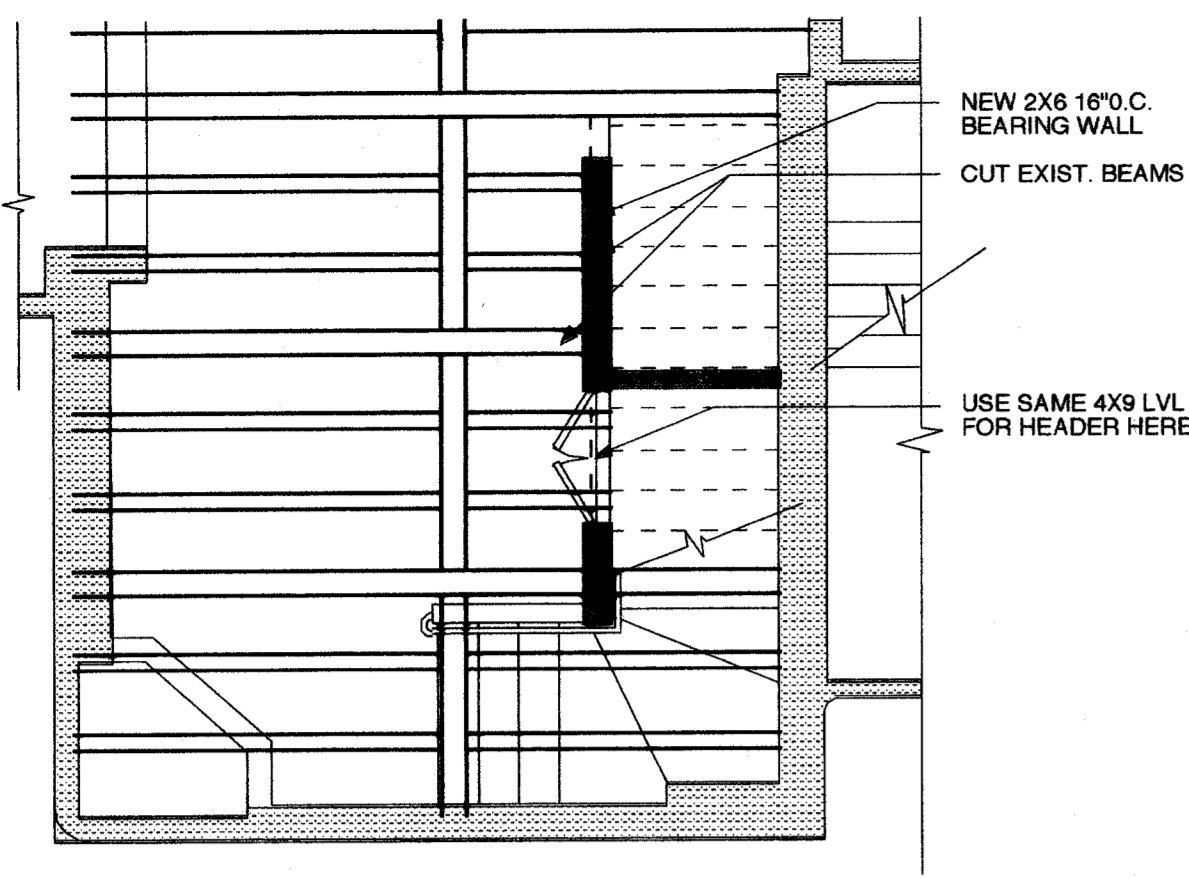
NOT FOR CONSTRUCTION

bell eau
 job #: 03.05
 client: york
 location: 237, 239, 241 cumberland ave portland, maine
 date: 10.31.05
 scale: as noted
 drawing title: site plan

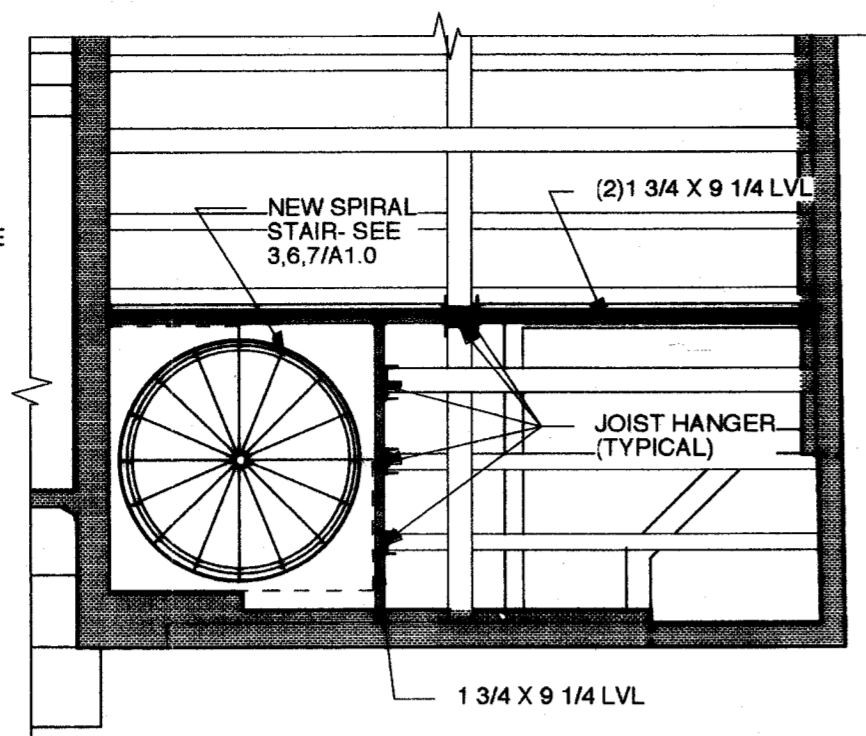
State of Maine, Cumberland SS.
 Registry of Deeds
 Received January 26, 2006
 at 2:43 PM P.M. and recorded in
 Plan Book 206, Page 61
 Attest: John B. O'Brien

1 SITE PLAN
 L1 SCALE: 1/16" = 1'-0"
 CONDOMINIUM PLAT
 09/27/2004 SURVEY

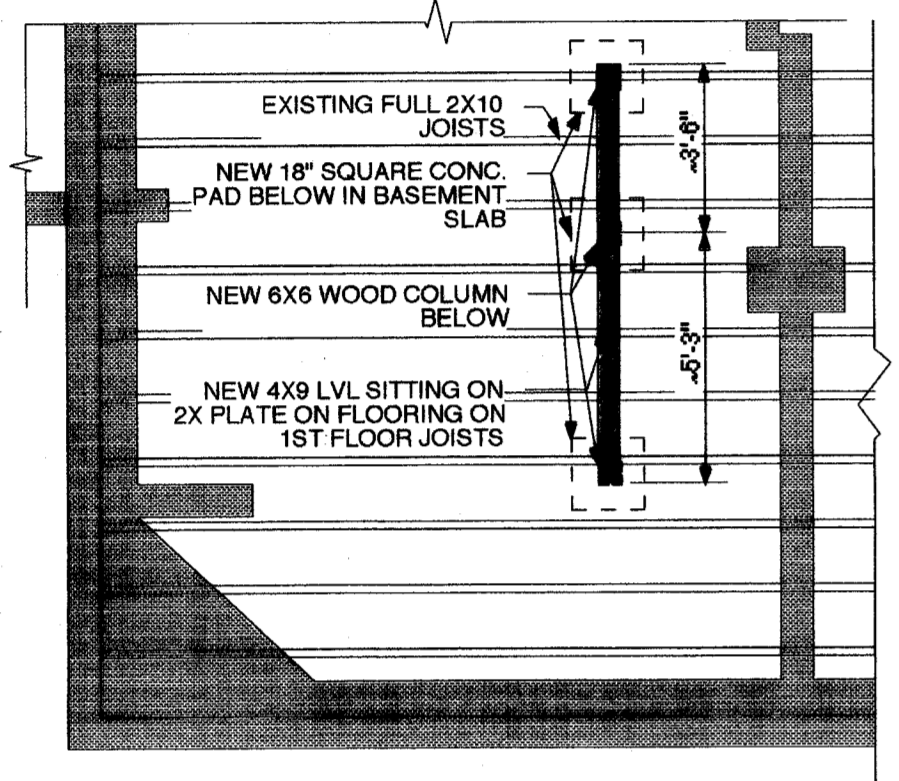
206-61



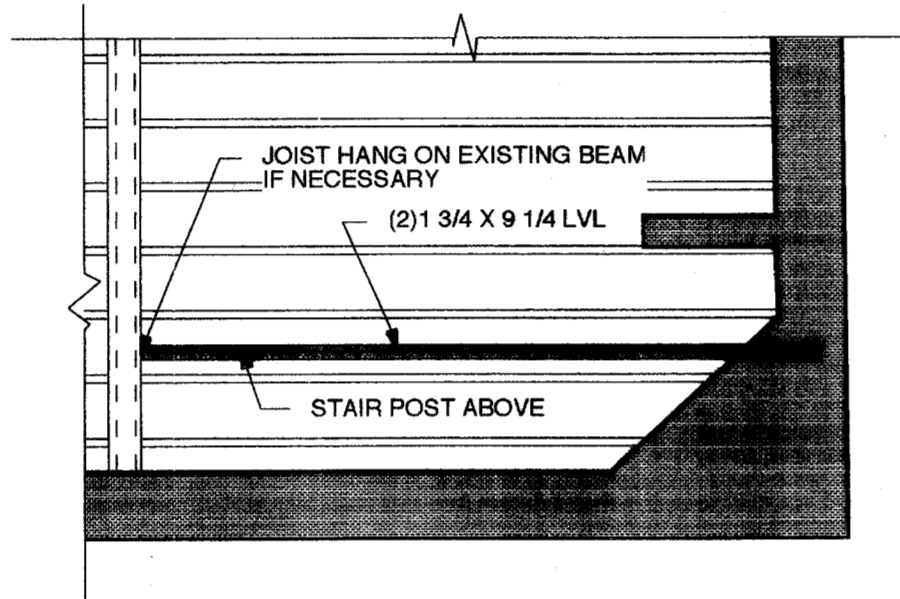
6 STAIR PARTIAL 2ND FL. FRAMING PLAN
A1.0 SCALE: 1/4" = 1'-0"



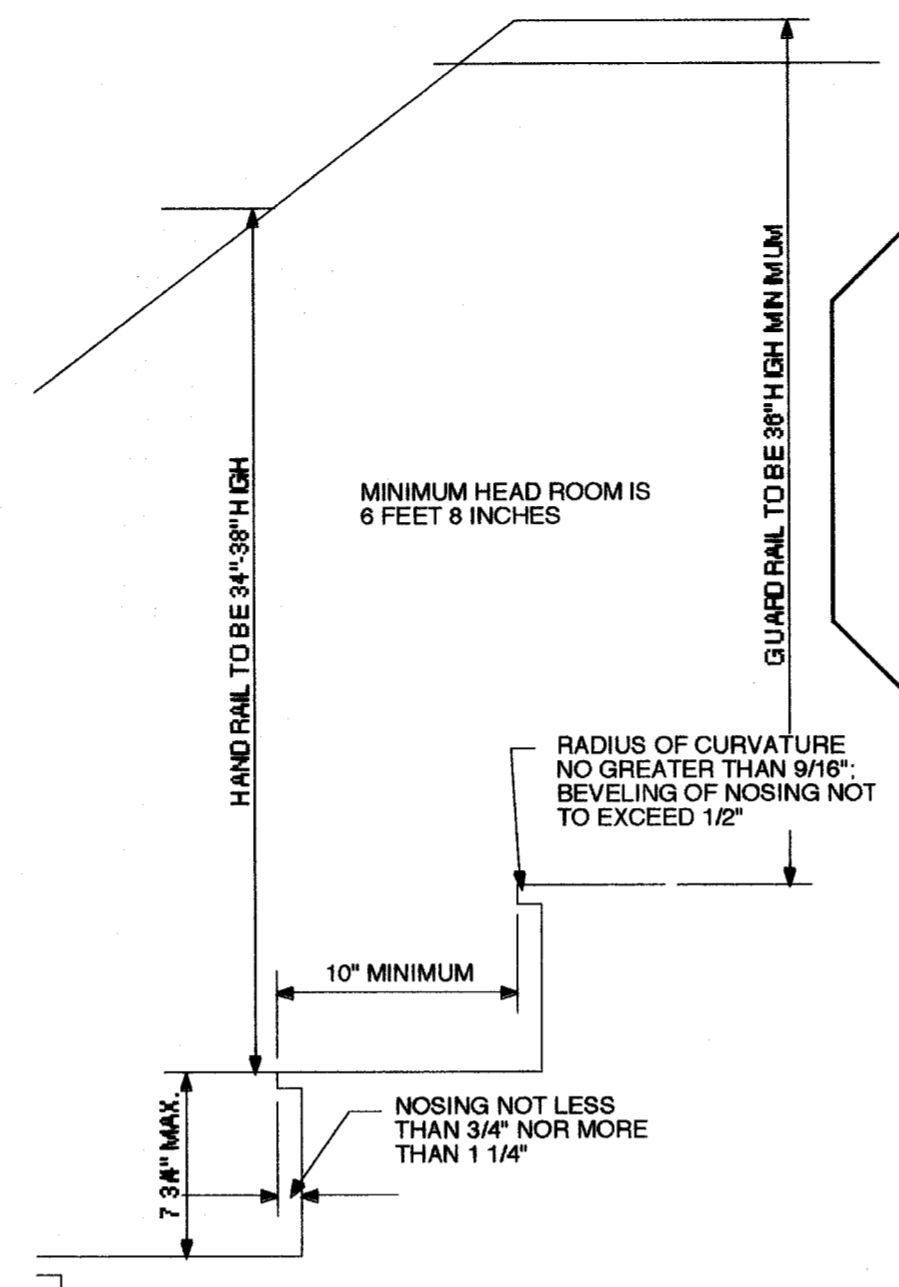
9 STAIR PARTIAL 2ND FL. FRAMING PLAN
A1.0 SCALE: 1/4" = 1'-0"



5 STAIR PARTIAL 1ST FL. FRAMING PLAN
A1.0 SCALE: 1/4" = 1'-0"



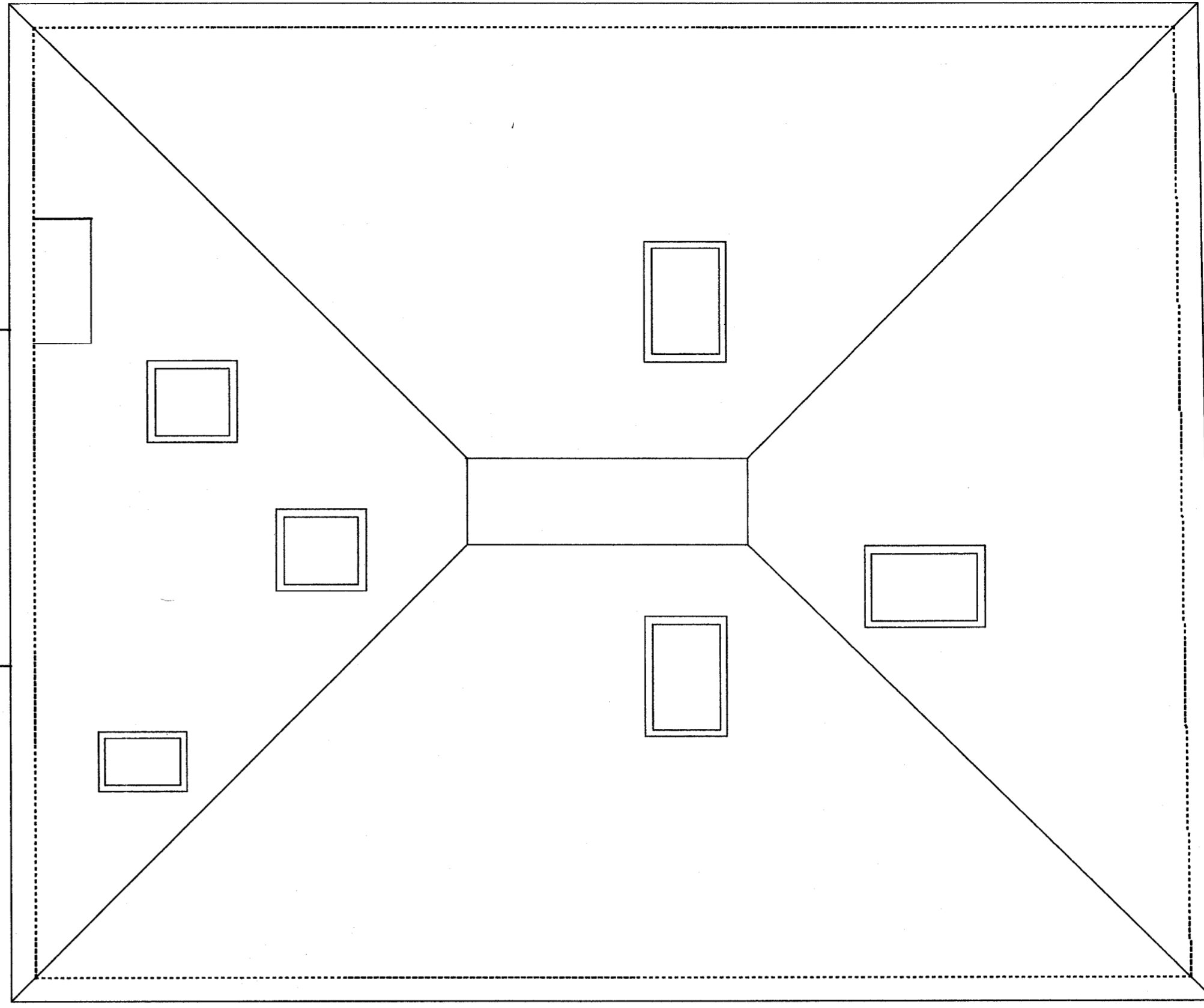
8 STAIR PARTIAL 1ST FL. FRAMING PLAN
A1.0 SCALE: 1/4" = 1'-0"



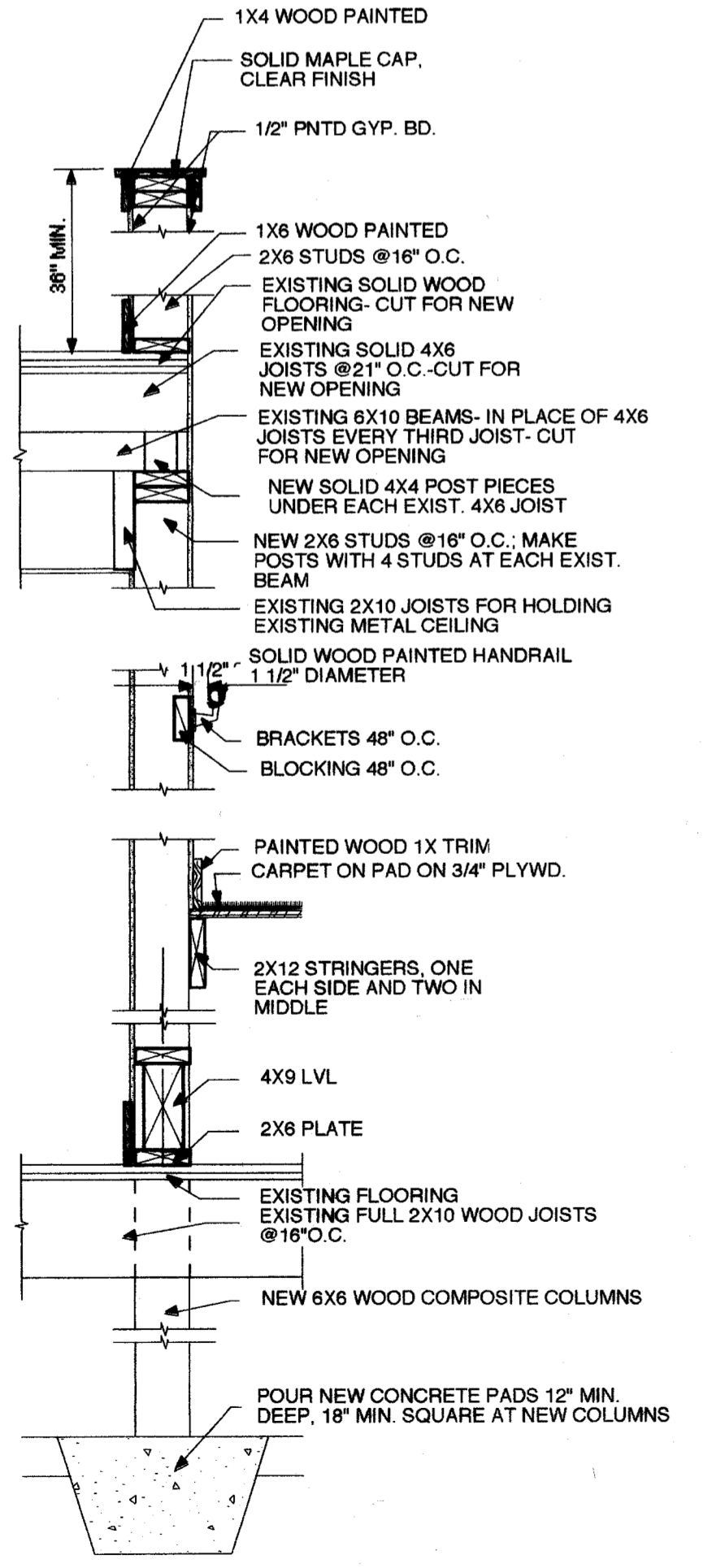
WINDERS ARE PERMITTED, PROVIDED THAT THE DEPTH OF THE TREAD AT A POINT NOT MORE THAN 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER IS NOT LESS THAN 10 INCHES AND THE MINIMUM DEPTH OF ANY TREAD IS NOT LESS THAN 6 INCHES. THE CONTINUOUS HANDRAIL REQUIRED SHALL BE LOCATED ON THE SIDE WHERE THE TREAD IS NARROWER.

SPIRAL STAIRS MINIMUM WIDTH 28 INCHES WITH EACH TREAD HAVING A 7 1/2 INCH MINIMUM TREAD DEPTH AT 12 INCHES FROM THE NARROW EDGE. ALL TREADS IDENTICAL AND RISE NOT MORE THAN 9 1/2 INCHES. MINIMUM HEAD ROOM 6'-6".

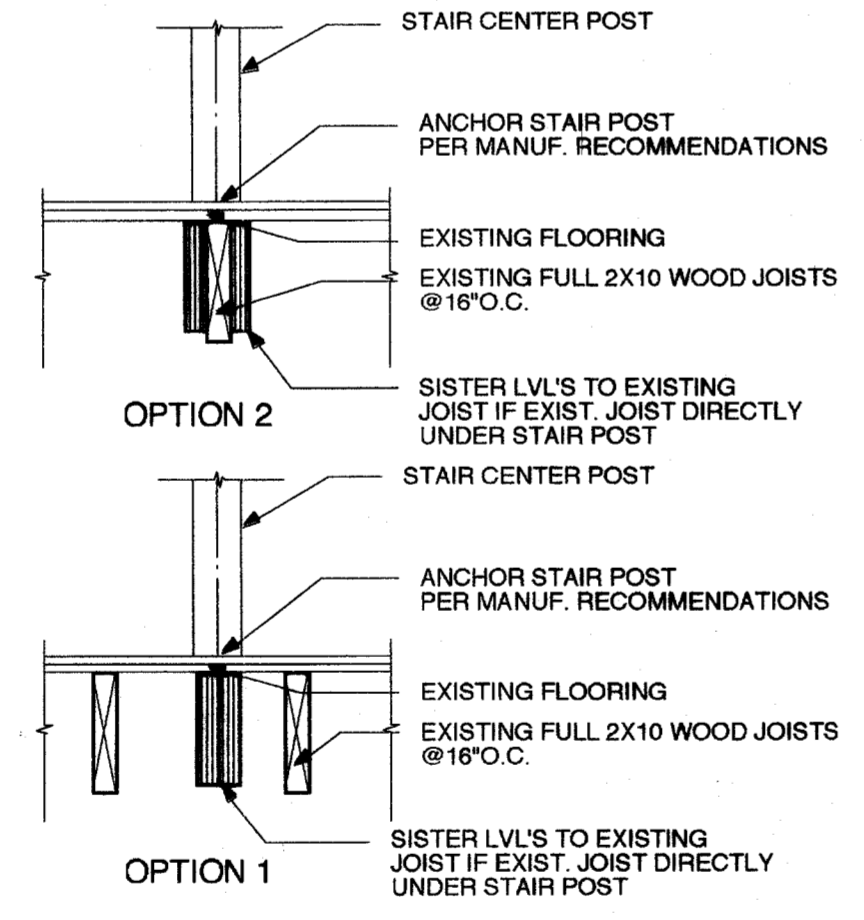
3 TYPICAL STAIR DETAIL- NEW STAIRS
A1.0 SCALE: 1 1/2" = 1'-0" 237,239,241 CUMBERLAND AVENUE



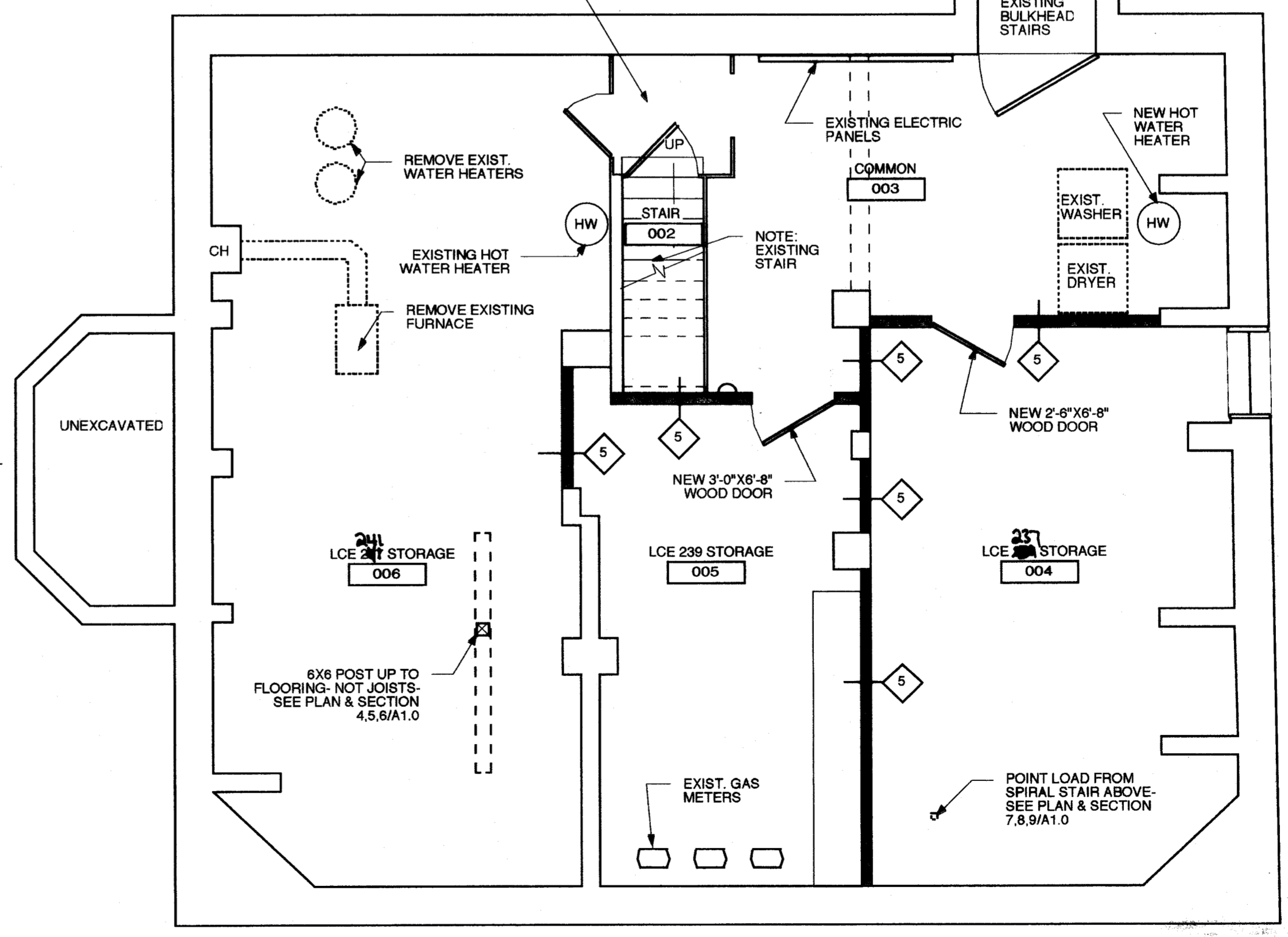
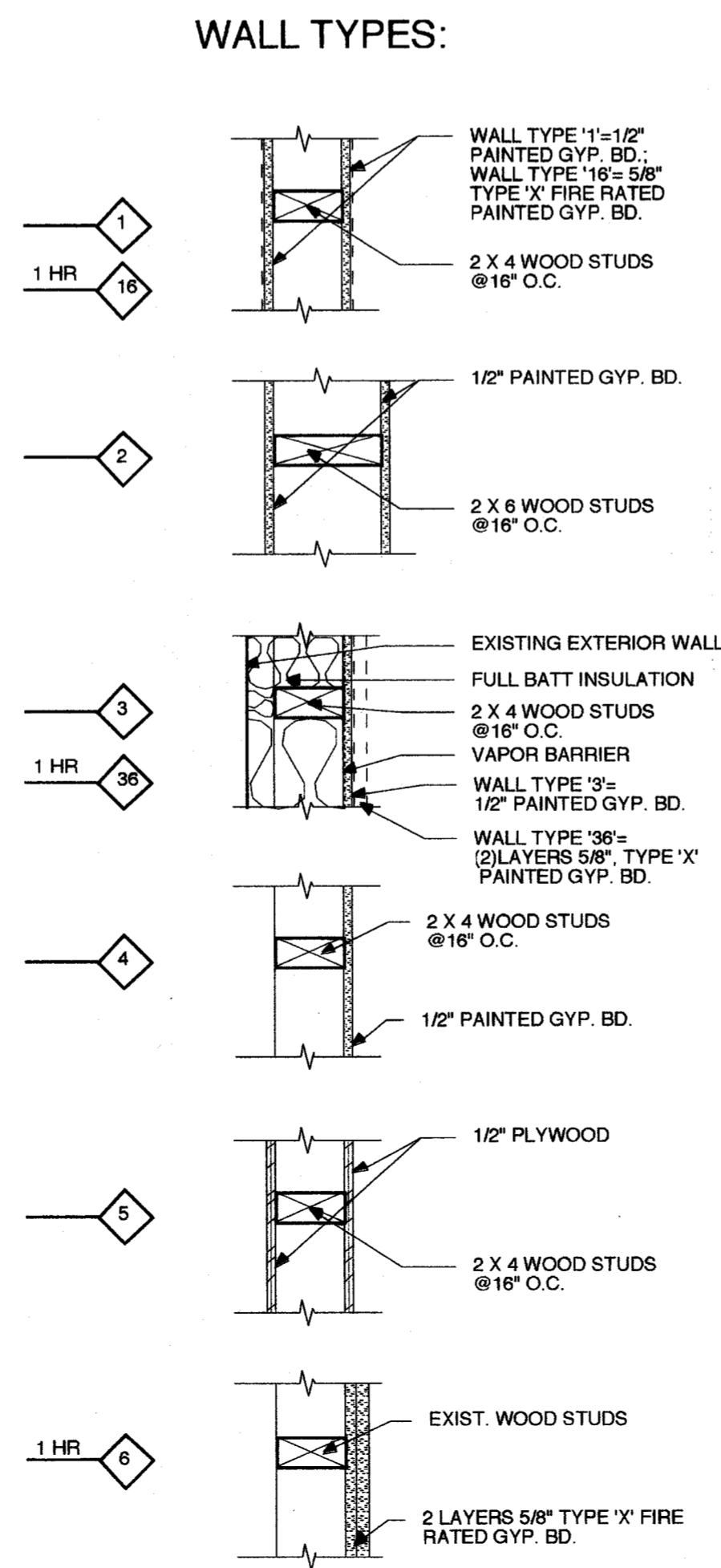
2 ROOF PLAN
A1.0 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



4 STAIR DETAIL SECTION
A1.0 SCALE: 1 1/2" = 1'-0"



7 STAIR DETAIL SECTION AT FIRST FLOOR FRAMING
A1.0 SCALE: 1 1/2" = 1'-0"



1 BASEMENT FLOOR PLAN
A1.0 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

- LIST OF DRAWINGS:
- L1 SITE PLAN/COVER SHEET
 - A1.0 BASEMENT/ROOF PLANS
 - A1.1 1ST & 2ND FLOOR PLANS
 - A1.2 ELEVATIONS
 - A2.1 CARRIAGE HOUSE



NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

BUILDING PERMIT SET

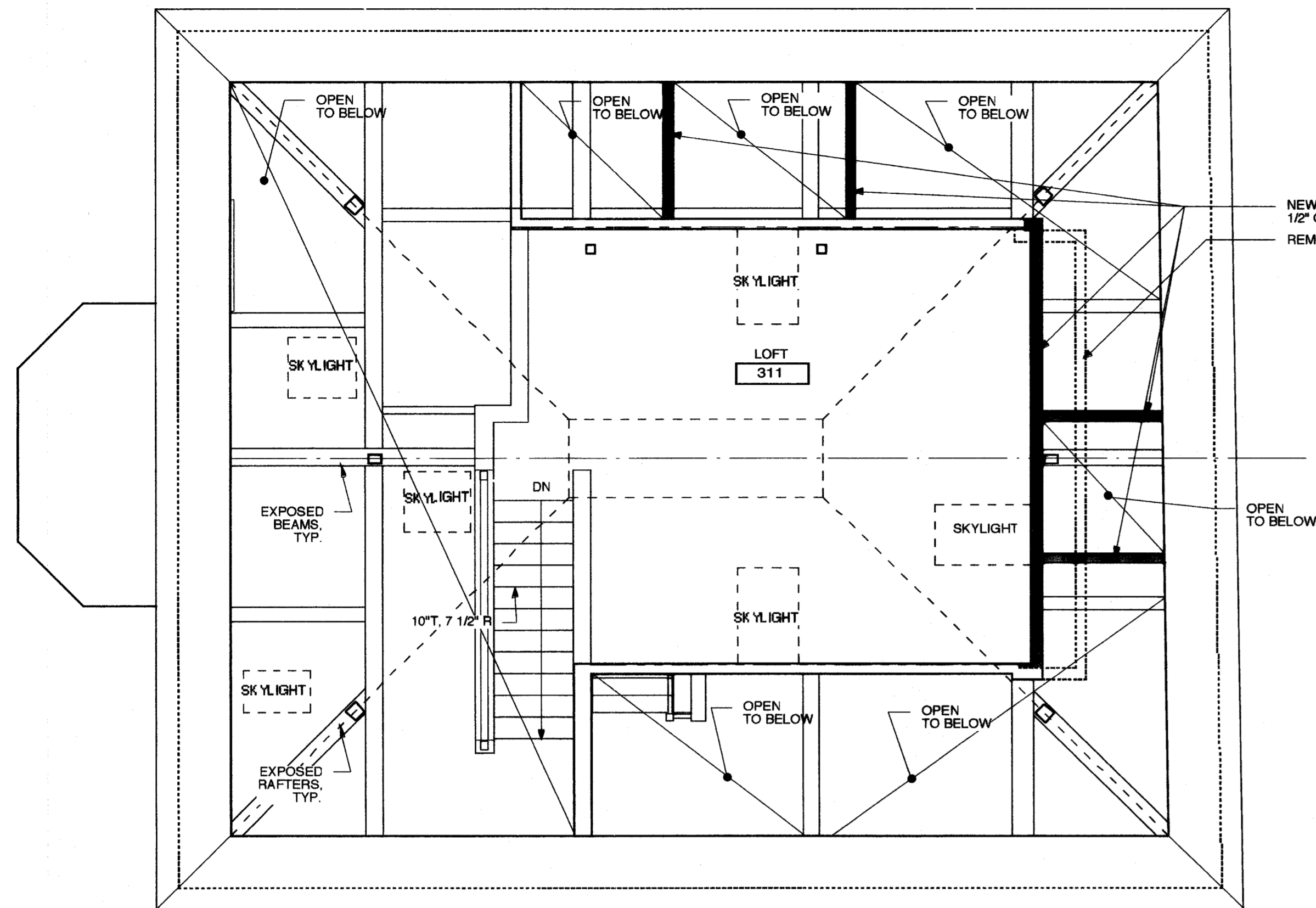
bell eau

State of Maine, Cumberland SS.
Registry of Designers
Received January 26, 2016
at 2:31 p.m. and recorded in
Plan Book 206 Page 62

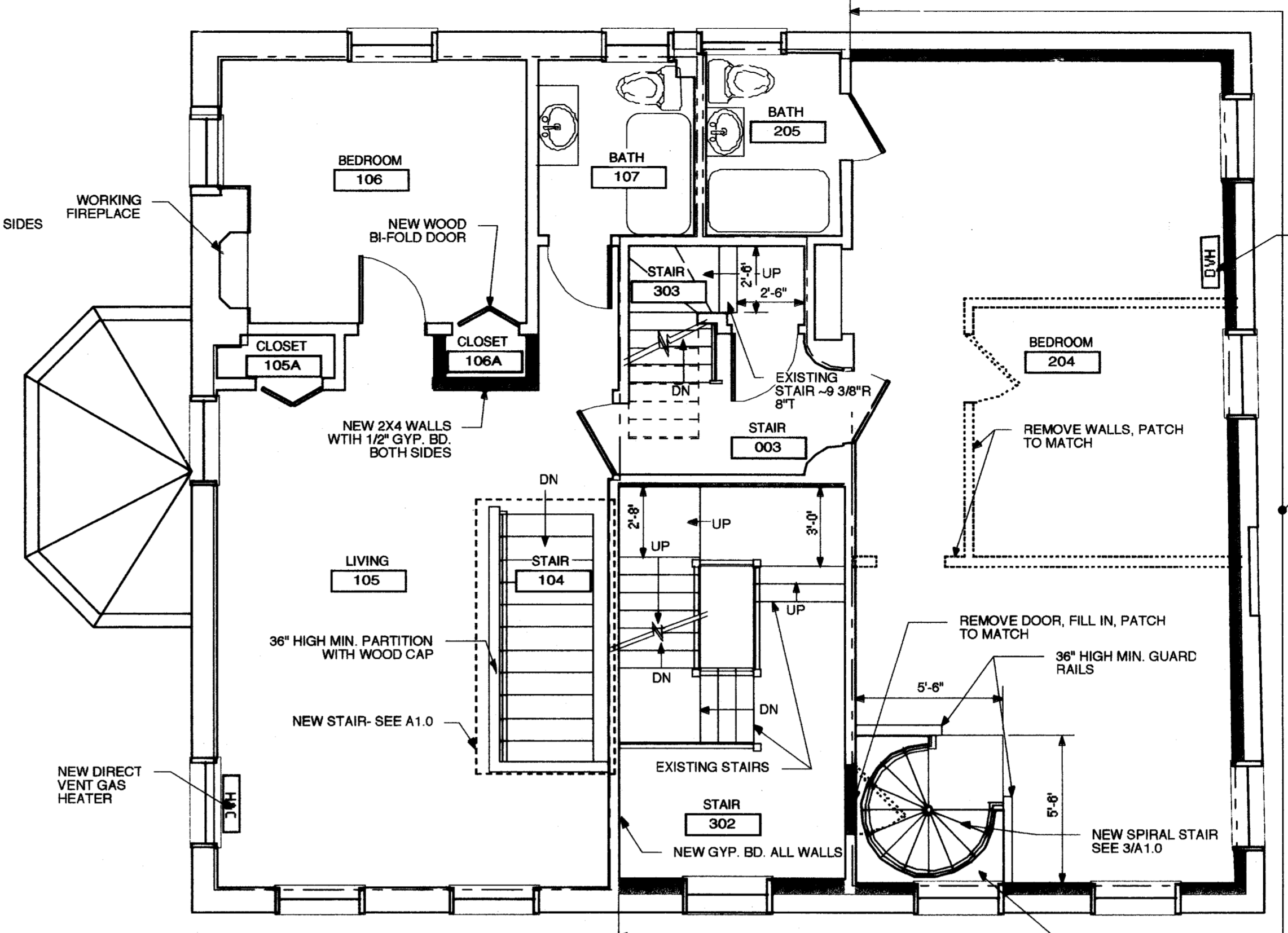
Job # 03.05
Client: [unclear]
Location: 237,239,241 Cumberland Ave Portland, Maine
Date: 01.24.06
Scale: as noted
Drawing Title: basement, roof

A1.0

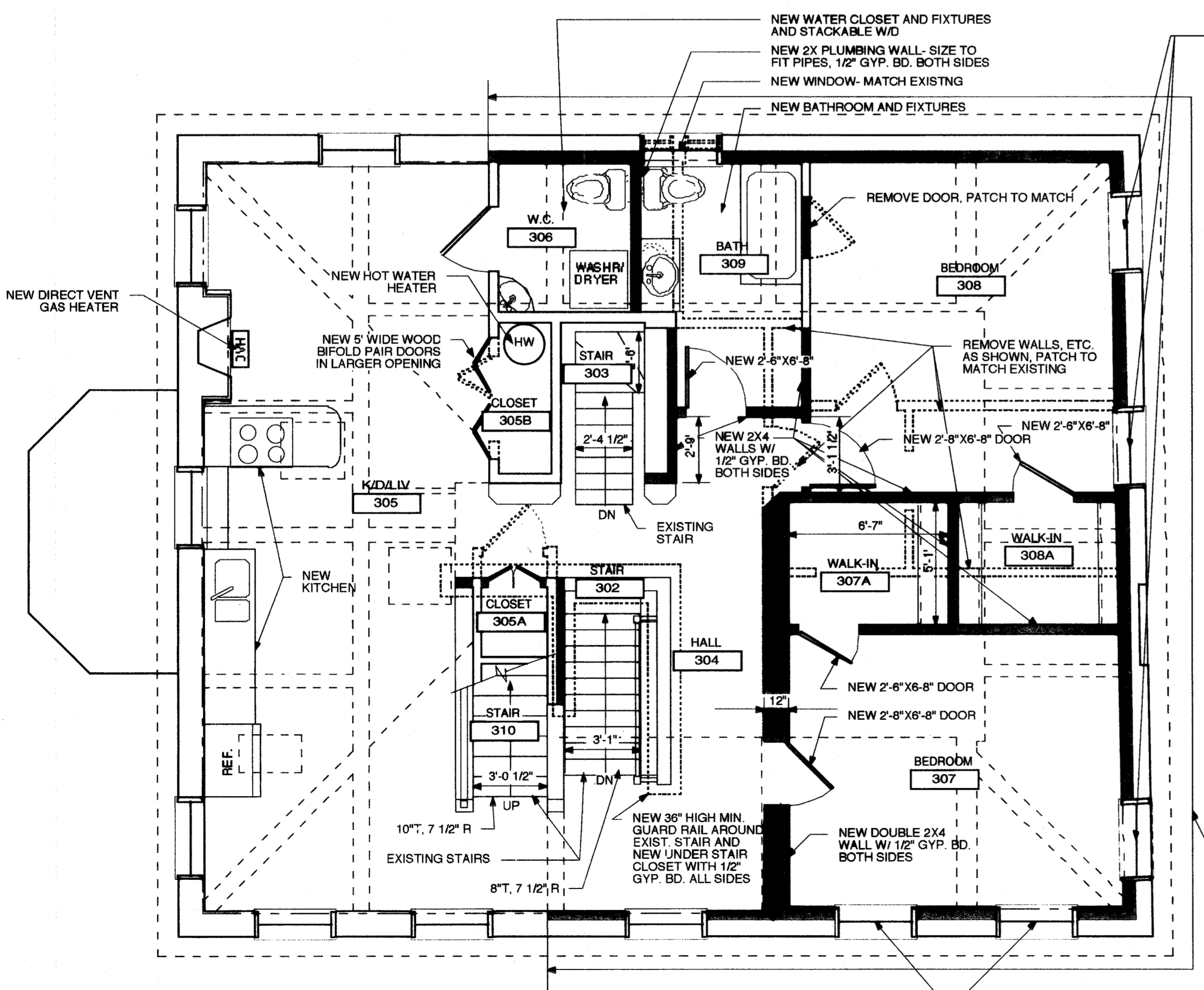
Attest: John B. O'Brien Register



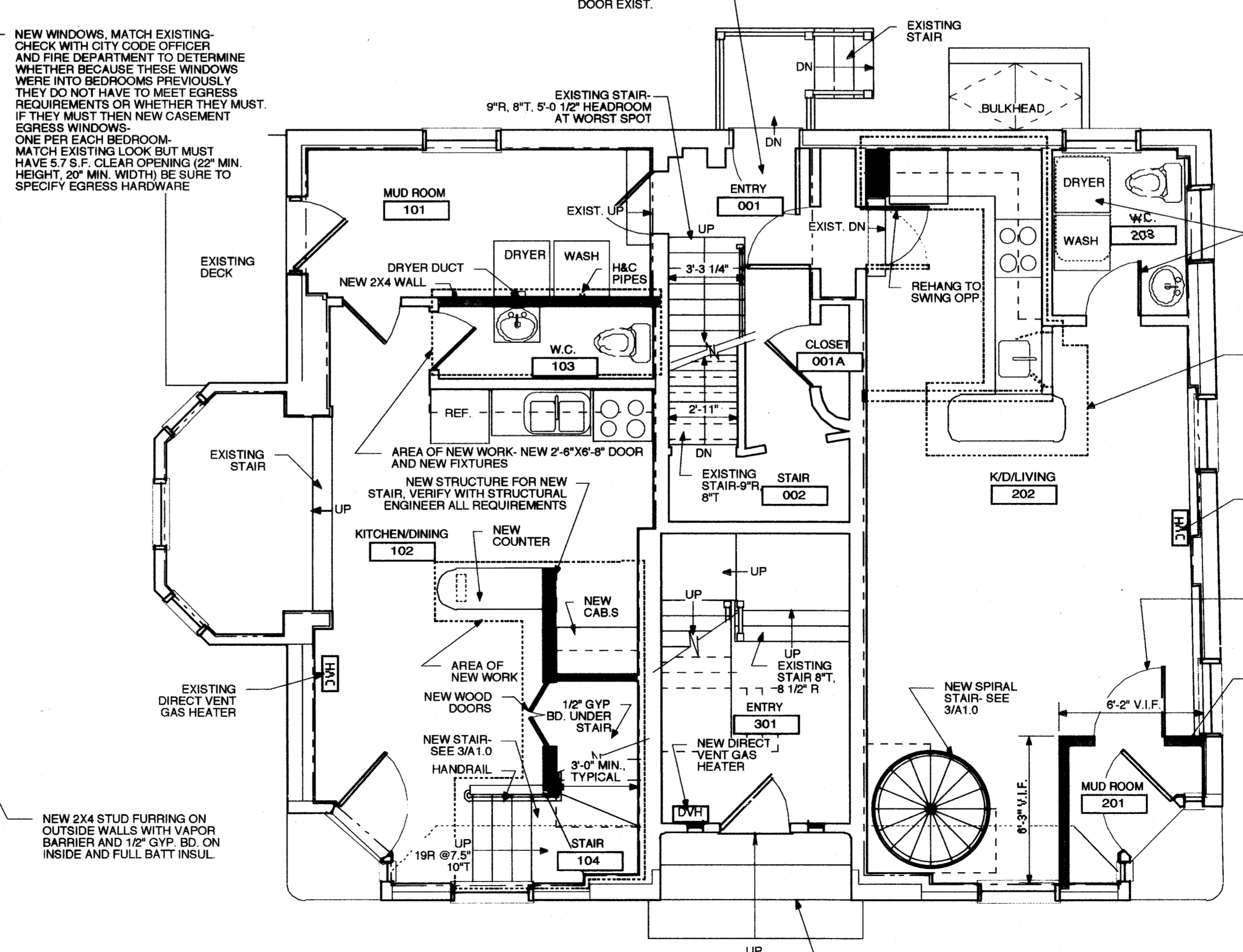
4 LOFT FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



2 SECOND FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



3 THIRD FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



1 FIRST FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

- LIST OF DRAWINGS:
- L1 SITE PLAN/ COVER SHEET
 - A1.0 BASEMENT/ROOF PLANS
 - A1.1 1st,2nd,3rd,Loft PLANS
 - A1.2 ELEVATIONS
 - A2.1 CARRIAGE HOUSE

NOTE: DO NOT SCALE THESE DRAWINGS: THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

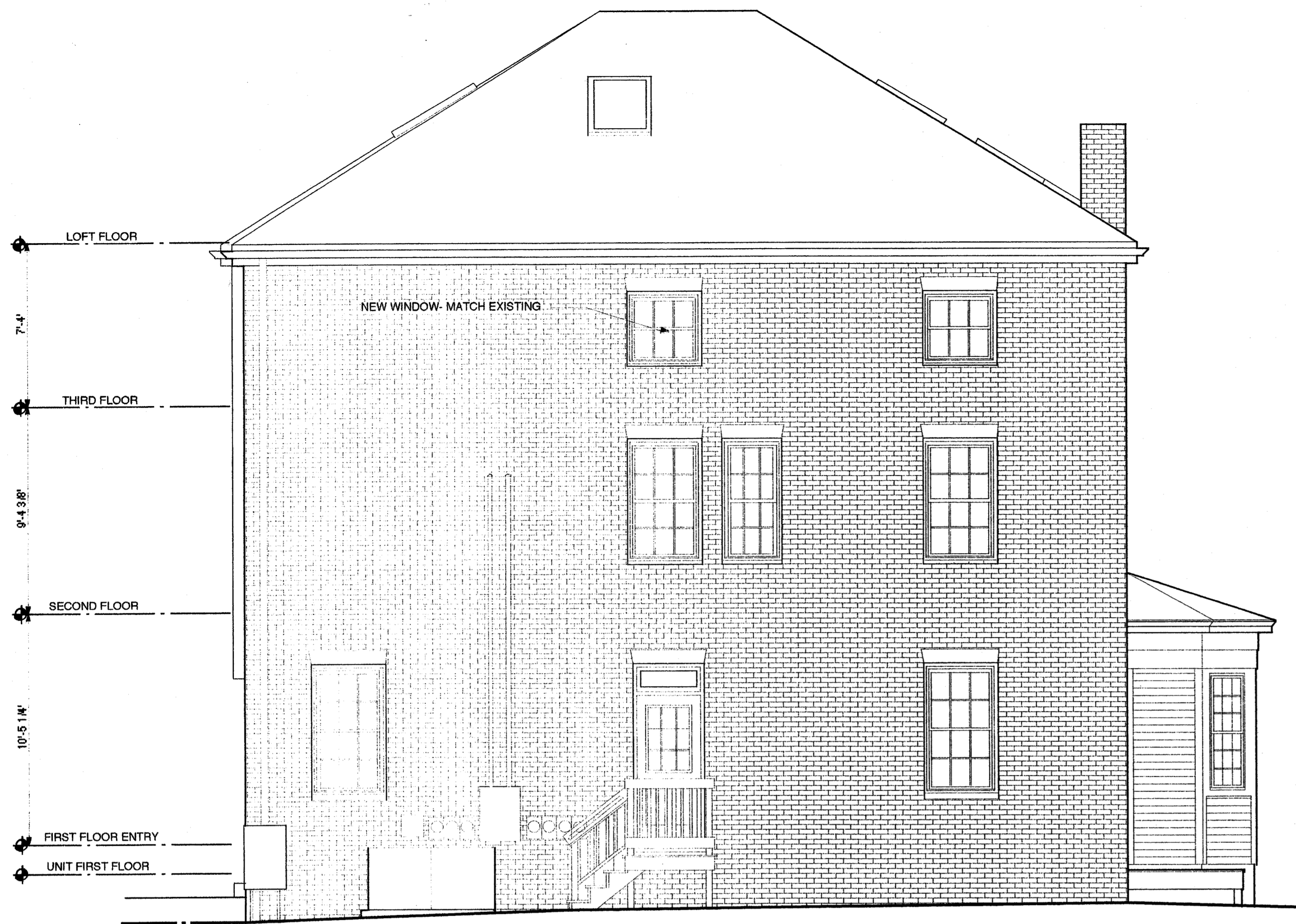
BUILDING PERMIT SET

bell eau

State of Maine, Cumberland 98.
Registry of Deeds
Received August 26, 2006
at 2:31 P.M. and recorded in
Plan Book 206 Page 63
Attest: _____ Register

job #: 03.05
client: work
location: 237,239,241
cumberland ave
8142 pearl st,
cornfield, maine
date: 08.01.05
scale: as noted
drawing title: 1st,2nd,3rd,Loft plans
this drawing is the property of michael
bell and eau and is not to be copied
or reproduced in part or whole
copyright 2006 michael bell/eau architects

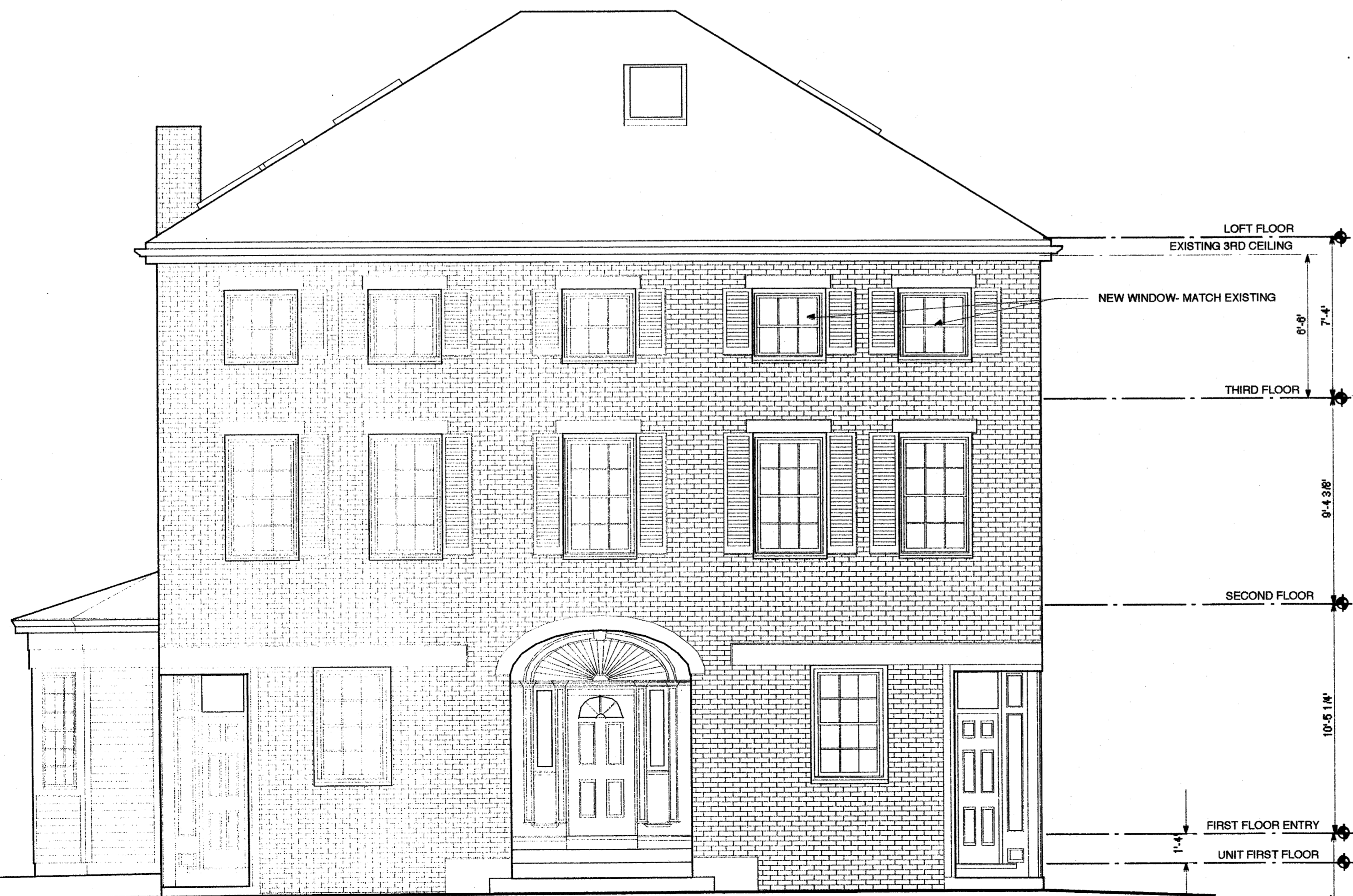




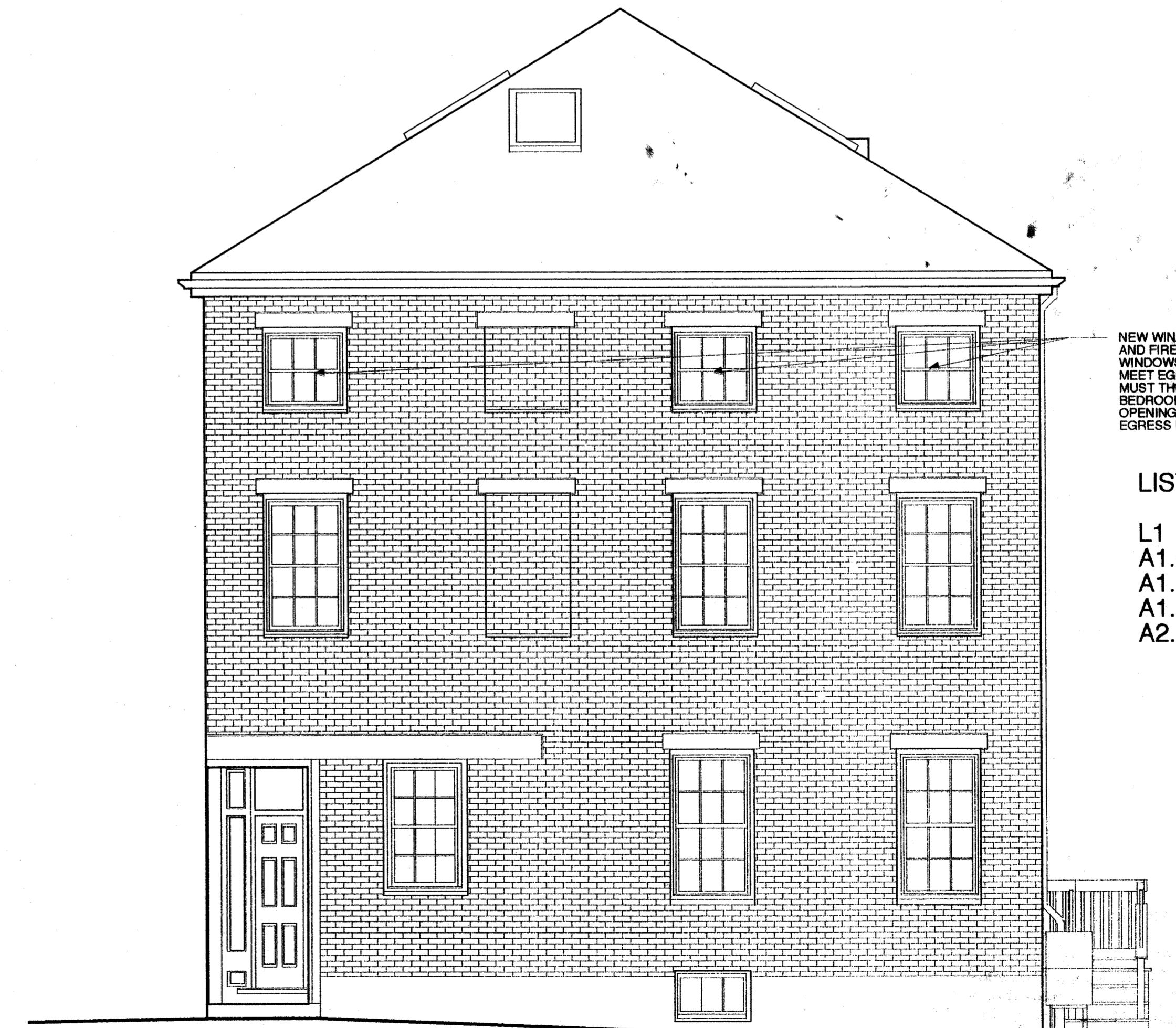
4 NORTHWEST ELEVATION
A1.2 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



2 SOUTHWEST ELEVATION
A1.2 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



3 SOUTHEAST ELEVATION
A1.2 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE



1 NORTHEAST ELEVATION
A1.2 SCALE: 1/4" = 1'-0" 237,239,241 CUMBERLAND AVENUE

State of Maine, Cumberland SS.
Registry of Deeds
Received January 26, 2006
at 2 h 32 m P and recorded in
Plan Book 206 Page 47
Attest:

Register
John B. O'Brien



NEW WINDOWS, MATCH EXISTING. CHECK WITH CITY CODE OFFICER AND FIRE DEPARTMENT TO DETERMINE WHETHER BECAUSE THESE WINDOWS WERE INTO BEDROOMS PREVIOUSLY THEY DO NOT HAVE TO MEET EGRESS REQUIREMENTS OR WHETHER THEY MUST. IF THEY MUST THEN NEW CASEMENT EGRESS WINDOWS, ONE PER EACH BEDROOM, MATCH EXISTING LOOK BUT MUST HAVE 5.7 S.F. CLEAR OPENING (22" MIN. HEIGHT, 20" MIN. WIDTH). BE SURE TO SPECIFY EGRESS HARDWARE.

- LIST OF DRAWINGS:
- L1 SITE PLAN/ COVER SHEET
 - A1.0 BASEMENT/ROOF PLANS
 - A1.1 1st,2nd,3rd,Loft PLANS
 - A1.2 ELEVATIONS
 - A2.1 CARRIAGE HOUSE

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

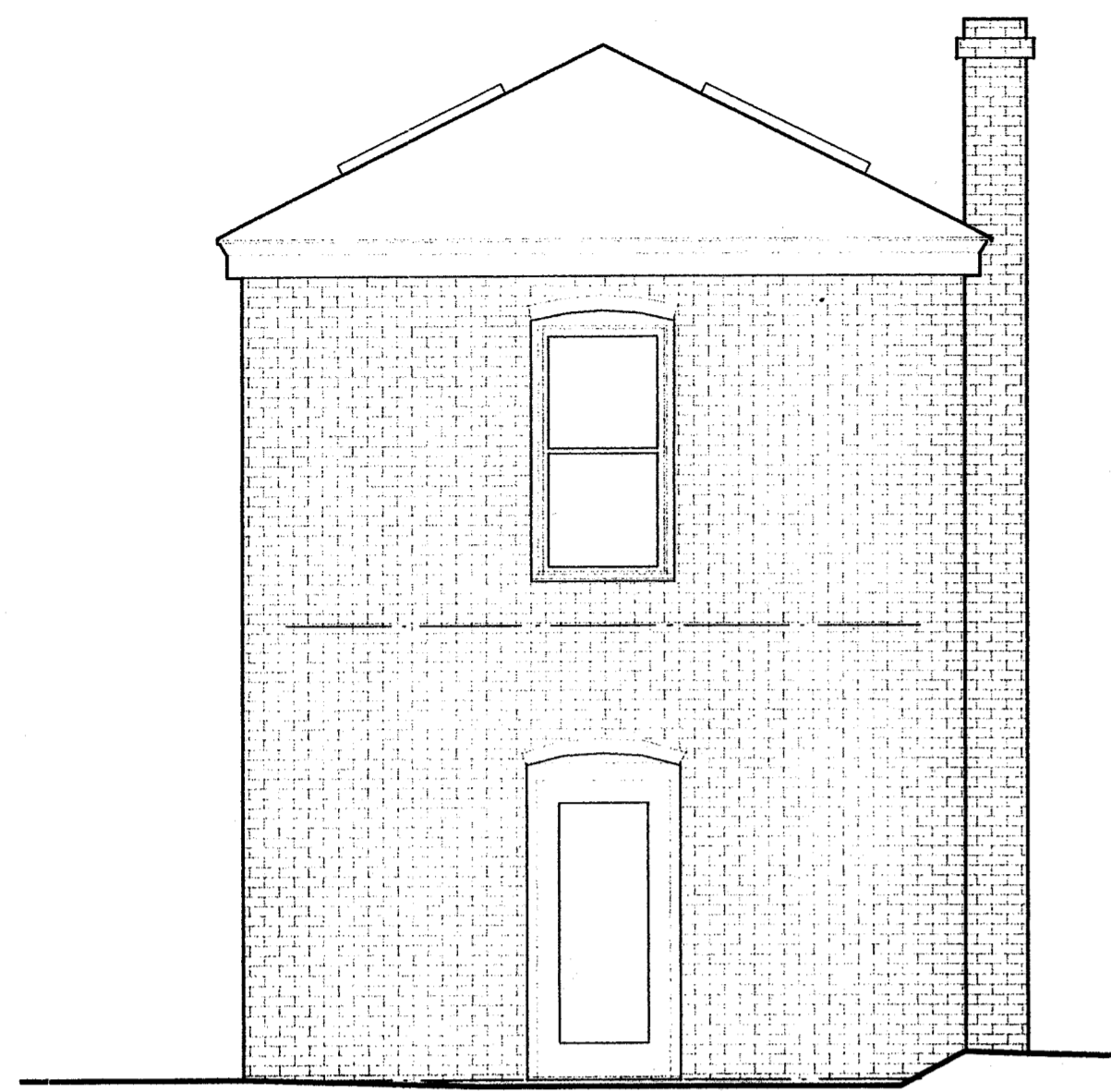
BUILDING PERMIT SET

bell eau

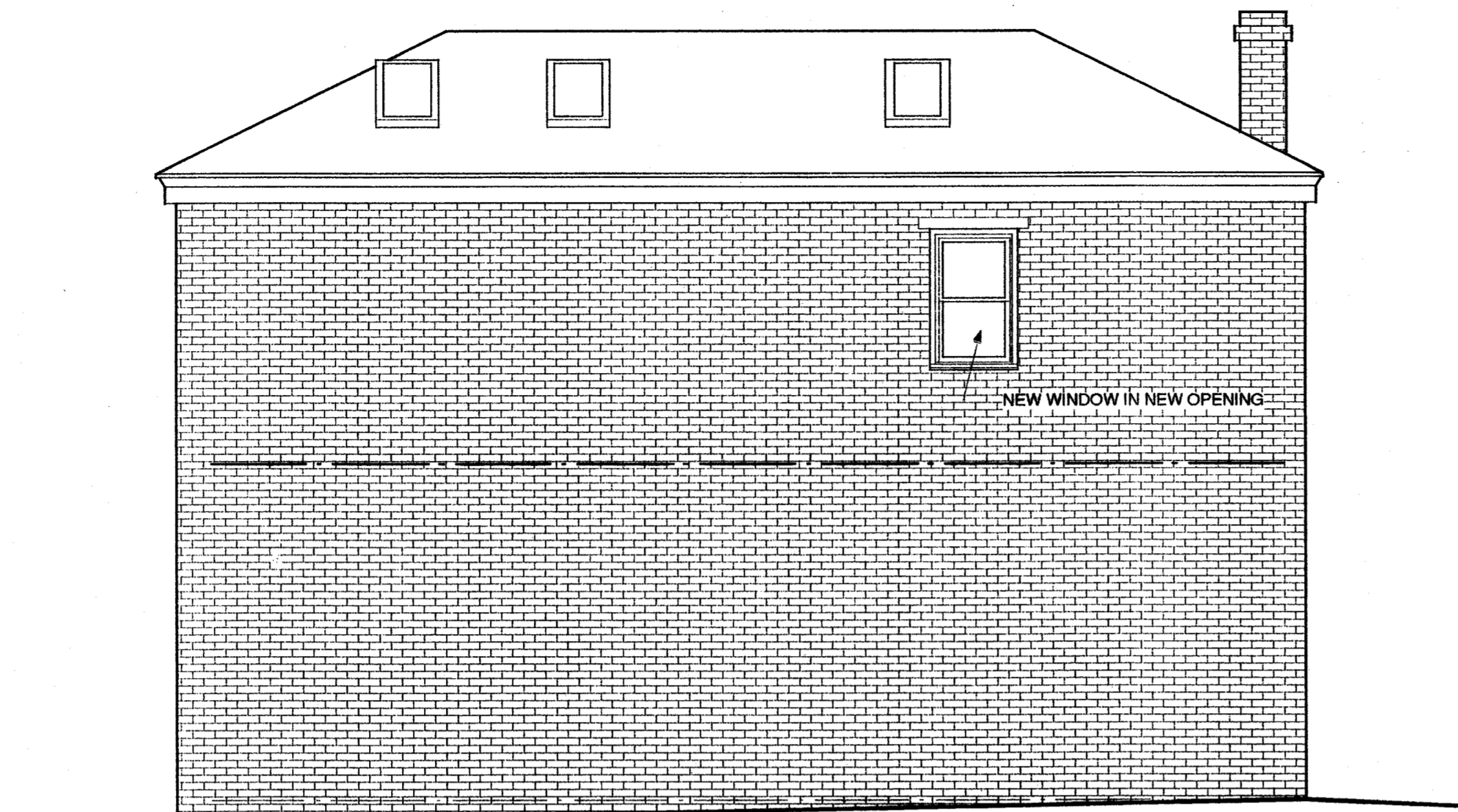
job #: 03,05
client: york
location: 237,239,241 Cumberland Ave & 142 Pearl St. Portland, Maine
date: 08.01.05
scale: as noted
drawing title: elevations

A1.2

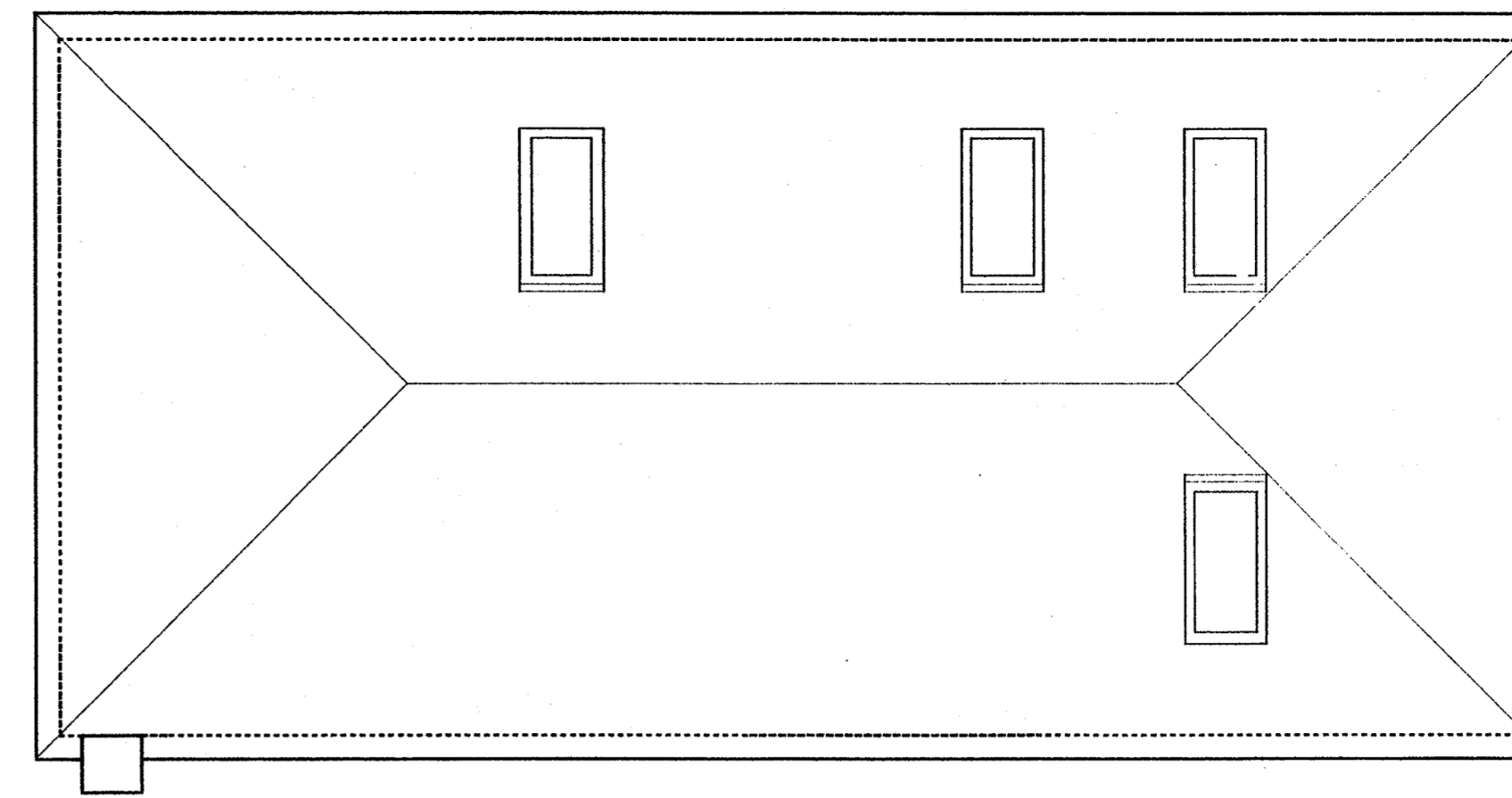
THIS DRAWING IS THE PROPERTY OF MICHAEL BELLS ARCHITECTS AND IS NOT TO BE COPIED OR REPRODUCED IN PART OR WHOLE
copyright 2005 michael bell esq architects



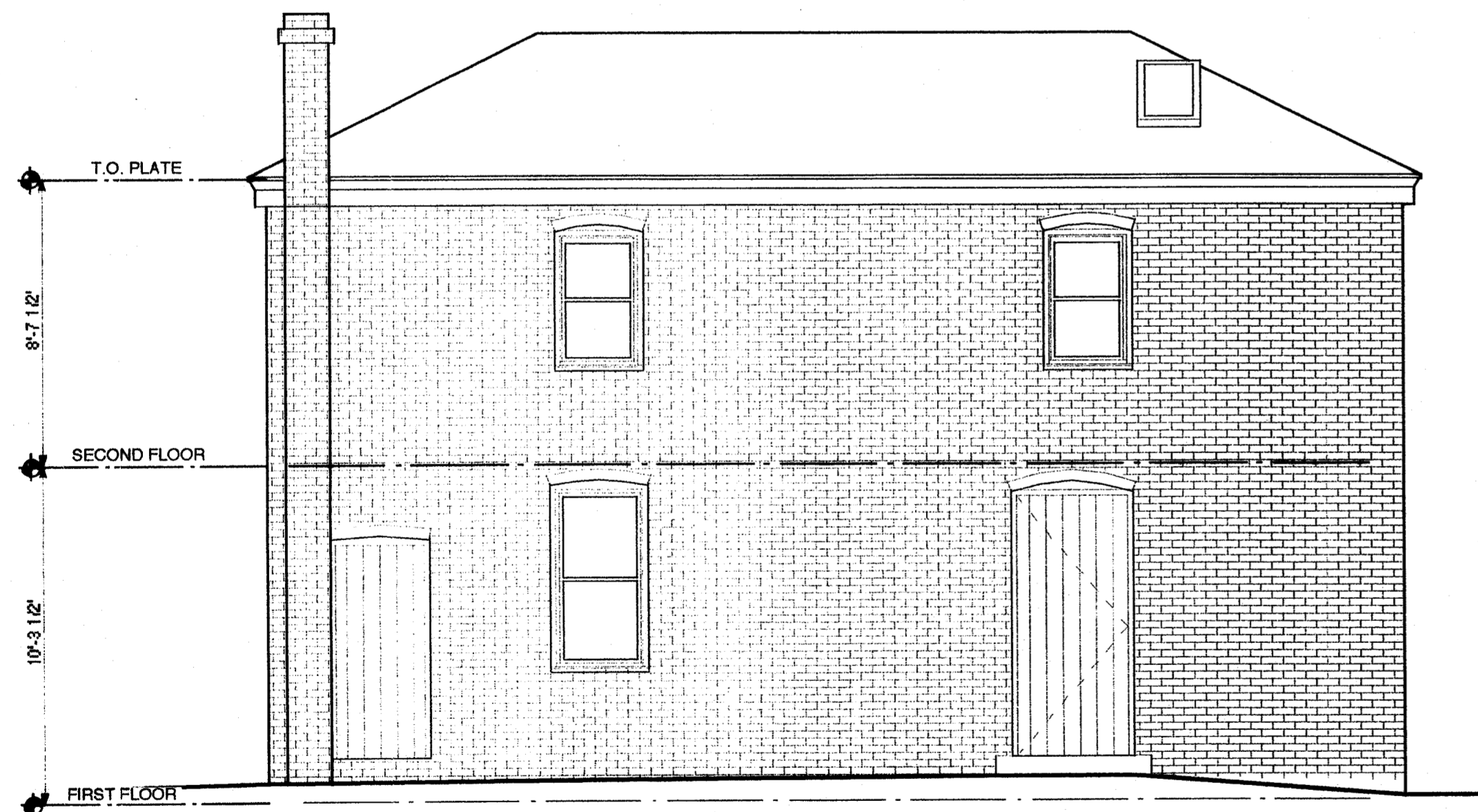
6 C.H. WEST ELEVATION
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



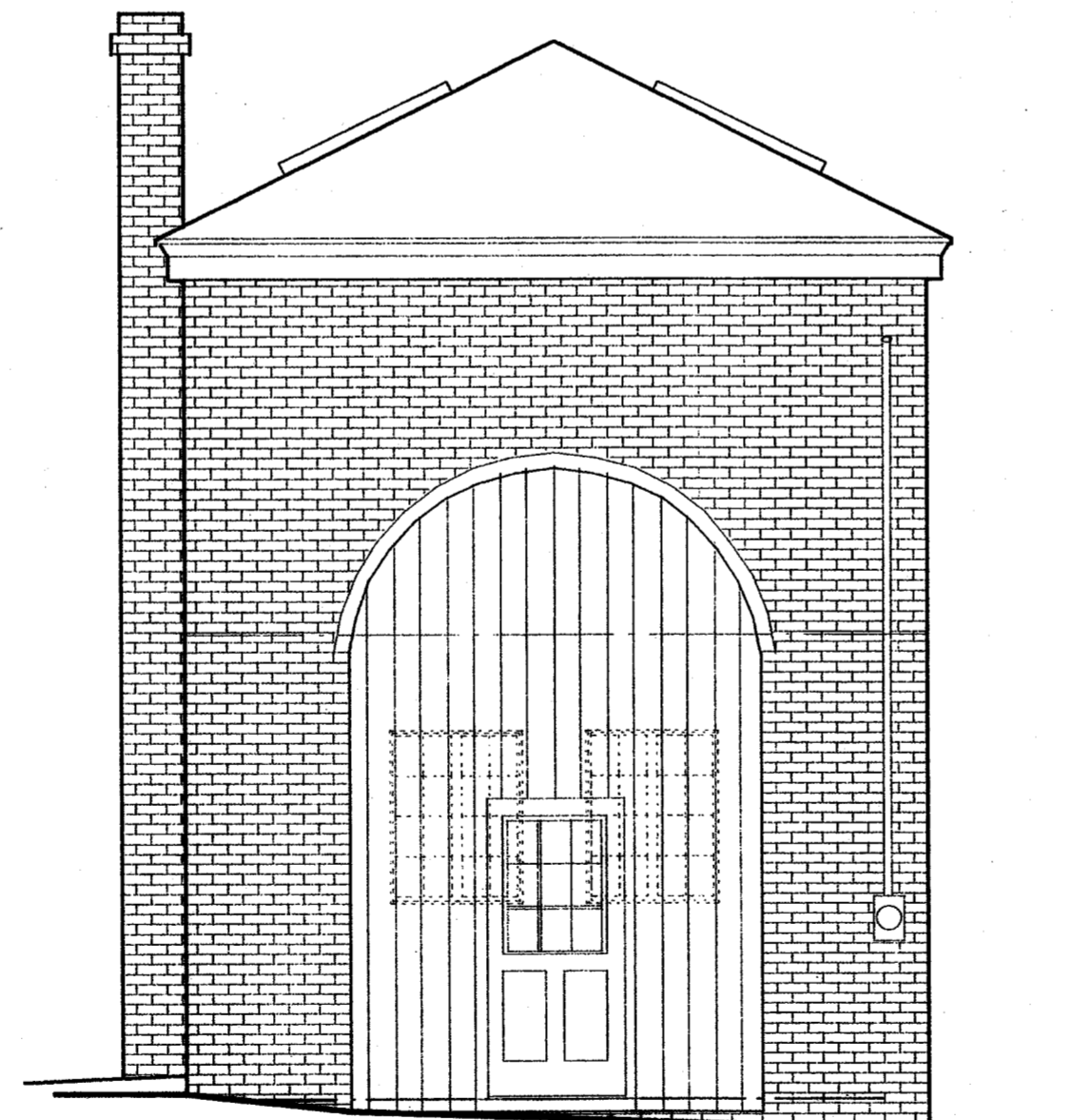
7 C.H. NORTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



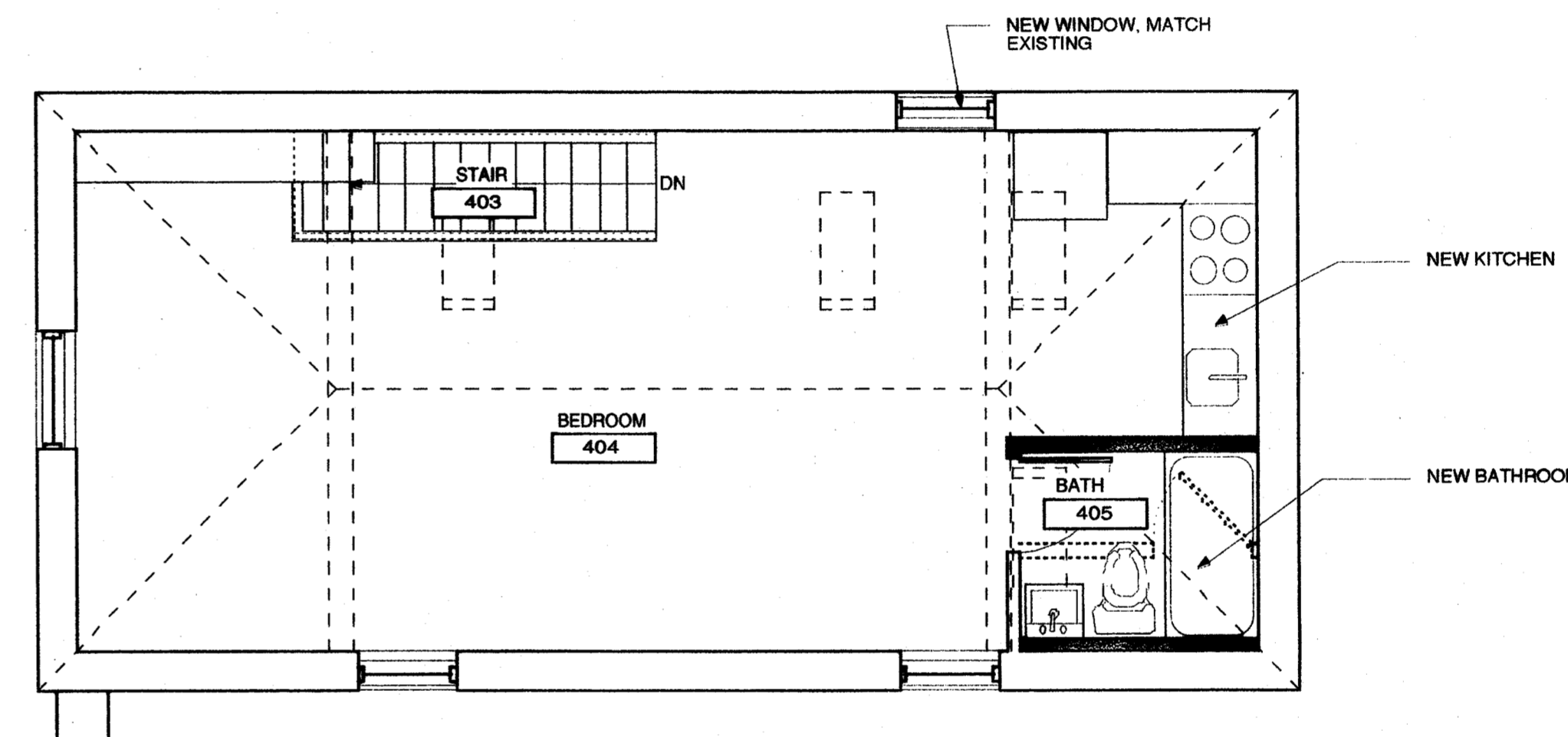
3 C.H. ROOF PLAN
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



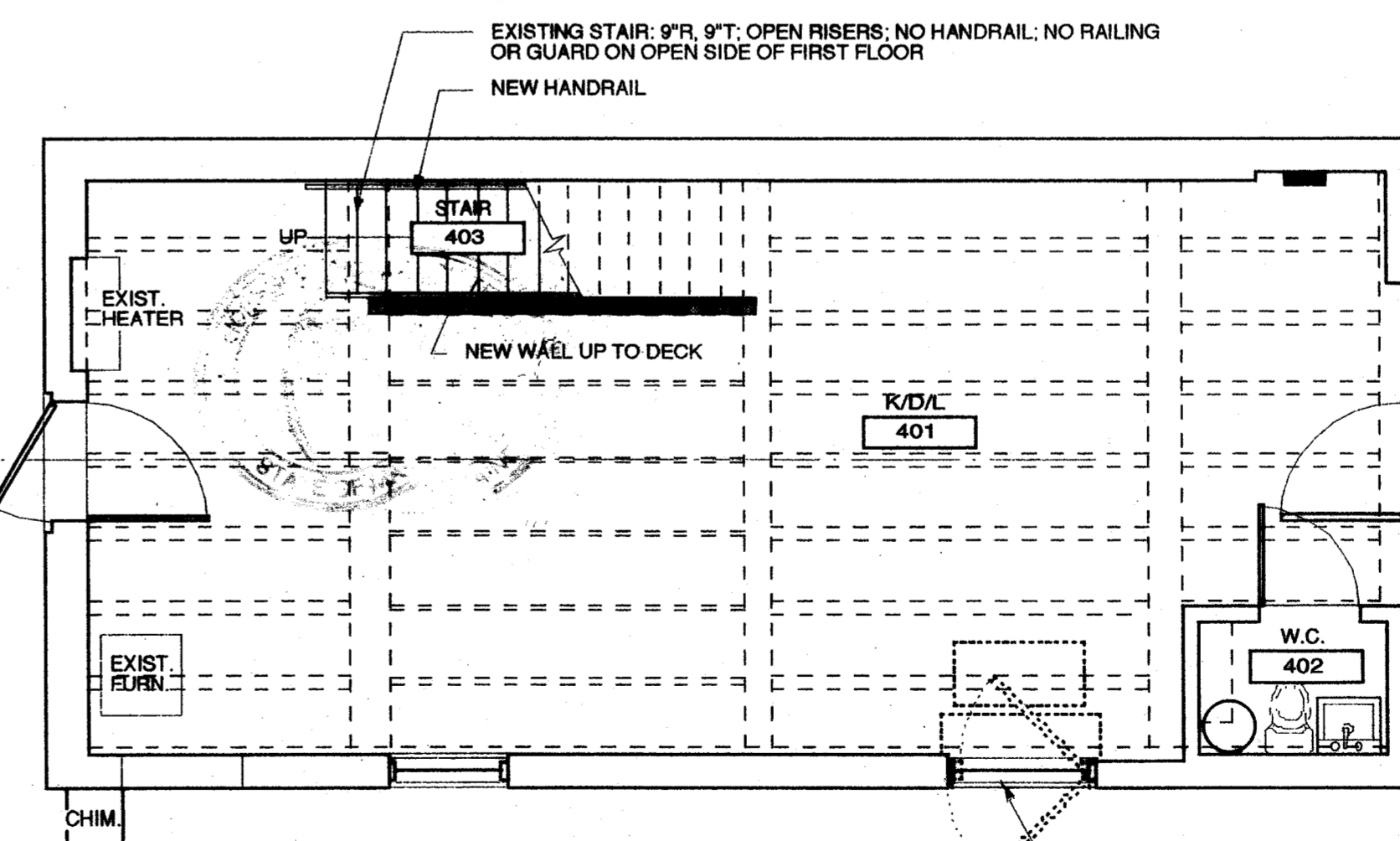
5 C.H. SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



4 C.H. EAST ELEVATION
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



2 C.H. SECOND FLOOR PLAN
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



1 C.H. GROUND FLOOR PLAN
A2.1 SCALE: 1/4" = 1'-0" 142 PEARL STREET



- LIST OF DRAWINGS:
- L1 SITE PLAN/ COVER SHEET
 - A1.0 BASEMENT/ROOF PLANS
 - A1.1 1st, 2nd, 3rd, Loft PLANS
 - A1.2 ELEVATIONS
 - A2.1 CARRIAGE HOUSE

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

BUILDING PERMIT SET

bell eau

State of Maine, Cumberland SS.
Registry of Deeds
Received January 26, 2006
at 2:33 p.m. and recorded in
Plan Book 206 Page 65
Attest: John B. O'Brien Registrar

A2.1

Job #: 03.05
Client: york
Location: 237, 236, 241
Cumberland Ave
& 142 Pearl St.
Portland, Maine
Date: 08.01.05
Scale: as noted
Drawing title: carriage house

This drawing is the property of mechat
bell eau and shall not be copied
or reproduced in part or whole
copyright 2005 mechat bell eau